



WARNING - UNREGISTERED PLAN

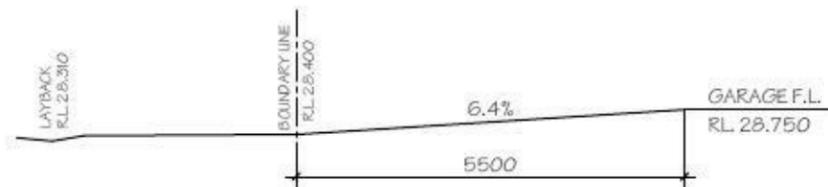
- THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.
- ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.
- THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION.
- NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN.
- STRUCTURE SURVEYING CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN.
- COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE.

***NOTES:**

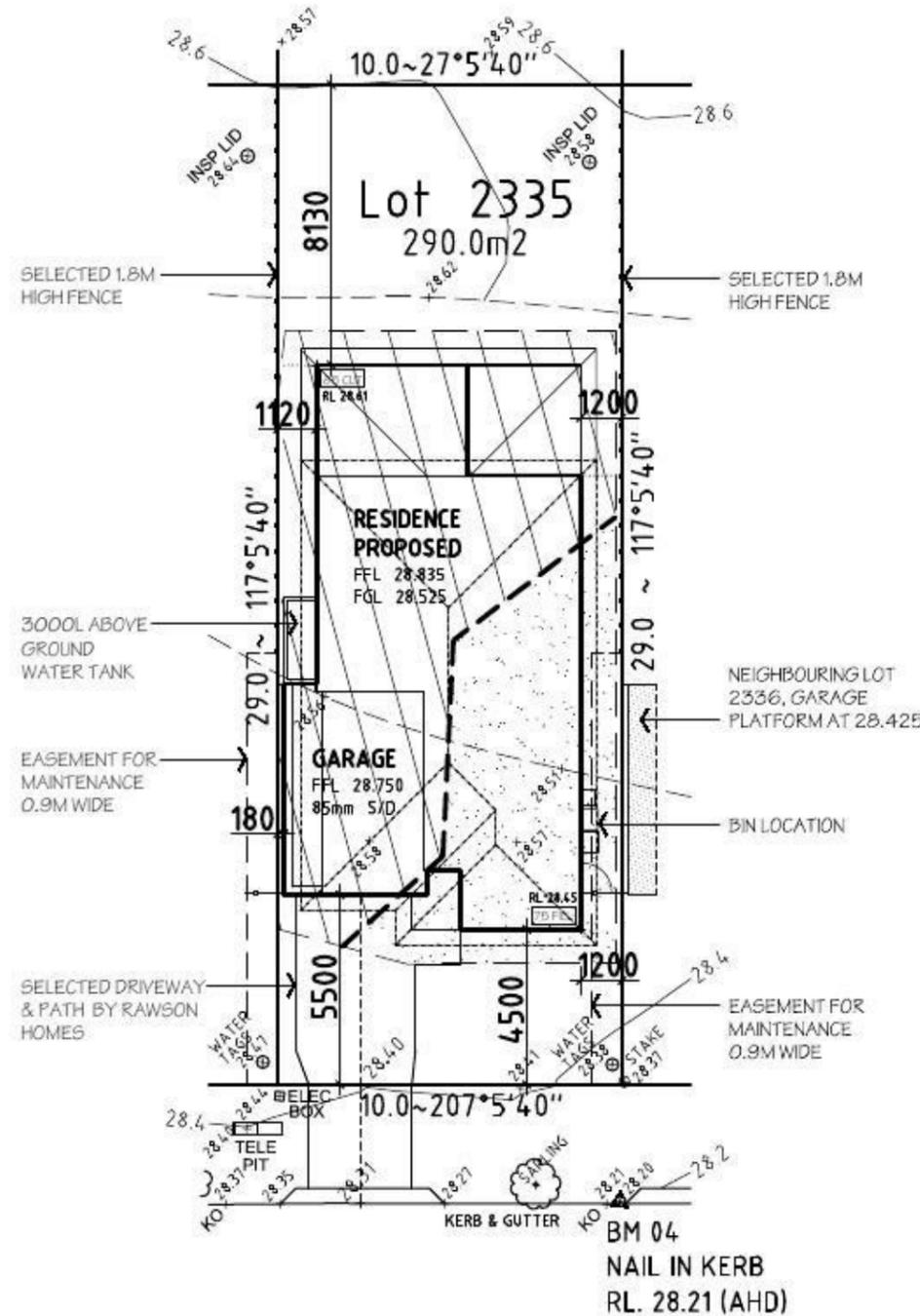
- THIS SURVEY IS FOR CONTOUR PURPOSES ONLY SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.
- CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
- DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LPI NSW AND ARE SUBJECT TO FINAL SURVEY.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH ACCURATE POSITION AND DEPTH OF ANY SERVICES.
- DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE

LEGEND

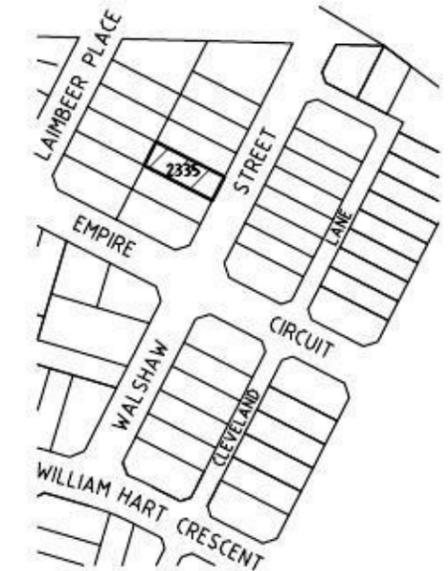
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIA/HEIGHT)



LOT 2335 DRIVEWAY DETAILS (SCALE 1:100)



WALSHAW STREET



LOCATION PLAN

DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: SSM 180810 RL. 28.445

SOURCE OF LEVELS: S C I M S

***FURTHER NOTES:**

- FLOOR LEVELS HAVE BEEN BASED ON AN ASSUMED 'M-CLASS' SITE CLASSIFICATION
- REFER TO LANDSCAPING DRAWINGS FOR ALL FENCING & LANDSCAPING DETAILS

LOT 2335

SITE DATA

SITE AREA:	290.00 m²
PRIVATE OPEN SPACE RATIO:	(33.0 %)
PRIVATE OPEN SPACE AREA:	95.70m²
LANDSCAPE AREA:	(48.7 %)
SITE AREA:	290.00m²
TOTAL HARDSTAND AREAS: (INC. Driveway & Path.)	148.75m²
REMAINING SOFT AREA:	141.25m²

FLOOR AREAS

GROUND FLOOR:	91.90 m²
FIRST FLOOR:	94.16 m²
GARAGE:	24.16 m²
PORCH:	2.10 m²
ALFRESCO:	10.56 m²
TOTAL FLOOR AREA:	222.88 m²

NOTES:

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- * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES
- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES

1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



CLIENT:
WEIYI DAI
SITE ADDRESS:
**LOT 2335
WALSHAW STREET
PENRITH (THORNTON ESTATE)**

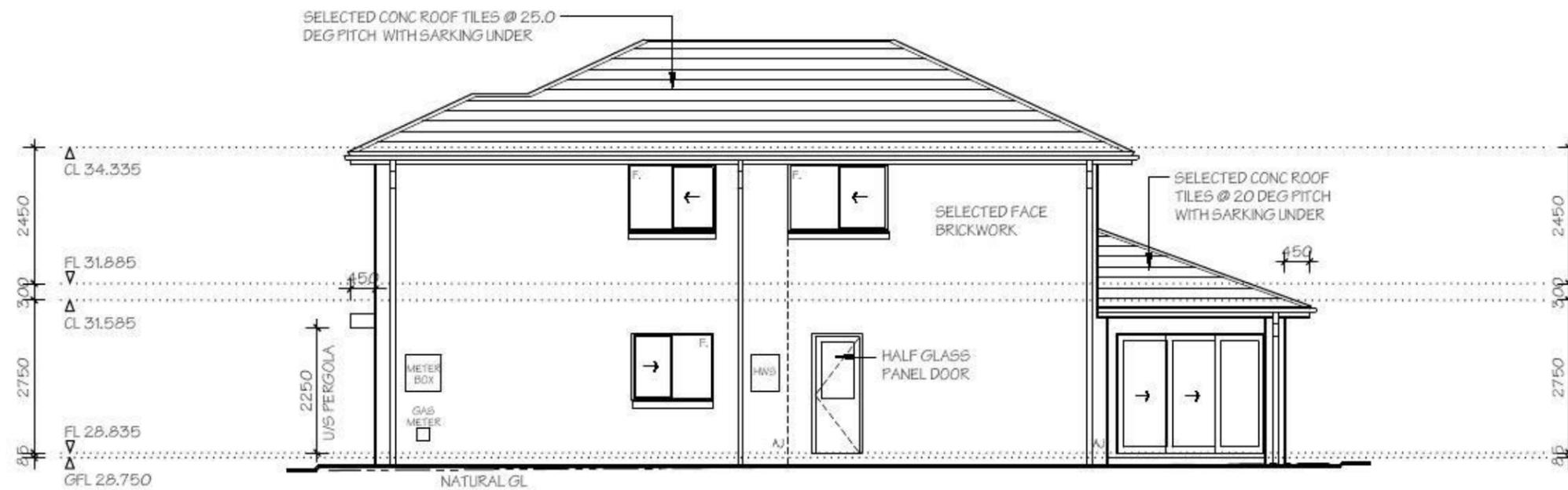
HOUSETYPE:
MODEL: HUNTLEY 25 LH
FACADE: TREND
TYPE:
SPECIFICATION:
DRAWING TITLE:
SITE PLAN

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No: J003491	DRWG No.:	ISSUE:	
	02	D	

NOTE:
*STAINLESS STEEL MESH SECURITY
SCREEN DOOR TO FRONT ENTRY
*NYLON MESH FLYSCREENS TO ALL
OPENING WINDOWS & SLIDING
DOORS (EXCLUDING HINGED DOORS)



FRONT ELEVATION - A



SIDE ELEVATION - B

NOTES:

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FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



CLIENT:

WEIYI DAI

SITE ADDRESS:

LOT 2335
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:

MODEL: HUNTLEY 25 LH

FACADE: TREND

TYPE:

SPECIFICATION:

DRAWING TITLE:

ELEVATIONS 1

DRAWN BY:

SJB

DATE DRAWN:

FEB '14

CHECKED BY:

APPROVED FOR CONSTRUCTION:

COUNCIL AREA:

PENRITH

SCALE:

1:100

JOB No:

J003491

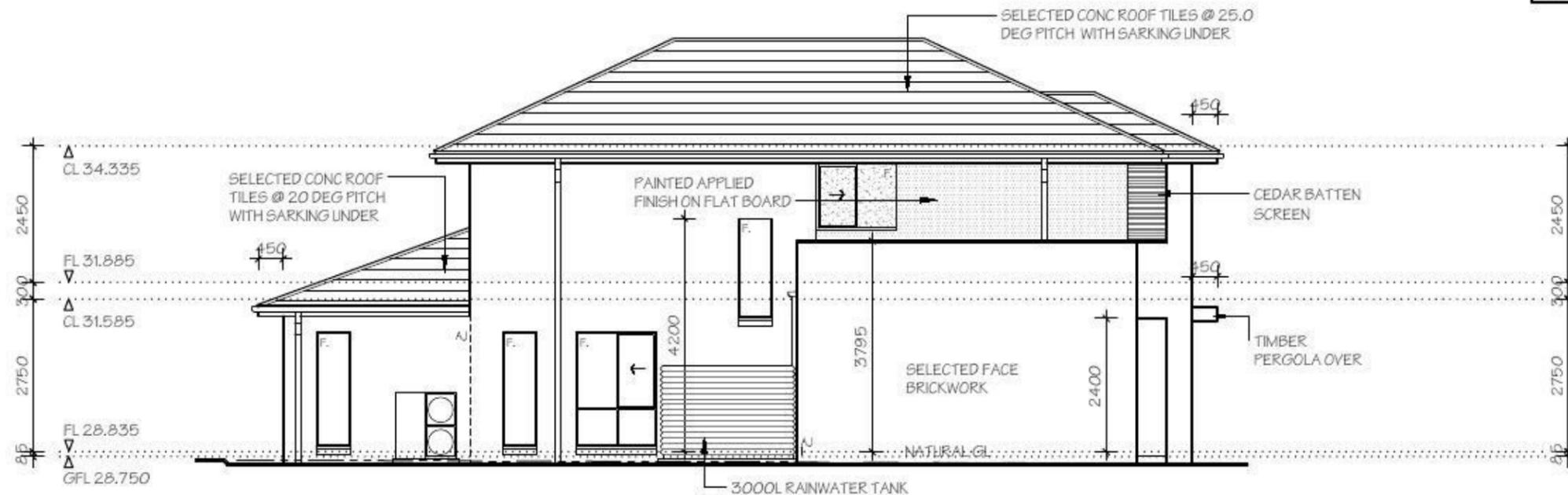
DRWG No.:

05

ISSUE:

D

NOTE:
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SCREEN DOOR TO FRONT ENTRY
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DOORS (EXCLUDING HINGED DOORS)



SIDE ELEVATION - D



REAR ELEVATION - C

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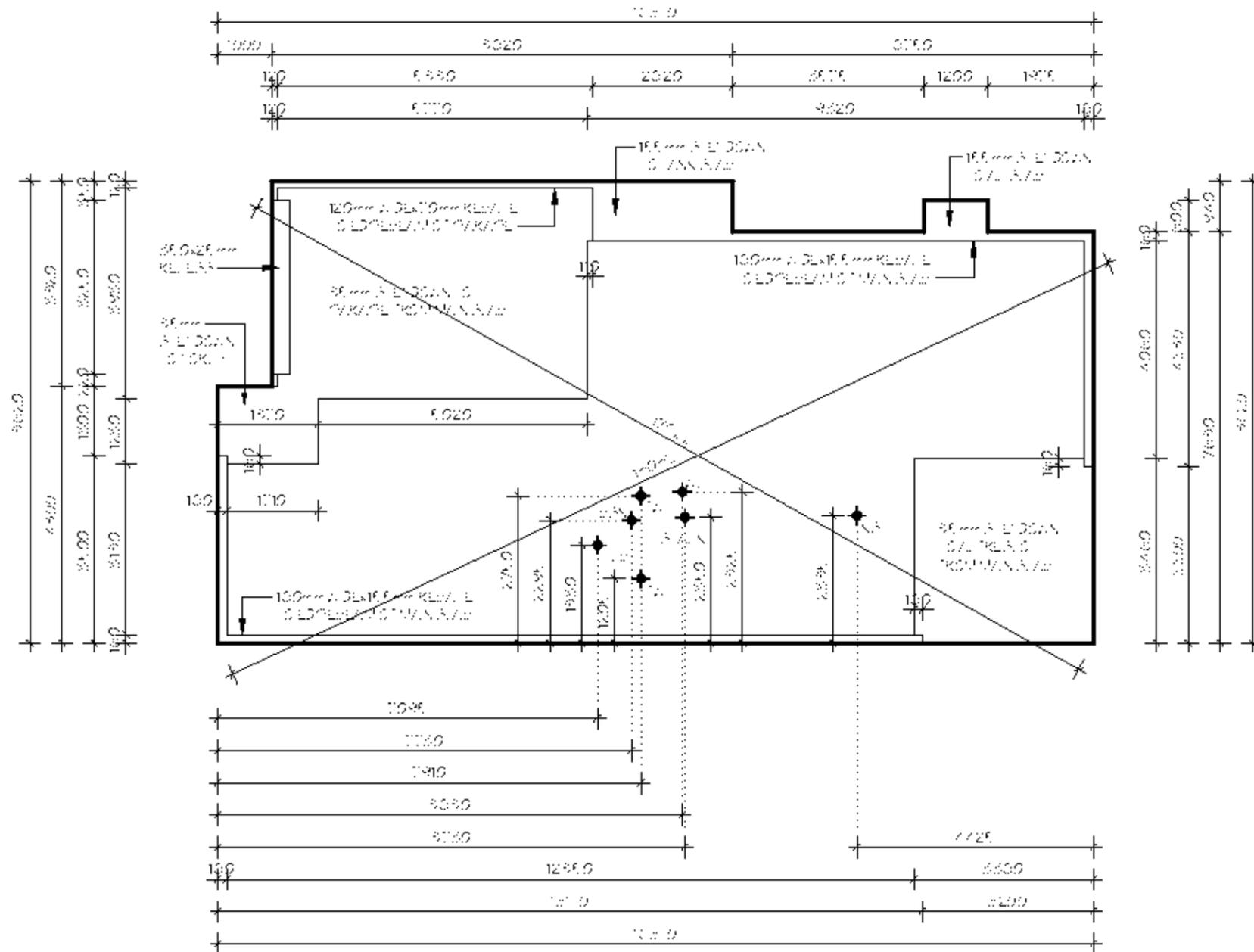


CLIENT:
WEIYI DAI

SITE ADDRESS:
LOT 2335
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE:
MODEL: HUNTLEY 25 LH
FACADE: TREND
TYPE:
SPECIFICATION:
DRAWING TITLE:
ELEVATIONS 2

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No: J003491	DRWG No.:	ISSUE:	
	06	D	



GROUND FLOOR SLAB SETOUT

NOTES:

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RAWSON HOMES

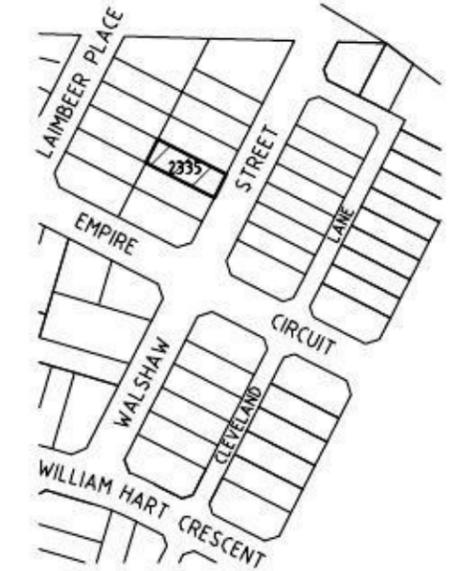
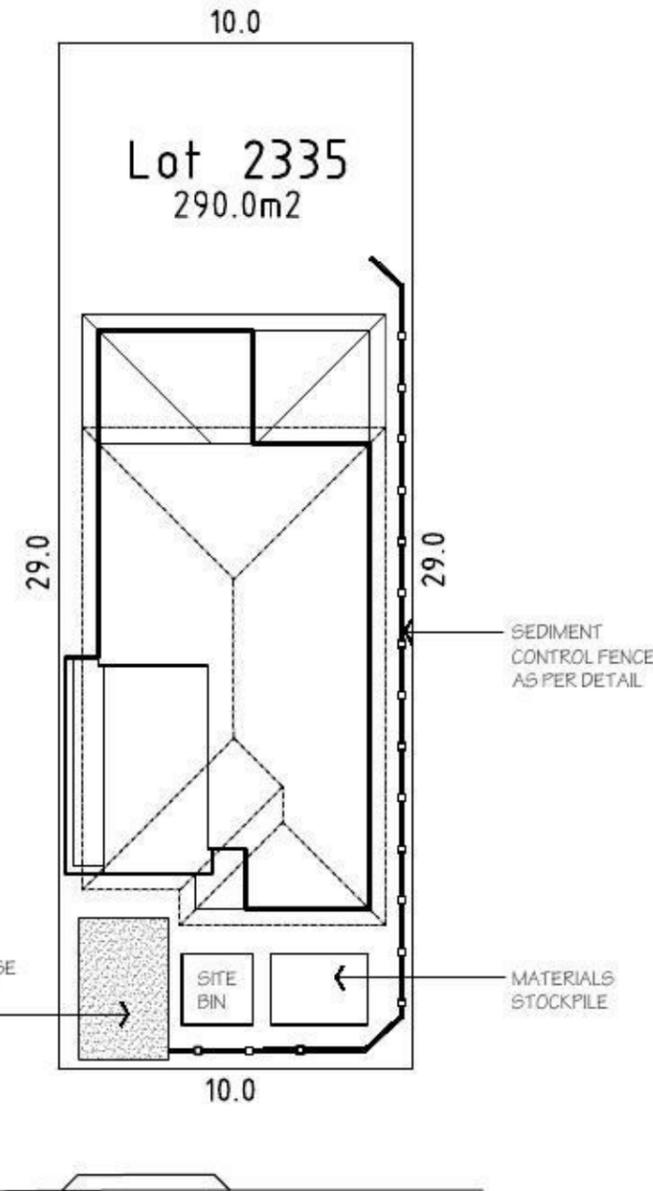
1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



CLIENT:
WEIYI DAI
SITE ADDRESS:
**LOT 2335
WALSHAW STREET
PENRITH (THORNTON ESTATE)**

HOUSE TYPE:
MODEL: **HUNTLEY 25 LH**
FACADE: **TREND**
TYPE:
SPECIFICATION:
DRAWING TITLE:
SLAB PLAN

DRAWN BY: SUB	DATE DRAWN: FEB/14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:100	
JOB No: J003491	DRWG No.: 08	ISSUE: D	



LOCATION PLAN

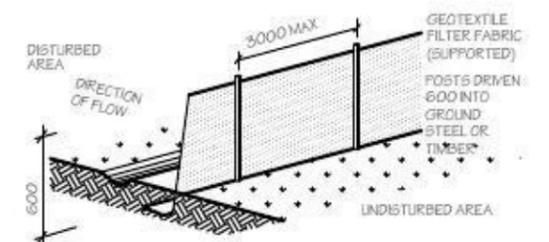
LEGEND

WATER METER	ELECTRICITY POLE
TELECOM PIT	ELECTRICITY PILLAR
MANHOLE (SEWER/STORMWATER)	HYDRANT
VEHICLE CROSSING	STOP VALVE
KERB INLET PIT	KERB OUTLET
LIGHT POLE	SERVICE CONDUIT
	TREE (DIA/HEIGHT)

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO 'URBAN EROSION AND SEDIMENT CONTROL' GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 6.0M MAX

WALSHAW STREET



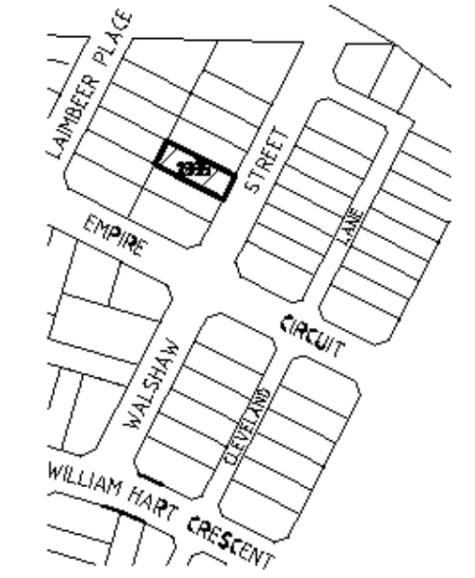
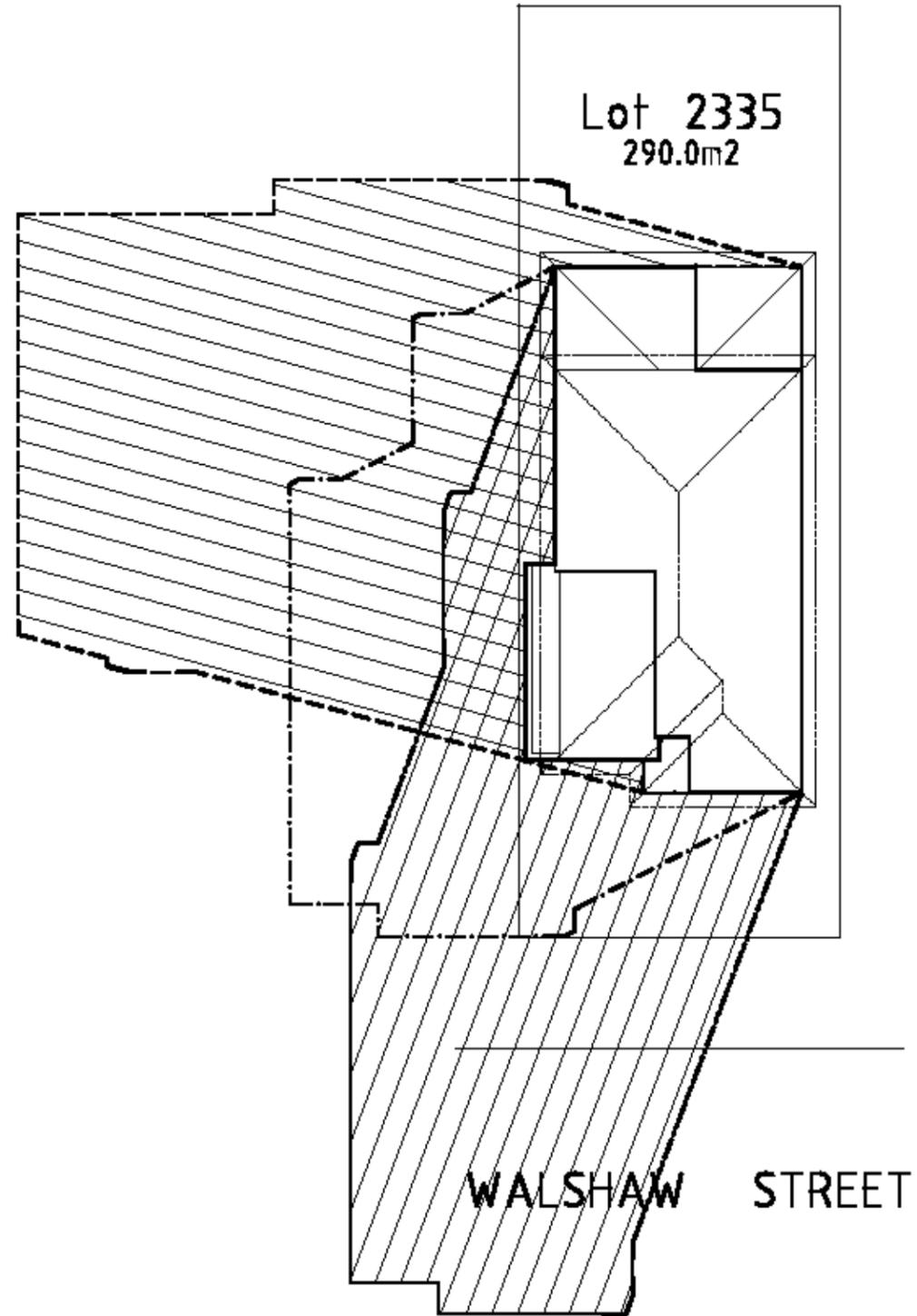
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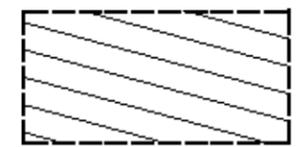
CLIENT: WEIYI DAI
SITE ADDRESS: LOT 2335
WALSHAW STREET
PENRITH (THORNTON ESTATE)

HOUSETYPE: HUNTLEY 25 LH
MODEL: TREND
FACADE: TREND
TYPE:
SPECIFICATION:
DRAWING TITLE: SEDIMENT & WASTE PLAN

DRAWN BY: SJB	DATE DRAWN: FEB '14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No: J003491	DRWG No.: 11	ISSUE: D	



LOCATION PLAN



2:00 PM SHADOWS 2:00pm



2:00 PM SHADOWS 3:00pm



2:00 PM SHADOWS 3:00pm

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BUILDER'S LICENCE No. 33493C

CLIENT:
WEIYI DAI
SITE ADDRESS:
**LOT 2335
WALSHAW STREET
PENRITH (THORNTON ESTATE)**

HOUSE TYPE:
MODEL: HUNTLEY 25 LH
FACADE: TREND
TYPE:
SPECIFICATION:
DRAWING TITLE:
SHADOW DIAGRAM

DRAWN BY: SUB	DATE DRAWN: FEB/14	CHECKED BY:	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1:200	
JOB No: J003491	DRAWG No.:	ISSUE:	
	12	D	

Lot 2335 Walshaw

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

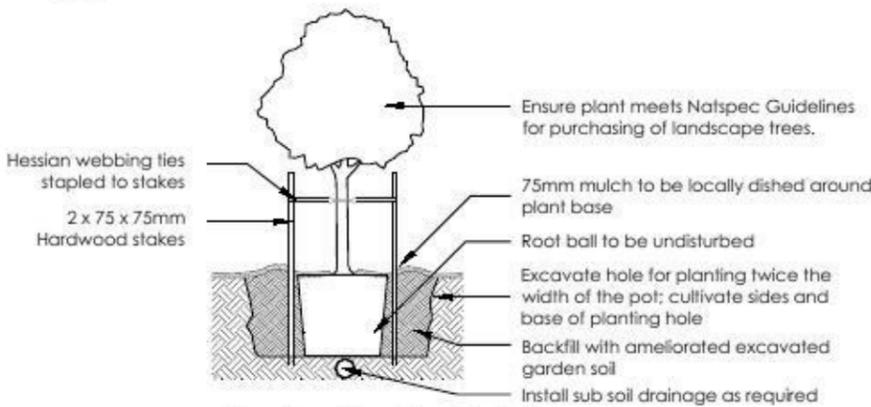
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	6	300mm	2m
Cmd	Coprosma 'Middlemore'	Mirror Bush	7	200mm	1m
Mip	Malus ioensis 'Plena'	Bechtel Crab Apple	1	75L	6m
Ndb	Nandina domestica 'Blush'	Dwarf Sacred Bamboo	24	200mm	0.6m
Oi	Ophiopogon 'Stripey White'	Stripey White Mondo Grass	6	200mm	0.3-0.4m

LOT PLANTING SUMMARY

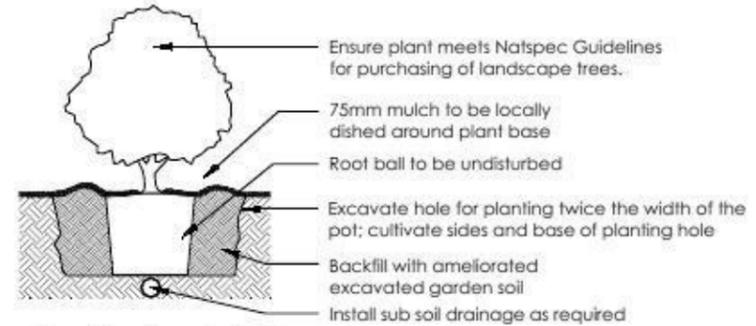
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
44	6	0	38	1

LEGEND

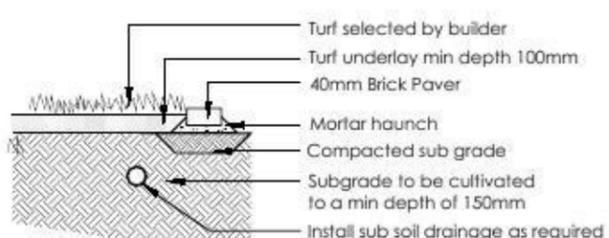
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Existing tree to be retained
- Existing tree to be removed
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels



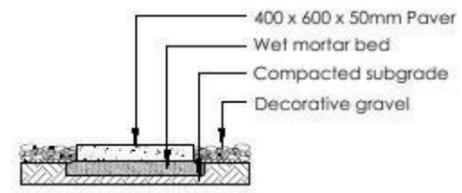
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size

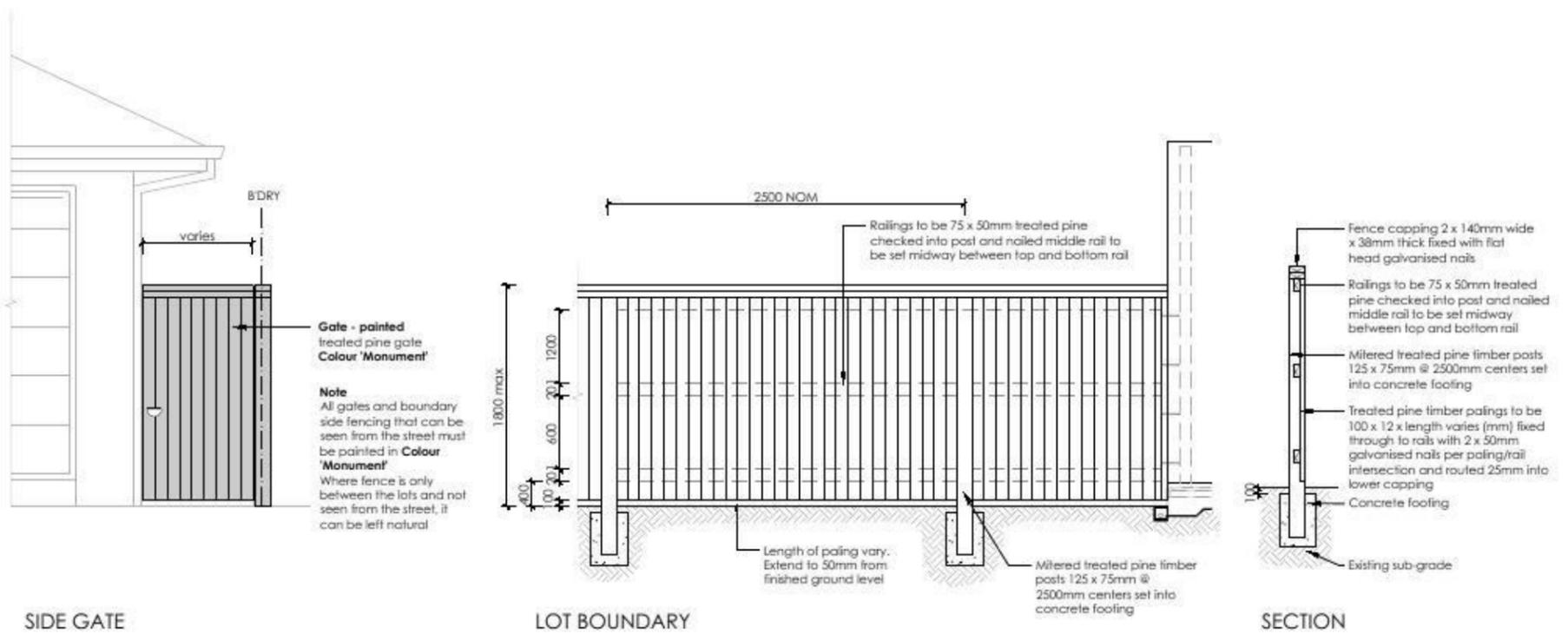
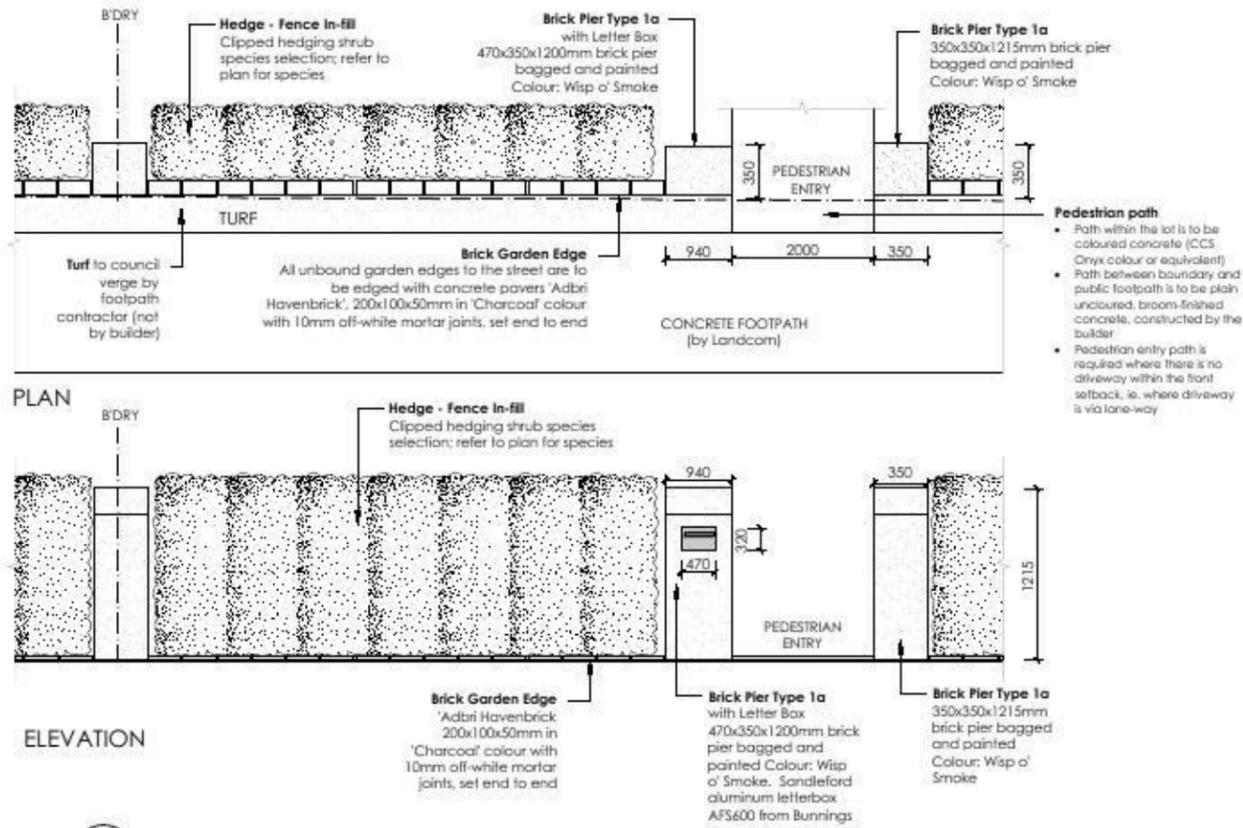


3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

<table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>CHKD</th> </tr> <tr> <td>A</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>28-02-14</td> <td>BT</td> <td>BT</td> </tr> </table>	NO.	DESCRIPTION	DATE	BY	CHKD	A	ISSUE FOR CLIENT REVIEW	28-02-14	BT	BT	<p>PO Box 4136, Southtown Hills VIC, NSW 2153 Ph: 02 9480 7112 Fax: 02 9480 7100 Email: info@ecodeign.com.au Web: www.ecodeign.com.au</p>	<p>LOT 2335 WALSHAW STREET, PENRITH</p>	<p>NEW RESIDENCE</p> <p>LANDSCAPE PLAN</p> <p>1:100 @ A3 DA 02</p> <p>RS BT 28-02-14 A</p>	
NO.	DESCRIPTION	DATE	BY	CHKD										
A	ISSUE FOR CLIENT REVIEW	28-02-14	BT	BT										
<p>RAWSON HOMES</p>		<p>3. Do not scale from drawing 4. Notify ecodeign of any inconsistencies 5. Copyright © ecodeign. All rights reserved 6. Drawing remains the property of ecodeign</p>			<p>4. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION</p>									



NO.	DESCRIPTION	DATE	BY	CHKD
A.	ISSUE FOR CLIENT REVIEW	28-02-14	BT	BT

ecodesign
outdoor living environments

PO Box 8116, Southport QLD 4215
Ph: (07) 5480 7112 Fax: (07) 5480 7100
Email: info@ecodesign.com.au
Web: www.ecodesign.com.au

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LOT 2335 WALSHAW STREET, PENRITH

RAWSON HOMES

NEW RESIDENCE

LANDSCAPE PLAN

Scale: 1:100 @ A3
Date: DA 03
28-02-14

RS BT 28-02-14 A

