

SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES
 *THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (4.5 BUT \leq 6 L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4 STAR IN EACH TOILET IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM RATING OF 5 STAR IN THE KITCHEN IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM RATING OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT.

ALTERNATIVE WATER

*THE APPLICANT MUST INSTALL A RAINWATER TANK WITH A CAPACITY OF AT LEAST 5000 LITRES ON THE SITE.
 THIS RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
 *THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 150 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT (excluding the area of the roof which drains to any stormwater tank or dam).
 *THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (IN NSW, this does not recommend that rainwater be used for human consumption in areas with potable water supply).

THERMAL COMFORT COMMITMENTS

FLOOR, WALLS AND CEILING/ROOF
 *THE APPLICANT MUST CONSTRUCT THE FLOOR(S), WALLS, AND CEILING/ROOF OF THE DWELLING IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE CONSTRUCTION ADDITIONAL INSULATION REQUIRED (R-VALUE) OTHER SPECIFICATION.
 *FLOOR - CONCRETE SLAB ON GROUND NIL EXTERNAL WALL - BRICK VENEER 160 (OR 220 INCLUDING CONSTRUCTION) INTERNAL WALL - SHARED WITH GARAGE - PLASTERBOARD NIL CEILING AND ROOF - FLAT CEILING / PITCHED ROOF CEILING 3 (LP), ROOF: FOIL/SARKING UNVENTILATED; MEDIUM ISOLAR ABSORPTANCE 0.475-0.701

WINDOWS, GLAZED DOORS AND SKYLIGHTS

*THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES DESCRIBED IN THE BASIX TABLE IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE BASIX TABLE. RELEVANT OVERSHADING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR.
 *THE DWELLING MAY HAVE SKYLIGHT (6.7 SQUARE METRES) AND UP TO 2 WINDOWS/GLAZED DOORS (6.7 SQUARE METRES) WHICH ARE NOT LISTED IN THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR EXCEPT WHERE THE CLASS IS SINGLE CLEAR OR SINGLE TONED, EACH WINDOW AND GLAZED DOOR MUST HAVE A U-VALUE NO GREATER THAN THAT LISTED AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) \leq 10% OF THAT LISTED. TOTAL SYSTEM U-VALUES AND SHGC MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATINGS COUNCIL (NFRC) CONDITIONS.
 *THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500 MILLIMETRES ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR, EXCEPT THAT A PROJECTION GREATER THAN 500MM AND UP TO 600MM ABOVE THE HEAD MUST BE TWICE THE VALUE.
 *PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35. UNLESS THEY HAVE ADJUSTABLE SHADING, PERGOLAS MUST HAVE FIXED BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50 MM.
SPECIFICATIONS FOR ALL WINDOWS/ASD

WINDOW OR GLAZED DR NO.	ORIENTATION	AREA	TYPE	SHADING	U/SHADOWING
*FAMILY B MASTER	S	6.62sqm	IMPROVED ALUMINIUM SINGLE CLEAR (OR U-VALUE 6.44, SHGC 0.75)	EAVE/VERANDAH/PERGOLA/BALCONY 450mm	NOT U/SHADOWED
*FAMILY W	W	4.82sqm	AS ABOVE	>2000mm	AS ABOVE
*DINING S	S	6.02sqm	AS ABOVE	>2000mm	AS ABOVE
*DINING W	W	5.54sqm	AS ABOVE	NONE	AS ABOVE
*STUDY HOOK B POWDER	W	2.9sqm	AS ABOVE	450-600mm	AS ABOVE
*BATH W	W	0.85sqm	AS ABOVE	450-600mm	AS ABOVE
*MEDIA N	N	2.17sqm	AS ABOVE	900-1200mm	AS ABOVE
*KITCHEN E	E	1.44sqm	AS ABOVE	NONE	AS ABOVE
*STAIRS E	E	1.28sqm	AS ABOVE	450-600mm	AS ABOVE
*ENSUITE W	W	0.85sqm	AS ABOVE	450mm	AS ABOVE
*STAIRS W	W	2.4sqm	IMPROVED ALUMINIUM SINGLE PYROLYTIC LOW-E (OR U-VALUE 4.48, SHGC 0.46)	NONE	AS ABOVE
*BED 4 B BED 2	N	3.87sqm	IMPROVED ALUMINIUM SINGLE CLEAR (OR U-VALUE 6.44, SHGC 0.75)	450-600mm	AS ABOVE
*BED 2 N	N	1.33sqm	AS ABOVE	NONE	AS ABOVE
*BED 2 E	E	1.33sqm	AS ABOVE	NONE	AS ABOVE
*BED 3 E	E	1.66sqm	AS ABOVE	450mm	AS ABOVE

ENERGY COMMITMENTS

HOT WATER
 *THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT, OR A SYSTEM WITH A HIGHER ENERGY RATING, GAS INSTANTANEOUS 5 STAR

COOLING SYSTEM/HEATING SYSTEM
 *THE APPLICANT MUST INSTALL THE FOLLOWING COOLING/HEATING SYSTEM IN THE DEVELOPMENT, OR A SYSTEM WITH A HIGHER ENERGY RATING: LIVING AREAS, 3-PHASE AIRCONDITIONING ENERGY RATING: EER 2.5-3.0, BEDROOMS, 3-PHASE AIRCONDITIONING ENERGY RATING: EER 2.5-3.0. THE COOLING/HEATING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS.

VENTILATION
 *THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEM IN THE DEVELOPMENT: 1 BATHROOM, INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF; KITCHEN, INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF; LDRY, NATURAL VENTILATION OR NO LDRY; OPERATION CONTROL: N/A

ARTIFICIAL LIGHTING
 *THE APPLICANT MUST ENSURE THAT THE PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LED TO THE FOLLOWING ROOMS:
 - AT LEAST THE 4 BEDROOMS/STUDY
 - AT LEAST 4 OF THE LIVING/DINING ROOMS

NATURAL LIGHTING
 *THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN & 3 BEDROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.
OTHER
 *THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.
 *THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS WELL VENTILATED, AS DEFINED IN THE BASIX DEFINITIONS.
 *THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.

***BUSHFIRE CLASSIFICATION**

*CONSTRUCTION OF THIS HOME IS TO COMPLY WITH BUSH FIRE ATTACK LEVEL (BAL) 2.5 IN ACCORDANCE WITH AS3959 CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS



DEVELOPMENT CALCULATIONS

LOT:2123 CABARITA WAY, JORDAN SPRINGS LOT AREA: 425sqm

ITEMISED FLOOR AREA	Area:
GROUND FLR.:	116.47sqm
FIRST FLR.:	108.00sqm
GARAGE:	34.00sqm
PATIO:	5.52sqm
ALFRESCO:	11.88sqm
TOTAL FLOOR AREA:	275.87sqm
grnd flr:	116.47sqm
first flr:	108.00sqm
TOTAL NETT LIVING AREA:	224.47sqm
FLOOR SPACE RATIO:	52.81%
TOTAL FOOTPRINT AREA:	167.87sqm
FOOTPRINT SITE RATIO:	39.49%
TOTAL DRIVEWAY AREA+PATH:	36.44sqm
TOTAL FOOTPRINT+DRIVEWAY+PATH:	204.31sqm
SITE COVER RATIO:	48.07%
TOTAL LANDSCAPED AREA:	160.50sqm
RATIO:	37.76%
TOTAL ROOF AREA:	188.72sqm

SURVEYORS NOTE:

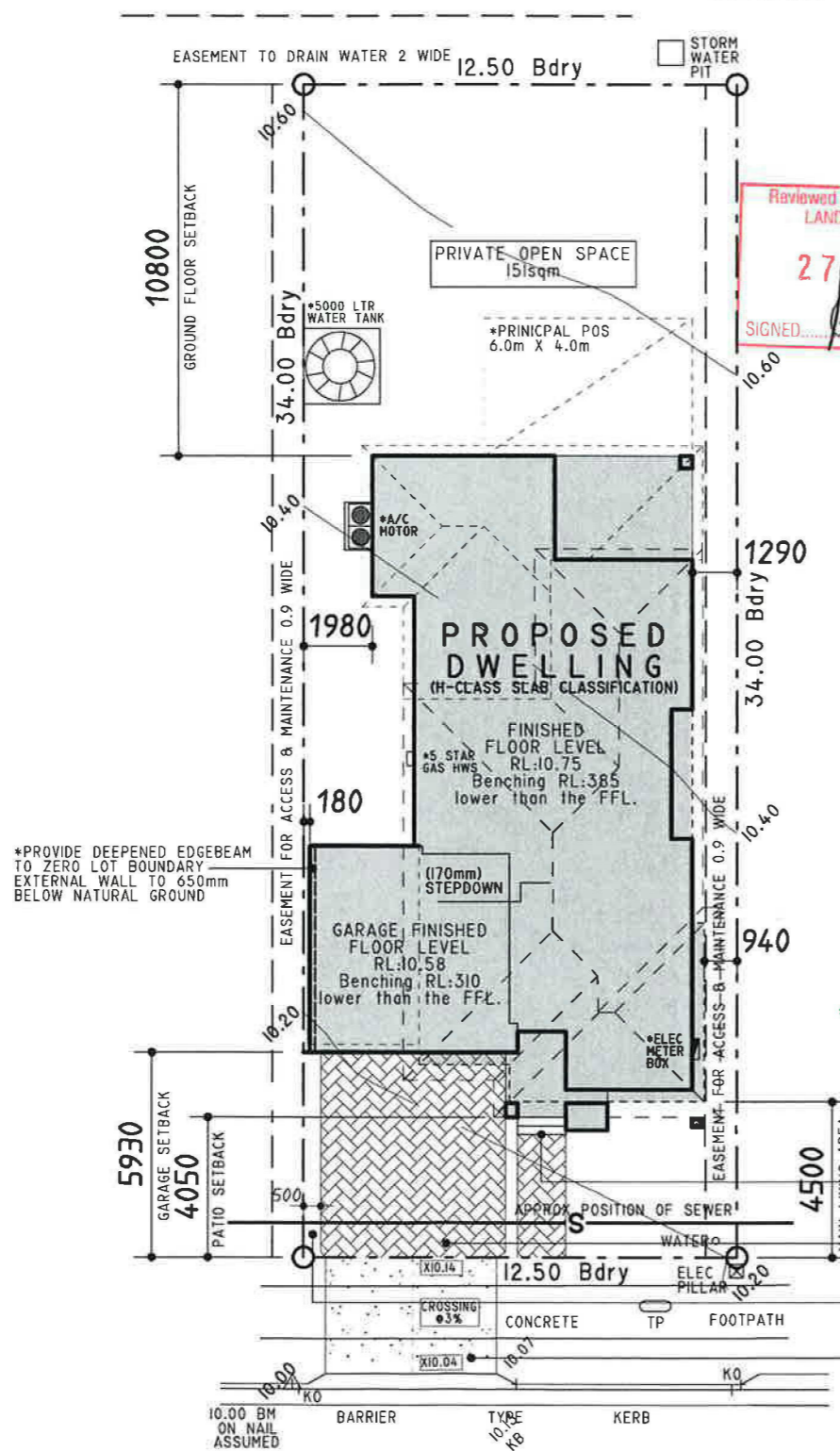
*DATUM ASSUMED UNLESS NOTED OTHERWISE
 *LOCATION OF FENCES ARE APPROXIMATE ONLY
 *ONLY VISIBLE SERVICES HAVE BEEN LOCATED ACCURATELY
 *NO U/GROUND SERVICES SEARCH HAS BEEN CARRIED OUT
 *BOUNDARY DIMENSIONS AND AREA ARE BY TITLE ONLY.

IMPORTANT NOTE:

*TREES WITHIN BUILDING AREA & 3.0m SURROUNDING TO BE FELLED & REMOVED.

***LANDSCAPING NOTE**

*ALL DRIVEWAYS, PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED AS NOTED WITHIN QUOTATION/TENDER.
 *ALL ITEMS NOT REFERRED TO WITHIN QUOTATION/TENDER TO BE COMPLETED BY OWNER.
 *ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND/OR COUNCIL GUIDELINES TO COUNCIL SATISFACTION.
 *ALL EXTERNAL FINISHED GROUND LEVELS & EXTERNAL STEPS ARE ALL SUBJECT TO A COMPREHENSIVE LANDSCAPE PLAN PREPARED BY A LANDSCAPE ARCHITECT/CONSULTANT.
 REFER TO LANDSCAPE CONSULTANTS PLANS FOR LANDSCAPING DETAILS



Reviewed by: JORDAN SPRINGS LANDSCAPE SECTION
 27 MAY 2013
 SIGNED: [Signature]

ADD NOTES:
 * ANY REMAINING HOLES VISIBLE FROM THE STREET OR OPEN LIGHTS AND OVER DEE TO BE CONSTRUCTED OR TEXTURED OR COLOURED REPAIRS
 * ALL GROUND EDGEING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OR TEXTURED OR COLOURED REPAIRS
 BRICKS, BLOCKS
 COLOURED CONCRETE - NO TYPICAL EDGING IS PERMITTED

*APPROX 3 STEPS REQUIRED, STEPS REQUIRED SUBJECT TO LANDSCAPE CONSULTANTS PLANS
 *PROVIDE NON SLIP CONCRETE FINISH TO DRIVEWAY.
 *PROVIDE A 500MM LANDSCAPING STRIP ADJACENT TO DRIVEWAY AS REQUIRED.
 *PROVIDE APPROX 19SQM OF CONCRETE FINISH TO VEHICLE CROSSING (Non Slip Finish) IN ACCORDANCE WITH COUNCIL REQUIREMENTS

CABARITA WAY

Site Plan SCALE 1:200

REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A-2	PRELIM PLANS-PRIOR TO CONTRACTS	TB	01.05.13
B	DA APPROVAL	TB	21.05.13

GENERAL BUILDING NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDERS TENDER/CONTRACT DOCUMENTATION
- FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
- LEVELS SHOWN ARE APPROXIMATE AND TO BE CONFIRMED ON SITE BY SURVEYOR.
- DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENCED DRAINER AND/OR HYDRAULIC ENG PRIOR TO WORK COMMENCING.
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- BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
- IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY MARRETTA DESIGN IMMEDIATELY.

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PROPOSED:
New 2-Storey Dwelling

CLIENT:
Mr Wijeskera

LOCATION:
**LOT:2123 DP:1168991
 Cabarita Way,
 Jordan Springs**

COUNCIL:
Penrith

DESCRIPTION:
**Jamison 276
 Classic Facade**

DATE DRAWN: 04.04.13
 ISSUE: B
 SHEET: 01 OF 12
 SCALE: 1:100 UNO
MG035-13

****slablayout plan to be read in conjunction with architectural plans!!!!!!**

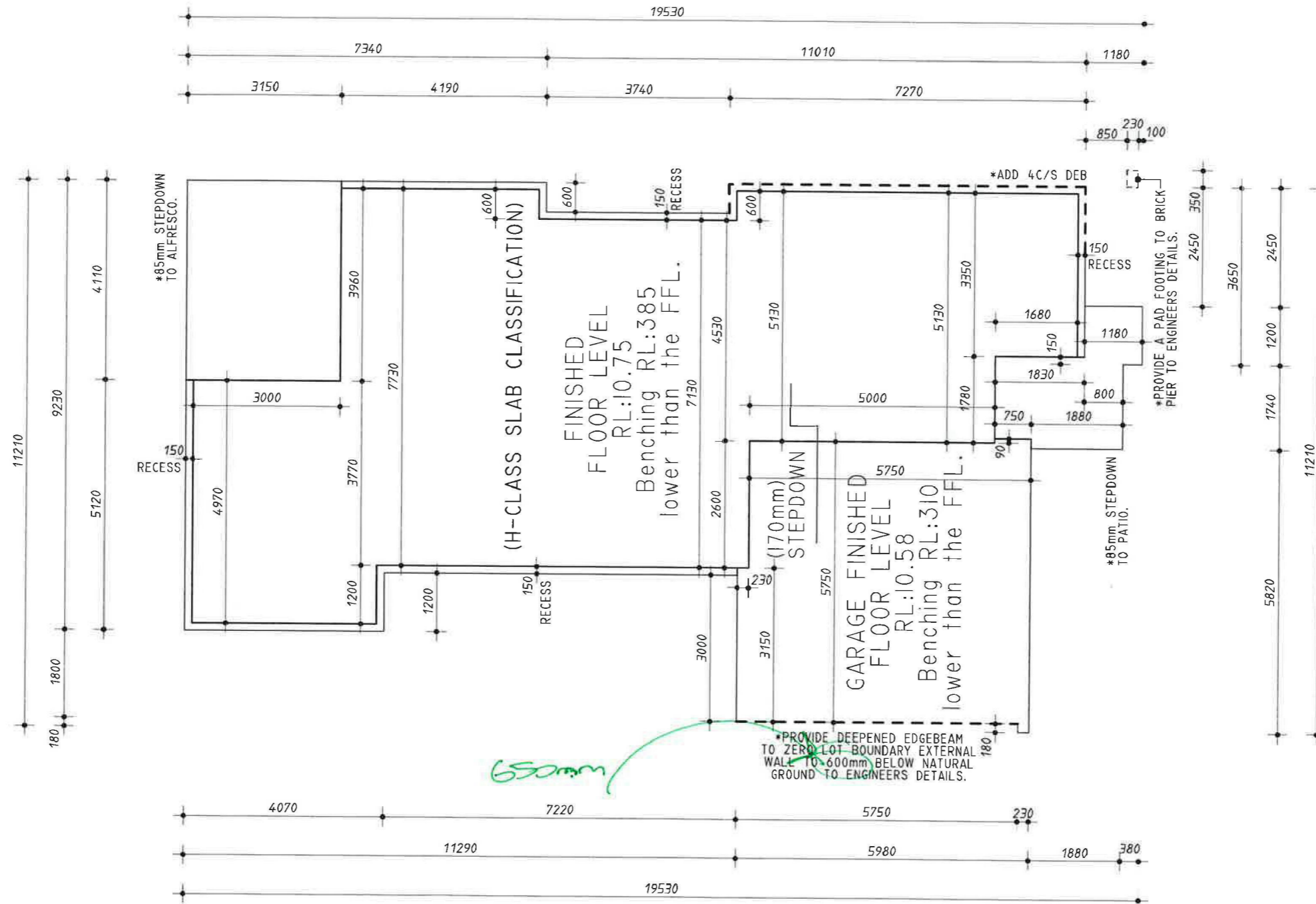
IMPORTANT SLAB SETOUT NOTES!!!!

- THE "SLAB LAYOUT PLAN" IS TO BE READ AND USED AS AN ADDITIONAL GUIDE FOR THE SOLE PURPOSE OF "SETTING OUT" THE SLAB.
- THE SLAB LAYOUT PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS AT ALL TIMES.
- QUERIES OR DISCREPANCIES ARE TO BE RESOLVED PRIOR TO THE COMMENCEMENT OF ANY PIERING AND ANY FORMWORK.

- REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL DETAILS & CONCRETE SPECIFICATIONS & TO DETERMINE THE LOCATION OF THICKENING BEAMS AND OTHER STRUCTURAL ELEMENTS.
- REFER TO ENGINEER'S DRAWINGS FOR PLUMBING & OTHER SERVICE PENETRATION DETAILS.
- IF IN DOUBT... CONTACT THE BUILDING DESIGNER PRIOR TO COMMENCEMENT OF WORKS.

- NOTE: ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEPDOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.

TOTAL SLAB AREA: 167.87SQM



Slab Layout Plan

REVISION SCHEDULE				DESIGNED:	PROPOSED:	DESCRIPTION:
ISSUE	DESCRIPTION	BY	DATE	FS	New 2-Storey Dwelling	Jamison 276 Classic Facade
A-2	PRELIM PLANS-PRIOR TO CONTRACTS	TB	01.05.13	DRAWN: TB	CLIENT: Mr Wijeskera	
B	DA APPROVAL	TB	21.05.13	DATE DRAWN: 04.04.13	ISSUE: B	COUNCIL: Penrith
				SCALE: 1:100 UNO	LOCATION: LOT:2123 DP:1168991 Cabarita Way, Jordan Springs	G.J. Gardner. "Get the Facts Upfront" HOMES Sydney West www.gjgardnerhomes.com Ph:4732 4600 Fax:4732 4050

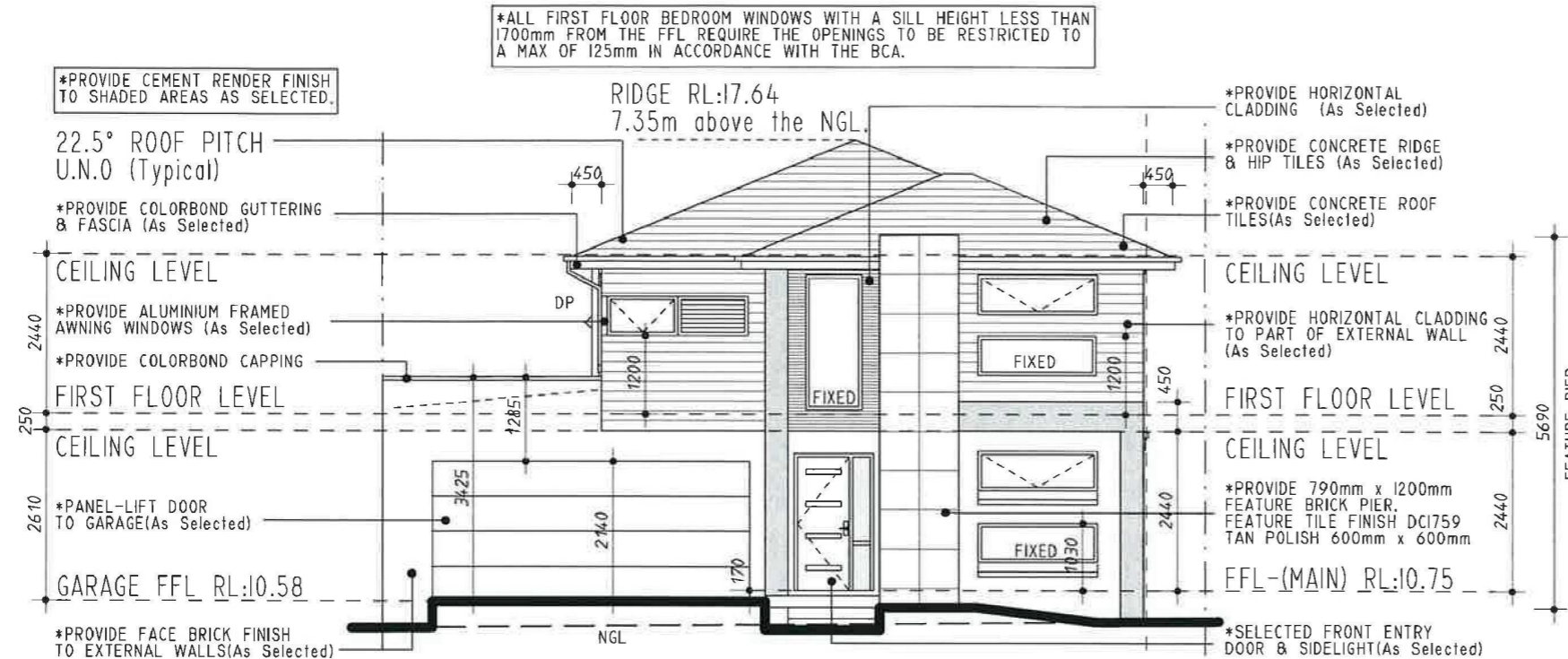
SHEET 04 OF 12
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REVISION SCHEDULE

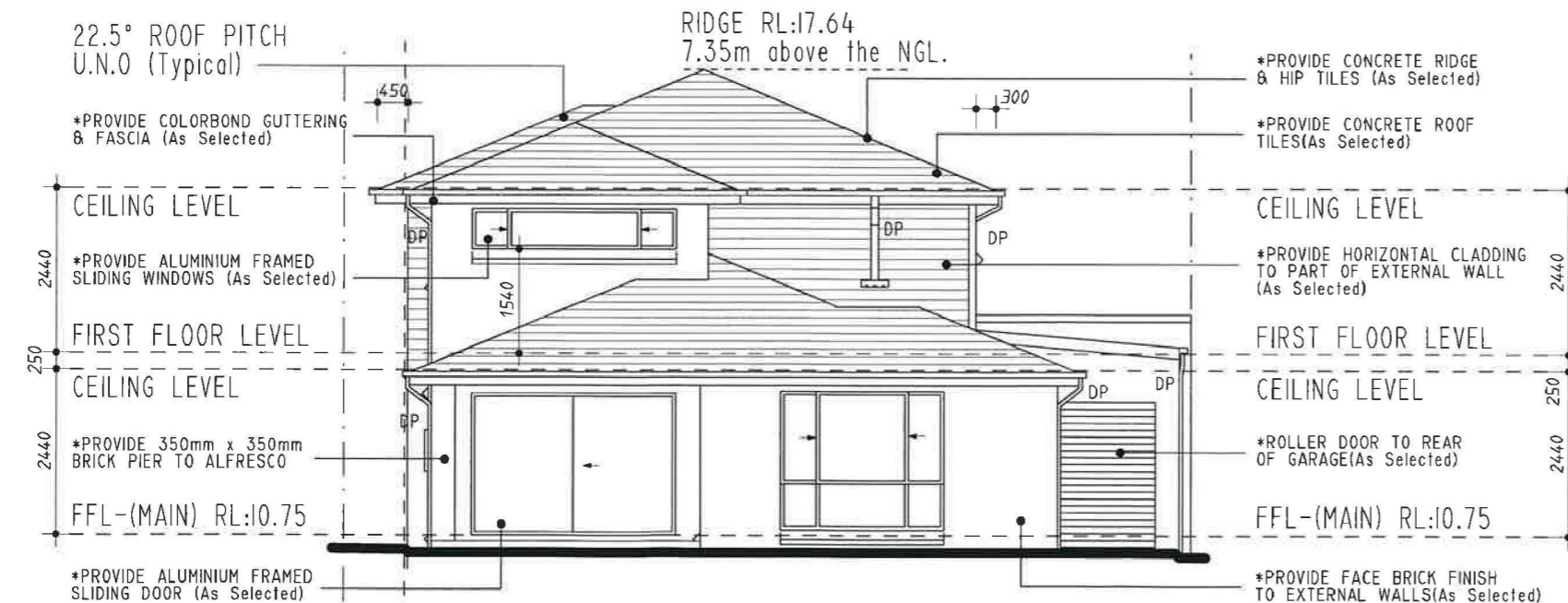
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Front(northern)Elevation



Rear(southern)Elevation

Reviewed by: BOBBIAN SPRINGS LANDSCAPE SEC 477
 27 MAY 2013
 SIGNED: [Signature]

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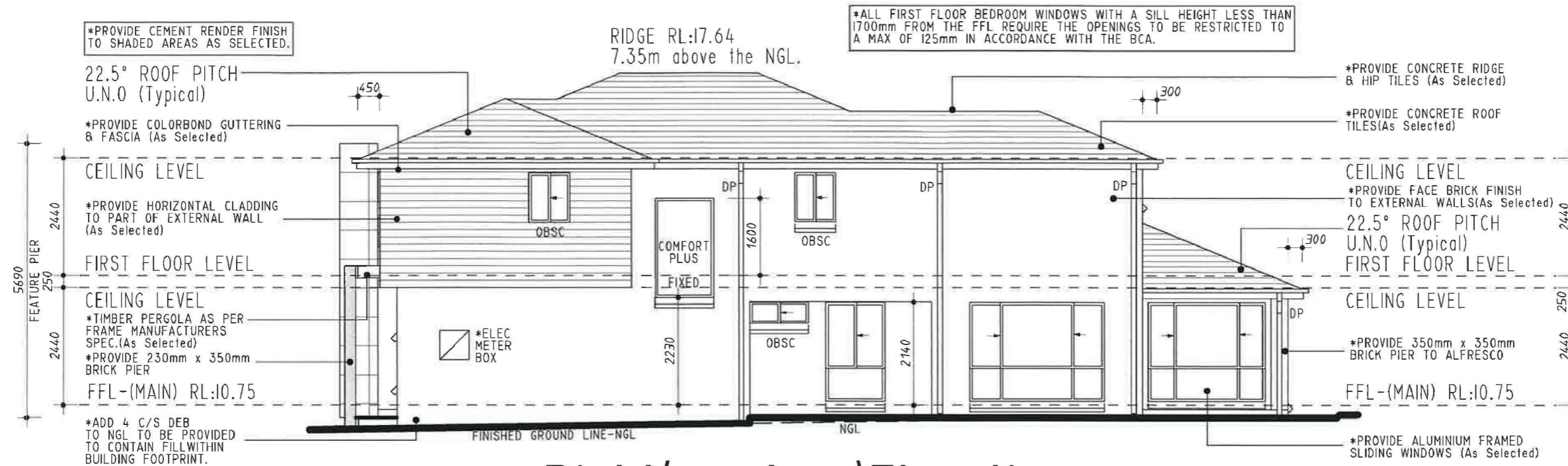
PROPOSED:
New 2-Storey Dwelling

CLIENT:
Mr Wijeskera

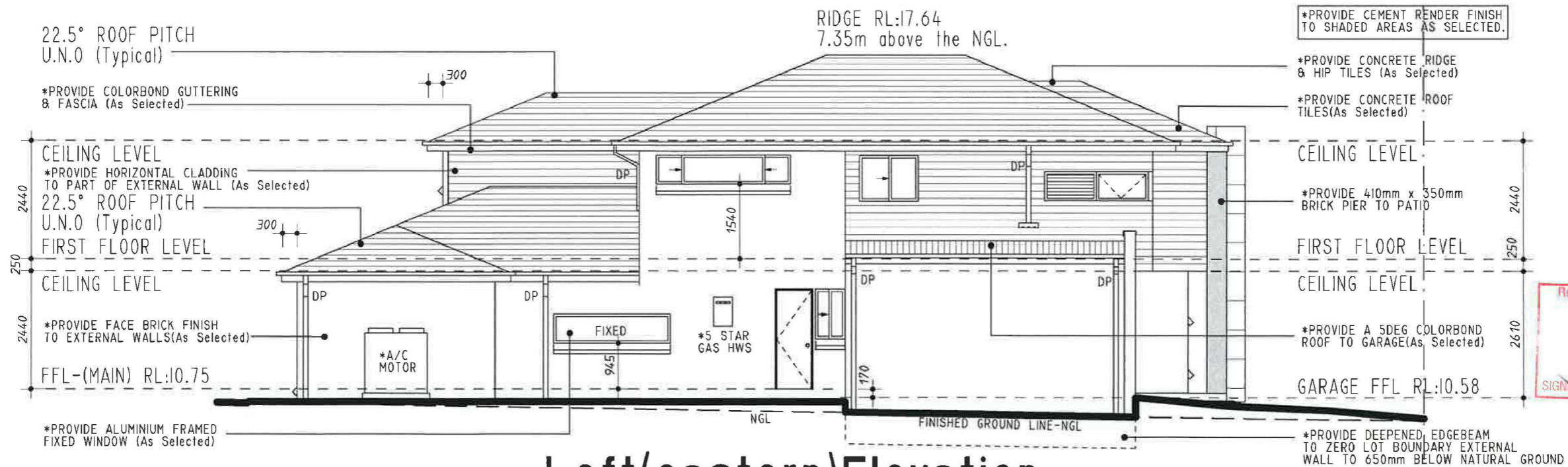
LOCATION:
**LOT:2123 DP:1168991
 Cabarita Way,
 Jordan Springs**

COUNCIL: Penrith		DESCRIPTION: Jamison 276 Classic Facade	
DATE DRAWN: 04.04.13	ISSUE: B	SHEET: 07 OF 12	REFERENCE: MG035-13
DESIGNED: FS	DRAWN: TB	SCALE: 1:100 UNO	

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Right(western)Elevation



Left(eastern)Elevation

Reviewed by: JORDAN SPRINGS LANDSCAPE SECTION
27 MAY 2013
SIGNED: [Signature]

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DESCRIPTION: **Jamison 276 Classic Facade**
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GENERAL DRAINAGE NOTES

1. DRAINER TO CONFIRM POSITION OF DOWNPIPES AS INDICATED ON FLOOR PLANS PER SPEC. PROVIDED.
2. STORMWATER PIPES TO BE 90MM DIA.(MIN.) AT 1 DEG. GRADE (MIN.).
3. STORMWATER PIPES MAY RUN VIA SUB-FLOOR TO ACHIEVE MINIMUM GRADE TO INVERT LEVEL.
4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D.
5. STORMWATER LINES TO BE DISCHARGED INTO EXISTING CITY DRAINAGE SYSTEM & CONNECTED TO COUNCIL REQUIREMENTS.
6. SHOULD HYDRAULIC ENGINEERS PLANS BE REQUIRED SUCH SHOULD TAKE PRECEDENCE OVER THESE PLANS.

*EXCAVATE A MAX 180mm TO FORM BENCHING PLATFORM Benching RL:385 Lower than the FFL.

*ANY RETAINING WALLS REQUIRED TO BE COMPLETED TO MANUFACTURERS SPECIFICATIONS AND/OR ENGINEERS DETAILS. LENGTH AND HEIGHTS TO BE CONFIRMED ON SITE (BY OWNER UNO).

*REAR YARD TO BE GRADED AWAY AND ANY RETAINING WALLS TO BE CONSTRUCTED.(BY OWNER UNO)

*ROOF PLUMBER TO LOCATE DOWNPIPES AS INDICATED ON FLOOR PLANS PER SPEC. PROVIDED.
 *STORMWATER PIPES TO BE 90MM DIA (MIN.) AT 1 DEG. GRADE (MIN.).

*BUILDER TO PROVIDE 1.8m SECURITY FENCE TO PERIMETER OF SITE AS PER COUNCIL REQUIREMENTS.

NOTE: ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO A 150mm +OR-RL: AND ARE SUBJECT TO CONFIRMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.

*PROVIDE DEEPEDED EDGE BEAM TO ZERO LOT BOUNDARY EXTERNAL WALL TO 650mm BELOW NATURAL GROUND

*PROVIDE CONTAMINATED FREE SOIL COMPACTED IN ACCORDANCE WITH ENGINEERS DETAILS AND SPEC.

*MAINTAIN NATURAL GROUND LINE. ALL FILL TO BE CONTAINED WITHIN BUILDING ENVELOPE VIA DEB.

*PROVIDE AN ADDITIONAL 4C/S DEB TOTAL 6C/S FILL TO BE CONTAINED WITHIN BUILDING FOOTPRINT.

*BUILDER TO PROVIDE SEDIMENT CONTROL FENCE AS PER COUNCIL REQUIREMENTS.

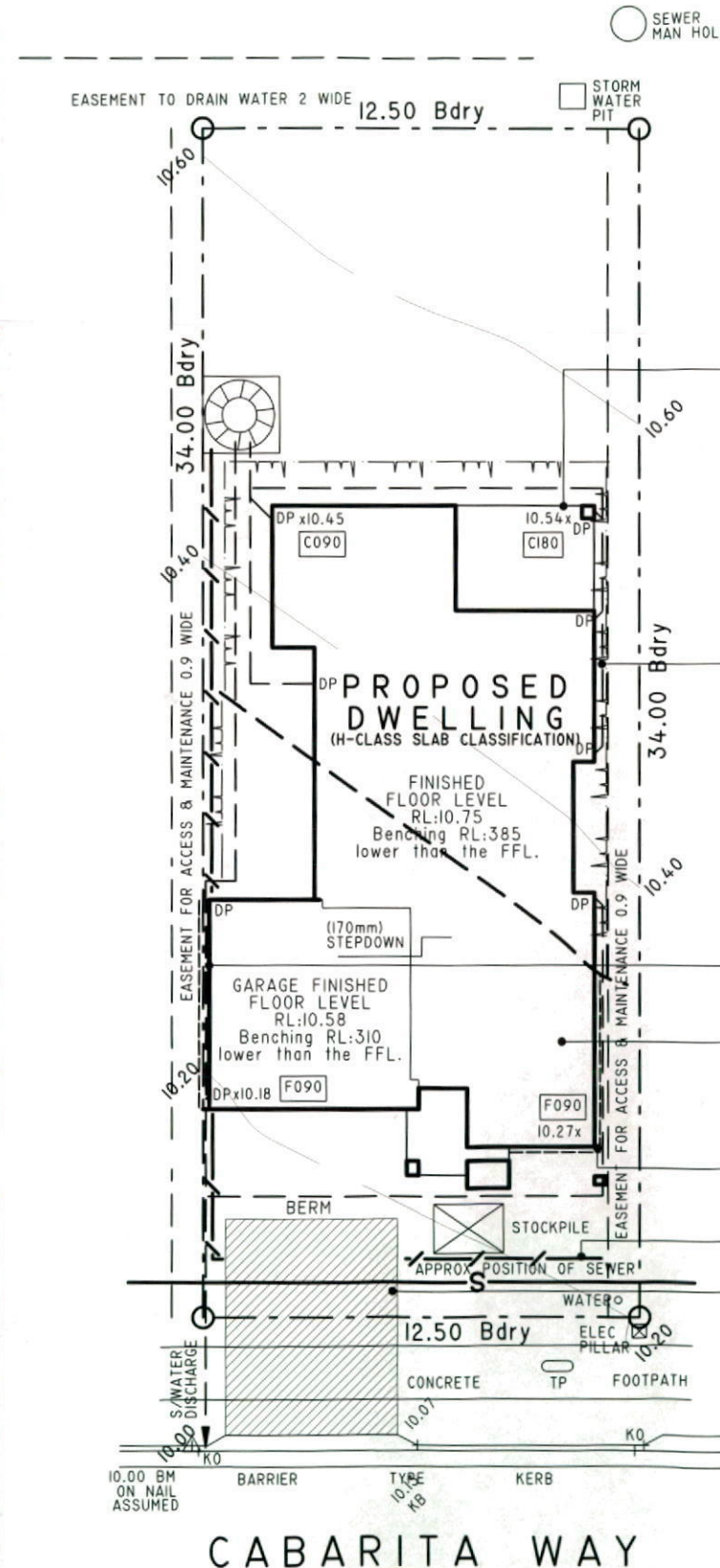
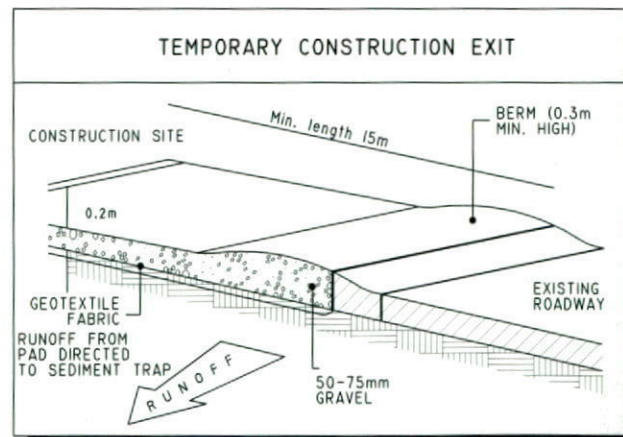
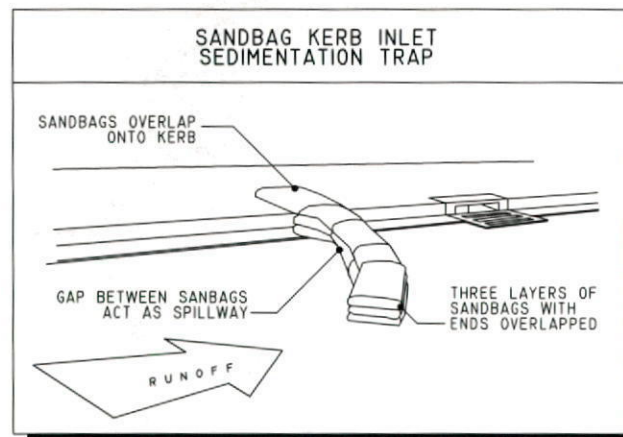
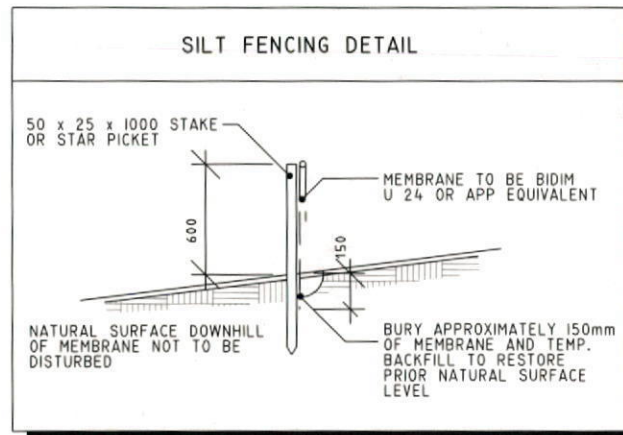
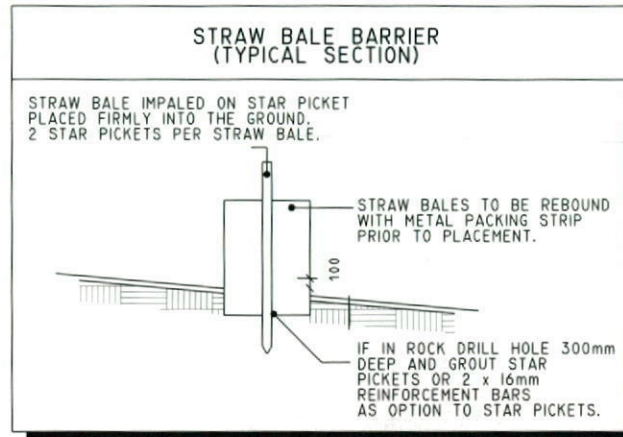
*BUILDER TO PROVIDE TEMPORARY STABILISE VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)

STORMWATER NOTE

*STORMWATER DRAINAGE TO THE STREET IN ACCORDANCE WITH COUNCIL'S STORMWATER REQUIREMENTS INVERT LEVELS TO BE CONFIRMED.

Benching Plan SCALE 1:200

*ALSO INCORPORATES CONCEPTUAL STORMWATER DRAINAGE PLAN AND ENVIRONMENTAL SITE CONSTRUCTION MANAGEMENT PLAN



CABARITA WAY

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REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A-2	PRELIM PLANS-PRIOR TO CONTRACTS	TB	01.05.13
B	DA APPROVAL	TB	21.05.13

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PROPOSED:
New 2-Storey Dwelling

CLIENT:
Mr Wijeskera

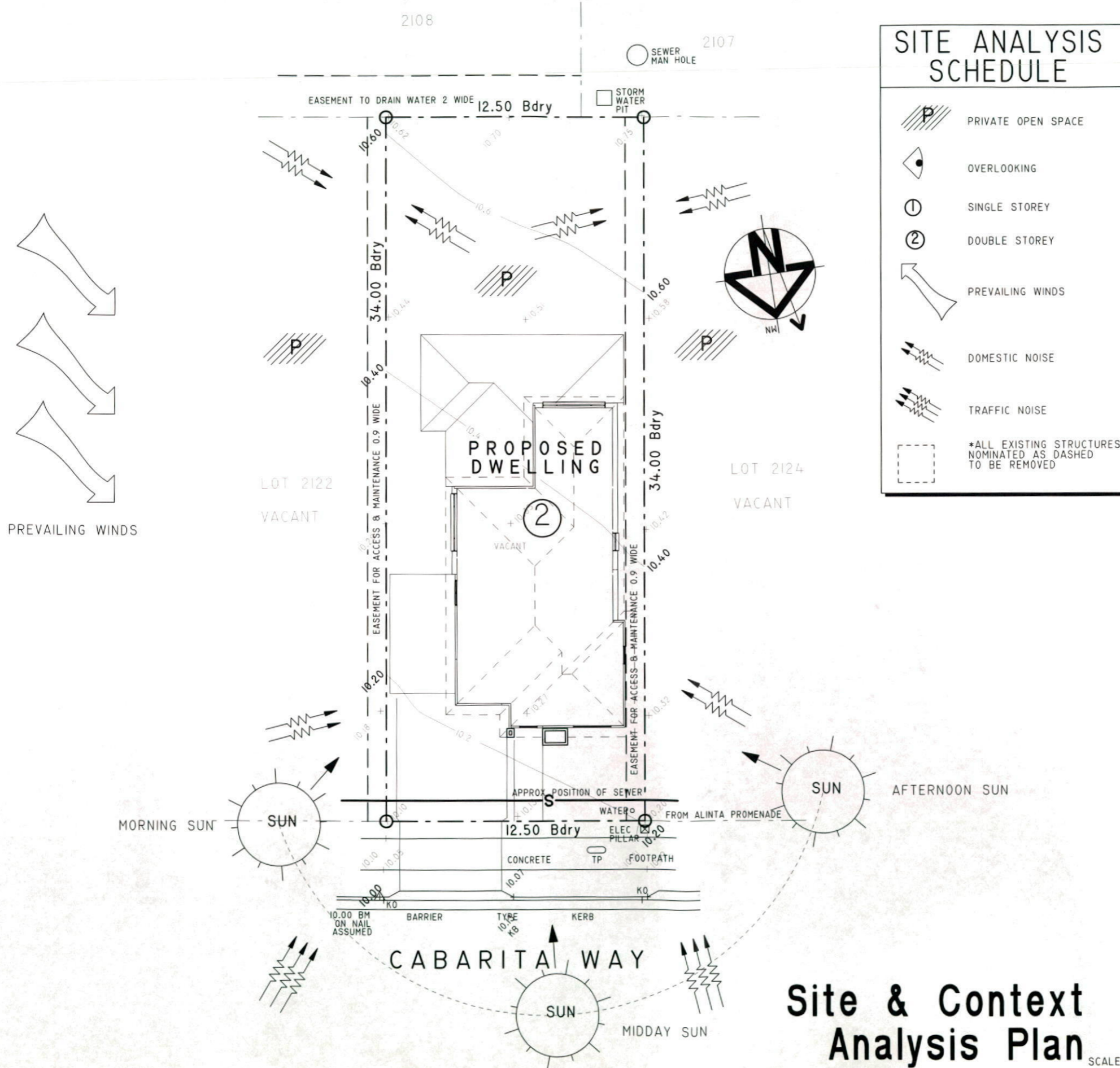
LOCATION:
**LOT:2123 DP:1168991
 Cabarita Way,
 Jordan Springs**

COUNCIL:
Penrith DESCRIPTION:
**Jamison 276
 Classic Facade**

DATE DRAWN: 04.04.13	ISSUE: B	SHEET: 03 OF 12	REFERENCE: MG035-13
DESIGNED: FS	DRAWN: TB	SCALE: 1:100 UNO	

SITE ANALYSIS SCHEDULE

- PRIVATE OPEN SPACE
- OVERLOOKING
- SINGLE STOREY
- DOUBLE STOREY
- PREVAILING WINDS
- DOMESTIC NOISE
- TRAFFIC NOISE
- *ALL EXISTING STRUCTURES NOMINATED AS DASHED TO BE REMOVED



Site & Context Analysis Plan

SCALE 1:200

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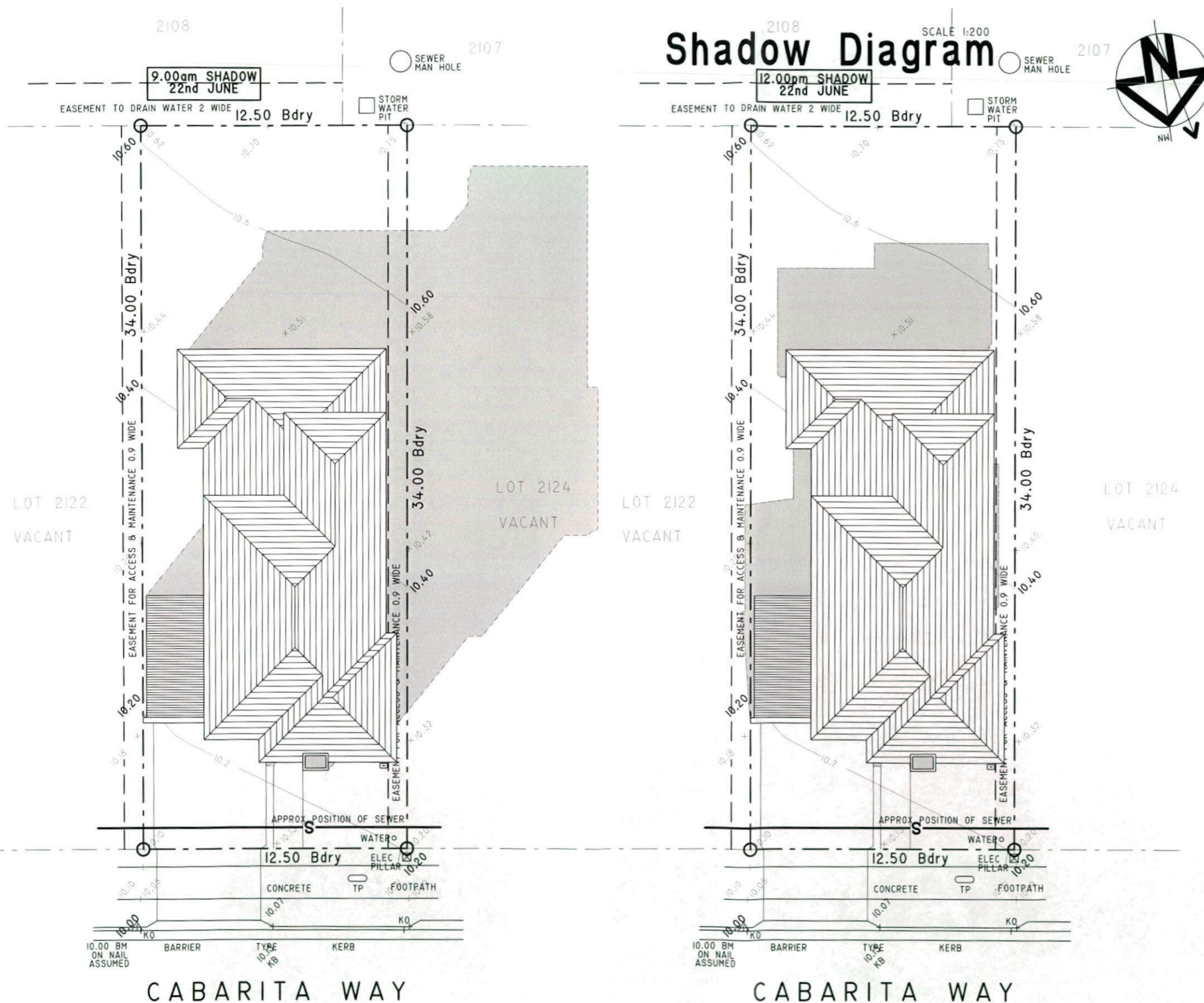
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Shadow Diagram



CABARITA WAY

CABARITA WAY

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Shadow Diagram

2108

SCALE 1:200

2107

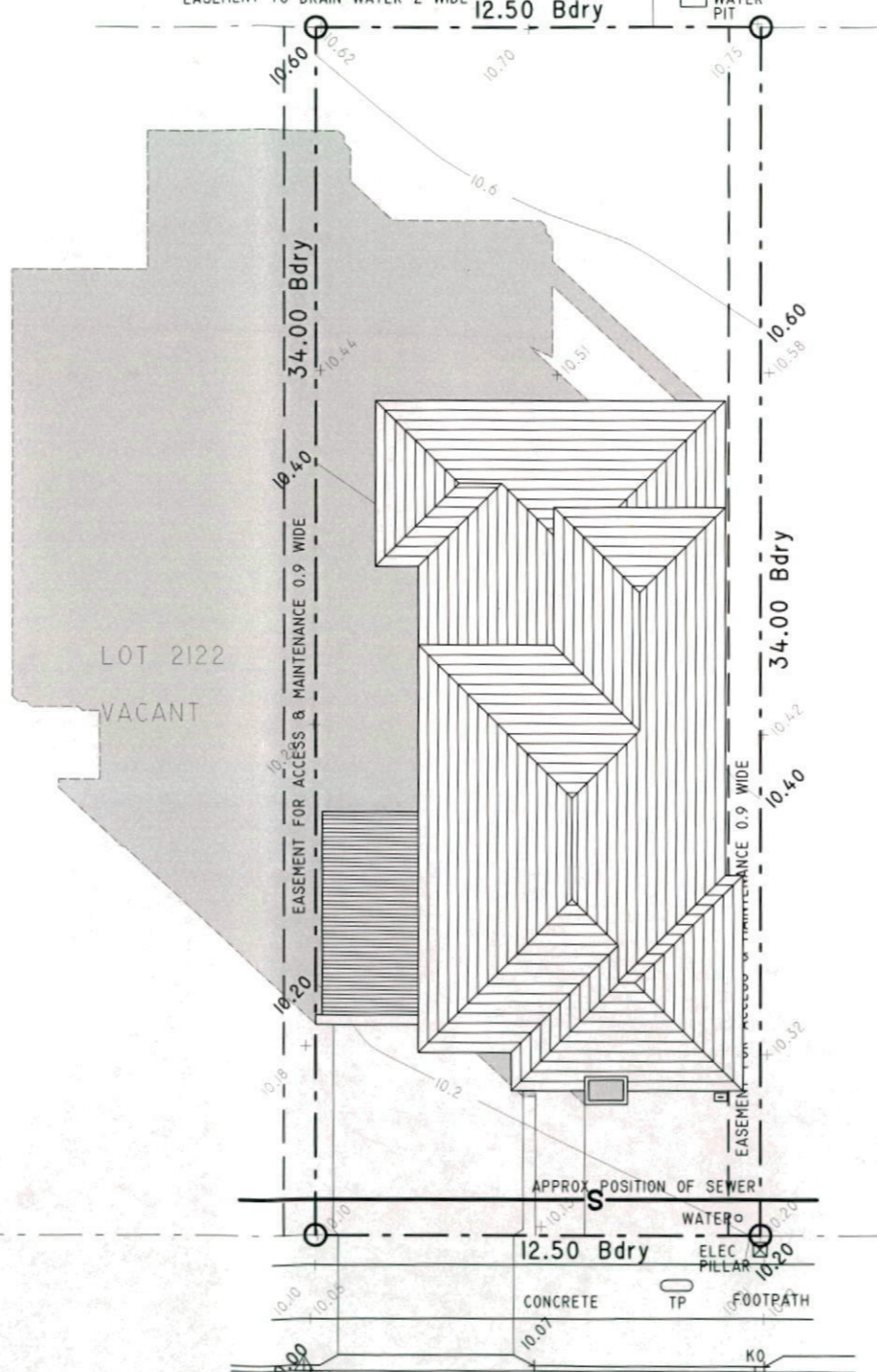
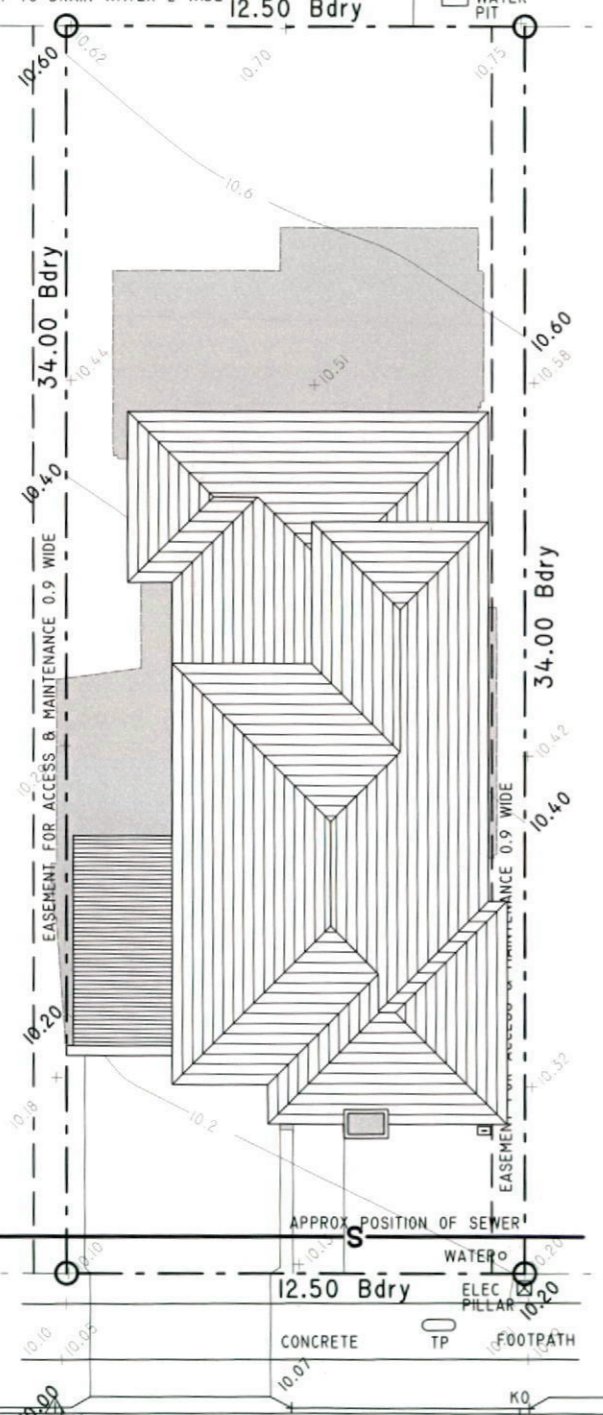


12.00pm SHADOW
22nd JUNE

3.00pm SHADOW
22nd JUNE

EASEMENT TO DRAIN WATER 2 WIDE

EASEMENT TO DRAIN WATER 2 WIDE



CABARITA WAY

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SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES
 *THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR @ 4.5 BUT * 6 L/MIN IN ALL SHOWERS IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM RATING OF 5 STAR IN THE KITCHEN IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL BASIN TAPS WITH A MINIMUM RATING OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT.
ALTERNATIVE WATER
 *THE APPLICANT MUST INSTALL A RAINWATER TANK WITH A CAPACITY OF AT LEAST 5000 LITRES ON THE SITE.
 THE RAINWATER TANK MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
 *THE APPLICANT MUST CONSTRUCT THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 60 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT (including the area of the roof which drains to any stormwater tank or dam).
 *THE APPLICANT MUST CONNECT THE RAINWATER TANK TO -
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTE: NSW health does not recommend that rainwater be used for human consumption in areas with portable water supply).

THERMAL COMFORT COMMITMENTS

FLOOR, WALLS AND CEILING/ROOF
 *THE APPLICANT MUST CONSTRUCT THE FLOORS, WALLS, AND CEILING/ROOF OF THE DWELLING IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE CONSTRUCTION ADDITIONAL ISOLATION REQUIRED (R-VALUE) OTHER SPECIFICATION
 *FLOOR - CONCRETE SLAB ON GROUND INL
 EXTERNAL WALL - BRICK VENEER L60 (OR 220 INCLUDING CONSTRUCTION) INTERNAL WALL SHARED WITH GARAGE - PLASTERBOARD INL
 CEILING AND ROOF - FLAT CEILING / FILTERED ROOF CEILING 3 (LPL) ROOF FOL/SHEATHS (UNVENTILATED), MEDIUM SOLAR ABSORPTANCE (0.475-0.70)
WINDOWS, GLAZED DOORS AND SKYLIGHTS
 *THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES DESCRIBED IN THE BASIC TABLE IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE BASIC TABLE. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SHOWN FOR EACH WINDOW AND GLAZED DOOR.
 *THE DWELLING MAY HAVE 1 SKYLIGHT (0.7 SQUARE METRES) AND UP TO 2 WINDOWS/GLAZED DOORS (0.7 SQUARE METRES) WHICH ARE NOT LISTED IN THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR EXCEPT WHERE THE GLASS IS SINGLE CLEAR OR SINGLE TONED, EACH WINDOW AND GLAZED DOOR MUST HAVE A U-VALUE NOT GREATER THAN THAT LISTED AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) 0.75-1.0% OF THAT LISTED. TOTAL SYSTEM U-VALUES AND SHGC MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL PENETRATION RATING COUNCIL (NPRC) CONDITIONS.
 *THE LEADING EDGE OF EACH BALCONY, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500 MILLIMETRES ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR, EXCEPT THAT A PROJECTION GREATER THAN 500MM AND UP TO 1500 MM ABOVE THE HEAD MUST BE TWICE THE VALUE.
 *PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.55 UNLESS THEY HAVE ADJUSTABLE SHADING. PERGOLAS MUST HAVE FIXED BATTERS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW, THE SPACING BETWEEN BATTERS MUST NOT BE MORE THAN 50 MM.
SPECIFICATIONS FOR ALL WINDOWS/ASD

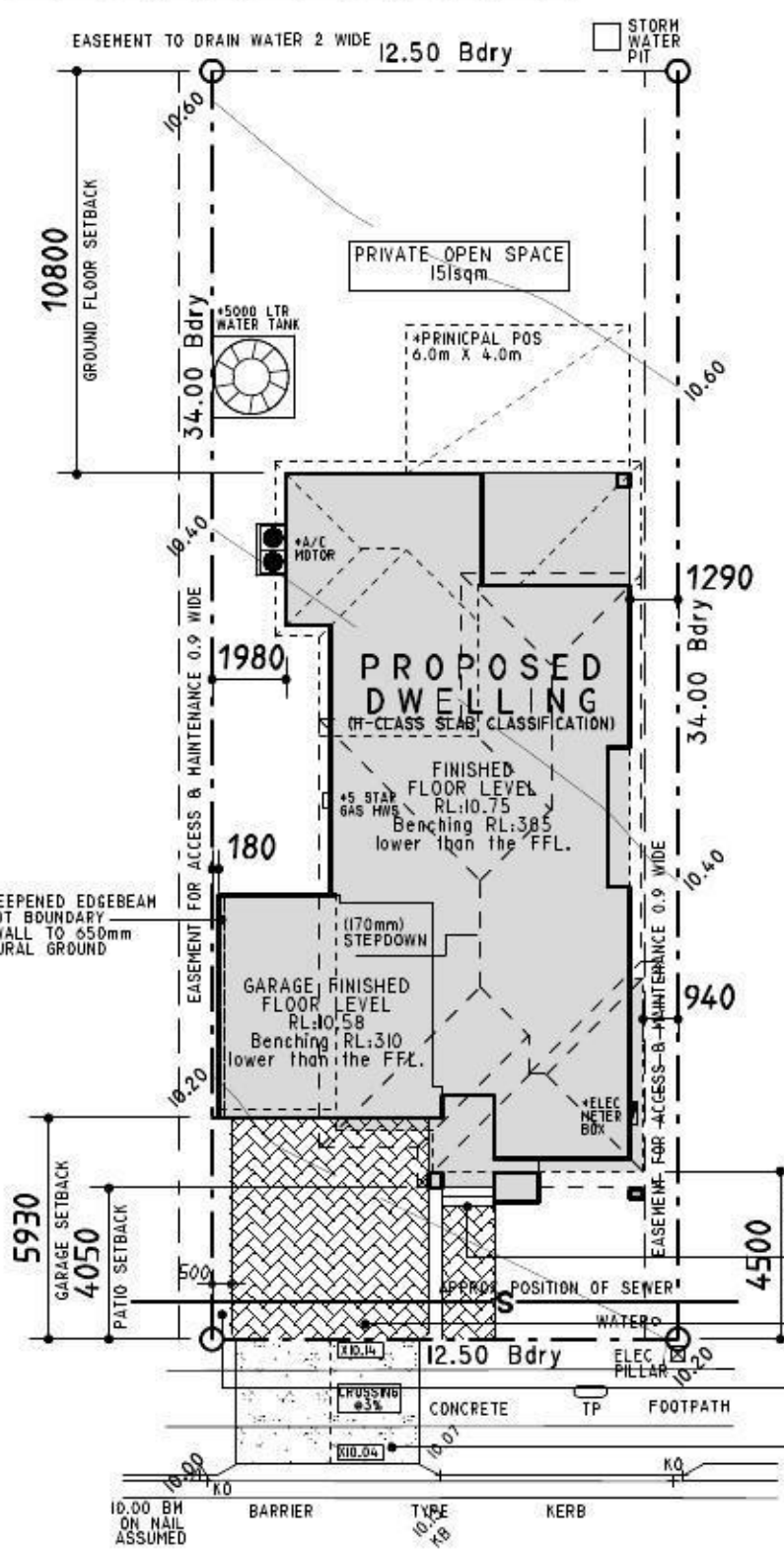
WINDOW/ GLAZED DOOR NO.	ORIENTATION	AREA	TYPE	SHADING	SH/SHADOWING
*FAMILY & MASTER	S	6.22sqm	IMPROVED ALUMINIUM SINGLE CLEAR (OR U-VALUE<0.4, SHGC<0.75)	500/600mm PERGOLA/BALCONY/500mm	NOT D/SHADOWING
*FAMILY	W	4.32sqm	AS ABOVE	200/600mm	AS ABOVE
*BATH	S	1.82sqm	AS ABOVE	200/600mm	AS ABOVE
*BATH	W	5.34sqm	AS ABOVE	NONE	AS ABOVE
*STUDY WORK & POWER	W	2.9sqm	AS ABOVE	450-600mm	AS ABOVE
*BATH	W	0.85sqm	AS ABOVE	450-600mm	AS ABOVE
*HALL	W	2.7sqm	AS ABOVE	900-800mm	AS ABOVE
*KITCHEN	E	1.44sqm	AS ABOVE	NONE	AS ABOVE
*STAIRS	E	1.2sqm	AS ABOVE	450-600mm	AS ABOVE
*BENCH	W	0.25sqm	AS ABOVE	450mm	AS ABOVE
*STAIRS	W	2.4sqm	IMPROVED ALUMINIUM SINGLE PLYLITE LOW-E (OR U-VALUE<0.4, SHGC<0.75)	NONE	AS ABOVE
*BED 4 & BED 2	W	3.87sqm	IMPROVED ALUMINIUM SINGLE CLEAR (OR U-VALUE<0.4, SHGC<0.75)	450-600mm	AS ABOVE
*BED 2	W	1.35sqm	AS ABOVE	NONE	AS ABOVE
*BED 2	E	1.35sqm	AS ABOVE	NONE	AS ABOVE
*BED 3	E	1.6sqm	AS ABOVE	450mm	AS ABOVE

ENERGY COMMITMENTS

HOT WATER
 *THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT OF A SYSTEM WITH A HIGHER ENERGY RATING GAS INSTANTANEOUS STAR
COOLING SYSTEM/HEATING SYSTEM
 *THE APPLICANT MUST INSTALL THE FOLLOWING COOLING/HEATING SYSTEM IN THE DEVELOPMENT OF A SYSTEM WITH A HIGHER ENERGY RATING LIVING AREAS-PHASE AIRCONDITIONING ENERGY RATING: EER 2.5-3.0. BEDROOMS-3-PHASE AIRCONDITIONING ENERGY RATING: EER 2.5-3.0. THE COOLING/HEATING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS.
VENTILATION
 *THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEM IN THE DEVELOPMENT: 1. BATHROOM: MECHANICAL EXHAUST DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF. 2. KITCHEN: MECHANICAL EXHAUST DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF. 3. NATURAL VENTILATION OR 10 L/S; OPERATION CONTROL: N/A.
ARTIFICIAL LIGHTING
 *THE APPLICANT MUST ENSURE THAT THE PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OR LED TO THE FOLLOWING ROOMS:
 -AT LEAST THE 4 BEDROOMS/SLEEPING
 -AT LEAST 4 OF THE LIVING/DINING ROOMS
NATURAL LIGHTING
 *THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN & 3 BATHROOMS/TOILETS IN THE DEVELOPMENT FOR NATURAL LIGHTING.
OTHER
 *THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.
 *THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS WELL VENTILATED, AS DEFINED IN THE BASIC DEFINITIONS.
 *THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.

***BUSHFIRE CLASSIFICATION**

*CONSTRUCTION OF THIS HOME IS TO COMPLY WITH BUSH FIRE ATTACK LEVEL(BAL)2.5 IN ACCORDANCE WITH AS3959 CONSTRUCTION OF BUILDINGS IN BUSH FIRE PRONE AREAS



DEVELOPMENT CALCULATIONS

LOT:2123 CABARITA WAY.
 JORDAN SPRINGS LOT AREA: 425sqm

ITEMISED FLOOR AREA	Area:
GROUND FLR.:	116.47sqm
FIRST FLR.:	108.00sqm
GARAGE:	34.00sqm
PATIO:	5.52sqm
ALFRESCO:	11.88sqm
TOTAL FLOOR AREA:	275.87sqm
grnd flr.:	116.47sqm
first flr.:	108.00sqm
TOTAL NETT LIVING AREA:	224.47sqm
FLOOR SPACE RATIO:	52.81%
TOTAL FOOTPRINT AREA:	167.87sqm
FOOTPRINT SITE RATIO:	39.49%
TOTAL DRIVEWAY AREA+PATH:	36.44sqm
TOTAL FOOTPRINT+DRIVEWAY+PATH:	204.31sqm
SITE COVER RATIO:	48.07%
TOTAL LANDSCAPED AREA:	160.50sqm
RATIO:	37.76%
TOTAL ROOF AREA:	188.72sqm

SURVEYORS NOTE:

*DATUM ASSUMED UNLESS NOTED OTHERWISE
 *LOCATION OF FENCES ARE APPROXIMATE ONLY
 *ONLY VISIBLE SERVICES HAVE BEEN LOCATED ACCURATELY
 *NO U/GROUND SERVICES SEARCH HAS BEEN CARRIED OUT
 *BOUNDARY DIMENSIONS AND AREA ARE BY TITLE ONLY.

IMPORTANT NOTE:

*TREES WITHIN BUILDING AREA & 3.0m SURROUNDING TO BE FELLED & REMOVED.

***LANDSCAPING NOTE**

*ALL DRIVEWAYS, PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED AS NOTED WITHIN QUOTATION/TENDER.
 *ALL ITEMS NOT REFERRED TO WITHIN QUOTATION/TENDER TO BE COMPLETED BY OWNER.
 *ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND/OR COUNCIL GUIDELINES TO COUNCIL SATISFACTION.
 *ALL EXTERNAL FINISHED GROUND LEVELS & EXTERNAL STEPS ARE ALL SUBJECT TO A COMPREHENSIVE LANDSCAPE PLAN PREPARED BY A LANDSCAPE ARCHITECT/CONSULTANT.
 REFER TO LANDSCAPE CONSULTANTS PLANS FOR LANDSCAPING DETAILS

*ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.

*ALL GARDEN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY BRICKS, BLOCKS OR COLOURED CONCRETE -NO TIMBER EDGING IS PERMITTED.

*APPROX 3 STEPS REQUIRED, STEPS REQUIRED SUBJECT TO LANDSCAPE CONSULTANTS PLANS

*PROVIDE NON SLIP CONCRETE FINISH TO DRIVEWAY.

*PROVIDE A 500mm LANDSCAPING STRIP ADJACENT TO DRIVEWAY AS REQUIRED.

*PROVIDE APPROX 1950M OF CONCRETE FINISH TO VEHICLE CROSSING (Non Slip Finish) IN ACCORDANCE WITH COUNCIL REQUIREMENTS

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MG035-13

GENERAL DRAINAGE NOTES

1. DRAINER TO CONFIRM POSITION OF DOWNPIPES AS INDICATED ON FLOOR PLANS PER SPEC. PROVIDED.
2. STORMWATER PIPES TO BE 90MM DIA.(MIN.) AT 1 DEG. GRADE (MIN.).
3. STORMWATER PIPES MAY RUN VIA SUB-FLOOR TO ACHIEVE MINIMUM GRADE TO INVERT LEVEL.
4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D.
5. STORMWATER LINES TO BE DISCHARGED INTO EXISTING CITY DRAINAGE SYSTEM & CONNECTED TO COUNCIL REQUIREMENTS.
6. SHOULD HYDRAULIC ENGINEERS PLANS BE REQUIRED SUCH SHOULD TAKE PRECEDENCE OVER THESE PLANS.

*EXCAVATE A MAX 180mm TO FORM BENCHING PLATFORM
 Benchng RL:385
 Lower than the FFL.

*ANY RETAINING WALLS REQUIRED TO BE COMPLETED TO MANUFACTURERS SPECIFICATIONS AND/OR ENGINEERS DETAILS. LENGTH AND HEIGHTS TO BE CONFIRMED ON SITE (BY OWNER UNO).

*REAR YARD TO BE GRADED AWAY AND ANY RETAINING WALLS TO BE CONSTRUCTED.(BY OWNER UNO)

*ROOF PLUMBER TO LOCATE DOWNPIPES AS INDICATED ON FLOOR PLANS PER SPEC. PROVIDED.
 *STORMWATER PIPES TO BE 90MM DIA (MIN.) AT 1 DEG. GRADE (MIN.).

*BUILDER TO PROVIDE 1.0m SECURITY FENCE TO PERIMETER OF SITE AS PER COUNCIL REQUIREMENTS.

NOTE: ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO A 150mm +/-OR RL, AND ARE SUBJECT TO CONFIRMATION WITH STEPDOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.

*PROVIDE DEEPEENED EDGEBEAM TO ZERO LOT BOUNDARY EXTERNAL WALL TO 650mm BELOW NATURAL GROUND

*PROVIDE CONTAMINATED FREE SOIL COMPACTED IN ACCORDANCE WITH ENGINEERS DETAILS AND SPEC.

*MAINTAIN NATURAL GROUND LINE. ALL FILL TO BE CONTAINED WITHIN BUILDING ENVELOPE VIA DEB.

*PROVIDE AN ADDITIONAL AC/B DEB TOTAL 6C/B FILL TO BE CONTAINED WITHIN BUILDING FOOTPRINT.

*BUILDER TO PROVIDE SEDIMENT CONTROL FENCE AS PER COUNCIL REQUIREMENTS.

*BUILDER TO PROVIDE TEMPORARY STABILISE VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)

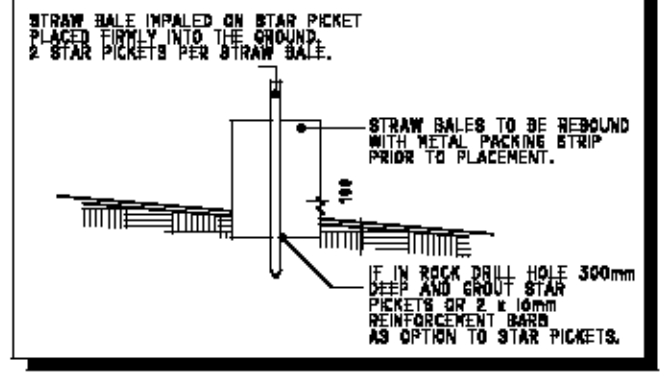
STORMWATER NOTE

*STORMWATER DRAINAGE TO THE STREET IN ACCORDANCE WITH COUNCIL'S STORMWATER REQUIREMENTS INVERT LEVELS TO BE CONFIRMED.

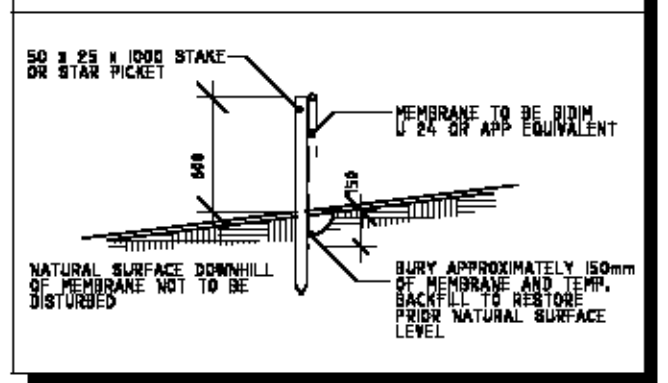
Benching Plan SCALE 1:200

*ALSO INCORPORATES CONCEPTUAL STORMWATER DRAINAGE PLAN AND ENVIRONMENTAL SITE CONSTRUCTION MANAGEMENT PLAN

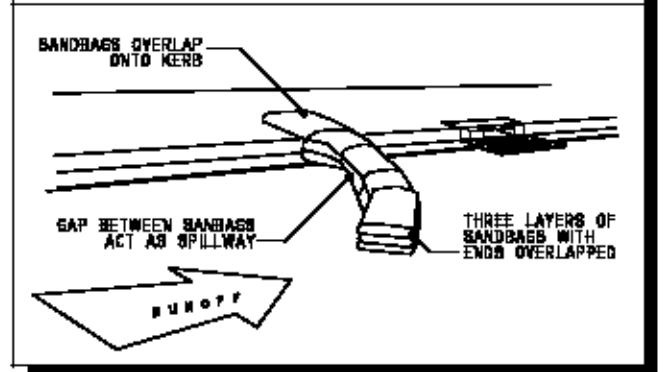
STRAW BALE BARRIER (TYPICAL SECTION)



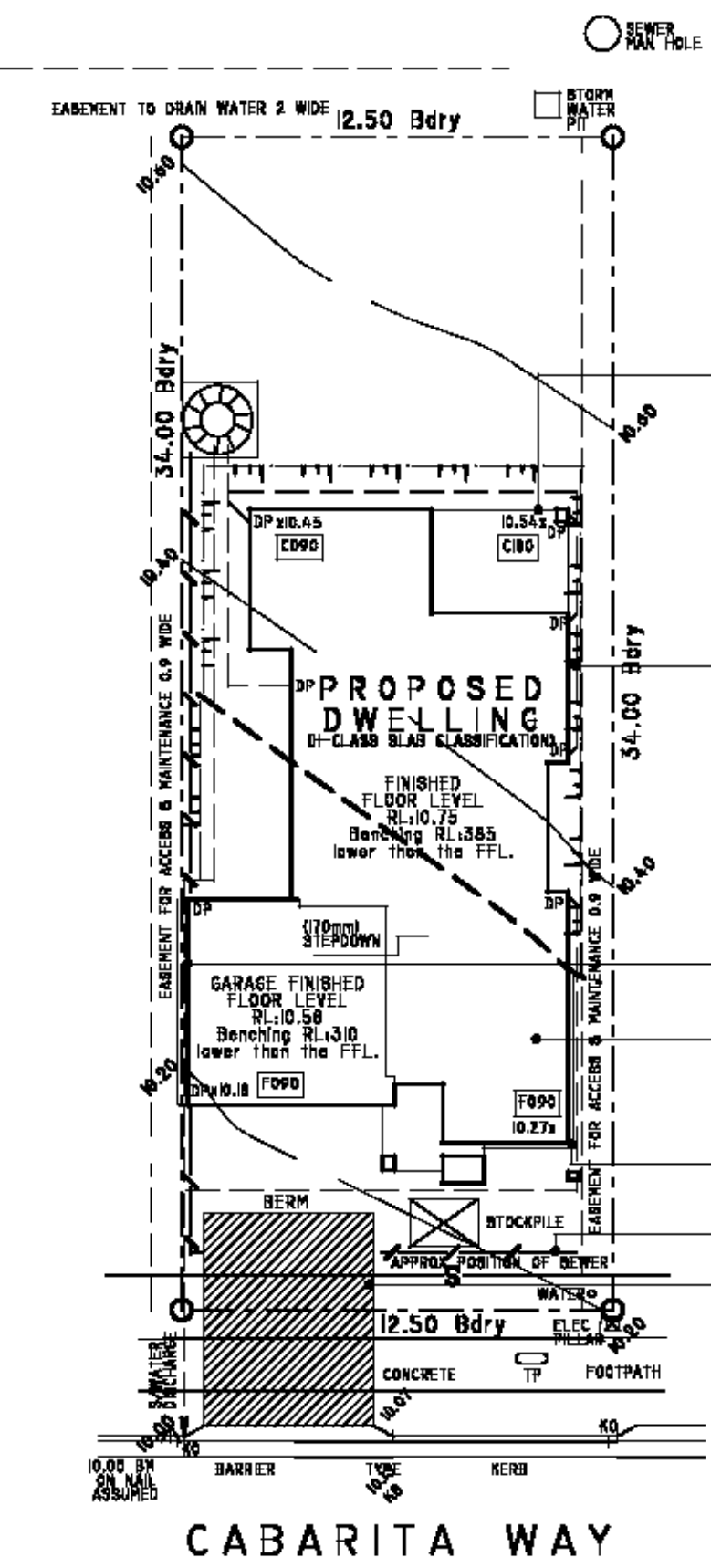
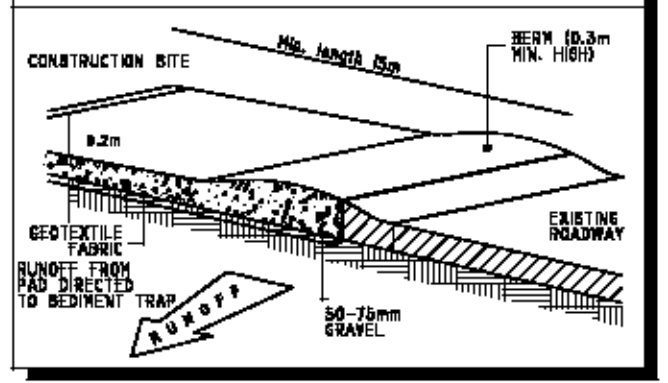
SILT FENCING DETAIL



SANDBAG KERB INLET SEDIMENTATION TRAP



TEMPORARY CONSTRUCTION EXIT



CABARITA WAY

REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A-2	PRELIM PLANS-PRIOR TO CONTRACTS	TB	01.05.13
B-1	DA APPROVAL	TB	28.05.13

GENERAL BUILDING NOTES

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Ph: 97565010
 Fax: 97252022
 Building Designers & Development Planners
 www.marrettdesign.com.au
 admin@marrettdesign.com.au

PROPOSED:
New 2-Storey Dwelling

CLIENT:
Mr Wijeskera

LOCATION:
**LOT:2123 DP:1168991
 Cabarita Way,
 Jordan Springs**

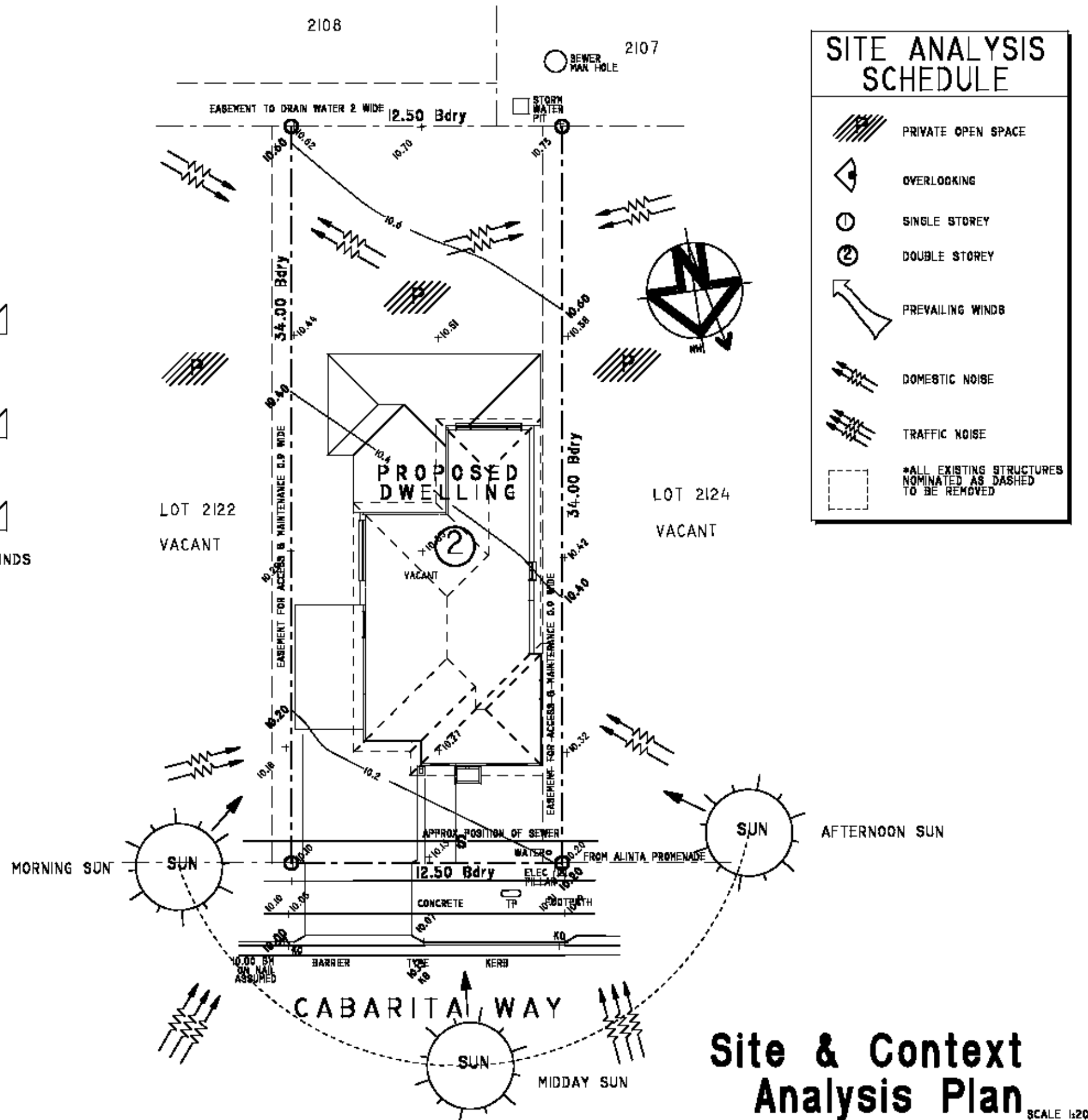
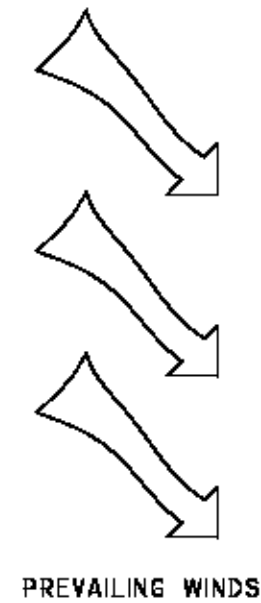
COUNCIL:
Perinth

DESCRIPTION:
**Jamison 276
 Classic Facade**

DATE DRAWN: 04.04.13	ISSUE: B-1	SHEET: 03 OF 12	REFERENCE: MG035-13
DESIGNED: FS	DRAWN: TB	SCALE: 1:100 UNO	

SITE ANALYSIS SCHEDULE

- PRIVATE OPEN SPACE
- OVERLOOKING
- SINGLE STOREY
- DOUBLE STOREY
- PREVAILING WINDS
- DOMESTIC NOISE
- TRAFFIC NOISE
- *ALL EXISTING STRUCTURES NOMINATED AS DASHED TO BE REMOVED



Site & Context Analysis Plan SCALE 1:200

****slablayout plan to be read in conjunction with architectural plans!!!!!!**

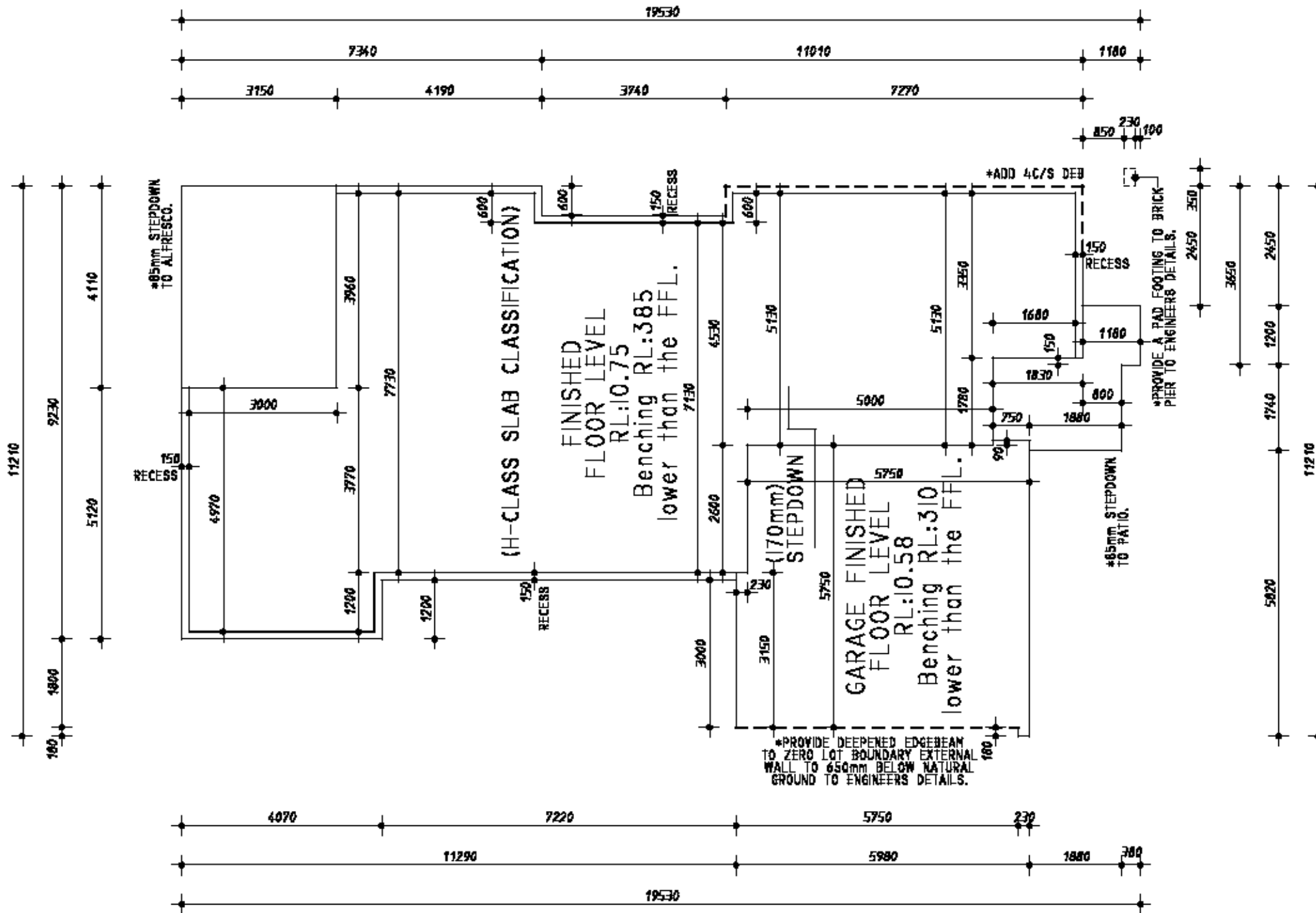
IMPORTANT SLAB SETOUT NOTES!!!!

- THE 'SLAB LAYOUT PLAN' IS TO BE READ AND USED AS AN ADDITIONAL GUIDE FOR THE SOLE PURPOSE OF 'SETTING OUT' THE SLAB.
- THE SLAB LAYOUT PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS AT ALL TIMES.
- QUERIES OR DISCREPANCIES ARE TO BE RESOLVED PRIOR TO THE COMMENCEMENT OF ANY PIERING AND ANY FORMWORK.

- REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL DETAILS & CONCRETE SPECIFICATIONS & TO DETERMINE THE LOCATION OF THICKENING BEAMS AND OTHER STRUCTURAL ELEMENTS.
- REFER TO ENGINEER'S DRAWINGS FOR PLUMBING & OTHER SERVICE PENETRATION DETAILS.
- IF IN DOUBT, CONTACT THE BUILDING DESIGNER PRIOR TO COMMENCEMENT OF WORKS.

• NOTE: ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEPDOWN NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.

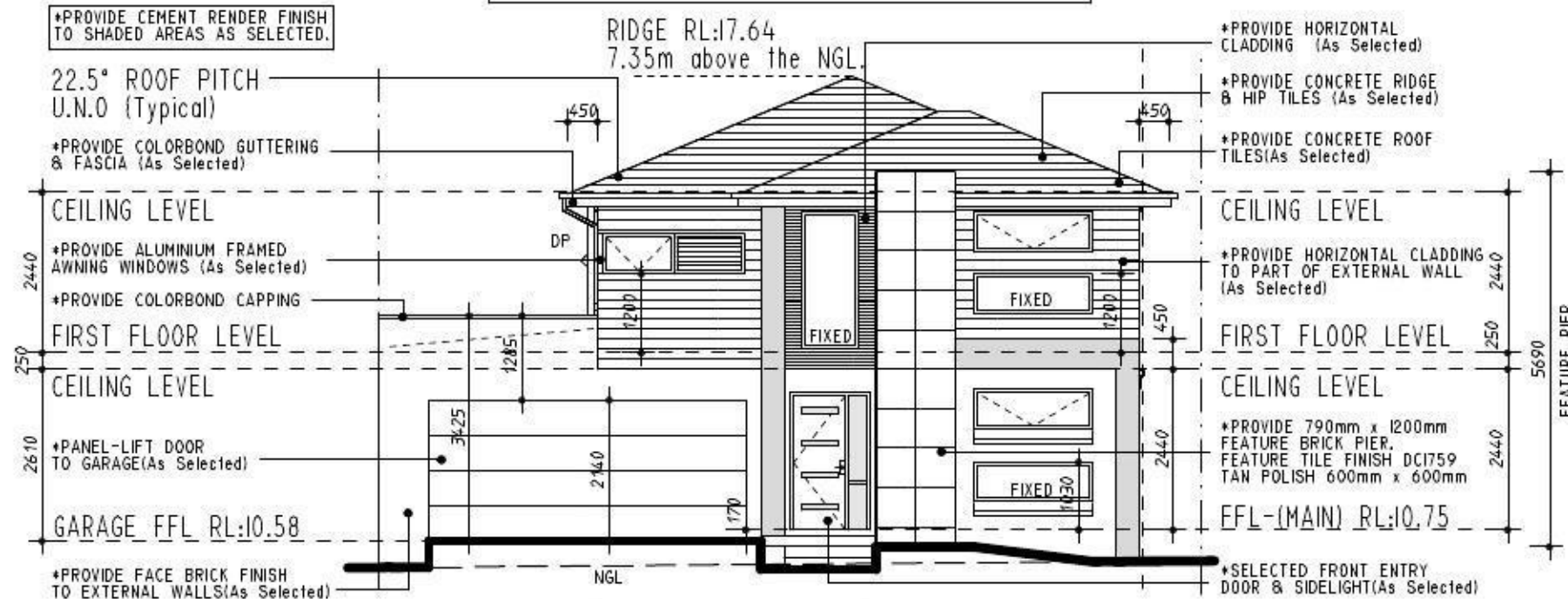
TOTAL SLAB AREA: 167.87SQM



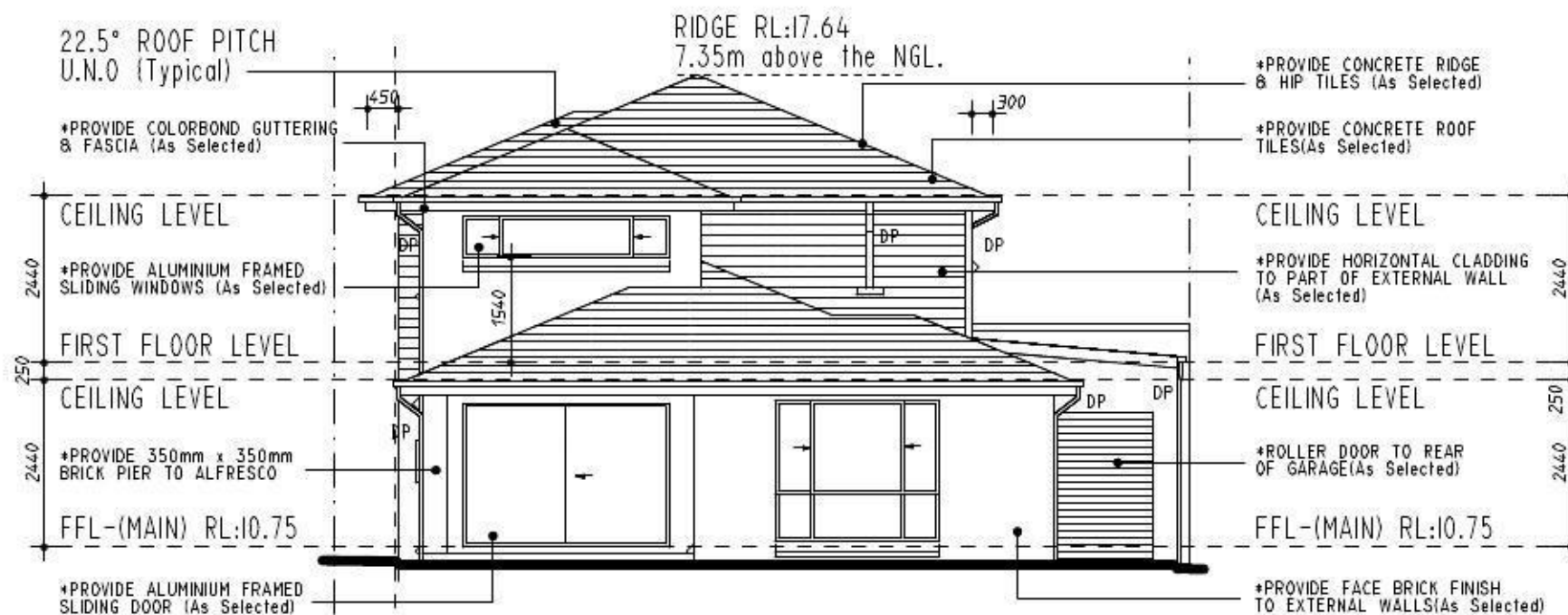
Slab Layout Plan

REVISION SCHEDULE				DESIGNED:	PROPOSED:	DESCRIPTION:
ISSUE	DESCRIPTION	BY	DATE	FS	New 2-Storey Dwelling	G.J. Gardner. "Get the Facts Upfront" HOMES Sydney West www.gjgardnerhomes.com Ph:4732 4600 Fax:4732 4030
A-2	PRELIM PLANS-PRIOR TO CONTRACTS	TB	01.05.13	DRAWN:	CLIENT:	
B-1	DA APPROVAL	TB	28.05.13	DATE DRAWN:	LOCATION:	
				SCALE:	LOT:2123 DP:1168991	Lifestyle Designers marretta design Ph:97585010 Fax:97252022 Building Designers & Development Planners www.marrettdesign.com.au admin@marrettdesign.com.au
				1:100 UNO	Cabarita Way, Jordan Springs	
						COUNCIL: Penrith
						SHEET 04 OF 12 MG035-13

*ALL FIRST FLOOR BEDROOM WINDOWS WITH A SILL HEIGHT LESS THAN 1700mm FROM THE FFL REQUIRE THE OPENINGS TO BE RESTRICTED TO A MAX OF 125mm IN ACCORDANCE WITH THE BCA.



Front(northern)Elevation



Rear(southern)Elevation

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CLIENT:
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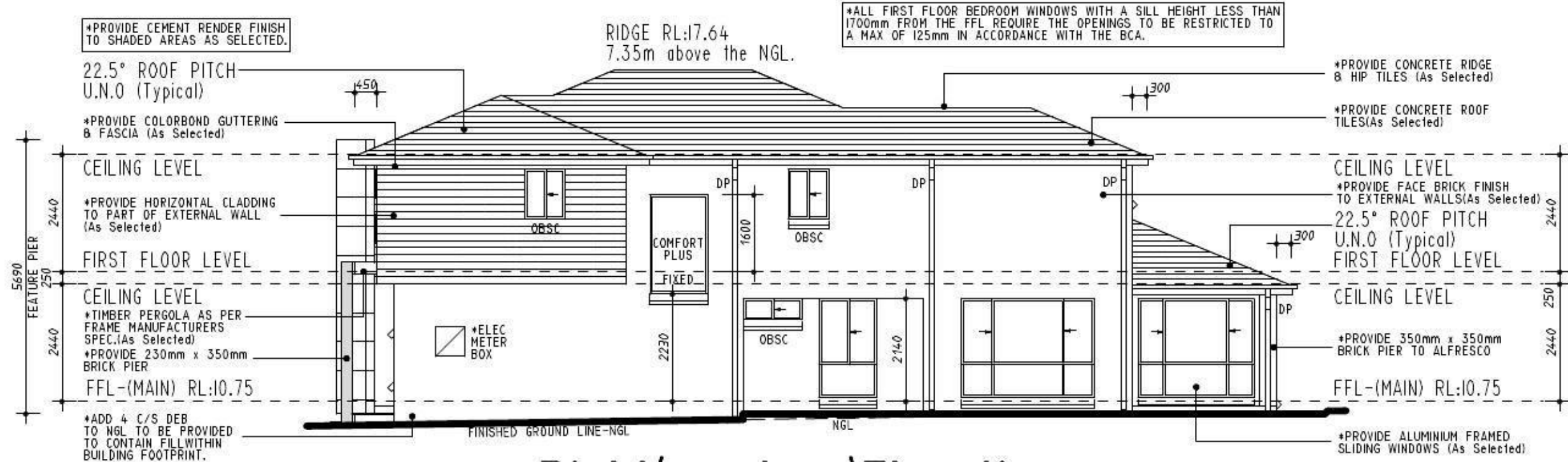
LOCATION:
**LOT:2123 DP:1168991
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Jordan Springs**

COUNCIL:
Penrith

DESCRIPTION:
**Jamison 275
Classic Facade**

DATE DRAWN: 04.04.13
ISSUE: **B-1**
SHEET: 07 OF 12
DESIGNED: FS
DRAWN: TB
SCALE: 1:100 UNO

REFERENCE:
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Right(western)Elevation



Left(eastern)Elevation

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LOCATION:	LOT:2123 DP:1168991 Cabarita Way, Jordan Springs

DESCRIPTION:	Jamison 275 Classic Facade
COUNCIL:	Penrith

G.J. Gardner.
Lifestyle Designers
marretta design

HOMES
Sydney West

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admin@marrettadesign.com.au

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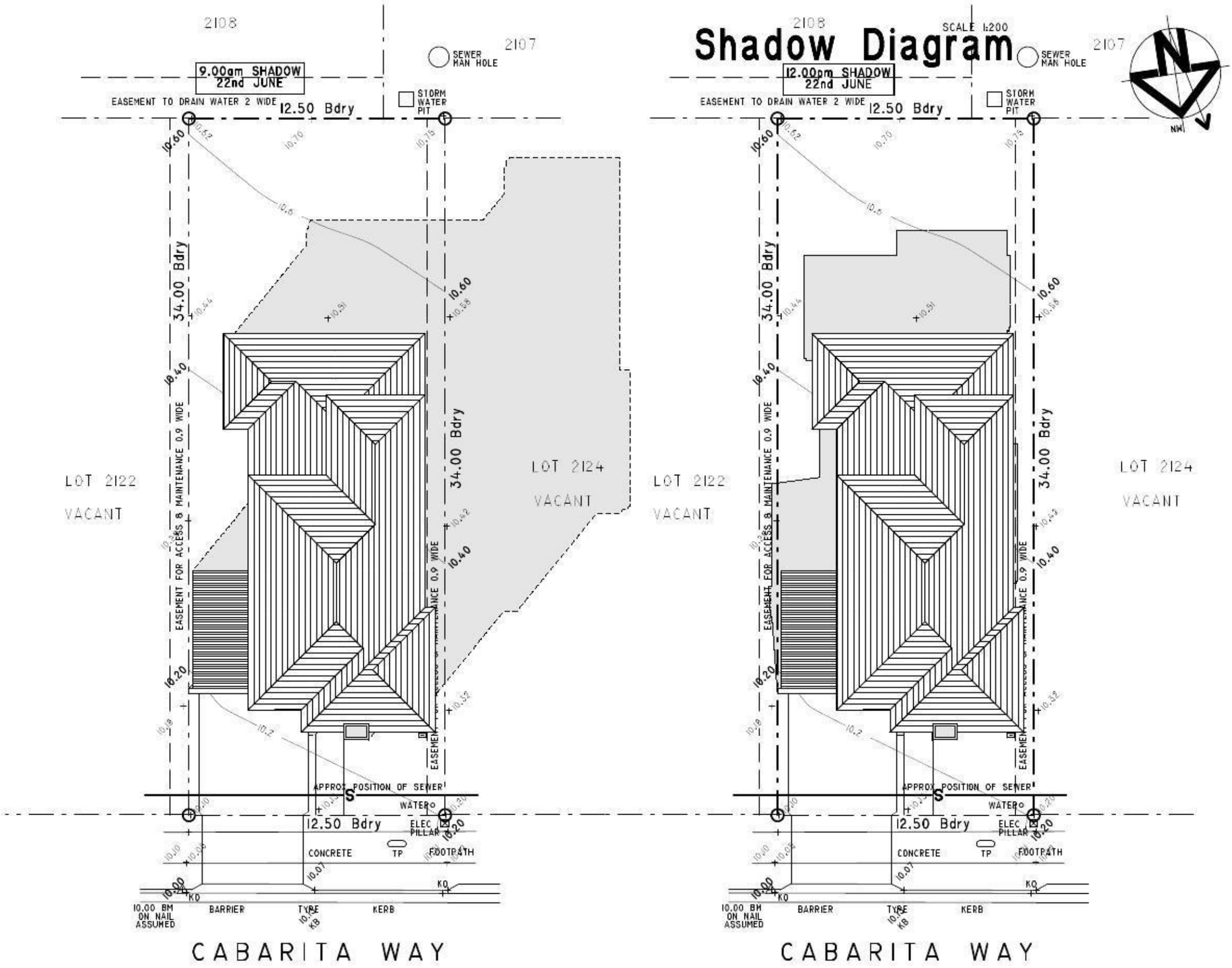
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Shadow Diagram



CABARITA WAY

CABARITA WAY

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