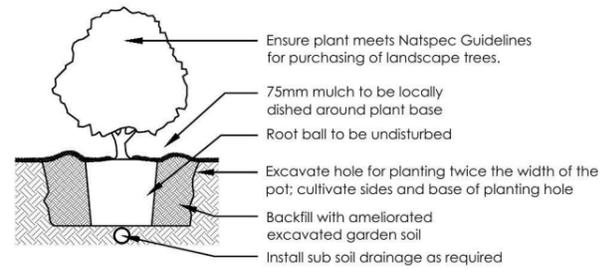
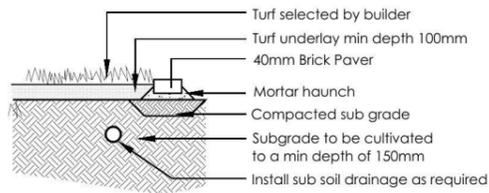


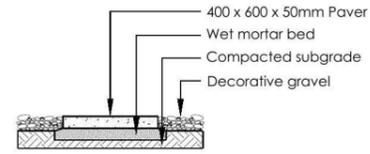
1 Tree Planting Detail
NTS 25L - 100L Pot Size



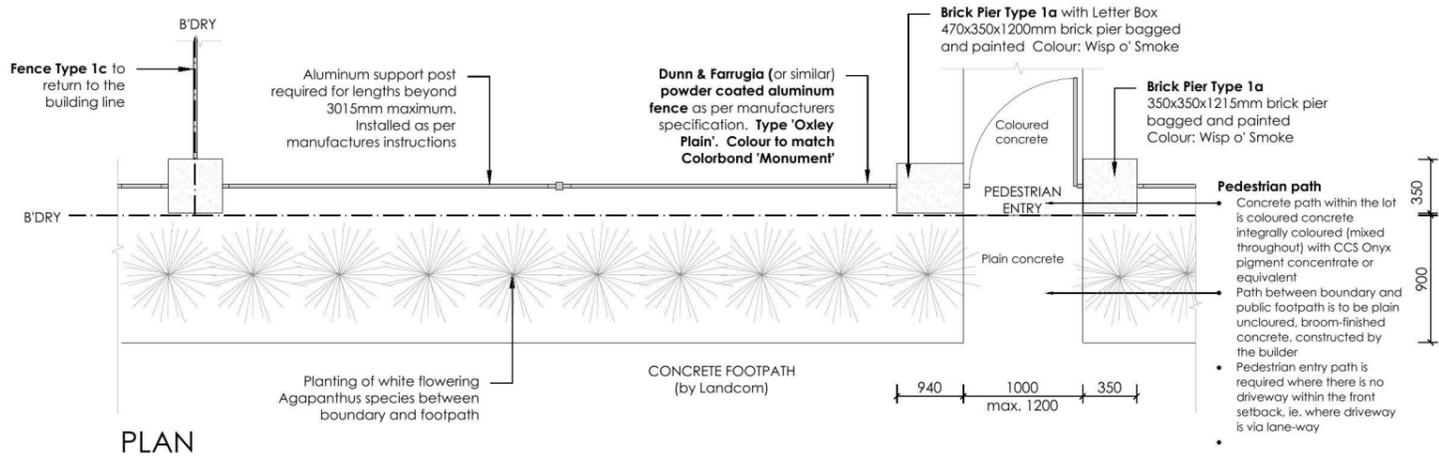
2 Planting Detail
NTS 150mm, 200mm Pot Size



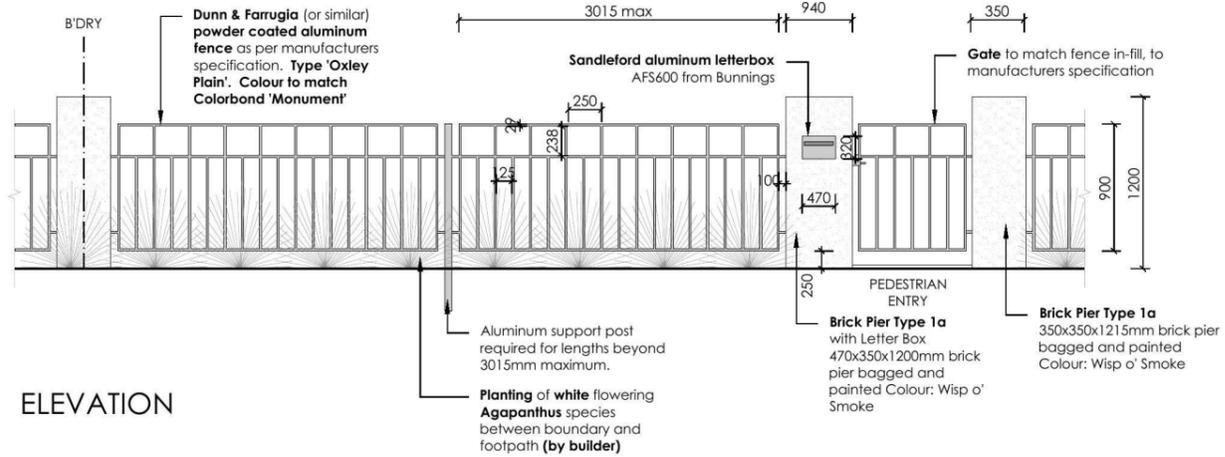
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

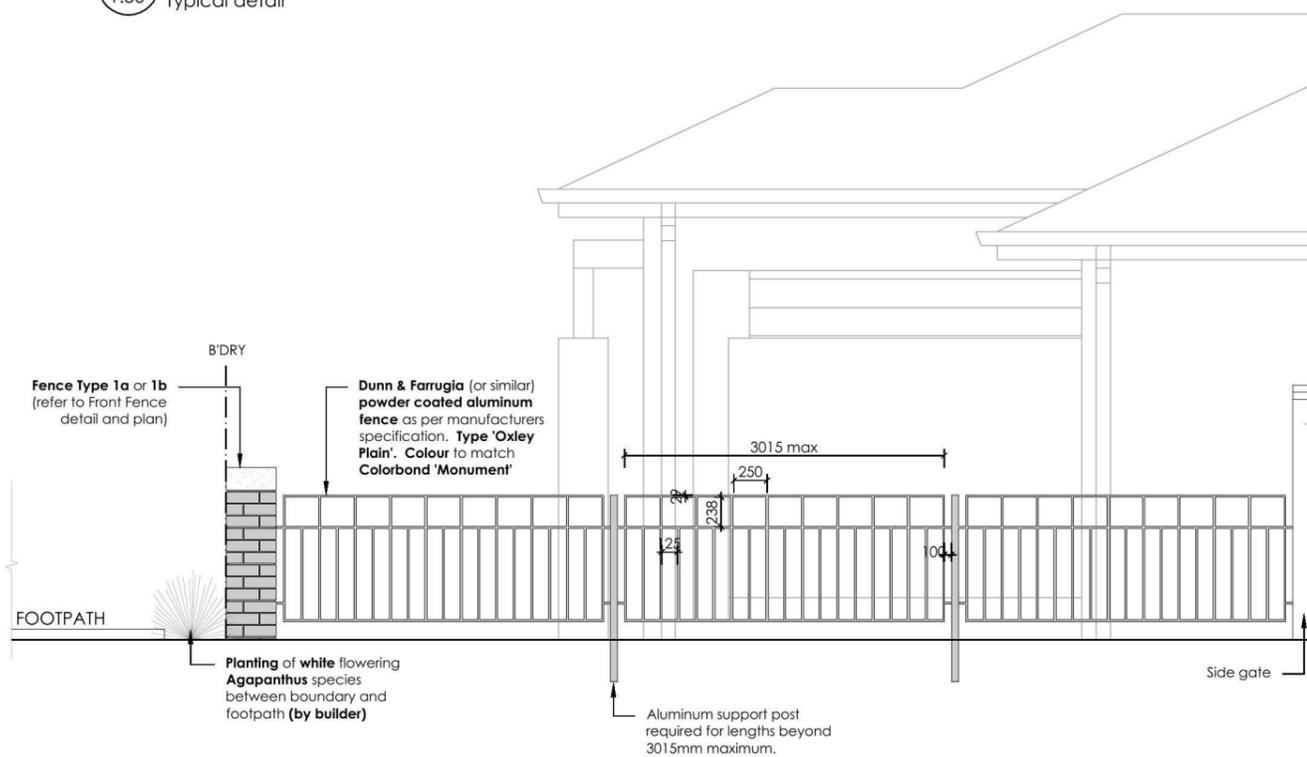


PLAN



ELEVATION

5 FENCE TYPE 1a - Front Fence
1:50 Typical detail



ELEVATION

6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	JD	RS	26-09-14

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outdoor living environments

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PROJECT: NEW RESIDENCE

DRAWING: DETAILS

SCALE: 1:100 @ A3

ISSUE: DA

SHEET: L-02

CLIENT: ZAC HOMES

DRAWN: JD

CHECK: RS

DATE: 26-09-14

REVISION: A

PROJECT: NEW RESIDENCE

DRAWING: DETAILS

SCALE: 1:100 @ A3

ISSUE: DA

SHEET: L-02

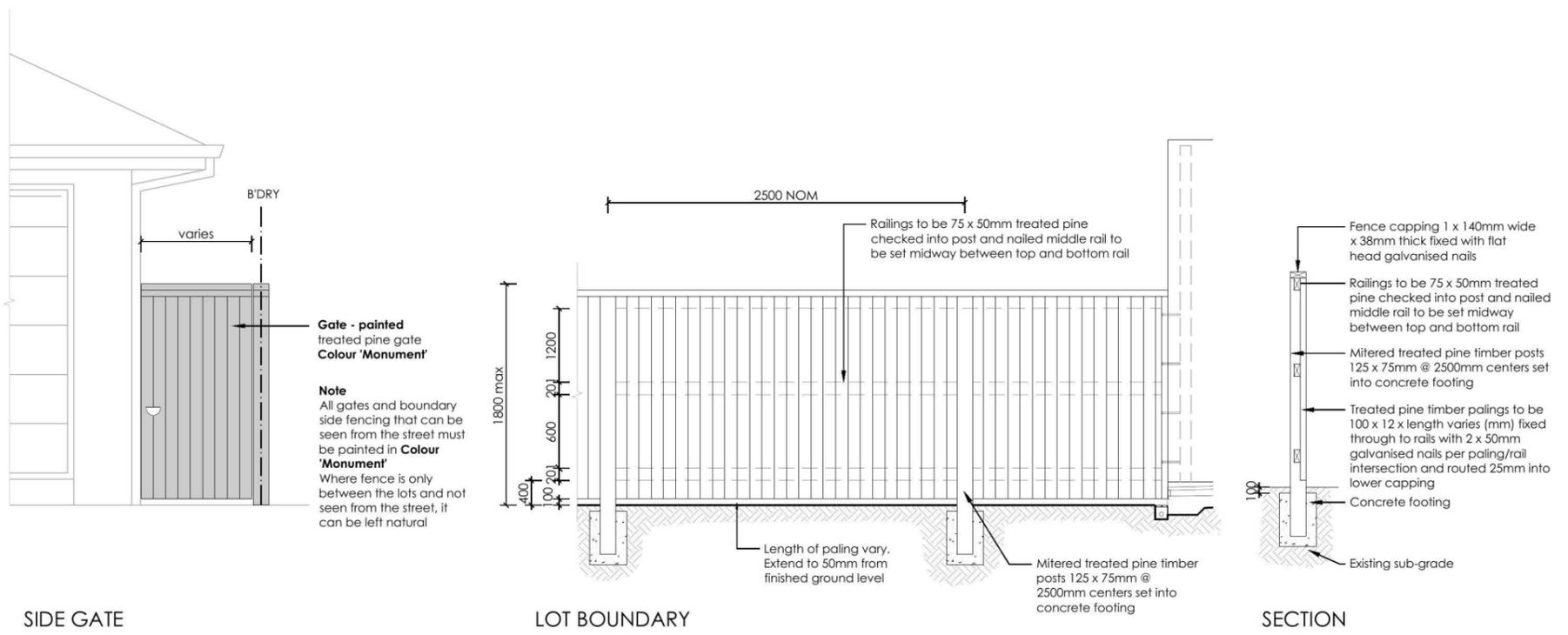
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CHECK: RS

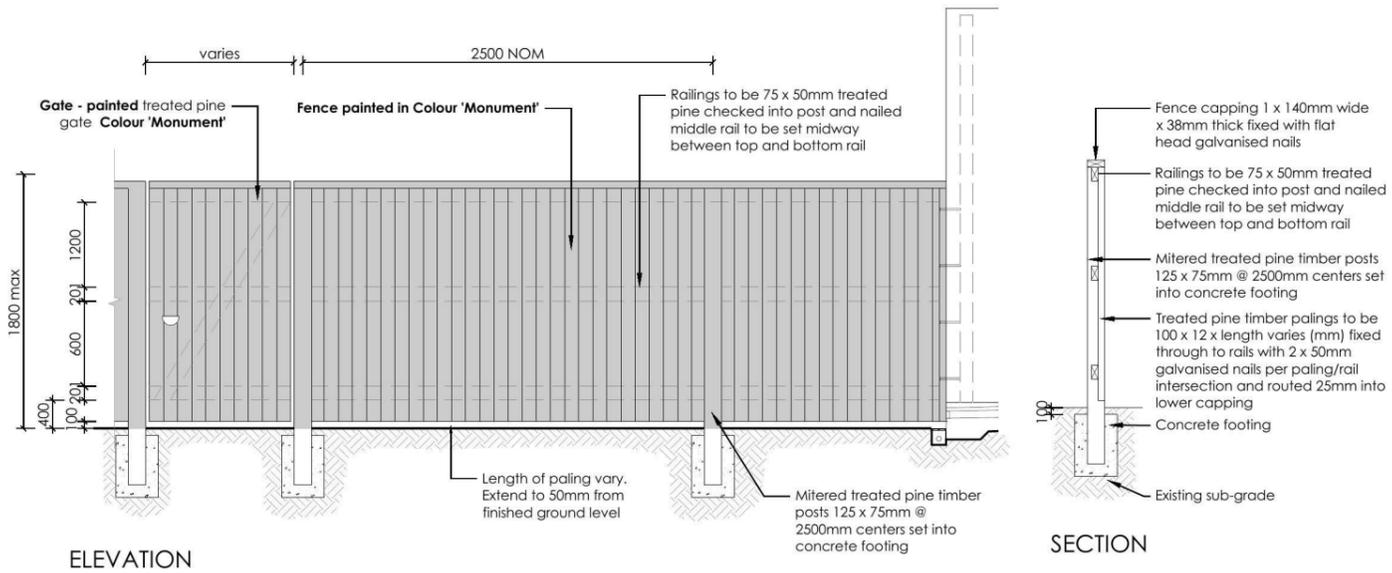
DATE: 26-09-14

REVISION: A

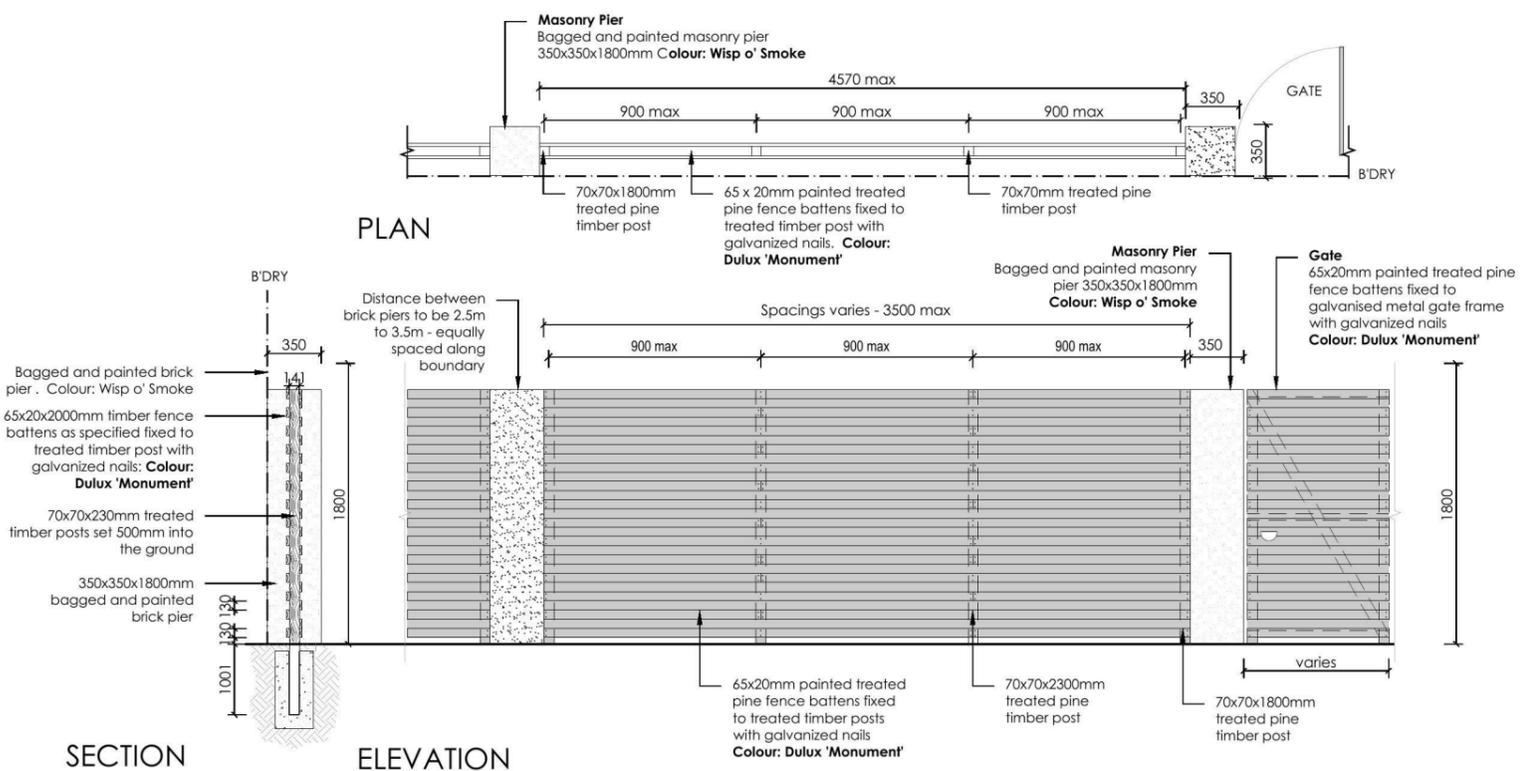




7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail



8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail



9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	JD	RS	26-09-14

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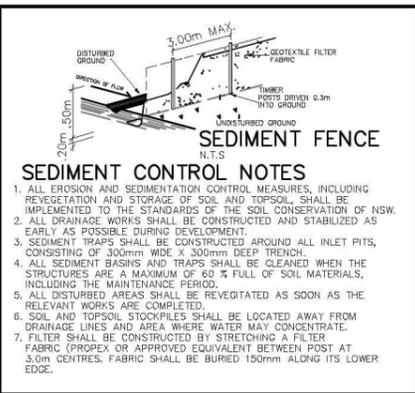
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THORNTON FENCING + PLANTING DETAILS

ZAC HOMES

PROJECT NEW RESIDENCE			
DRAWING DETAILS			
SCALE 1:100 @ A3	ISSUE DA	SHEET L-03	
DRAWN JD	CHECK RS	DATE 26-09-14	REVISION A



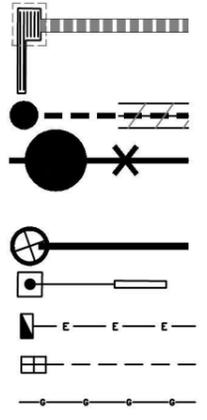


SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



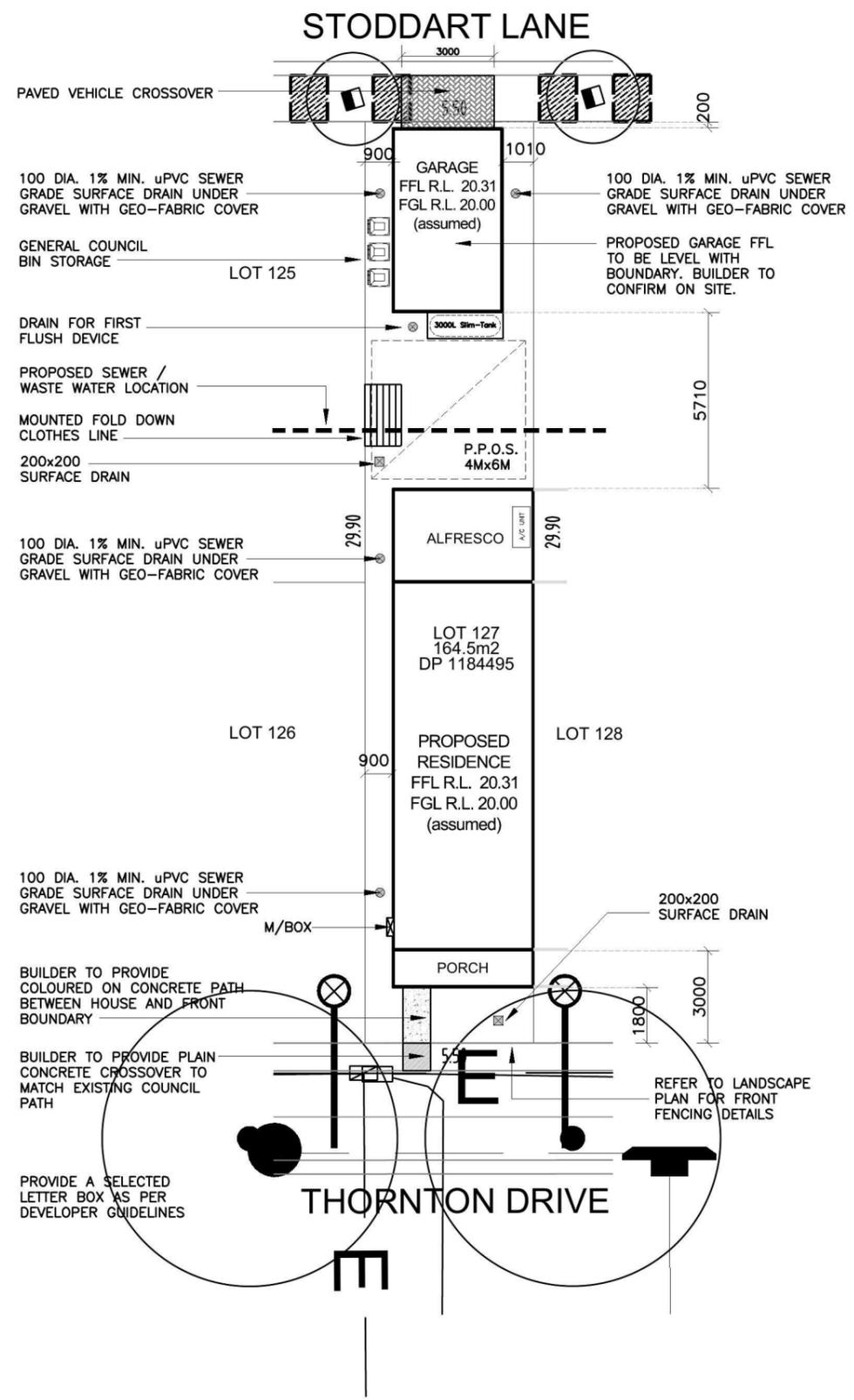
CONTOURS TO BE CONFIRMED PRIOR TO CONSTRUCTION



- STORMWATER PIT & DRAINAGE LINE
- SEWER STRUCTURE, LINE & CONCRETE ENCASING
- WATER METER
- STREET LIGHT
- ELECTRICAL LV PILLAR & CONDUIT
- NBN PIT & CONDUIT
- GAS MAIN

M CLASS SITE ASSUMED TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY

- (A): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C): EASEMENT TO DRAIN WATER 2 WIDE



GENERAL NOTES:

- This drawing is to be read in conjunction with all other architectural & consultants drawings & specifications for the works.
- Dimensions in preference to scale.
- Verify all dimensions on site prior to construction.
- All ground lines are approximate.
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities.
- Wind Rating refer to framing manufacturer's specification.

LOCATION OF SEWER TO BE CONFIRMED ONCE THE LAND IS REGISTERED AND A CERTIFIED SURVEY HAS BEEN RECEIVED

STORMWATER DRAINAGE LINES TO STODDART LANE AT REAR (VIA RAINWATER TANK)

AREAS	
SITE:	164.5m ²
GROUND FLOOR:	55.20m ²
FIRST FLOOR:	54.51m ²
GARAGE:	21.50m ²
PORCH:	5.52m ²
ALFRESCO:	13.80m ²
BALCONY:	6.21m ²
TOTAL:	156.74m ²

LANDSCAPE AREA	
SITE AREA:	164.5m ²
TOTAL HARD SURFACE AREAS:	98.36m ²
REMAINING SOFT AREA:	66.14m ²
LANDSCAPE AREA:	40.20%
MINIMUM REQUIRED BY COUNCIL:	NA

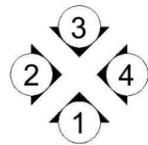
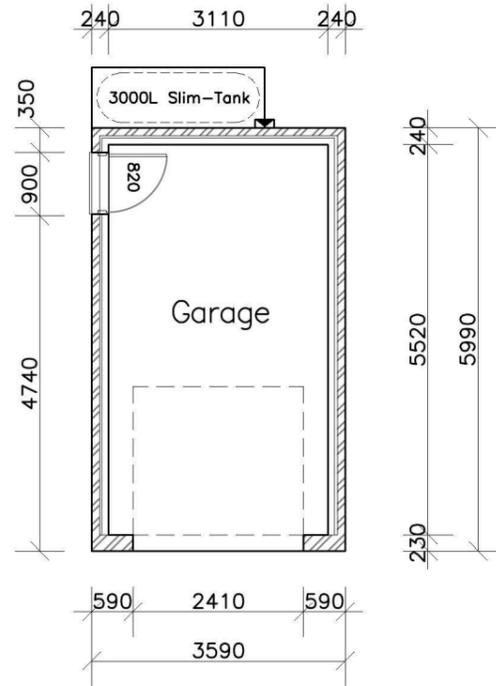
P.O.S. AREA 47.91m² (29.1%)

SITE COVERAGE 59.8%

FLOOR SPACE RATIO 67.1%



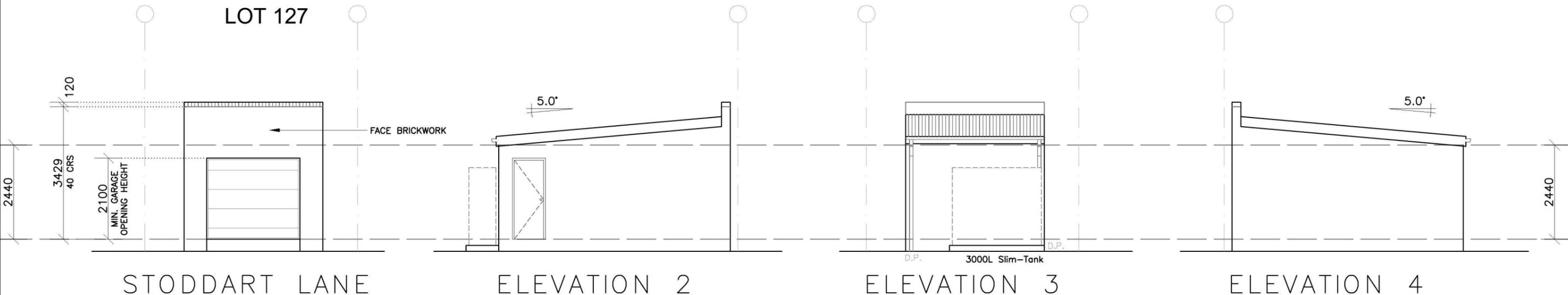
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	Site Address: LOT 127 THORNTON DRIVE THORNTON NSW	Date: 23.09.14	Sheet No.: 01	Issue: A	A 23.09.14 D.A. DRAWINGS - ISSUE A	
	Council: PENRITH	Job No.: 214285a				



GARAGE FLOOR PLAN

Lot 127 Thornton Drive Thornton				
SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au				
WATER COMMITMENTS				
Fixtures				
3 Star Shower Heads	Yes	4 Star Toilet	Yes	
4 Star Kitchen Taps	Yes	4 Star Basin Taps	Yes	
Alternative Water				
Minimum Tank Size (L)	3000	Collected From Roof Area (m2)	96.0	
Alternative Water Supply Connected To:				
All Toilets	Yes	Laundry W/M Cold Tap	Yes	
1 x Outdoor Tap	Yes			
THERMAL COMFORT COMMITMENTS - Refer to next table				
ENERGY COMMITMENTS				
Hot Water	Gas Instantaneous - 5.5 Star			
Cooling System	Living	3 Phase Cooling System	EER 3.0-3.5	
	Bedrooms	3 Phase Cooling System	EER 3.0-3.5	
Heating System	Living	3 Phase Heating System	EER 3.5-4.0	
	Bedrooms	3 Phase Heating System	EER 3.5-4.0	
Ventilation	Bathroom	Mechanical Ventilation	N/A	
	Kitchen	Mechanical Ventilation	N/A	
	Laundry	Mechanical Ventilation	N/A	
Natural Lighting	Window in Kitchen		No	
	Window/Skylight in Bathrooms/Toilets	No	to 3	
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	2	Yes	No
	Number of Living/Dining rooms	1	No	No
	Kitchen	1	No	No
	All Bathrooms/Toilets	3	Yes	No
	Laundry	1	Yes	No
All Hallways	1	Yes	No	
OTHER COMMITMENTS				
Outdoor clothes line	Yes	Gas Cooktop	Yes	

Thermal Performance Specifications - BASIX COMMITMENTS					
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail		
Brick Veneer	Min. R2.0	N/A	N/A		
Framed - Cladding	Min. R2.0	N/A	N/A		
Brick Veneer - Garage	None	N/A	N/A		
Internal Wall Construction	Insulation	Detail			
Plasterboard on studs	None	N/A			
Plasterboard on studs - Garage	Min. R2.0	House / Garage walls as per plans			
Ceiling Construction	Insulation	Detail			
Plasterboard	Min. R3.0	Ceilings adjacent to roof space			
Plasterboard - Garage	None	N/A			
Roof Construction	Insulation	Colour (Solar Absorptance)	Detail		
Tiled Roof	Foil / Sarking	Dark SA > 0.7	As per plans		
Floor Construction	Insulation	Covering	Detail		
Concrete	None	N/A	N/A		
Concrete	None	N/A	N/A		
Timber Floor - First Floor	None	N/A	N/A		
Windows	Glass and frame type	U	SHGC	Area sq m	Detail
Single clear	Improved Aluminium	6.44	0.75	13.21	As per plans
Single clear	Standard Aluminium	6.44	0.75	1.68	As per plans
Single clear	Timber Door	5.71	0.66	0.00	As per plans
U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.					
Sky Lights	Glass type	Frame type	U	SHGC	Area sq m
N/A	N/A	N/A	N/A	N/A	N/A
External Window Cover	Detail				
None	N/A				
Fixed shading - Eaves	Width includes guttering, offset is distance above windows				
Width: 450 - 600	Offset: 0	Nominal only, refer to plan for detail			
Ventilation and Infiltration to Habitable Rooms					
Open fire no damper	no	Exhaust fans no dampers	no		
Door and window seals	no	Vented skylights	no		
Vented downlights	no	Fixed wall or ceiling vents	no		
"No" means that the item was not included in the assessment and shall not be installed.					

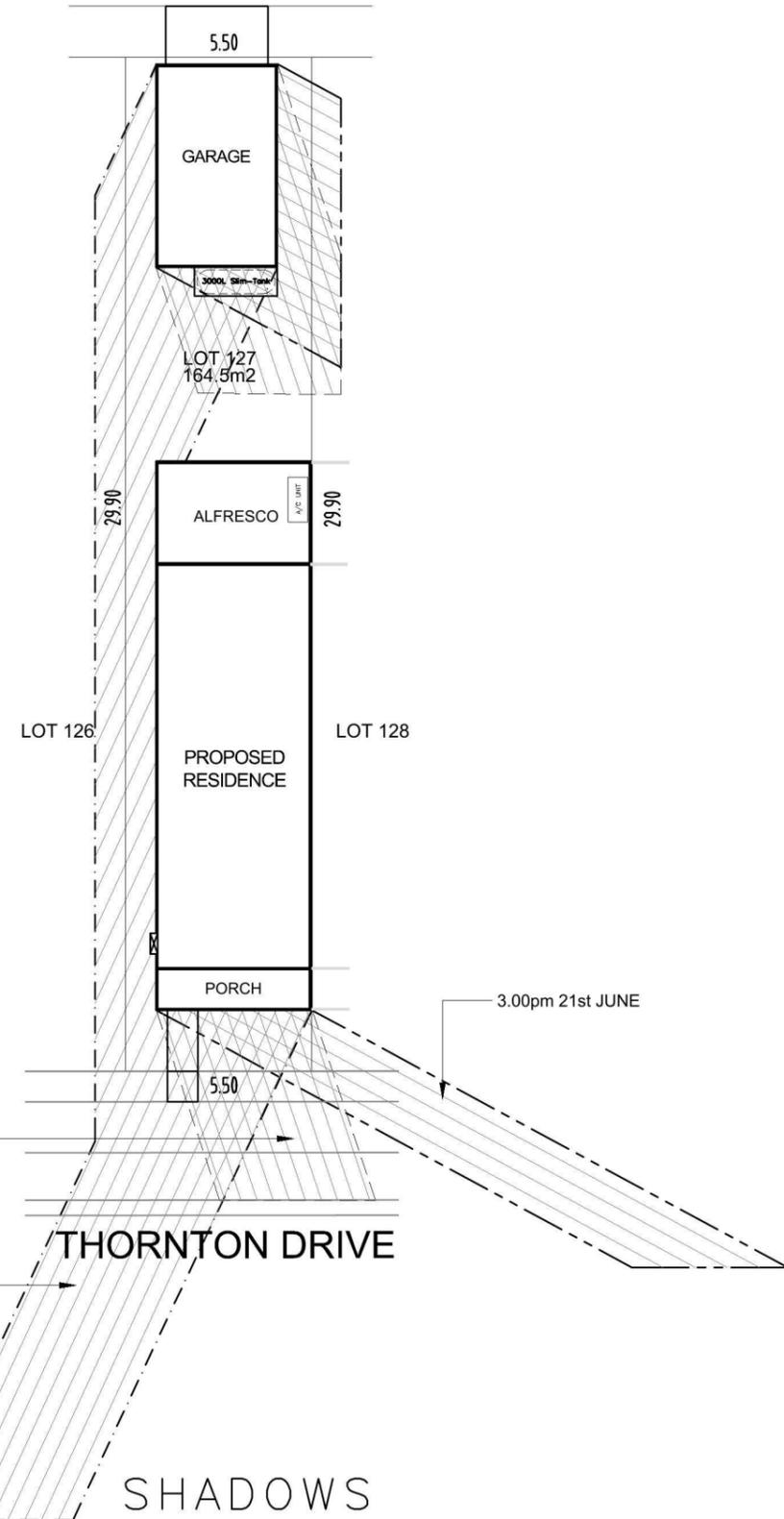


LOT 127



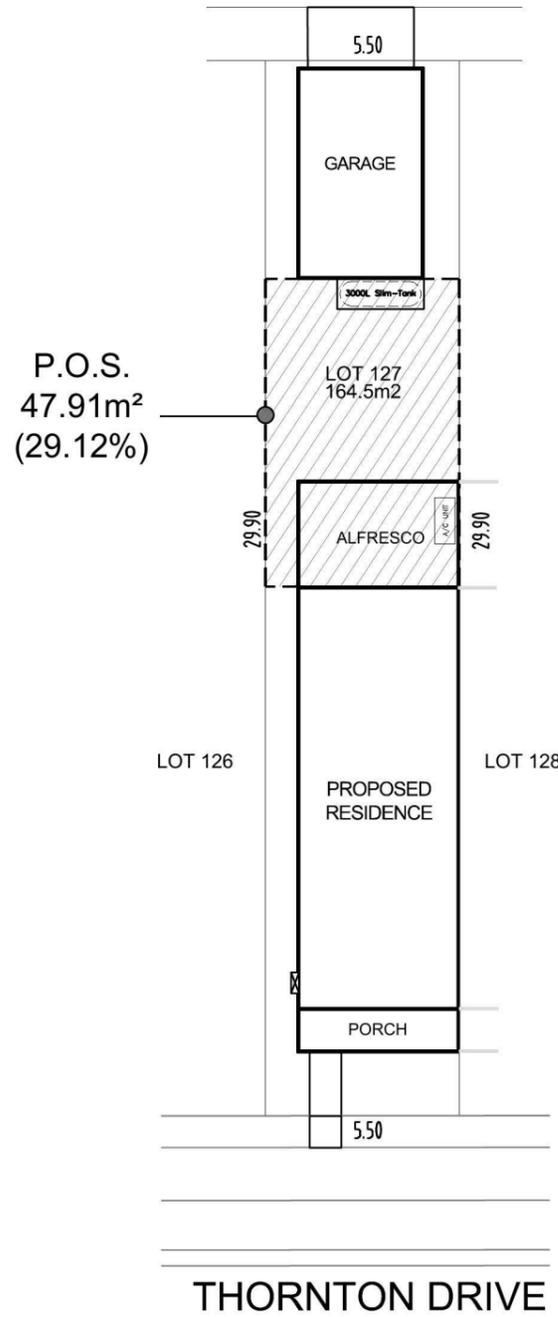
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	Site Address: LOT 127 THORNTON DRIVE THORNTON NSW	Date: 23.09.14	Sheet No. 03	Issue: A	A	23.09.14	D.A. DRAWINGS - ISSUE A	SG
	Council: PENRITH	Job No: 214285a						

STODDART LANE



SHADOWS

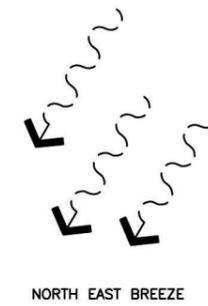
STODDART LANE



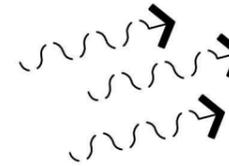
SITE ANALYSIS PLAN

STORMWATER DRAINAGE LINES TO STODDART LANE AT REAR (VIA RAINWATER TANK)

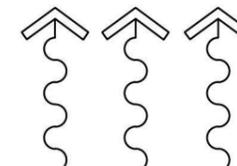
STODDART LANE



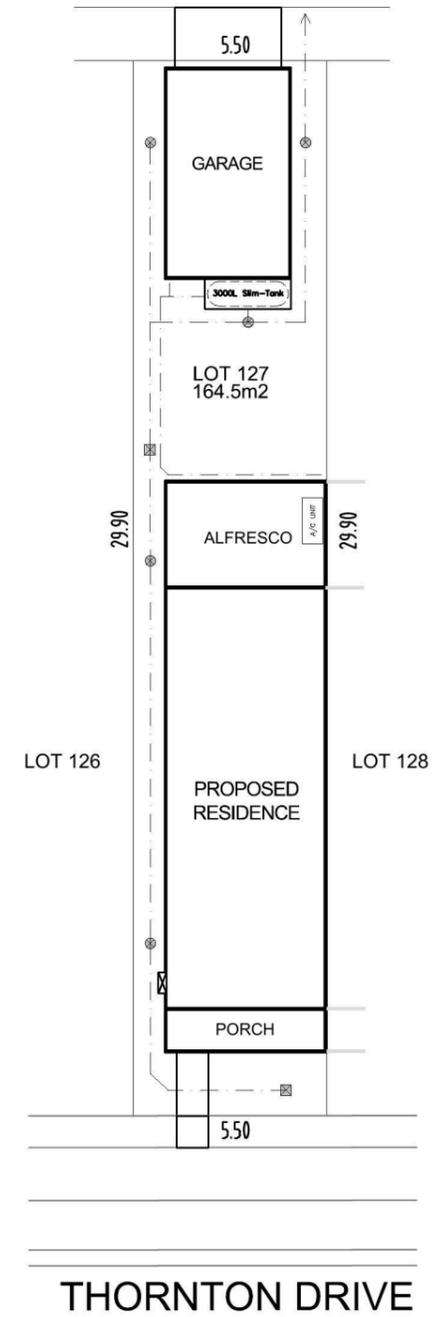
NORTH EAST BREEZE



WINTER WINDS



MINIMAL NOISE FROM ROAD TRAFFIC



STORMWATER PLAN



Product: Stage 12 Terrace Housing	Client: ZAC HOMES	Dwg Title: SITE ANALYSIS, SHADOWS, STORMWATER	Sheet: A3	Scale: 1:200	ISSUE	DATE	DESCRIPTION	DRAWN
	Site Address: LOT 127 THORNTON DRIVE THORNTON NSW	Date: 23.09.14	Sheet No. 05	Issue: A	A	23.09.14	D.A. DRAWINGS - ISSUE A	SG
	Council: PENRITH	Job No: 214285a						