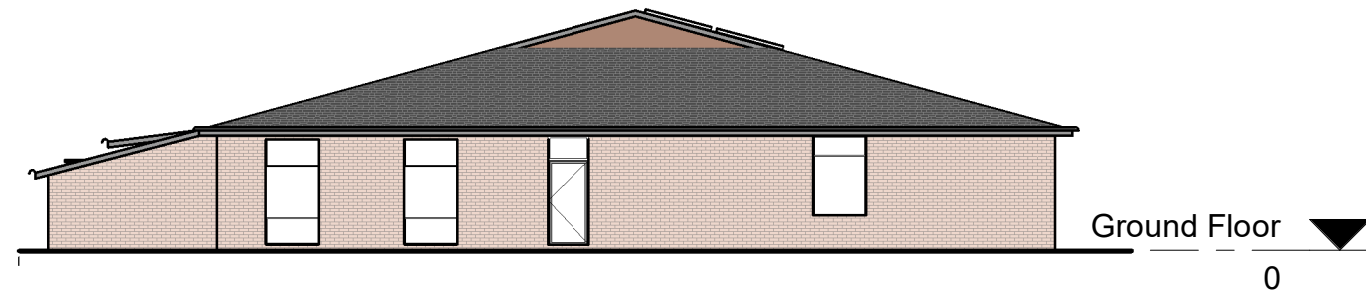


1 NORTH ELEVATION

1 : 200



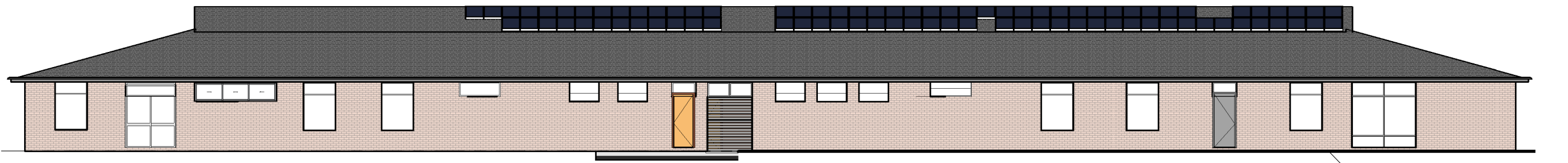
2 SOUTH ELEVATION

1 : 200



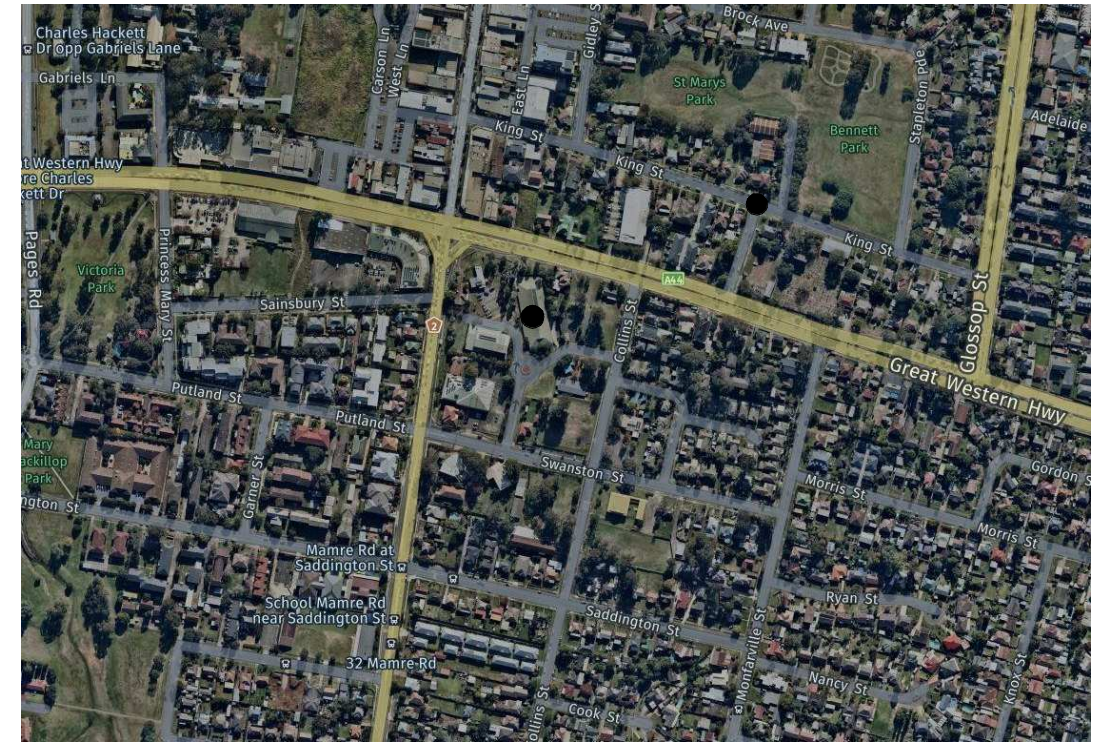
3 WEST ELEVATION

1 : 200

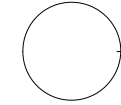


4 EAST ELEVATION

1 : 200



Locality Plan



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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings		B1200 01/10/20
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 01/10/20
				ASSETS 01/10/20
				DESIGN + PROJ. 01/10/20

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	NOTIFICATION SHEET
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer		SCALE:	1:100
DRAWN:	Author		ISSUE DATE	02/02/22
SHEET NO.	MP18302 - A000	REV NO:	B	

DEVELOPMENT APPLICATION

ST MARY'S COMMUNITY & SENIOR CENTRE

DA Drawing Schedule	
Drawing Number	Drawing Name
A000	NOTIFICATION SHEET
A001	DRAWING SCHEDULE
A002	LOCALITY & LOCATION PLAN
A003	NOTES - GENERAL
A005	NOTES - ACCESS
A101	SITE PLAN - EXISTING
A103	SITE PLAN - DEMOLITION
A104	SITE PLAN - PROPOSED
A201	FLOOR PLAN - EXISTING
A202	FLOOR PLAN - DEMOLITION
A240	FLOOR PLAN - PROPOSED
A242	ROOM DIMENSIONS
A243	AREA SCHEDULE
A250	CIRCULATION LAYOUT
A302	CEILING - DEMOLITION
A303	CEILING FINISHES - PROPOSED
A400	ROOF PLAN - PROPOSED
A511	ELEVATIONS EXISTING 1-3
A513	ELEVATIONS EXISTING 2-3
A514	ELEVATIONS EXISTING 3-3
A521	ELEVATIONS DEMOLITION 1-3
A523	ELEVATIONS DEMOLITION 2-3
A524	ELEVATIONS DEMOLITION 3-3
A531	ELEVATIONS PROPOSED 1-3
A533	ELEVATIONS PROPOSED 2-3
A534	ELEVATIONS PROPOSED 3-3
A600	SECTIONS - PROPOSED
A720	ROOM - KITCHENETTE 1
A730	ROOM - KITCHENETTE 2
A740	ROOM - TOILET MALE 1
A741	ROOM - TOILET MALE 2
A750	ROOM - TOILET FEMALE 1
A751	ROOM - TOILET FEMALE 2
A770	ROOM - TOILET ACCESS
A901	SIGNAGE SHEET 1 of 2
A902	SIGNAGE SHEET 2 of 2



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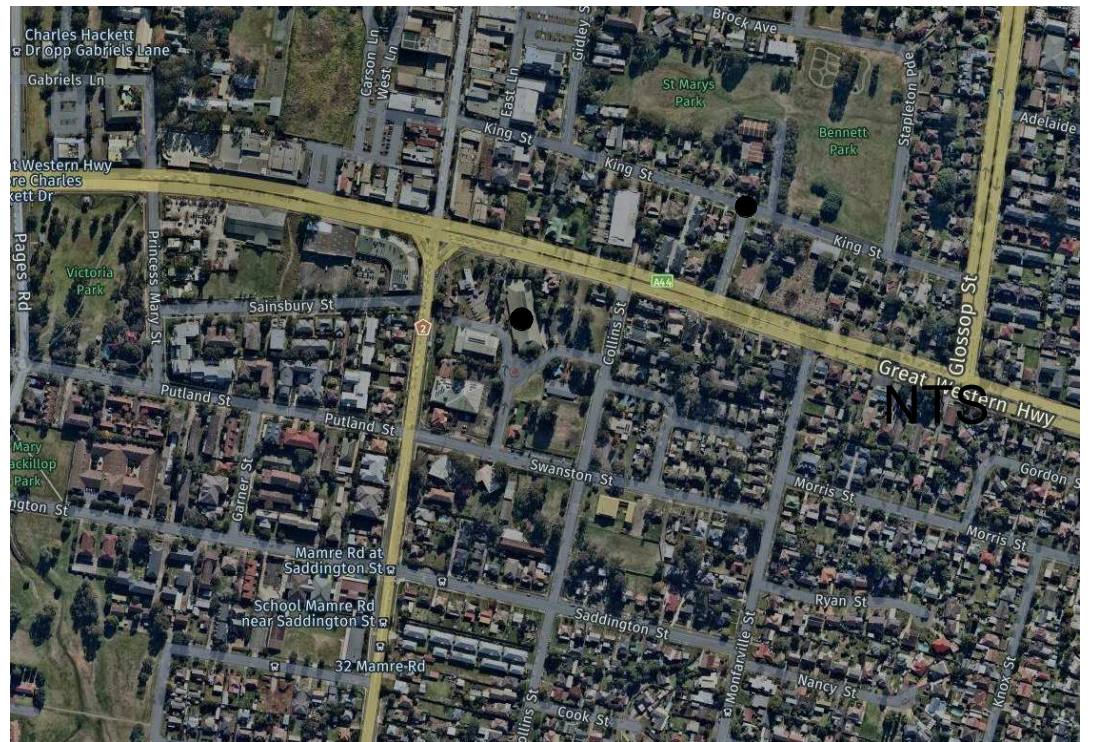
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A	11/01/22	DA Drawings		B1200 07/27/20
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 07/27/20
				ASSETS 07/27/20
				DESIGN + PROJ. 07/27/20

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	DRAWING SCHEDULE
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer
DRAWN:	Author
SHEET NO.	MP18302 - A001

SCALE:	NTS
ISSUE DATE	02/02/22
REV NO:	B



Locality Plan



Location Plan

NTS



- SITE

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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	02/02/21
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	02/02/21
			ASSETS	02/02/21
			DESIGN + PROJ.	02/02/21

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	LOCALITY & LOCATION PLAN
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer
DRAWN:	Author
SHEET NO.	MP18302 - A002

SCALE:	
ISSUE DATE	02/02/22
REV NO:	B

GENERAL NOTES: ST MARYS SENIORS CENTRE

PRELIMINARIES

Occupied premises:
The site will not be occupied during the works:

Existing services:
The following systems need to be operational throughout the works:

- External lighting

EROSION AND SEDIMENT CONTROL

Erosion and sediment control measures shall be installed prior to the commencement of works on site.

Contractor to provide Project Manger plan illustrating proposed location for approval.

PEST MANAGEMENT

TERMITE MANAGEMENT

Provide Termite collars under new and disturbed concrete slabs.

Termite treatment: Non chemical to AS3660.1

Termite barrier notice - Locate in the Electrical meter box.

TREE MANAGEMENT

Small shrubs to be removed

CONSTRUCTION HOURS

Unless otherwise noted Working hours:

Monday - Friday 7am - 6pm

Saturday: no work permitted

Sun-public Holidays - no work permitted

DEMOLITION

All demolition works are to be conducted in accordance with provisions of AS2601-1991 "The Demolition of Structures".

Prior to the demolition, all services shall be suitably disconnected and capped or sealed to the satisfaction of the relevant service authority requirements.

Council's Fact Sheet titled "Handling and Disposal of Fibrous cemenets Products" should be read before any demolition works commence on site.

Contractor to provide portaloo for workmen with appropriate washing facilites shall for work site.

Any demolition work involving the removal of all asbestos shall be carried out by a licensed asbestos removal contractor and is holder of a current WorkCover Asbestos License.

All asbestos laden waste, including asbestos cement flat and corrugated sheeting must be disposed of at a tipping facilities licensed by the Environmental Protection Authority to receive asbestos waste.

All tipping receipts following payments of asbestos tipping fees are to be submitted to the Project Manager when requesting Progress payment, and or before Practical Completion.

Dust suppression techniques are to be employed during demolition to reduce any potential nuisance to the surrounding properties.

Mud and soil from vehicular movements to and from the site must not be deposited on the road.

Structural Engineer to inspect existing roof truss frame following demolition of ceiling works.

BUILDING WORKS

All construction aspects of the works are to comply with the National Construction Code (NCC) and Australian Standards (AS) as to achieve and maintain acceptable standards of structural integrity, safety(including fire safety) health and amenities.

Structural alterations shall not unduly reduce or compromise;
a) existing level of fire protection
b) existing level of fire resistance

Access and santiary facilites identified as Accessible are designed as per AS1428 "Design for Access and Mobility"
Construction of areas are not to deviate from drawings and specification, unless advised.

INSPECTIONS

Structural engineer

A Structural Engineer must inspect the following stages (inspection cost to be borne by contractor unless otherwise noted), inspection Certificate to be provide with progress invoice with associated trade/stage of work.

Inspection stages required:

- Slab steel placement
- Structural Steel

Mechanical /Electrical/Fire/Hydraulics Engineer

The identified Engineer must inspect the following stages; (cost borne by the contractor unless otherwise noted).

Inspection certificate to be provided with progress invoice. Inspection stage required:

- Fitout
- Commissioning

FFE SCHEDULEDS

No changes to items noted in FFE schedules, without written approval from PCC Architect or Assets Department

PAINTING

Painting to be Dulux, applied to manufacturers recommendations.

WATER PROOFING

Provide Waterproofing to all rooms defined as Wet Areas as per AS3740

Wet Areas = rooms with tiled floors.

Waterproofing Certificate to be submitted prior to Practical Completion

RESILIENT FINSIHES


Ensure all areas with vinyl flooring to have leveling compound to floor substrate.

AS BUILT DRAWINGS

The following As-Built Drawings must be provided to the Project Manager prior to the works deemed Practically Complete:

- Structural
- Hydraulic
- Electrical
- Mechanical

PDF and DWG to be provided.

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	A	11/01/22	DA Drawings		B1200	07/27/20	Alterations & Additions	NOTES - GENERAL	Designer	ISSUE DATE
	B	02/02/22	DEVELOPMENT APPLICATION		CLIENT	07/27/20			Author	
					ASSETS	07/27/20	PROJECT ADDRESS	PHASE	SHEET NO.	REV NO:
				DESIGN + PROJ.	07/27/20	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW	FOR DEVELOPMENT APPLICATION			
						CLIENT	ASSET NO.			
						Facility & Recreation	B1200			
						Penrith City Council				

GENERAL ACCESS SPECIFICATIONS 21267

Applies to New areas, modified areas and areas within the affected path (ie from main entry doorways to the new and modified areas)

All Doors:

- Except for non-accessible sanitary facilities, all single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
- When using sliding doors / bifold doors, flush transition is required so provide fully recessed floor tracks. Also, all sliding doors to have 530mm minimum available to latch side of the sliding door to enable access to door handle.
- All glazed doors and other glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
- All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
- All external doorways can either have flush door thresholds or can have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.

Door hardware requirements:

- D shaped door handles to be used, located at 900-1100mm above FFL
- Clearance between the handle and the back plate or the door face at the center grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle
- Manual control to power operated door to be push button type control with a minimum diameter of 25mm, proud of the surface and located a min of 500mm from an internal corner and between 1M- 2M if hinged door is used. Power-operated door controls, push-button controls shall have a minimum dimension of 25 mm diameter and be proud of the surface and shall activate the door before the button becomes level with the surrounding surface.

Braille / Tactile Signage as per BCA requirements to be provided as noted in BCA

Specification D3.6- Braille and Tactile signs to:

- All doors nominated as Exit doors require signage
- All Sanitary Facilities and airlocks to sanitary facilities including accessible and ambulant toilets require signage
- Hearing Augmentation where provided.
- All non-accessible entry points from the site boundary require signage with arrow pointing towards the accessible entry.
- Location of the Braille / tactile components - between 1200mm-1600mm above FFL.
- Location of lines of characters – between 1250mm-1350mm above FFL.
- Locate signage on the wall on the latch side of the door with the leading edge of the sign located between 50-300mm from the architrave.

Common use passageways

- A space of 1540mm x 2070mm is to be provided at or within 2M of the end of the passageway and in front of all passenger lift doors.

Floor or ground surfaces

- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.
- Abutment of surfaces is to have a smooth transition (this includes door thresholds of accessible sanitary facilities).
- Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge).
- Grates (if used in the accessible path of travel) are required to comply with AS1428.1.
- Carpet if used in areas required to be accessible are to be provided with pile height or thickness not more than 11mm and carpet backing not more than 4mm bringing the total height to a maximum of 15mm.

Slip resistance requirements:

- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
- Refer to guide HB 197/198 for details in regard to slip resistance requirements.

Accessible toilet:

- The Accessible toilet to be constructed as per requirements of AS1428.1-2009 with a circulation space of 1900mm width x 2300mm length. If in a combined facility with a shower, the clear 1900mm width is to be provided clear of the shower seat when shower seat is in folded position.
- Setout of pan to be 800+/-10mm from rear wall and the c/l of pan is to be 450-460mm from side wall. Top of seat of WC pan is to be 460-480mm above FFL
- The top of the washbasin is to be between 800-830mm above FFL. Water taps to be lever or sensor with 50mm clear from any surface
- Seat to be full round, take 150kg weight and provide 30% luminance contrast to the background
- Backrest to be 150-200mm height, 350-400mm width and 120-150mm above the seat at an angle of 95°-100° back from seat hinge
- Flushing control to be proud of surface and located between 600-1100mm above FFL at back or side wall, clear of grabrail area
- Top of toilet paper dispenser is to be located maximum of 700mm above FFL and maximum of 300mm from edge of pan
- Grabrails, 30-40mm diameter, placed 50-60mm clearance from wall, with no obstructions to top 270° arc, are to be provided to rear and side wall (90° or 30° - 45°). Horizontal component to be 800-810mm above FFL. Fastenings and construction of grabrails to be capable to withstand 1100N of force. Grabrail on back wall to be maximum 50mm from the cistern.
- Mirror to start from 900mm above FFL, till minimum of 1850mm above FFL
- Clothes hanging device to be at height of 1200-1350mm above FFL and at least 500mm from any internal corner
- Shelf to be 300-400mm length and 120-150mm wide and located 900-1000mm above FFL
- Soap and paper towel dispensers where provided, to be installed with height of the operative component between 900-1100mm above FFL and no closer than 500mm from an internal corner.
- Door to the Accessible toilet requires AS1428.1 compliant door circulation spaces. When door swings next to the washbasin a clear 300mm is required between the door swing and the washbasin.
- Rocker action / toggle switches to be provided in with a minimum size of 30mmx30mm. Push pad switches if used to have a minimum dimension of 25mm diameter. GPOs to be located between 600-1100mm above FFL and minimum of 500mm from any internal corners



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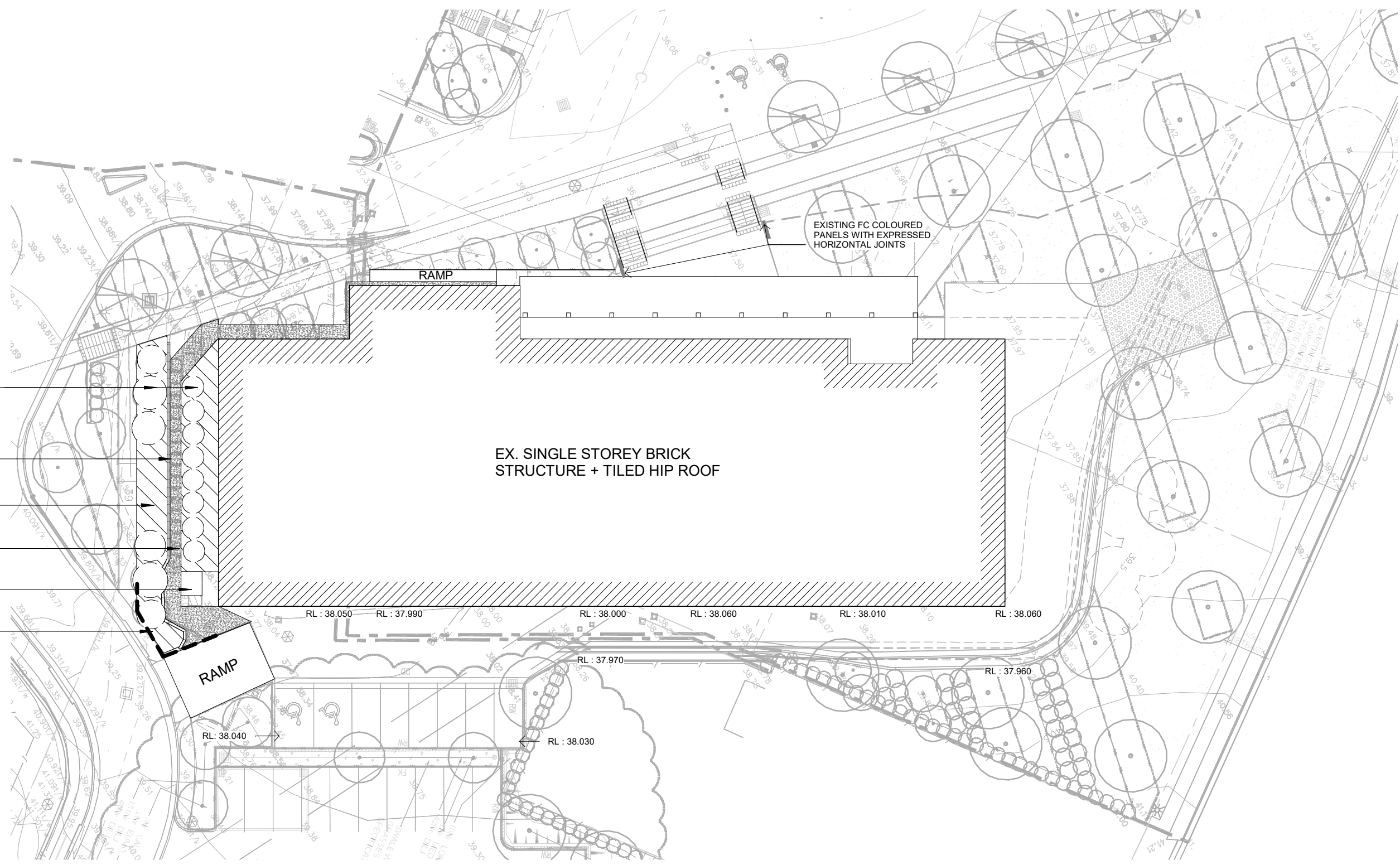
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A	11/01/22	DA Drawings		B1200 08/12/21
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 08/12/21
				ASSETS 08/12/21
				DESIGN + PROJ. 08/12/21

PROJECT	PROJECT ADDRESS	CLIENT
Alterations & Additions	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW	Facility & Recreation Penrith City Council

DWG TITLE	PHASE
NOTES - ACCESS	FOR DEVELOPMENT APPLICATION

ASSET NO.	SHEET NO.
B1200	MP18302 - A005

DESIGN:	SCALE:
Designer	
DRAWN:	ISSUE DATE
Author	02/02/22
REV NO:	
B	



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A	11/01/22	DA Drawings	B1200	13/01/22
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	13/01/22
			ASSETS	13/01/22
			DESIGN + PROJ.	13/01/22

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

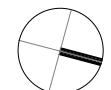
CLIENT
Facility & Recreation
Penrith City Council

DWG TITLE
SITE PLAN - EXISTING

PHASE
FOR DEVELOPMENT APPLICATION

DESIGN:
Designer

DRAWN:
SP



SHEET NO.
MP18302 - A101

SCALE:
1:350 @A3

ISSUE DATE
02/02/22

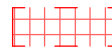
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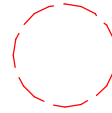
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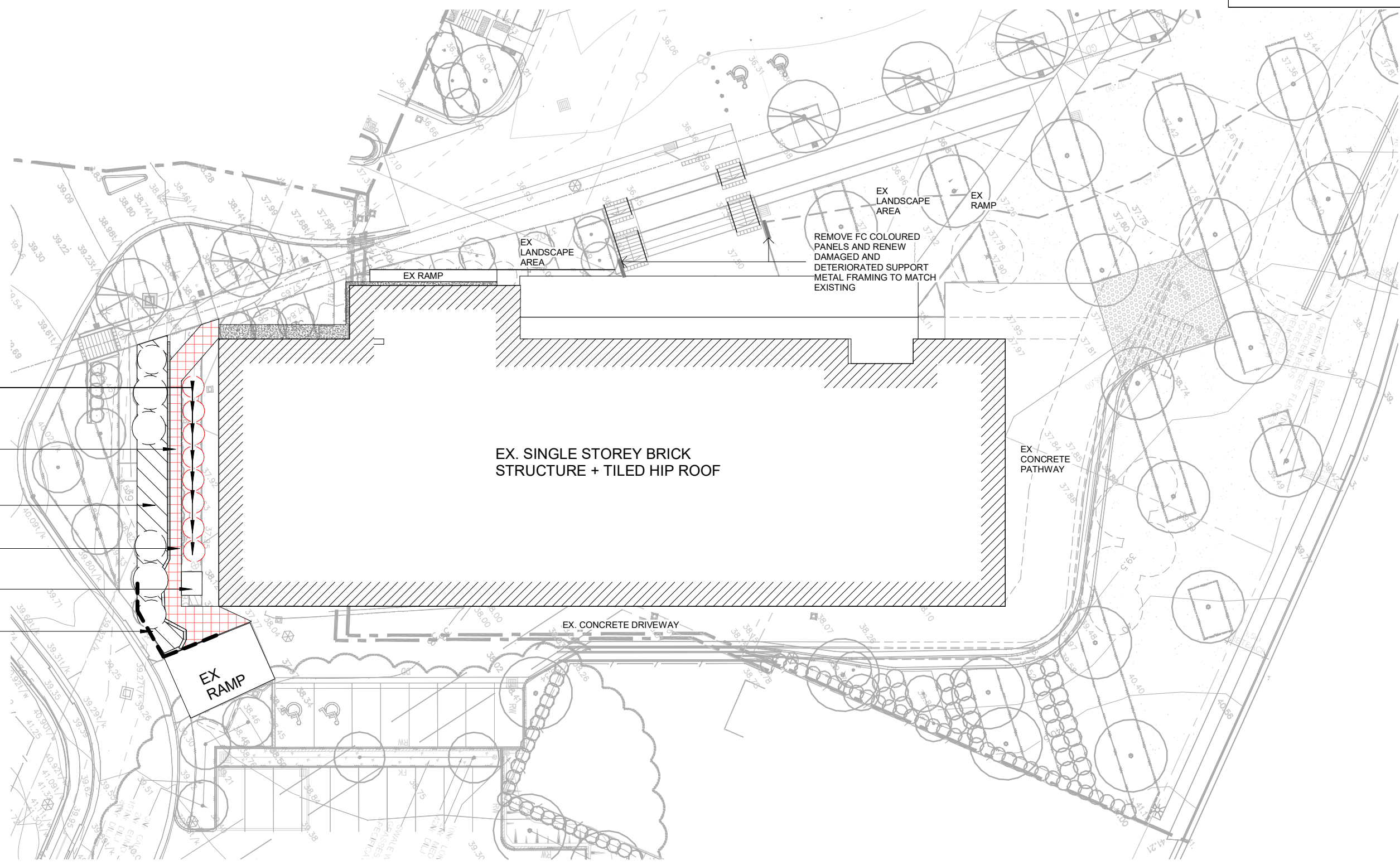
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PRINT: (A3)

Legend

 Concrete pathway - To be demolished

 Tree - To be removed



- REMOVE SHURBS
- RETAIN EXISTING RETAINING WALL
- RETAIN EXISTING LANDSCAPE AREA
- DEMOLISH CONCRETE PATH
- EXISTING SUB STATION
- EXISTING FENCE

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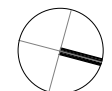
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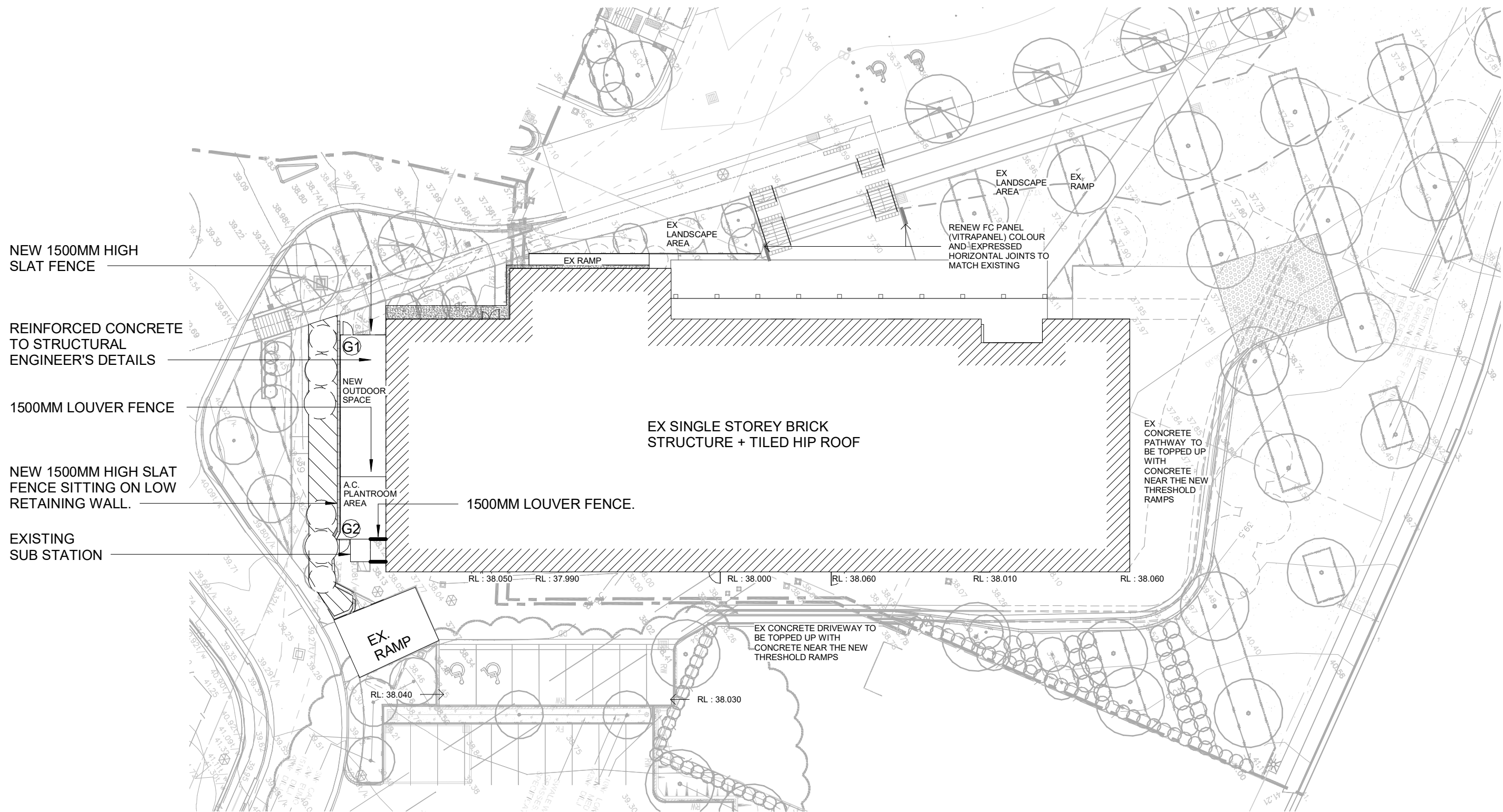
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A	11/01/22	DA Drawings	B1200	07/27/20
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	07/27/20
			ASSETS	07/27/20
			DESIGN + PROJ.	07/27/20

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	SITE PLAN - DEMOLITION
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer		SCALE:	1:350 @A3
DRAWN:	Author		ISSUE DATE	02/02/22
SHEET NO.	MP18302 - A103		REV NO:	B

Legend	
	GATE



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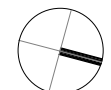
REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings		B1200 13/08/20
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 13/08/20
				ASSETS 13/08/20
				DESIGN + PROJ. 13/08/20

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

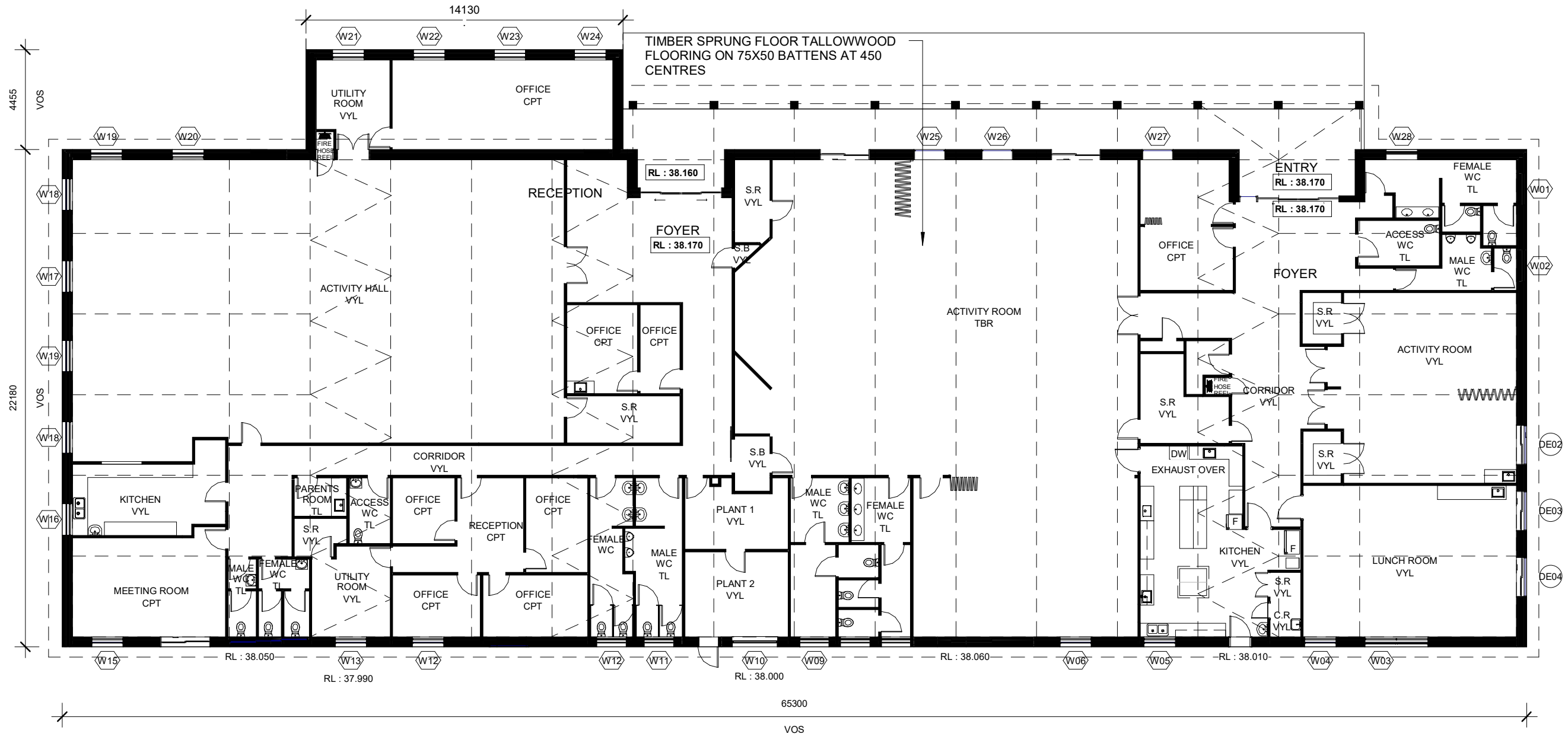
DWG TITLE	SITE PLAN - PROPOSED
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer
DRAWN:	SP
SHEET NO.	MP18302 - A104

SCALE:	1:350 @A3
ISSUE DATE	02/02/22
REV NO:	B



Legend	
	Existing



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			ASSETS	13/08/20
			DESIGN + PROJ.	13/08/20

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	FLOOR PLAN - EXISTING
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer		SCALE:	1:200 @A3
DRAWN:	SP		ISSUE DATE	02/02/22
SHEET NO.	MP18302 - A201		REV NO:	B

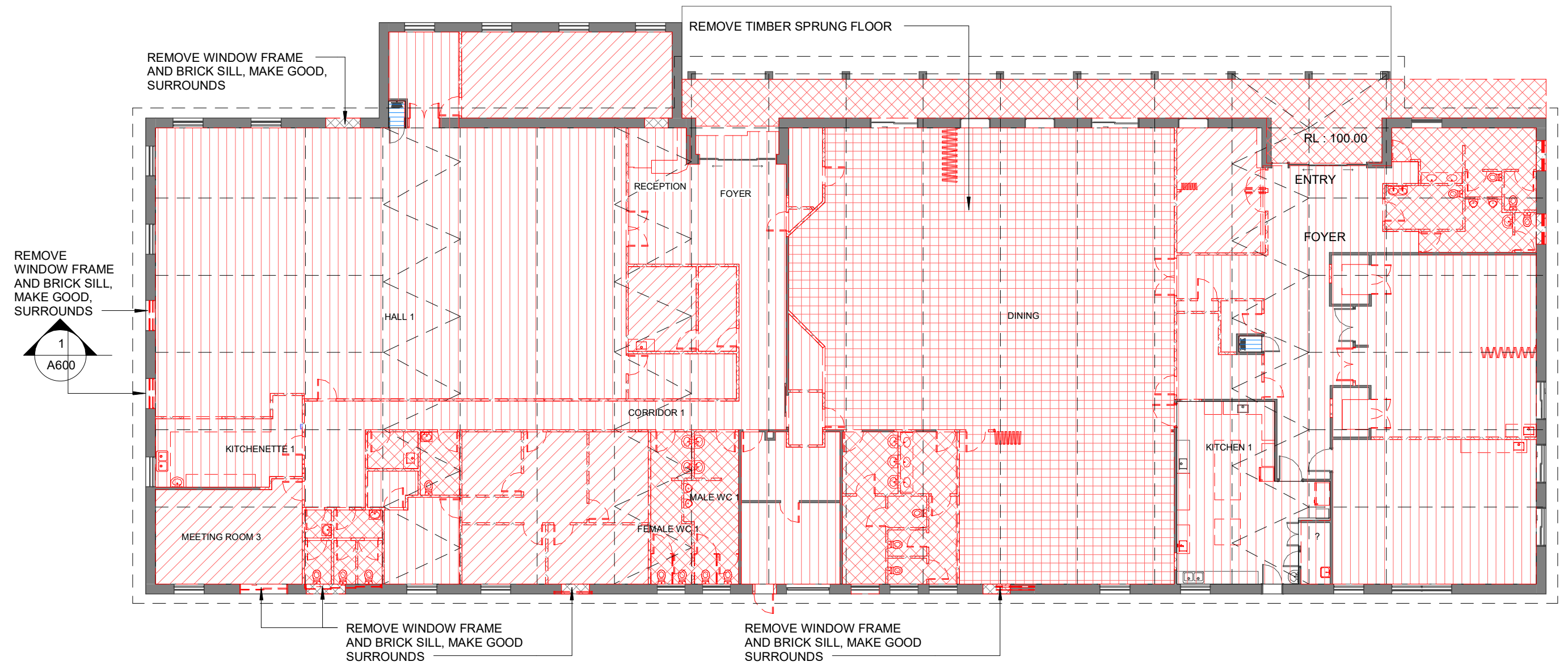
Legend	
	Existing - To be retained
	Walls - To be demolished
	Tiles - To be demolished
	Carpet - To be removed
	Vinyl - To be removed
	Timber Board - To be removed
	Not Scope of Work

Scope of Works

1. Cap services to be demolished
2. Carefully remove for reuse stainless steel benches located within Kitchen 2
3. Remove identified floor coverings and associated substrate, make good for new.
4. Remove identified window and external door to be removed
5. Demolish identified walls, make good for new.

Note:

- Demolition works to AS2601 & Work Safe NSW.
- Builder to co-ordinate trenching of services for new works.



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A	11/01/22	DA Drawings	B1200	13/08/20
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	13/08/20
			ASSETS	13/08/20
			DESIGN + PROJ.	13/08/20

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

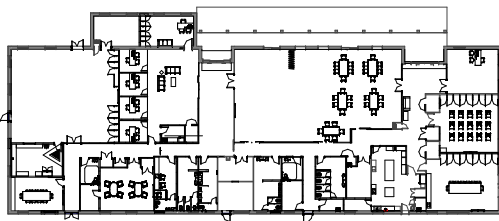
CLIENT
Facility & Recreation
Penrith City Council

DWG TITLE
FLOOR PLAN - DEMOLITION

PHASE
FOR DEVELOPMENT APPLICATION

DESIGN: Designer DRAWN: SP		SCALE: 1:200 @A3
ASSET NO. B1200	SHEET NO. MP18302 - A202	ISSUE DATE 02/02/22
		REV NO: B

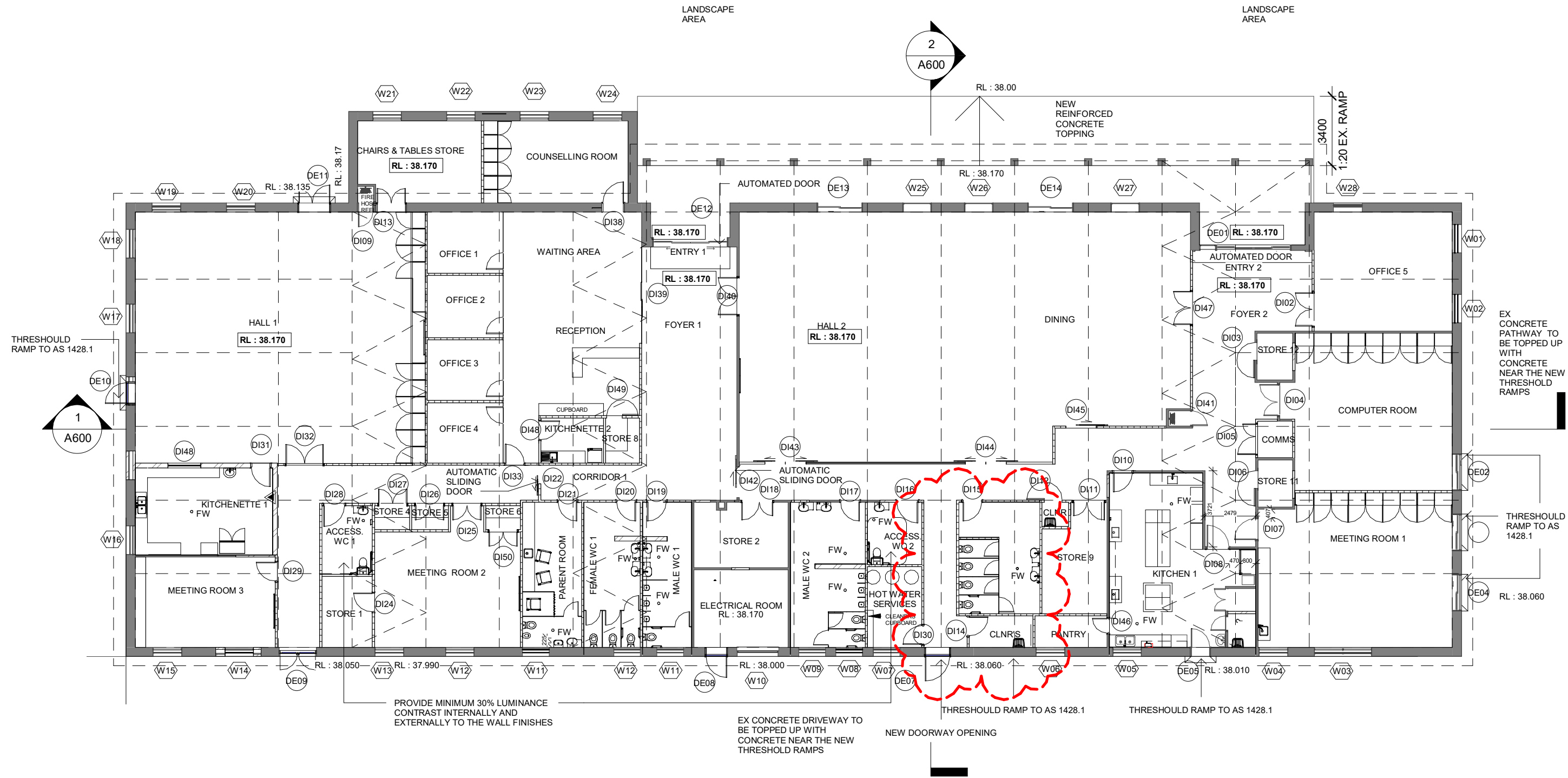
KEY PLAN



LEGEND

- (WXX) WINDOW TAG
- (DEXX) DOOR EXTERNAL TAG
- (DIXX) DOOR INTERNAL TAG

NOTE : REFER TO ARCH DRAWING FOR PROPOSED FLOOR FINISHES



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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	07/08/21
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	07/08/21
			ASSETS	07/08/21
			DESIGN + PROJ.	07/08/21

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

CLIENT
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DWG TITLE
FLOOR PLAN - PROPOSED

PHASE
FOR DEVELOPMENT APPLICATION

ASSET NO.
B1200

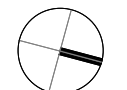
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Designer
DRAWN:
Author

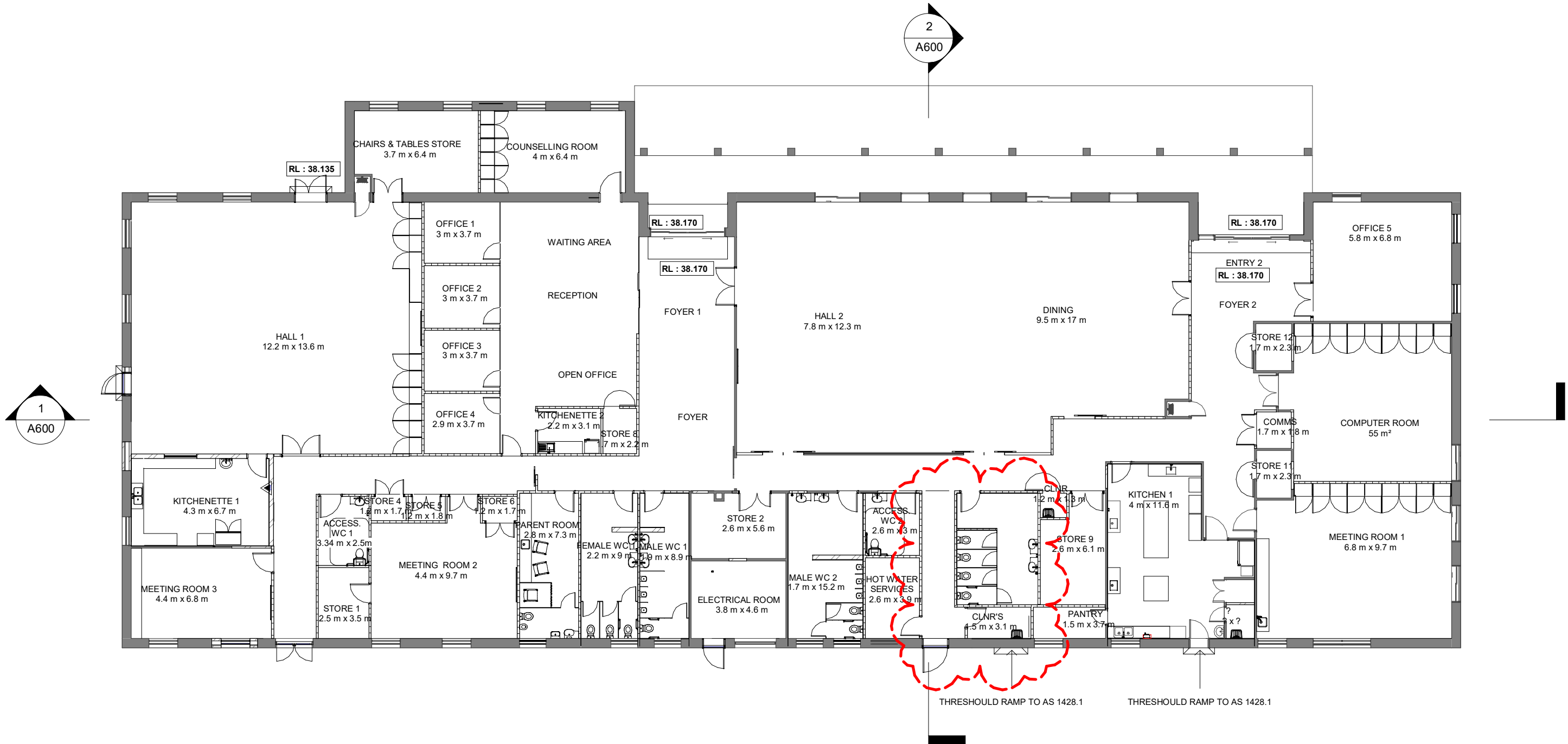
SHEET NO.
MP18302 - A240

SCALE:
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ISSUE DATE
02/02/22

REV NO:
B





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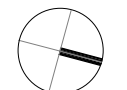
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	13/08/20
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	13/08/20
			ASSETS	13/08/20
			DESIGN + PROJ.	13/08/20

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	ROOM DIMENSIONS
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

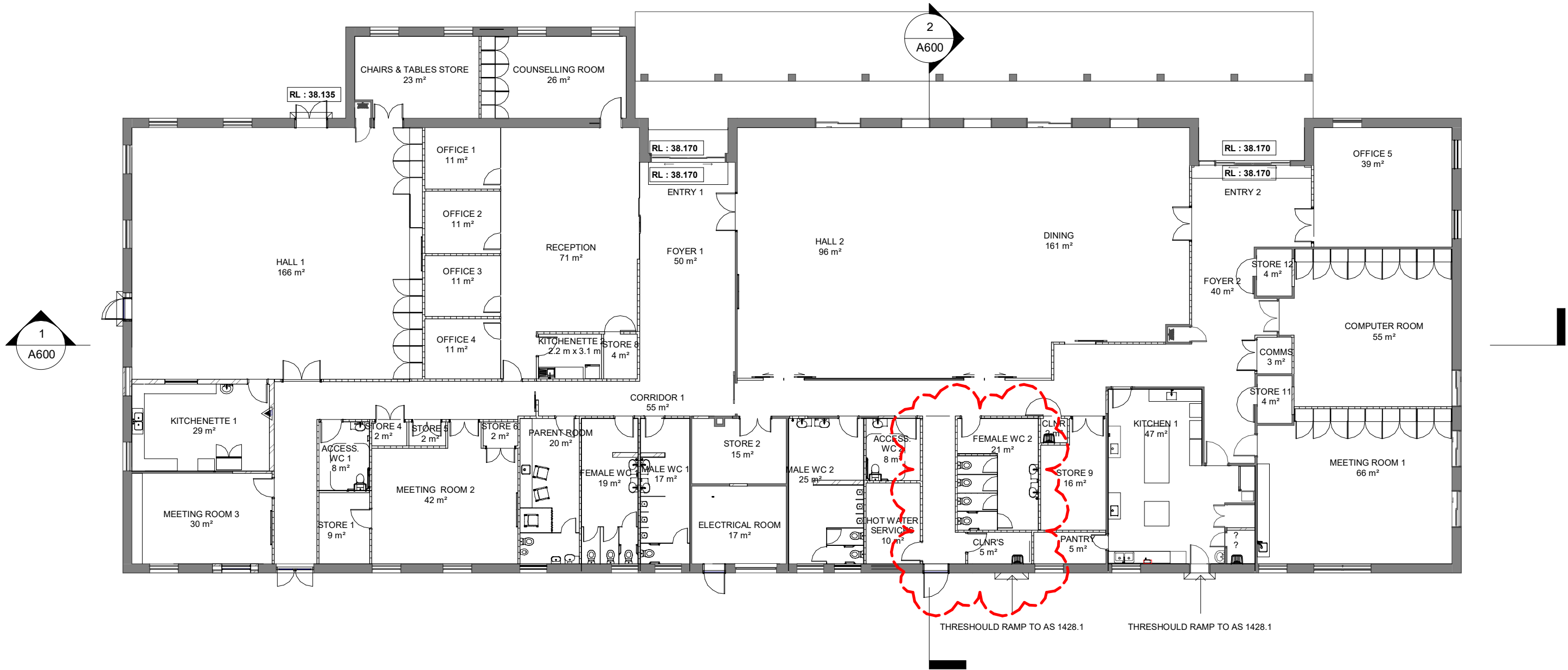
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DRAWN:	SP	ISSUE DATE	02/02/22
SHEET NO.	MP18302 - A242	REV NO:	B



ROOM AREA CALCULATION	
NAME	AREA
ACCESS. WC 1	8 m ²
ACCESS. WC 2	8 m ²
CHAIRS & TABLES STORE	23 m ²
CLNR	2 m ²
CLNR'S	5 m ²
COMMS	3 m ²
COMPUTER ROOM	55 m ²
CORRIDOR	73 m ²
CORRIDOR 1	55 m ²
COUNSELLING ROOM	26 m ²
DINING	161 m ²
ELECTRICAL ROOM	17 m ²
FEMALE WC 1	19 m ²
FEMALE WC 2	21 m ²
FOYER 1	50 m ²

ROOM AREA CALCULATION	
NAME	AREA
FOYER 2	40 m ²
HALL 1	166 m ²
HALL 2	96 m ²
HOT WATER SERVICES	10 m ²
KITCHEN 1	47 m ²
KITCHENETTE 1	29 m ²
KITCHENETTE 2	7 m ²
MALE WC 1	17 m ²
MALE WC 2	25 m ²
MEETING ROOM 2	42 m ²
MEETING ROOM 1	66 m ²
MEETING ROOM 3	30 m ²
OFFICE 1	11 m ²
OFFICE 2	11 m ²
OFFICE 3	11 m ²
OFFICE 4	11 m ²

ROOM AREA CALCULATION	
NAME	AREA
OFFICE 5	39 m ²
PANTRY	5 m ²
PARENT ROOM	20 m ²
RECEPTION	71 m ²
S.B	Not Placed
STORE 1	9 m ²
STORE 2	15 m ²
STORE 4	2 m ²
STORE 5	2 m ²
STORE 6	2 m ²
STORE 8	4 m ²
STORE 9	16 m ²
STORE 10	2 m ²
STORE 11	4 m ²
STORE 12	4 m ²
TOTAL AREAS	1339 m ²
GROSS FLOOR AREA	1500m ²



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A	11/01/22	DA Drawings	B1200	02/09/21
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	02/09/21
			ASSETS	02/09/21
			DESIGN + PROJ.	02/09/21

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

CLIENT
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Penrith City Council

DWG TITLE
AREA SCHEDULE

PHASE
FOR DEVELOPMENT APPLICATION

ASSET NO.
B1200

DESIGN:
Designer
DRAWN:
Author

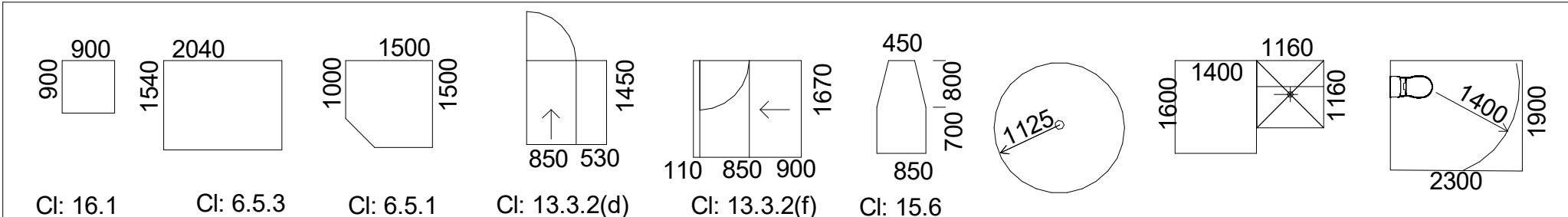
SHEET NO.
MP18302 - A243

SCALE:
1:200 @A3

ISSUE DATE
02/02/22

REV NO:
B

CIRCULATION PATHS extracted from AS1428.1 2009



LEGEND

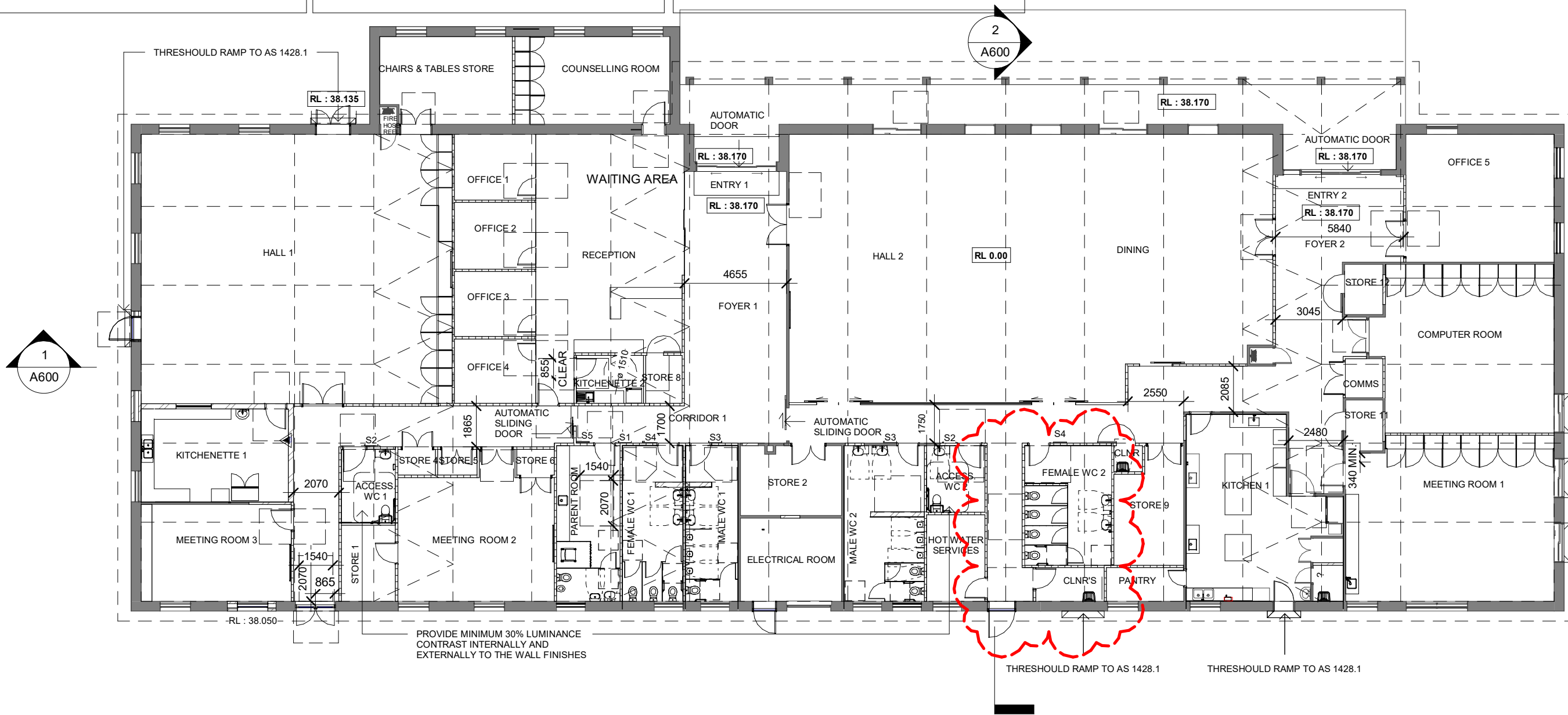
- S1 - Accessible Toilet Directional Signage, placed next to female WC 1 to show direction of the closest accessible toilet access WC 1
- S2 - Accessible Toilet Signage
- S3 - Male Toilet Signage
- S4 - Female Toilet Signage
- S5 - Parent's Room

LEGEND - CIRCULATION

ACCESSIBILITY
Accessibility facilities to comply with AS1428.1-2009, unless otherwise specified.

CIRCULATION PATH
Circulation path to comply with AS1428.1-2009, unless otherwise specified.
Dimensions noted are to be clear of finishes.

DOORS
All Door openings to comply with AS1428.1-2009, door circulation clause unless otherwise specified.



PROVIDE MINIMUM 30% LUMINANCE CONTRAST INTERNALLY AND EXTERNALLY TO THE WALL FINISHES

THRESHOLD RAMP TO AS 1428.1



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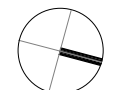
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	07/13/21
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	07/13/21
			ASSETS	07/13/21
			DESIGN + PROJ.	07/13/21

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	CIRCULATION LAYOUT
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

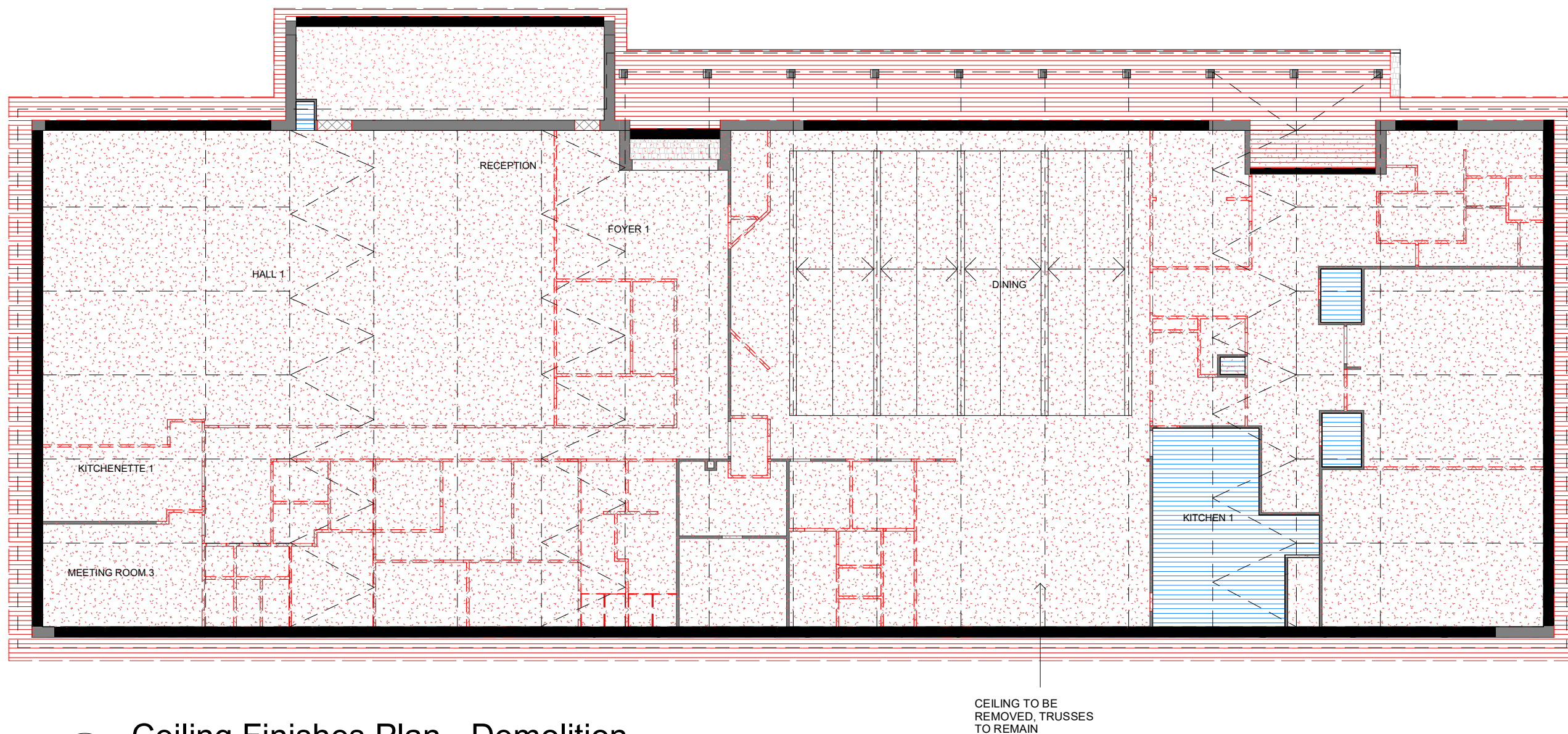
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DRAWN:	Author	ISSUE DATE	02/02/22
SHEET NO.	MP18302 - A250	REV NO:	B



Ceiling Legend - Demolition	
	Existing- To be retained
	Walls - To be demolished
	Ceiling - To be demolished
	Ceiling - To be retained

Note :
Existing ceiling height - 3100 (VOS)

- Scope of Works**
1. Cap services to be demolished
 2. Remove and discard ceiling fittings and fixtures
 3. Remove and discard ceiling lining to be demolished, make good for new
 4. Remove and discard ceiling services
- Note:**
1. For clarity ceiling Services, Fixtures, Fittings and Equipment not illustrated on plans
 2. Builder to carryout site inspection to identify Ceiling Services, Fixtures, Fittings & Equipment
 3. Condition report of Ceiling trusses and ceiling cavity following demolish of ceiling works.
 4. Carefully remove ceiling lining and services, care not to damage roof trusses.



1 Ceiling Finishes Plan - Demolition
1 : 200

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
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	06/23/21
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	06/23/21
			ASSETS	06/23/21
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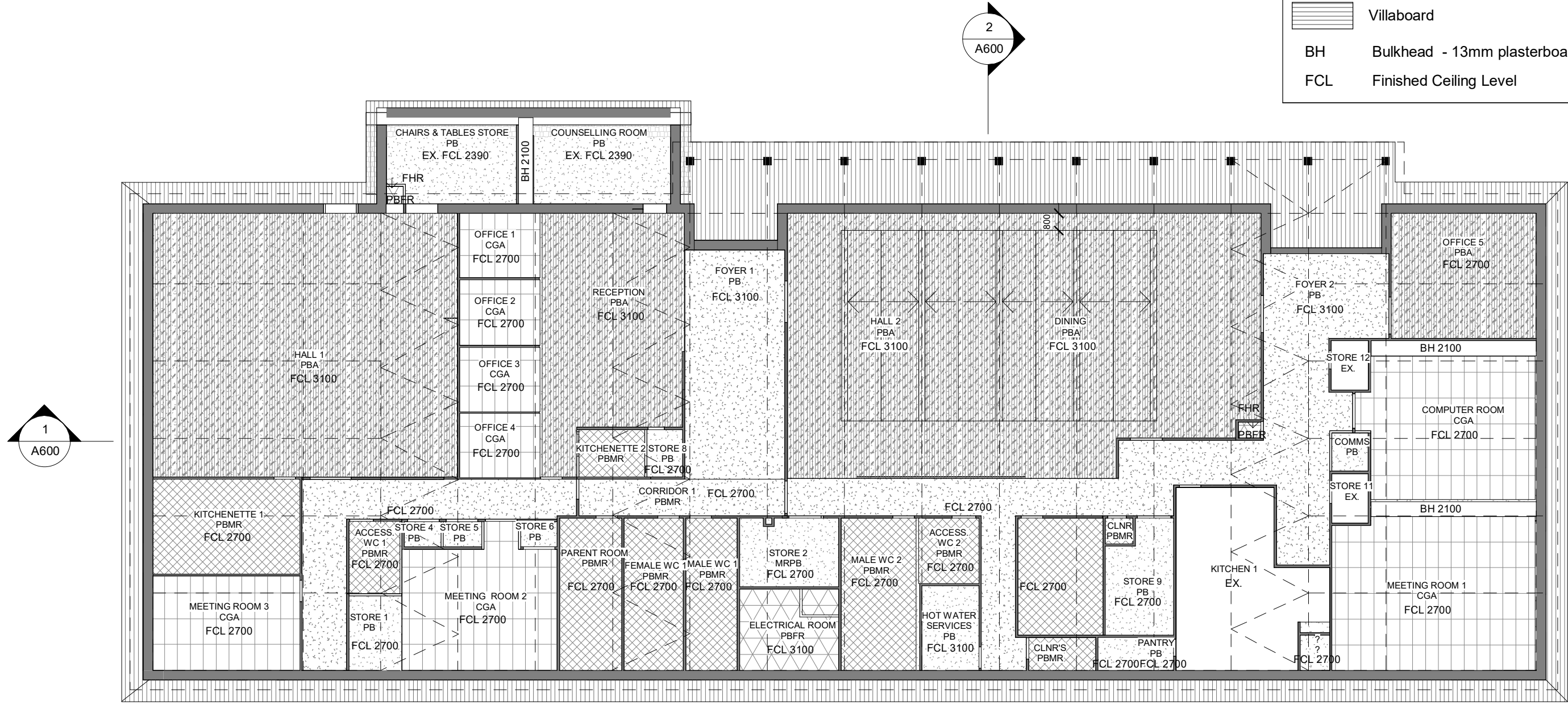
PROJECT Alterations & Additions
PROJECT ADDRESS St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT Facility & Recreation Penrith City Council

DWG TITLE CEILING - DEMOLITION
PHASE FOR DEVELOPMENT APPLICATION
ASSET NO. B1200

DESIGN: Designer DRAWN: Author	
SHEET NO. MP18302 - A302	REV NO. B

SCALE: 1:200 @A3
ISSUE DATE 02/02/22
REV NO. B

Ceiling Finishes Legend	
	Existing
	PB - Plasterboard - 13mm
	PBMR - Plasterboard - Moisture Resistant 13mm
	PBA - Plasterboard - Acoustic 13mm
	CGA - Ceiling grid with acoustic ceiling tiles - 1200x600
	PBFR - Fire rated plasterboard 2HR
	Villaboard
BH	Bulkhead - 13mm plasterboard
FCL	Finished Ceiling Level



1 Ceiling Finishes Plan - Proposed
1 : 200

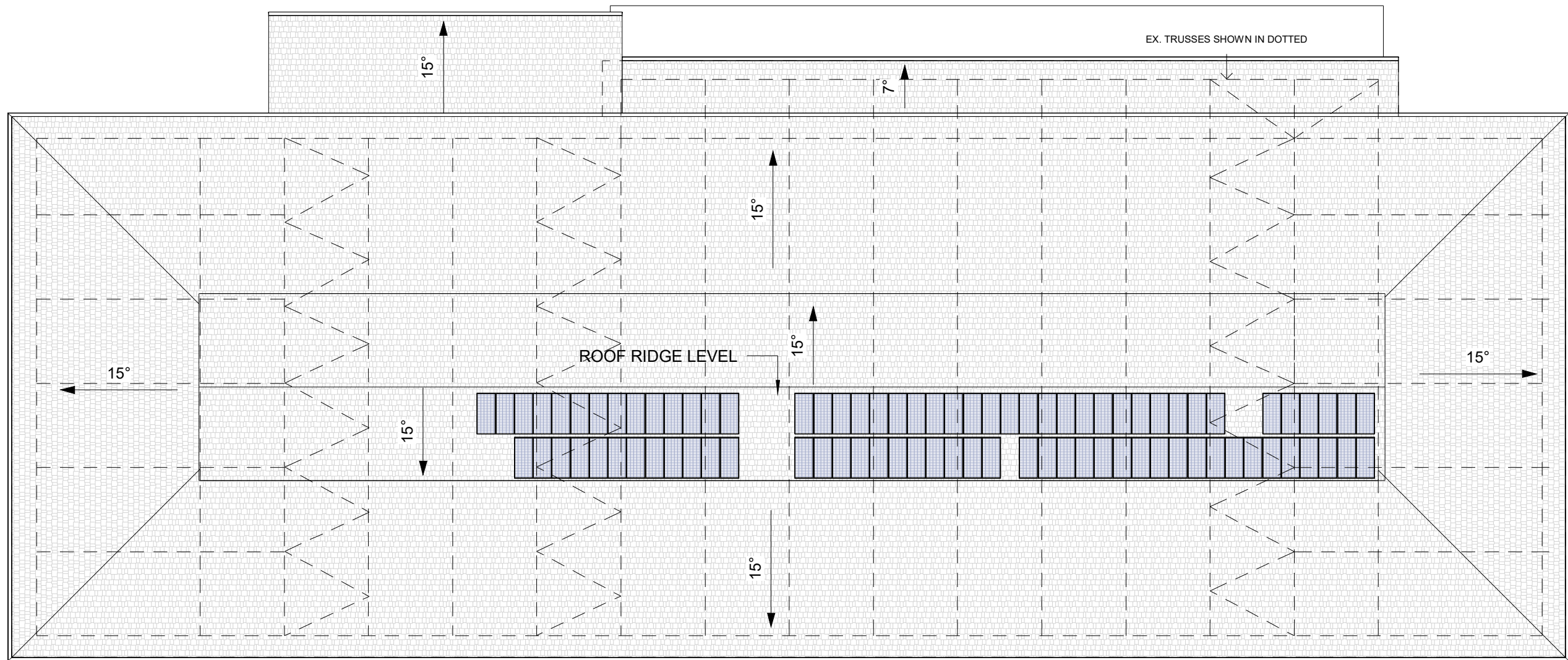
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	07/27/20
B	02/02/22	DEVELOPMENT APPLICATION		07/27/20
			ASSETS	07/27/20
			DESIGN + PROJ.	07/27/20

PROJECT Alterations & Additions
PROJECT ADDRESS St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT Facility & Recreation Penrith City Council

DWG TITLE CEILING FINISHES - PROPOSED
PHASE FOR DEVELOPMENT APPLICATION
ASSET NO. B1200

DESIGN: Designer		SCALE: 1:200 @A3
DRAWN: Author		ISSUE DATE 02/02/22
SHEET NO. MP18302 - A303		REV NO: B



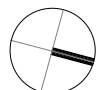
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				ASSETS 13/18/20
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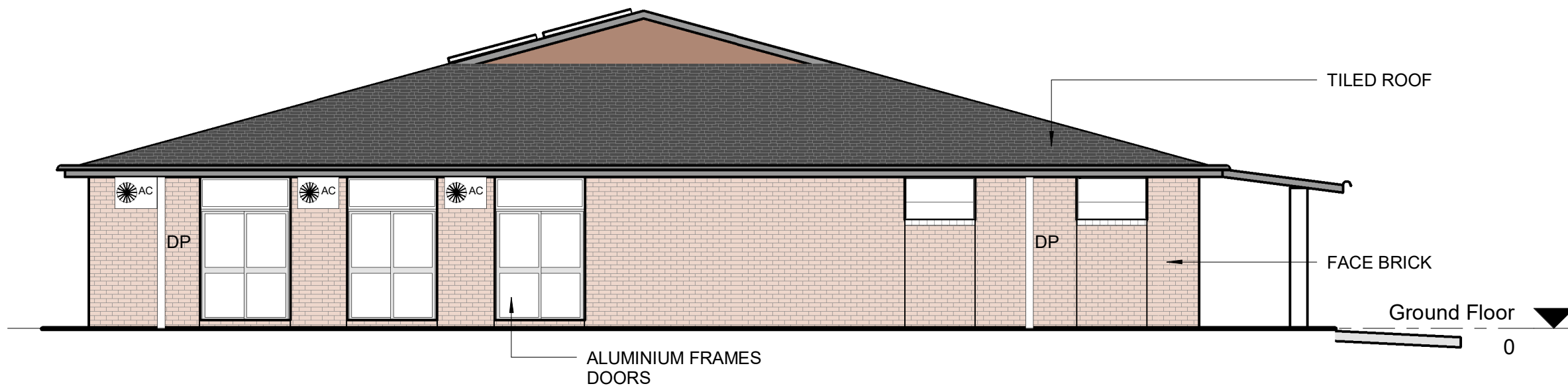
PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	ROOF PLAN - PROPOSED
PHASE	FOR INFORMATION ONLY
ASSET NO.	B1200

DESIGN:	Designer
DRAWN:	SP
SHEET NO.	MP18302 - A400

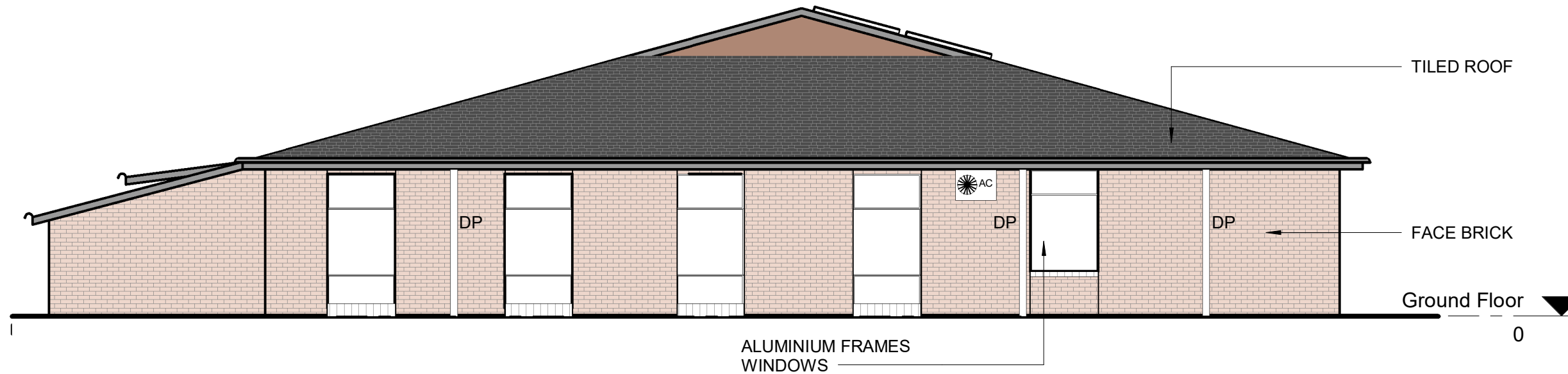
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ISSUE DATE	02/02/22
REV NO:	B





1 NORTH ELEVATION - EXISTING

1 : 100



2 SOUTH ELEVATION - EXISTING

1 : 100

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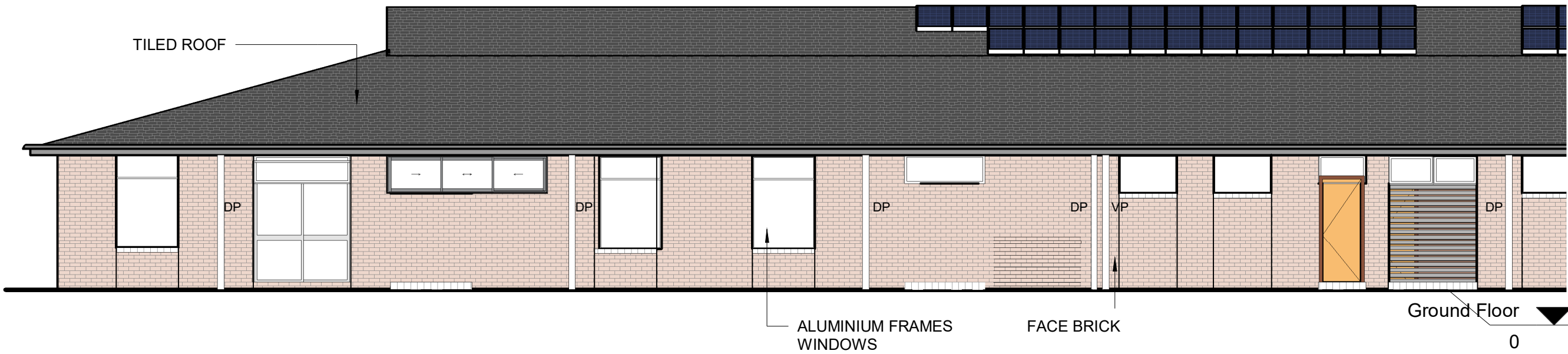
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B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 08/06/21
				ASSETS 08/06/21
				DESIGN + PROJ. 08/06/21

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	ELEVATIONS EXISTING 1-3
PHASE	FOR DEVELOPMENT APPLICATION

DESIGN:	Designer	SCALE:
DRAWN:	Author	ISSUE DATE
SHEET NO.	MP18302 - A511	REV NO:
ASSET NO.	B1200	B



1

EAST ELEVATION 1 - EXISTING

1 : 100



2

EAST ELEVATION 2 - EXISTING

1 : 100

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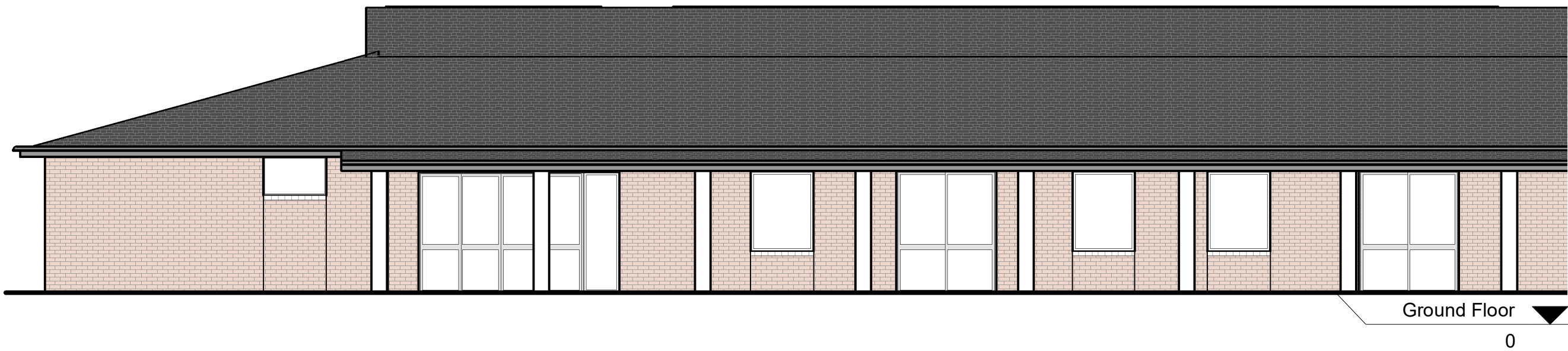
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A	11/01/22	DA Drawings		B1200 08/06/21
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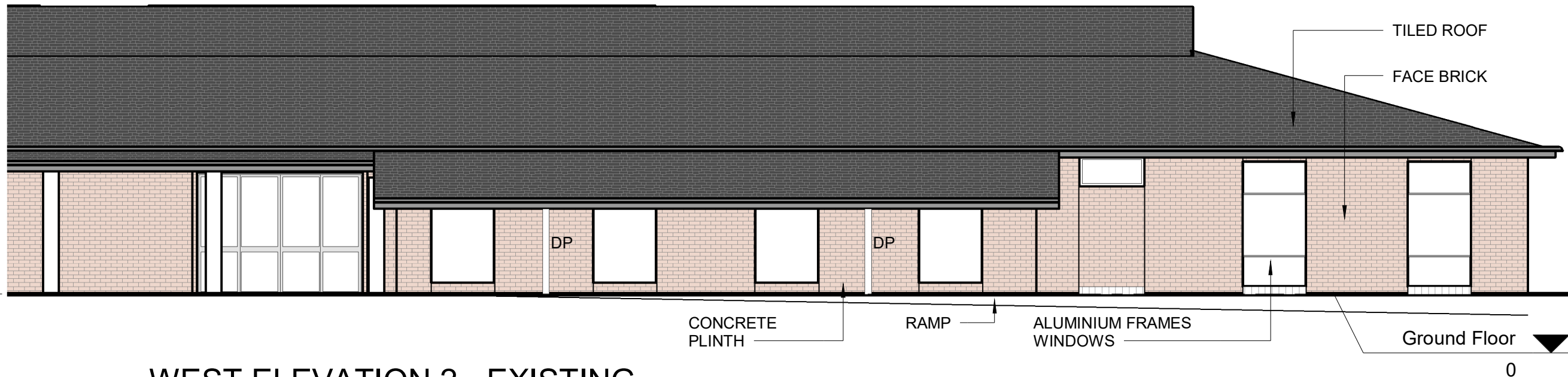
PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
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DWG TITLE	ELEVATIONS EXISTING 2-3
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	SCALE:
Designer	
DRAWN:	ISSUE DATE
Author	02/02/22
SHEET NO.	REV NO:
MP18302 - A513	B



1 WEST ELEVATION 1 - EXISTING
1 : 100



2 WEST ELEVATION 2 - EXISTING
1 : 100

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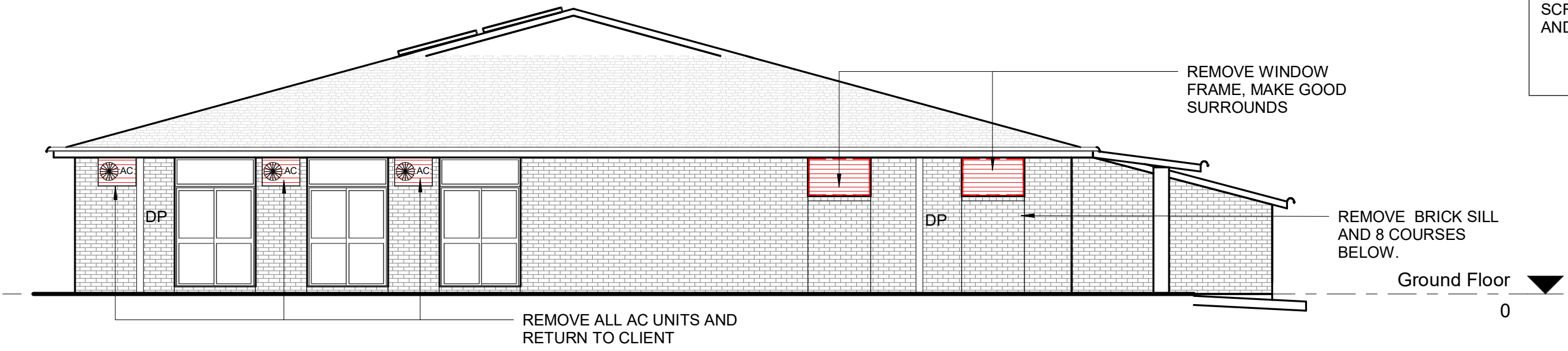
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B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 08/06/21
				ASSETS 08/06/21
				DESIGN + PROJ. 08/06/21

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

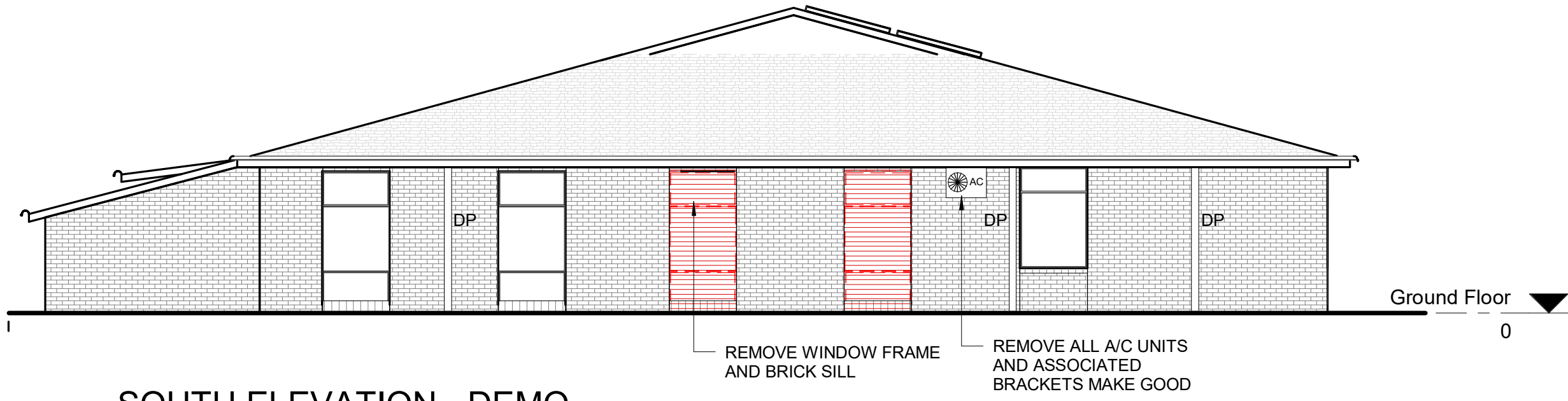
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PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	SCALE:
Designer	
DRAWN:	ISSUE DATE
Author	02/02/22
SHEET NO.	REV NO:
MP18302 - A514	B

NOTE:
REMOVE ALL SECURITY
SCREENS TO WINDOWS
AND DOORS



1 NORTH ELEVATION - DEMO
1 : 100



2 SOUTH ELEVATION - DEMO
1 : 100

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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings		B1200 08/06/21
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 08/06/21
				ASSETS 08/06/21
				DESIGN + PROJ. 08/06/21

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

CLIENT
Facility & Recreation
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DWG TITLE
ELEVATIONS DEMOLITION 1-3

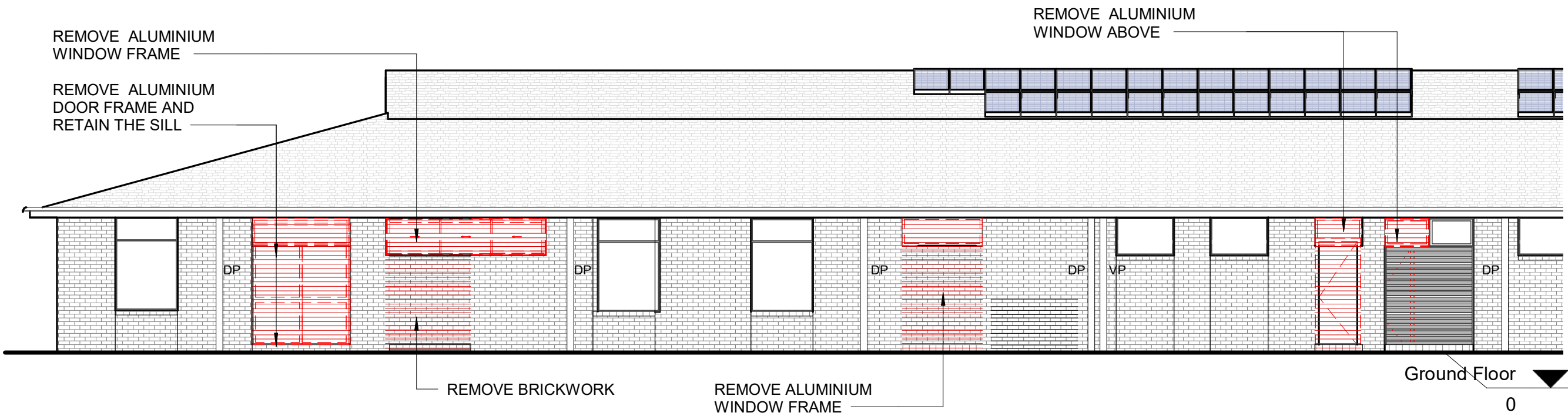
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FOR DEVELOPMENT APPLICATION

ASSET NO.
B1200

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DRAWN:
Author
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MP18302 - A521

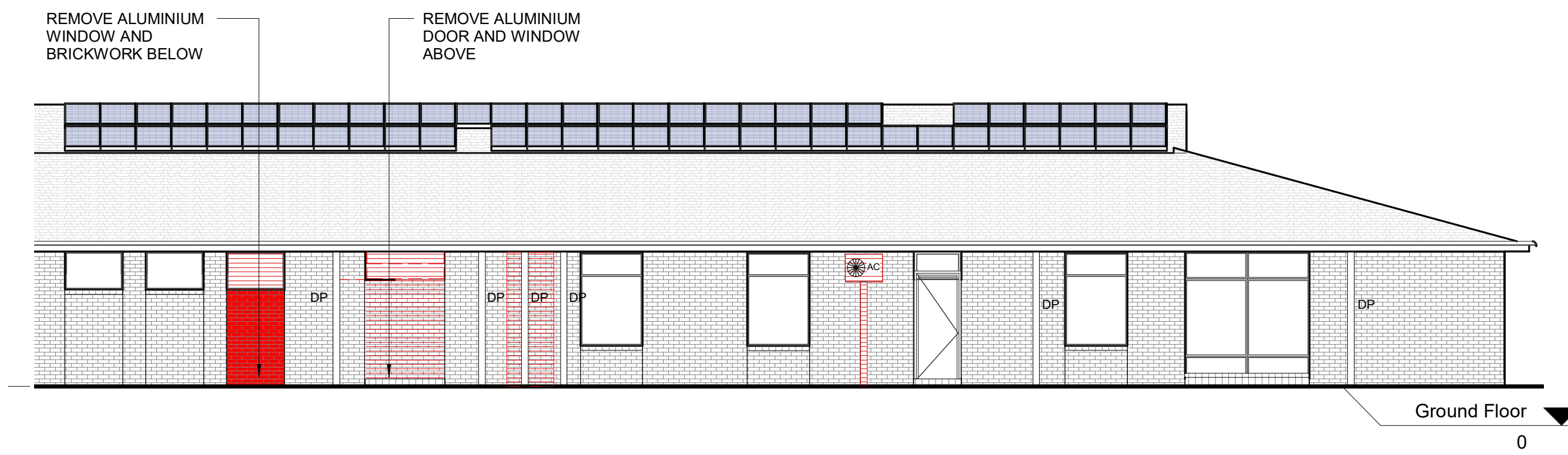
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ISSUE DATE
02/02/22

REV NO:
B



NOTE:
REMOVE ALL SECURITY
SCREENS TO WINDOWS
AND DOORS

1 EAST ELEVATION 1 - DEMO
1 : 100



2 EAST ELEVATION 2 - DEMO
1 : 100

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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	08/06/21
B	02/02/22	DEVELOPMENT APPLICATION		08/06/21
			ASSETS	08/06/21
			DESIGN + PROJ.	08/06/21

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

CLIENT
Facility & Recreation
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DWG TITLE
ELEVATIONS DEMOLITION 2-3

PHASE
FOR DEVELOPMENT APPLICATION

ASSET NO.
B1200

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DRAWN:
Author

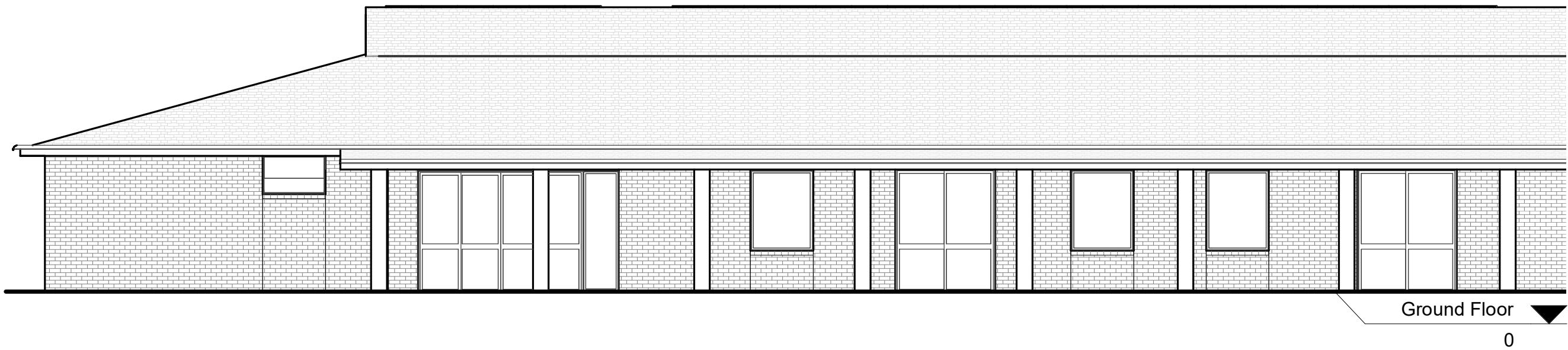
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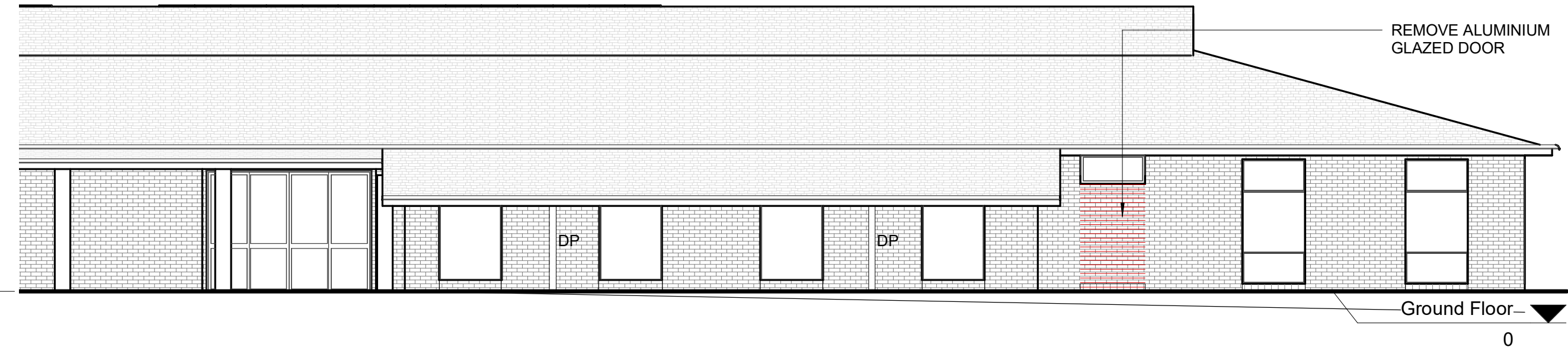
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NOTE:
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SCREENS TO WINDOWS
AND DOORS



1 WEST ELEVATION 1 - DEMO
1 : 100



2 WEST ELEVATION 2 - DEMO
1 : 100

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Document Set ID: 9900125

Version: 1, Version Date: 04/02/2022
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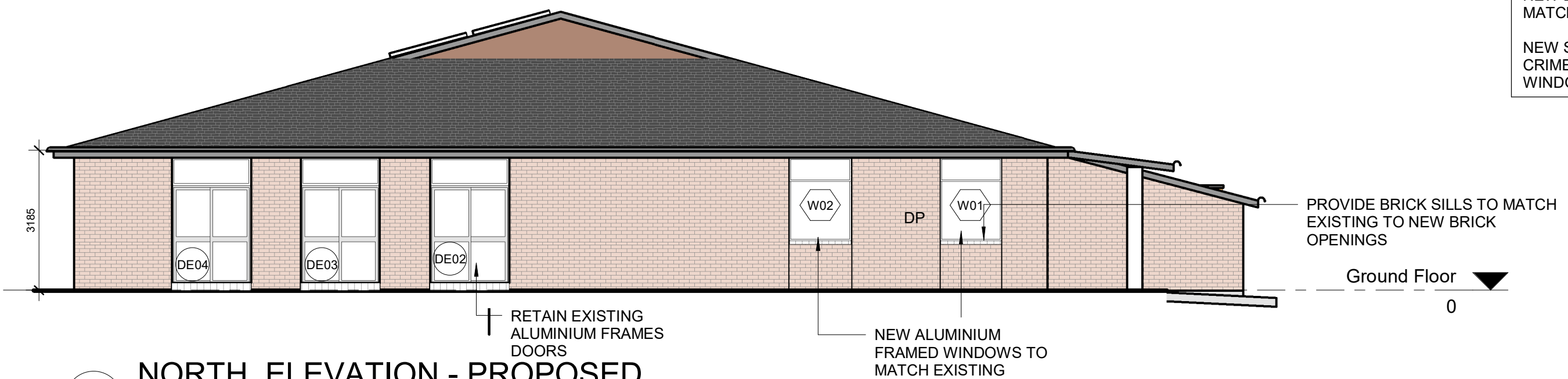
REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings		B1200 08/06/21
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 08/06/21
				ASSETS 08/06/21
				DESIGN + PROJ. 08/06/21

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

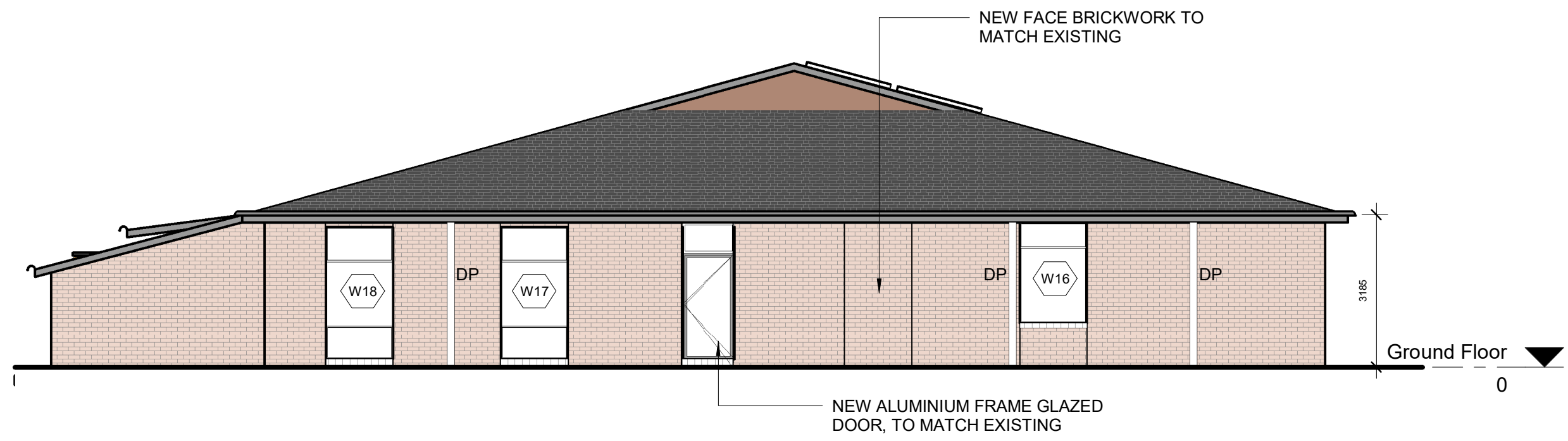
DWG TITLE	ELEVATIONS DEMOLITION 3-3
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	SCALE:
Designer	
DRAWN:	ISSUE DATE
Author	02/02/22
SHEET NO.	REV NO:
MP18302 - A524	B

NOTE:
 NEW BRICK WORK TO MATCH EXISTING
 NEW SECURITY SCREENS, CRIMESAFE ALL EQUAL TO WINDOWS



1 NORTH ELEVATION - PROPOSED
 1 : 100



2 SOUTH ELEVATION - PROPOSED
 1 : 100

DESIGN
PENRITH CITY COUNCIL
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 NSW 2750 Australia
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 NSW 2751 Australia
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings		B1200 08/06/21
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 08/06/21
				ASSETS 08/06/21
				DESIGN + PROJ. 08/06/21

PROJECT
 Alterations & Additions
PROJECT ADDRESS
 St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT
 Facility & Recreation
 Penrith City Council

DWG TITLE
 ELEVATIONS PROPOSED 1-3
PHASE
 FOR DEVELOPMENT APPLICATION

DESIGN:
 Designer
DRAWN:
 Author
SHEET NO.
 MP18302 - A531
ASSET NO.
 B1200
SCALE:
 ISSUE DATE
 02/02/22
REV NO:
 B

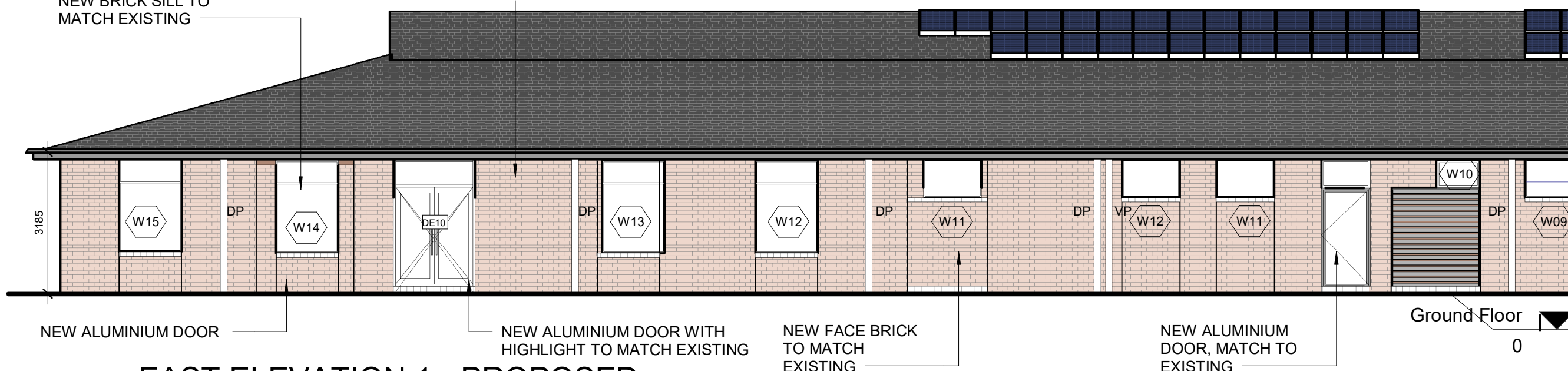
NEW ALUMINIUM
GLAZED WINDOW AND
NEW BRICK SILL TO
MATCH EXISTING

NEW BRICKWORK TO
MATCH EXISTING

NOTE:

NEW BRICK WORK TO
MATCH EXISTING

NEW SECURITY SCREENS,
CRIMESAFE ALL EQUAL TO
WINDOWS



2

EAST ELEVATION 1 - PROPOSED

1 : 100

NEW ALUMINIUM
GLAZED WINDOW AND
NEW BRICK SILL TO
MATCH EXISTING

PROPOSED NEW WINDOW

NEW BRICKWORK TO
MATCH EXISTING



3

EAST ELEVATION 2 - PROPOSED

1 : 100

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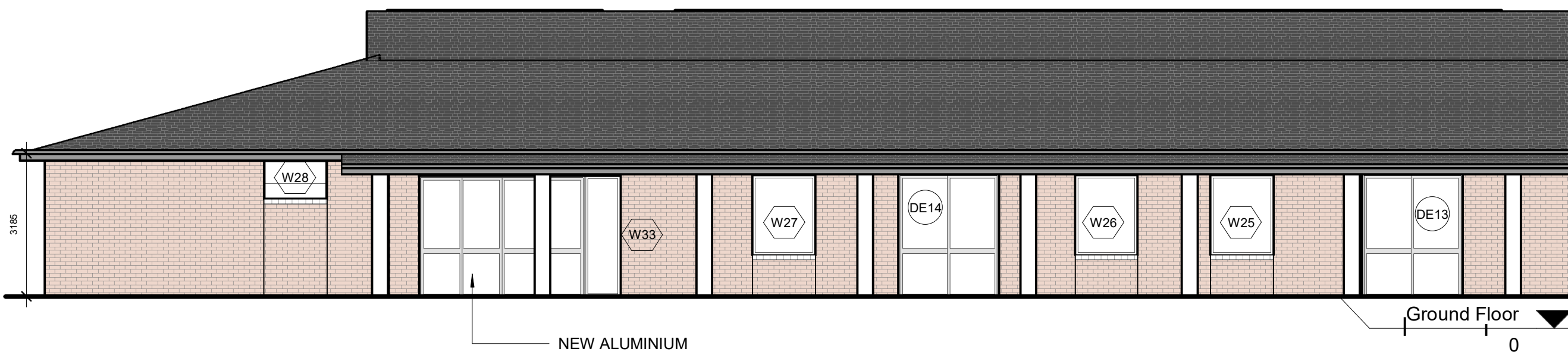
REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	13/08/20
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	13/08/20
			ASSETS	13/08/20
			DESIGN + PROJ.	13/08/20

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	ELEVATIONS PROPOSED 2-3
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

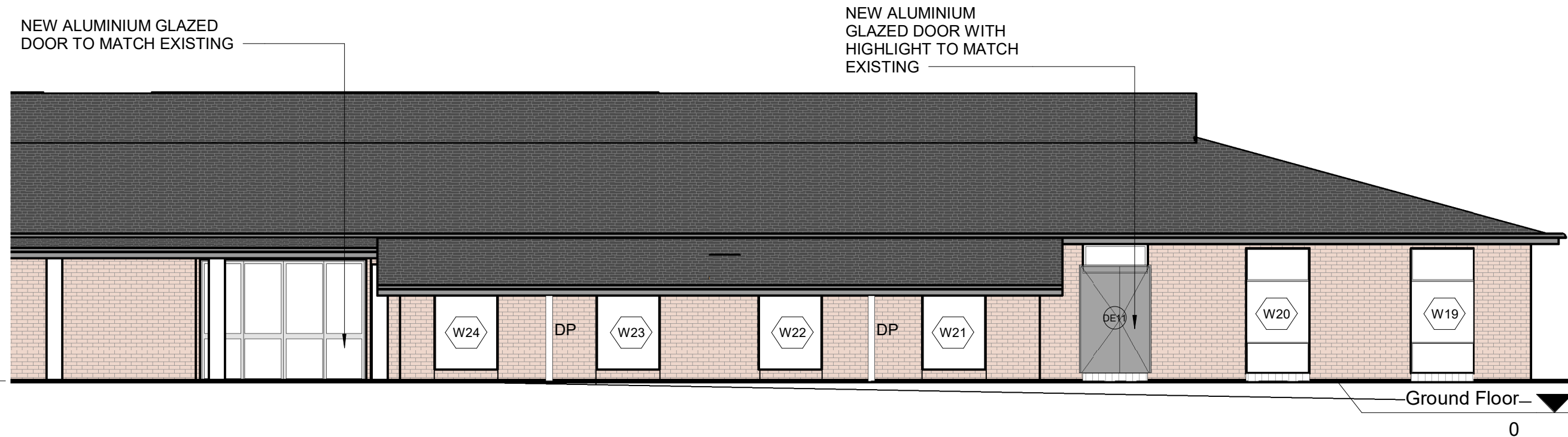
DESIGN:	Designer	SCALE:	
DRAWN:	SP	ISSUE DATE	02/02/22
SHEET NO.	MP18302 - A533	REV NO:	B

NOTE:
 NEW BRICK WORK TO MATCH EXISTING
 NEW SECURITY SCREENS, CRIMESAFE ALL EQUAL TO WINDOWS



2 WEST ELEVATION 1
 1 : 100

NEW ALUMINIUM GLAZED DOOR TO MATCH EXISTING



3 WEST ELEVATION 2
 1 : 100

NEW ALUMINIUM GLAZED DOOR WITH HIGHLIGHT TO MATCH EXISTING



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Document Set ID: 9900125

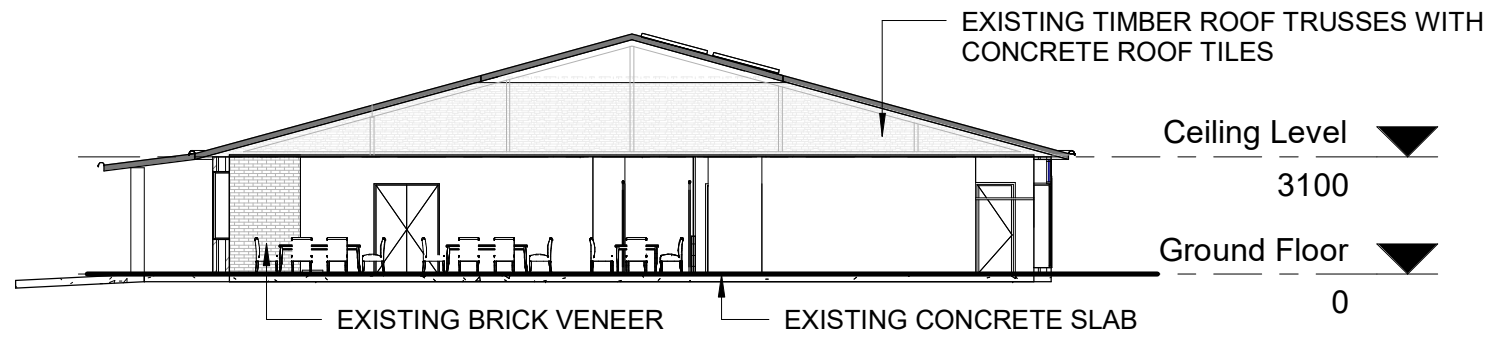
Version: 1, Version Date: 04/02/2022
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	13/08/20
B	02/02/22	DEVELOPMENT APPLICATION		13/08/20
			ASSETS	13/08/20
			DESIGN + PROJ.	13/08/20

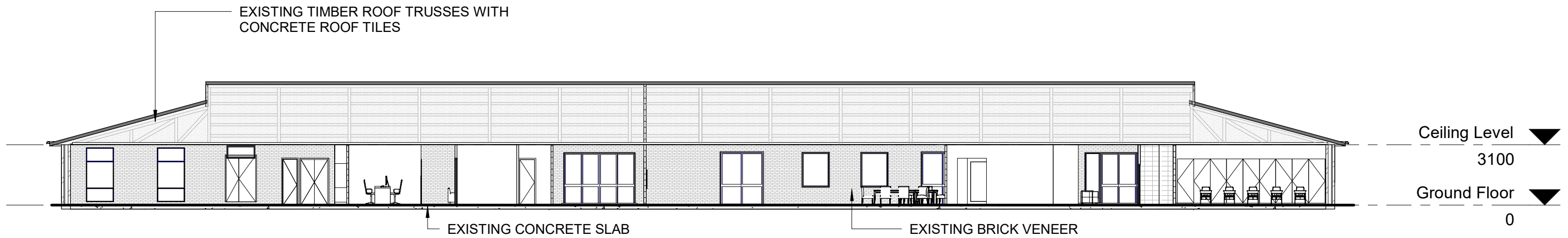
PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	ELEVATIONS PROPOSED 3-3
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer	SCALE:
DRAWN:	SP	ISSUE DATE
SHEET NO.	MP18302 - A534	02/02/22
REV NO:	B	REV NO:



2 Section 2
1 : 200



1 Section 1
1 : 200

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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings		B1200 07/27/20
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 07/27/20
				ASSETS 07/27/20
				DESIGN + PROJ. 07/27/20

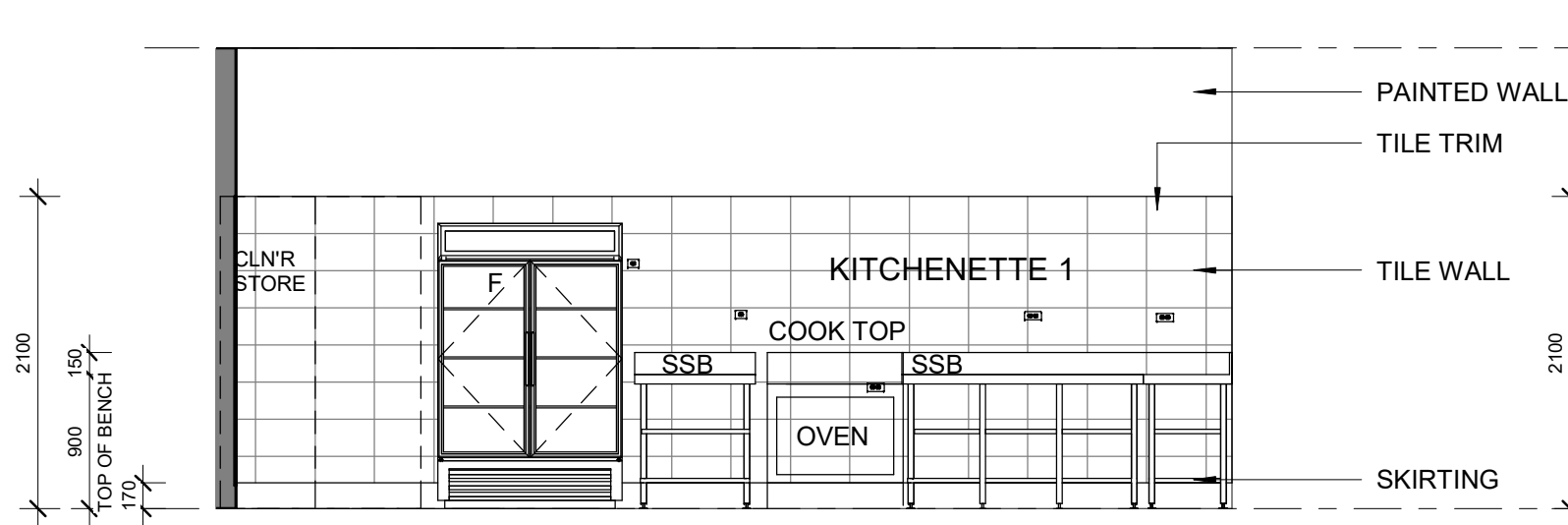
PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	SECTIONS - PROPOSED
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	SCALE:
Designer	
DRAWN:	ISSUE DATE
Author	02/02/22
SHEET NO.	REV NO:
MP18302 - A600	B

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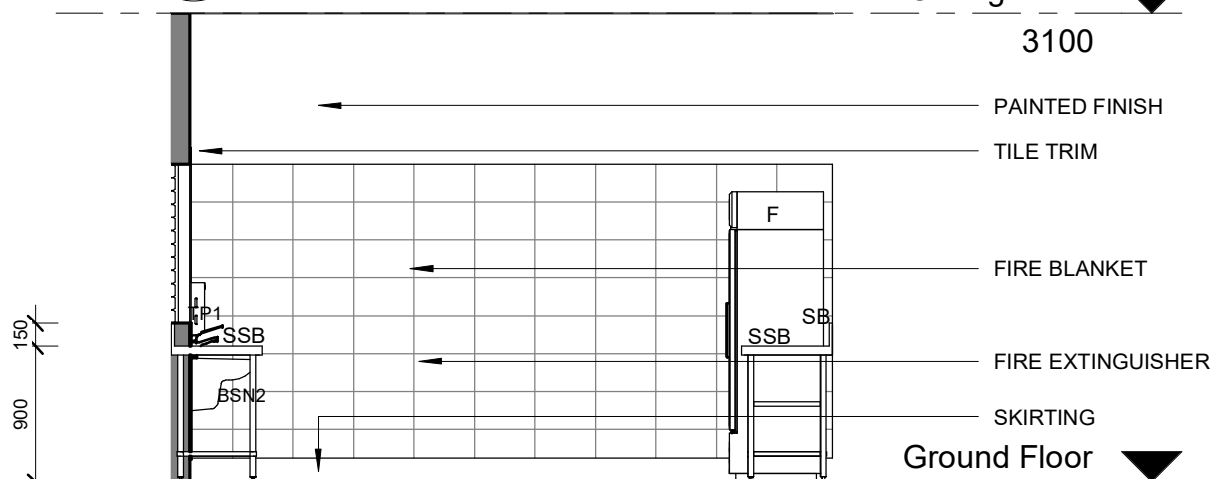
Elevation 1 - Kitchenette 1

2

1 : 50

Ceiling Level ▼

3100



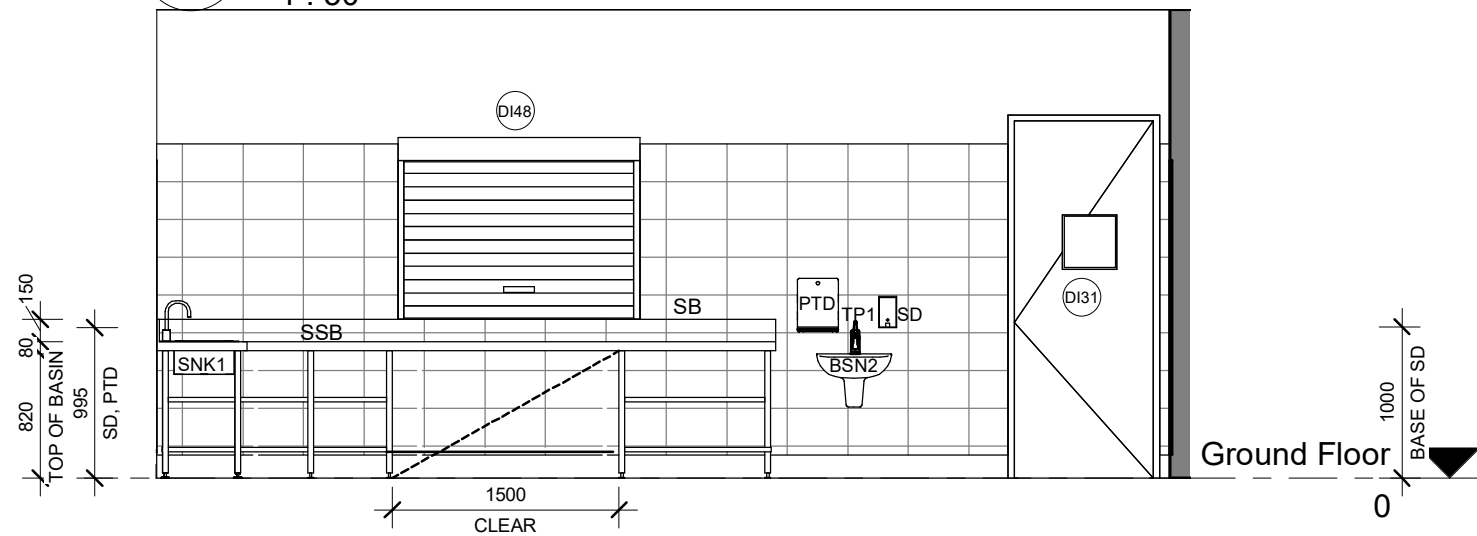
Elevation 3 - Kitchenette 1

4

1 : 50

Ground Floor ▼

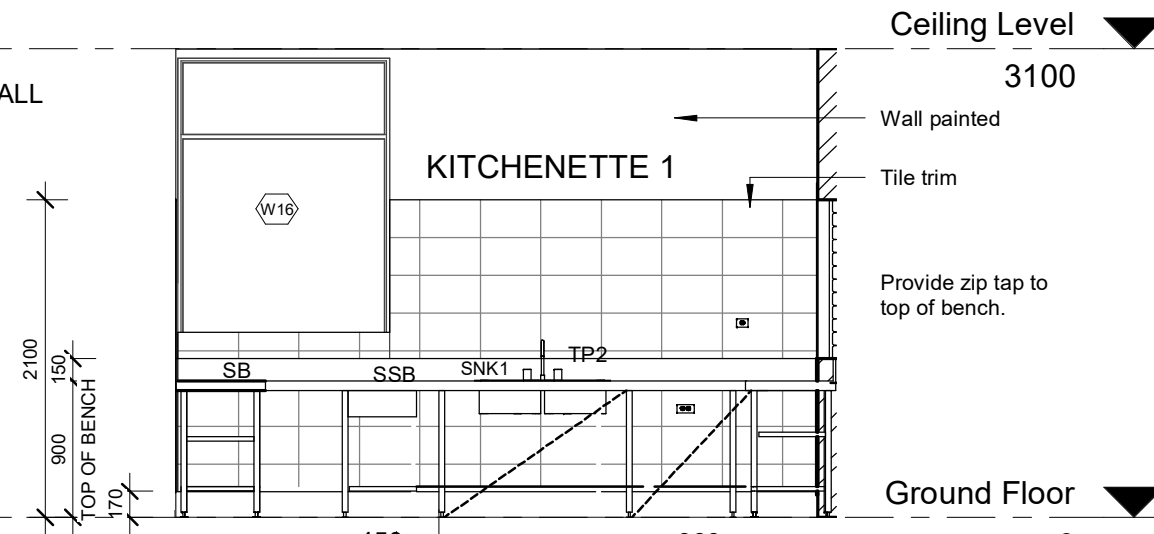
0



Elevation 4 - Kitchenette 1

5

1 : 50



Ceiling Level ▼

3100

Wall painted

Tile trim

Provide zip tap to top of bench.

Ground Floor ▼

0

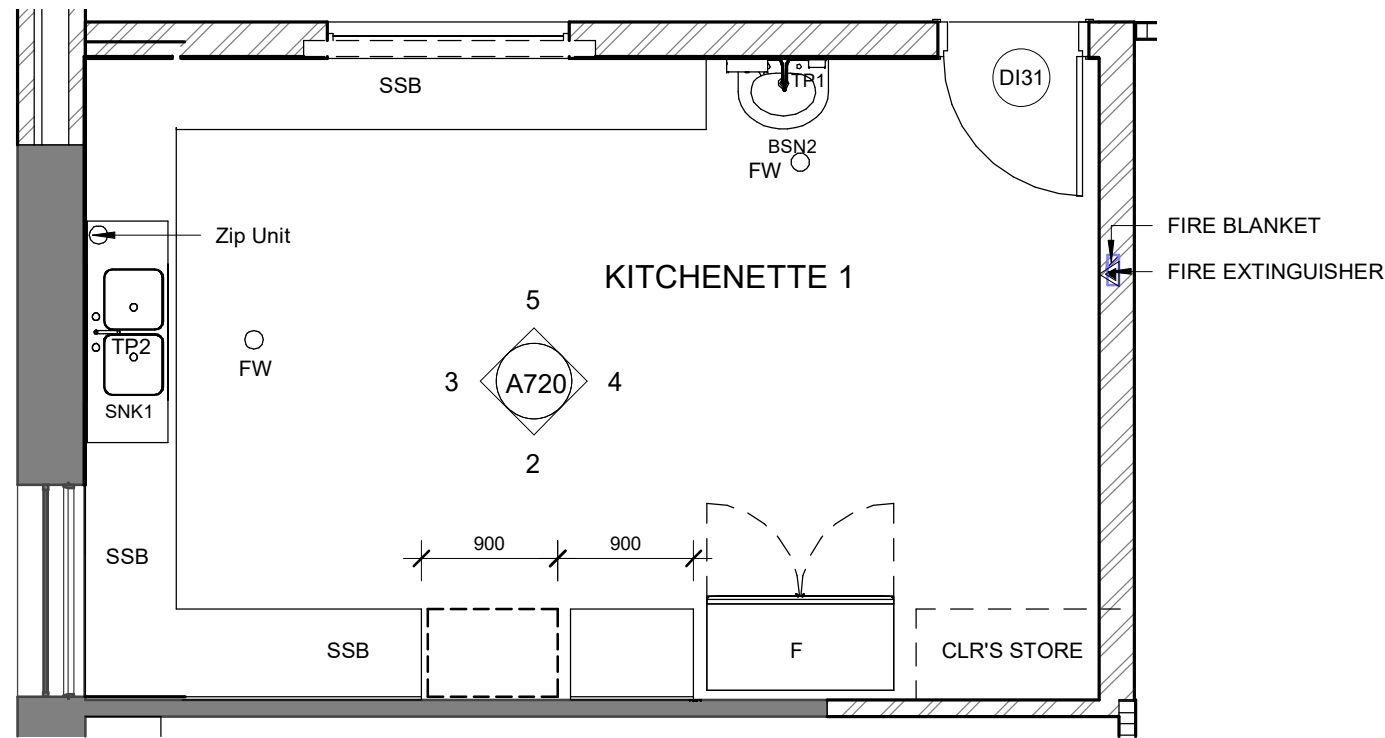
BIN STORE 450 CLEAR 1200 CLEAR 900

Cutlery drawer. No shelves to be provided under this unit to enable wheelchair access. Dishwasher

Elevation 2 - Kitchenette 1

3

1 : 50



Plan - Kitchenette 1

1

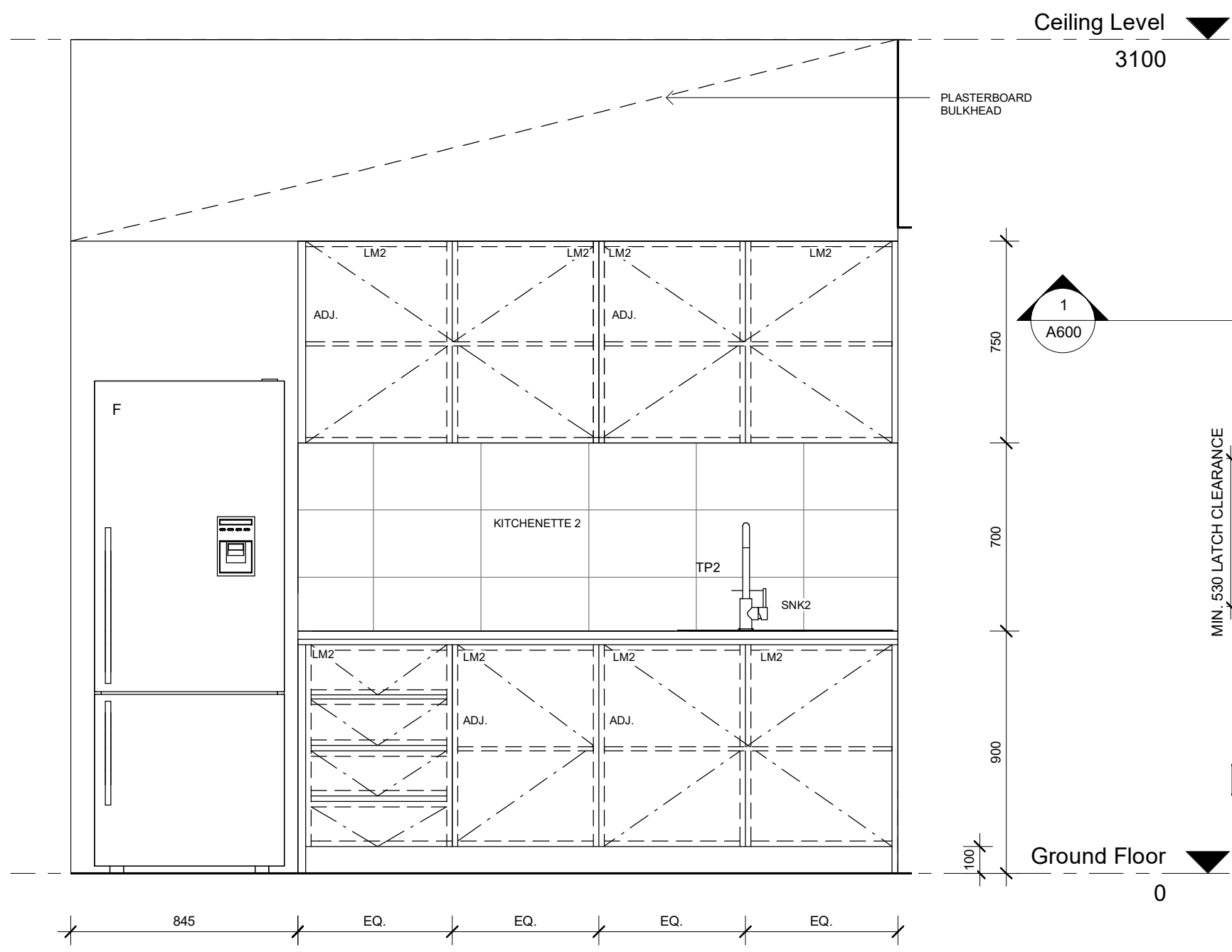
1 : 50

REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	05/10/21
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	05/10/21
			ASSETS	05/10/21
			DESIGN + PROJ.	05/10/21

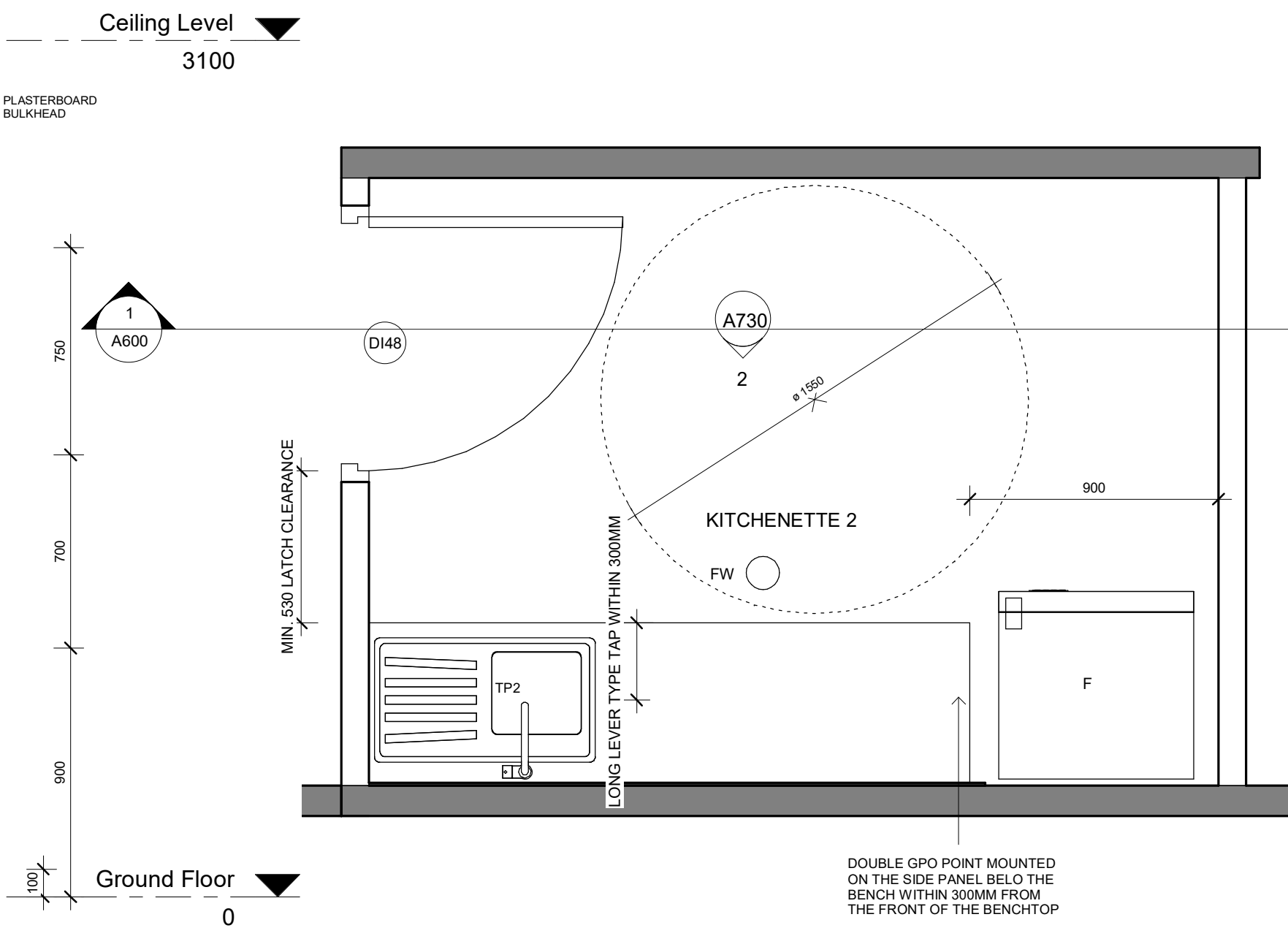
PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	ROOM - KITCHENETTE 1
PHASE	FOR DEVELOPMENT APPLICATION

DESIGN:	Designer	SCALE:
DRAWN:	Author	ISSUE DATE
SHEET NO.	MP18302 - A720	02/02/22
ASSET NO.	B1200	REV NO:
		B



2 Elevation 1 - Kitchenette 2
1 : 20



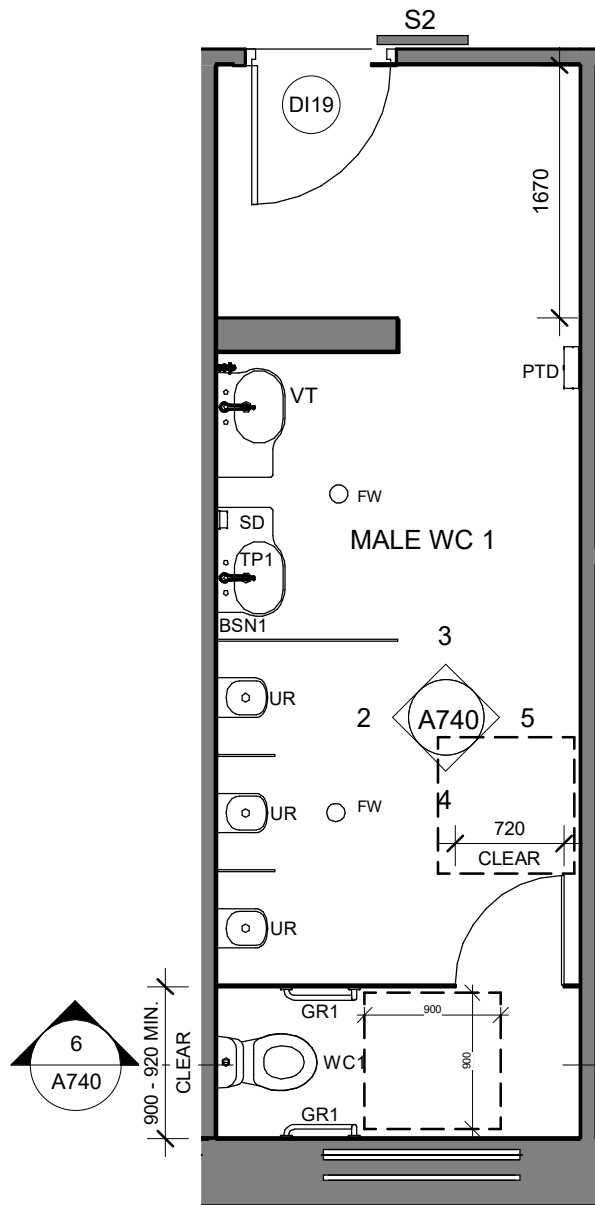
1 Plan - Kitchenette 2
1 : 20

REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	08/10/21
B	02/02/22	DEVELOPMENT APPLICATION	CLIENT	08/10/21
			ASSETS	08/10/21
			DESIGN + PROJ.	08/10/21

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

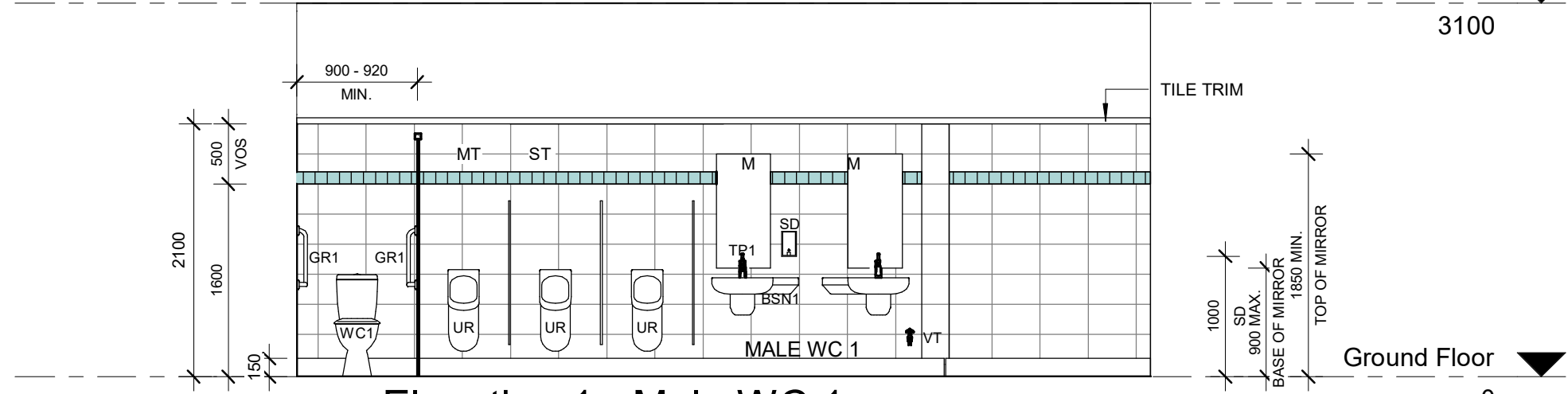
DWG TITLE	ROOM - KITCHENETTE 2
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer	SCALE:
DRAWN:	Author	ISSUE DATE
SHEET NO.	MP18302 - A730	02/02/22
REV NO:	B	REV NO:



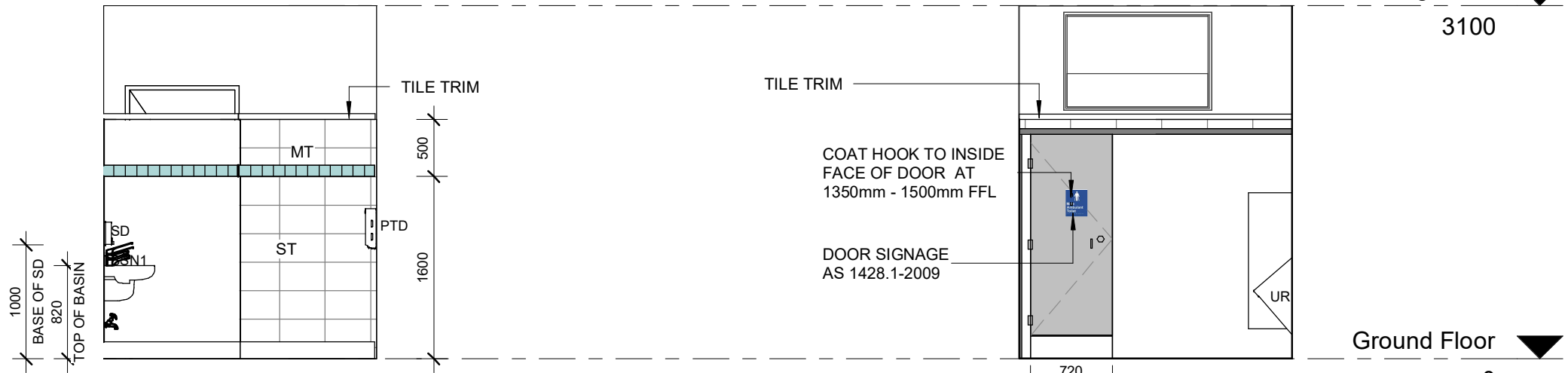
Male WC 1 - Plan

1
1 : 50



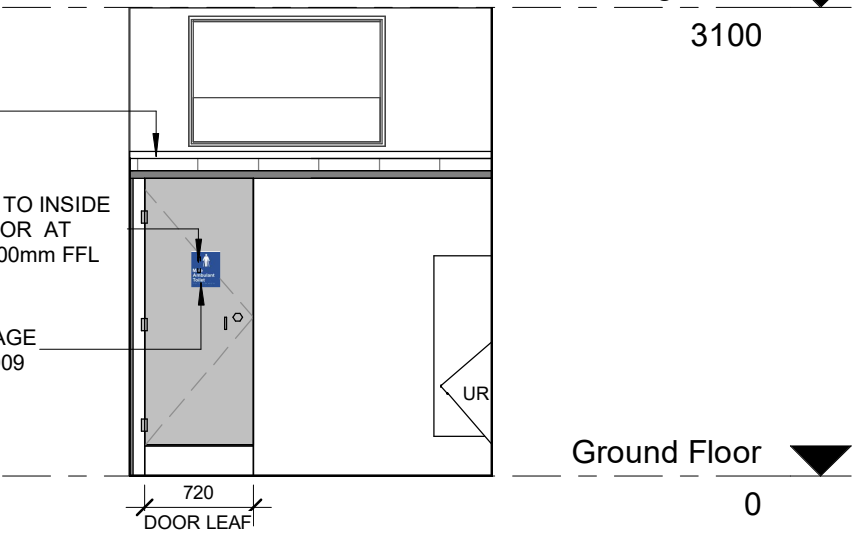
Elevation 1 - Male WC 1

2
1 : 50



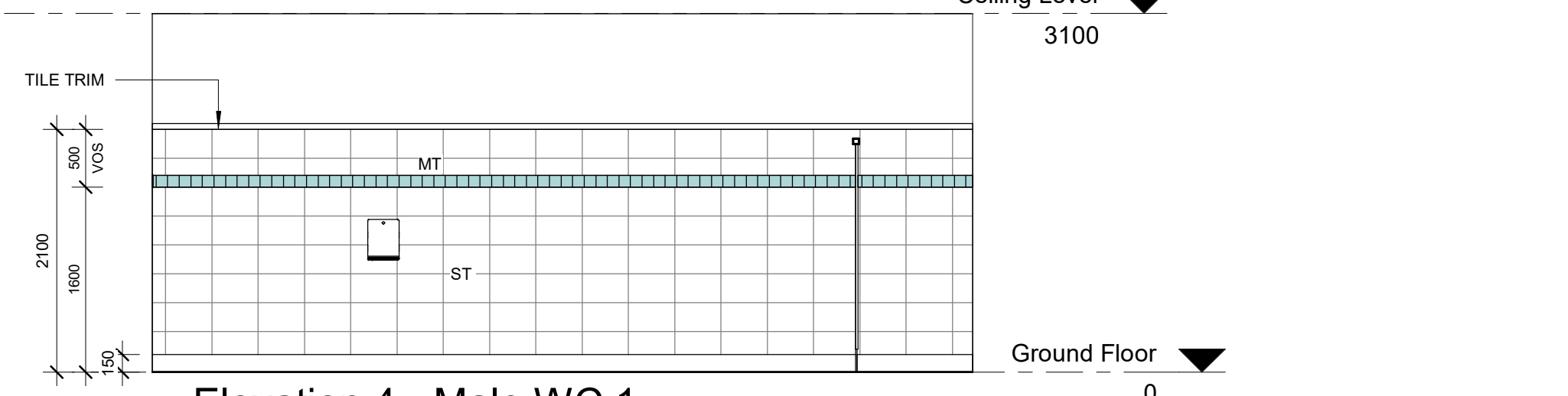
Elevation 2 - Male WC 1

3
1 : 50



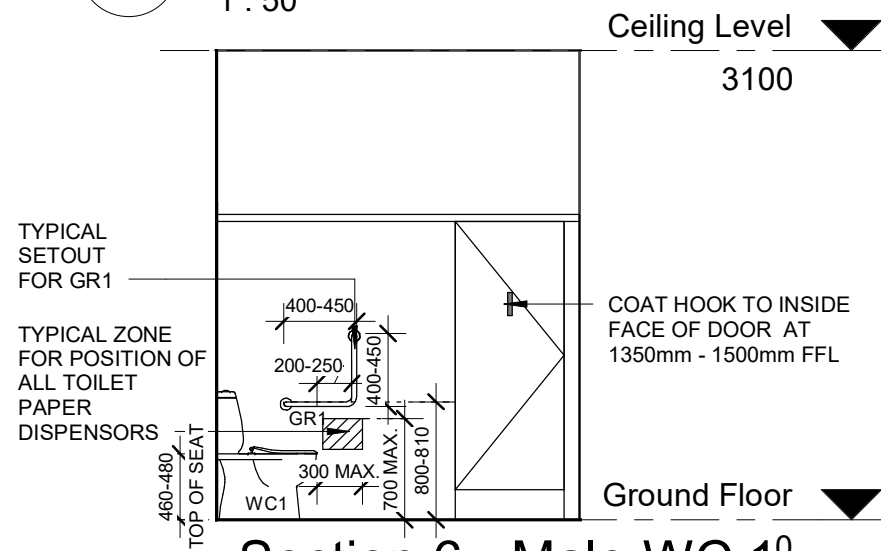
Elevation 3 - Male WC 1

4
1 : 50



Elevation 4 - Male WC 1

5
1 : 50



Section 6 - Male WC 1

6
1 : 50

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Version: 1, Version Date: 04/02/2022
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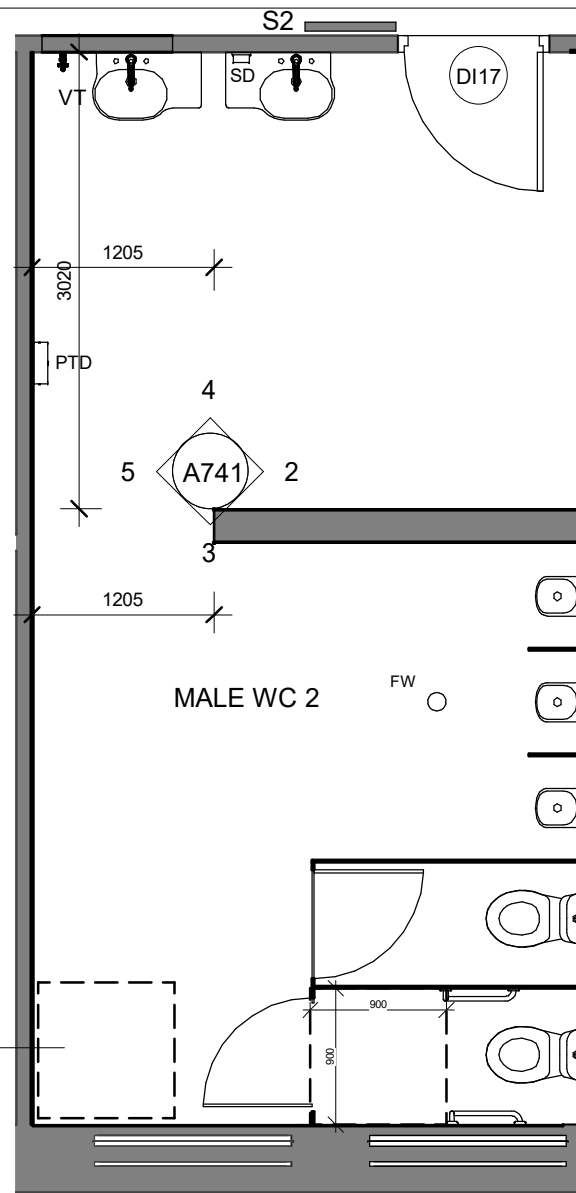
REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	05/1/21
B	02/02/22	DEVELOPMENT APPLICATION		05/1/21
			ASSETS	05/1/21
			DESIGN + PROJ.	05/1/21

PROJECT	PROJECT ADDRESS	CLIENT
Alterations & Additions	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW	Facility & Recreation Penrith City Council

DWG TITLE	PHASE	ASSET NO.
ROOM - TOILET MALE 1	FOR DEVELOPMENT APPLICATION	B1200

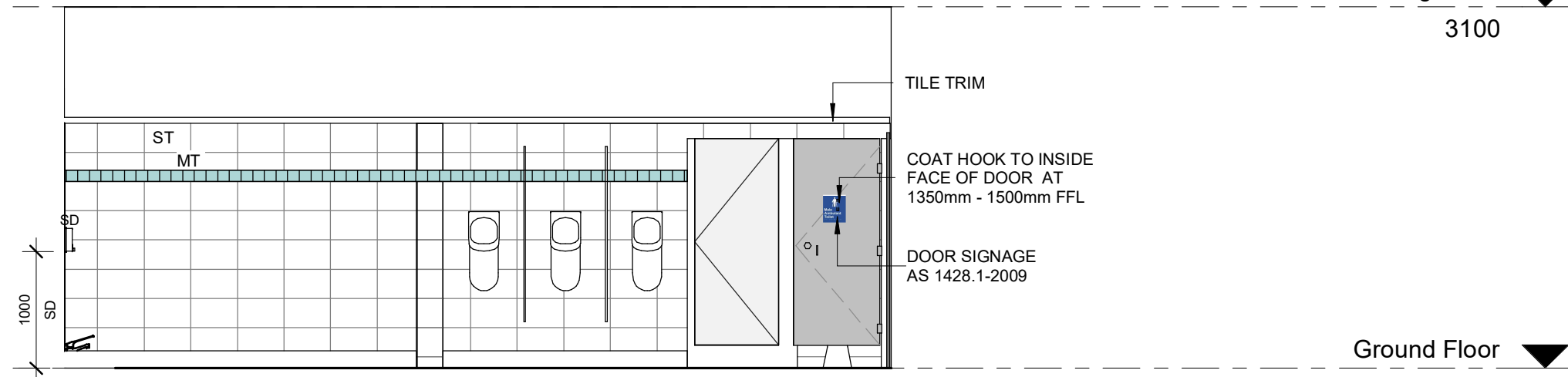
DESIGN:	SCALE:
Designer	
DRAWN:	ISSUE DATE
Author	02/02/22
SHEET NO.	REV NO:
MP18302 - A740	B

PRINT: (A3)



1 Male WC 2 - Plan

1 : 50



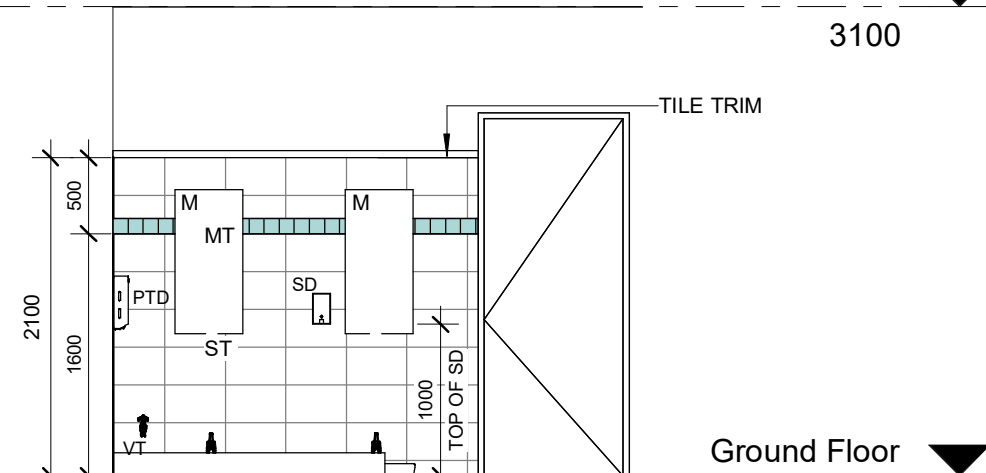
2 Elevation 1 - Male WC 2

1 : 50



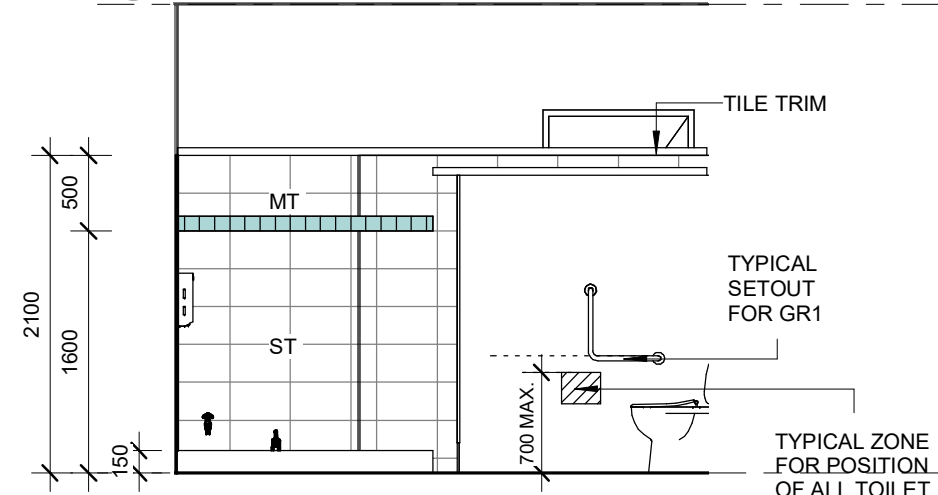
3 Elevation 2 - Male WC 2

1 : 50



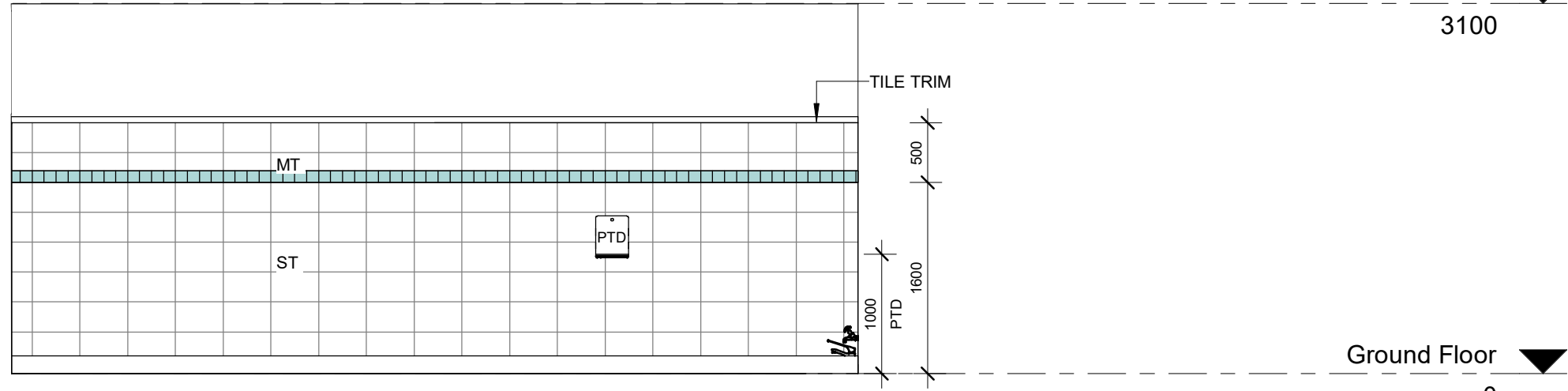
4 Elevation 3 - Male WC 2

1 : 50



6 Section 6 - Male WC 2

1 : 50



5 Elevation 4 - Male WC 2

1 : 50

Ceiling Level 3100

Ground Floor 0

Ceiling Level 3100

Ground Floor 0

Ceiling Level 3100

Ground Floor 0

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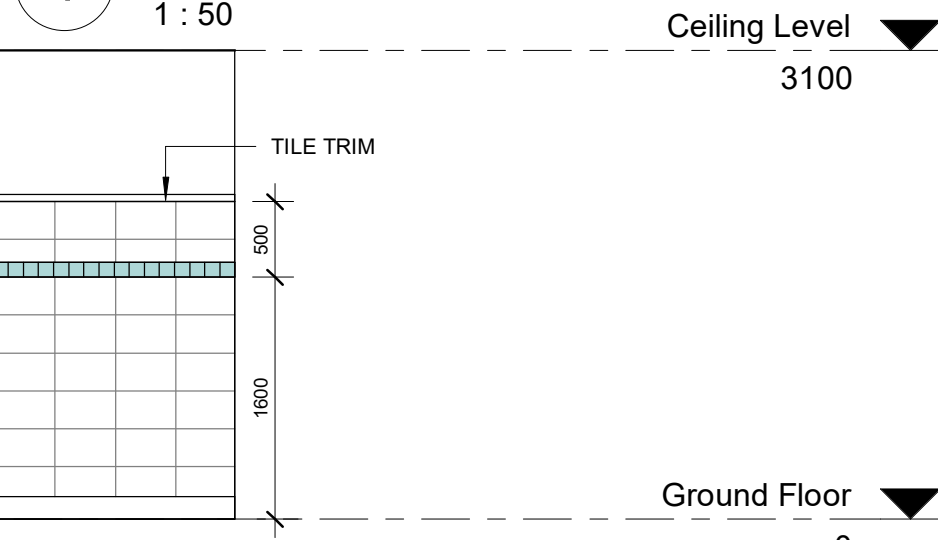
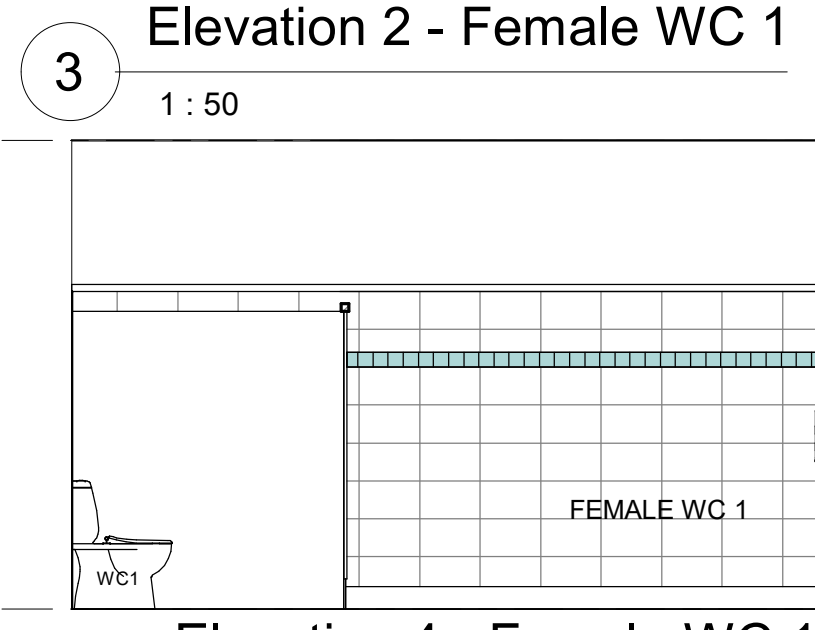
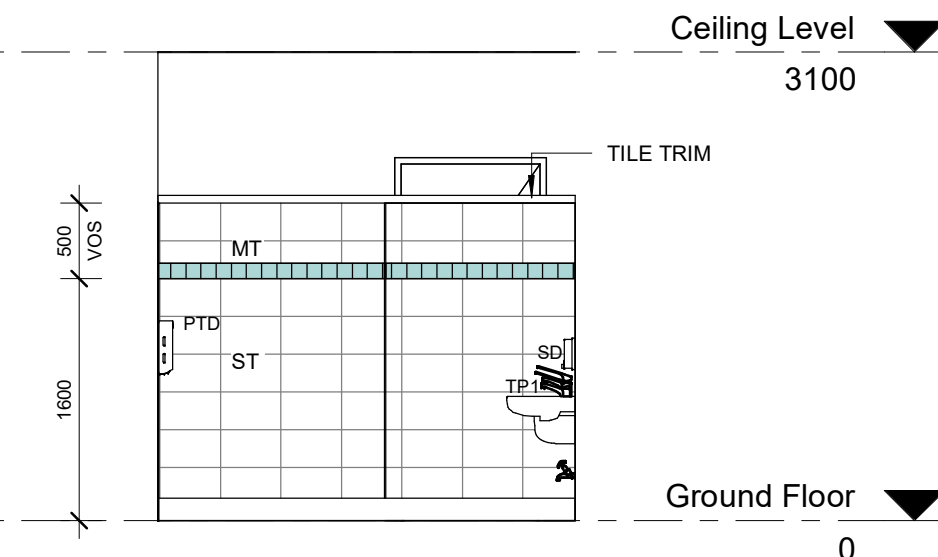
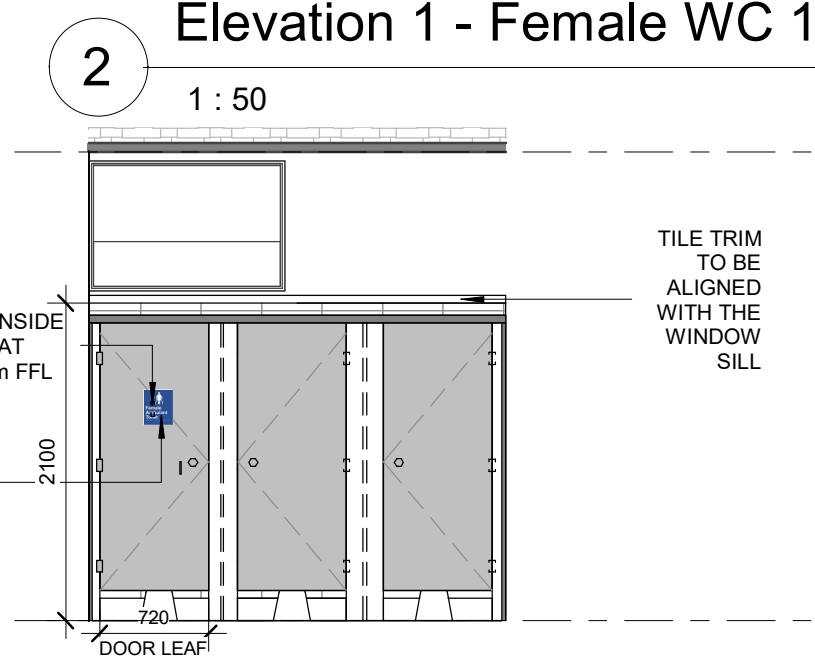
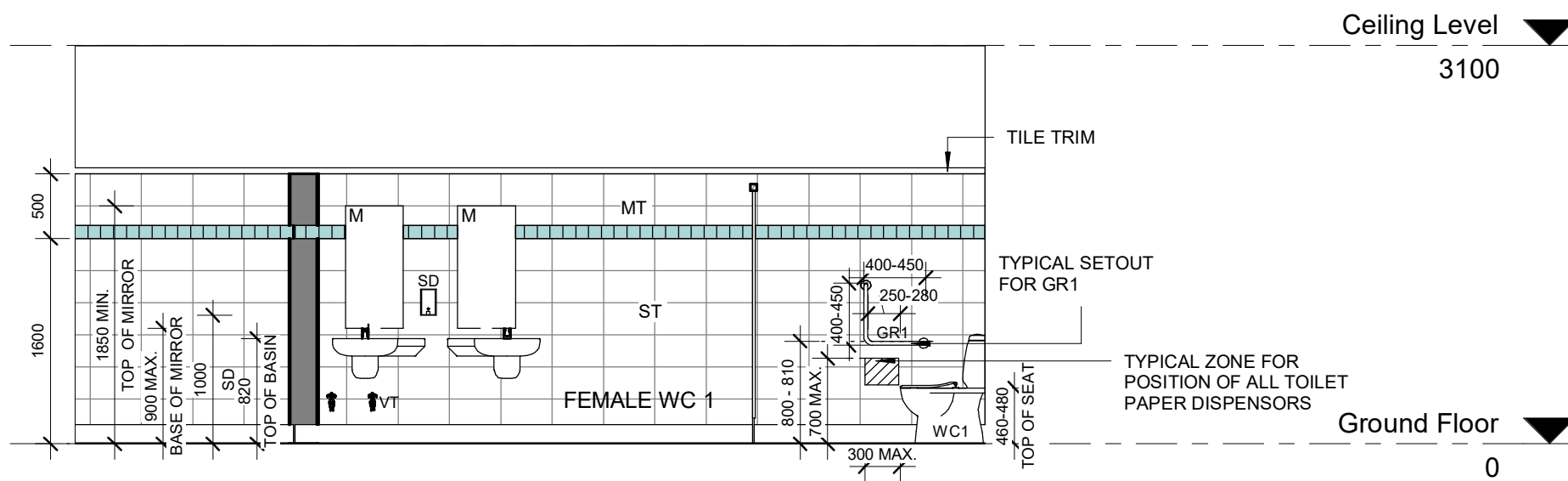
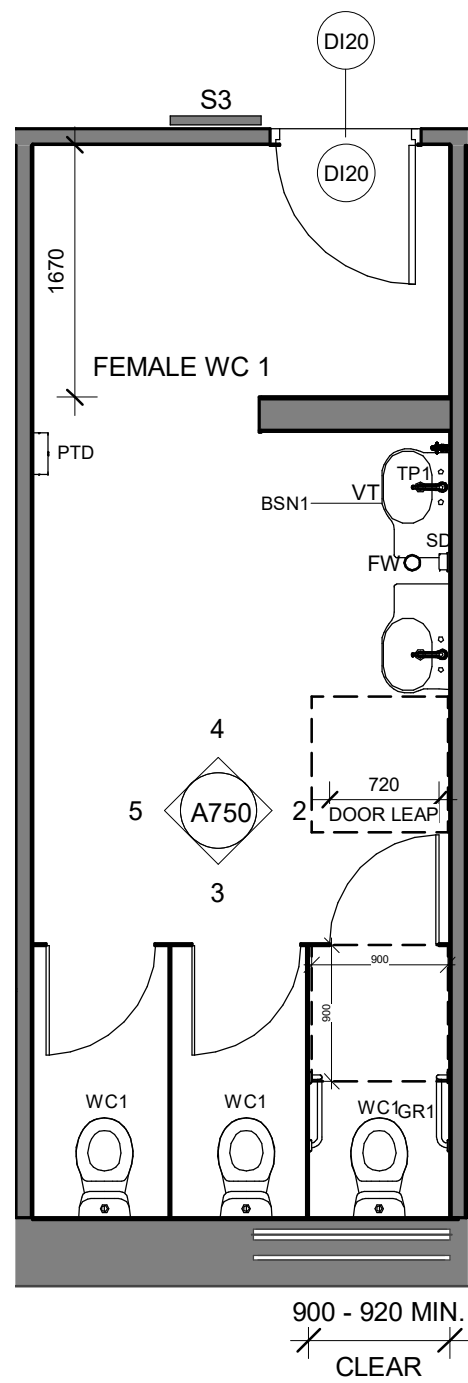
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	05/11/21
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 05/11/21
				ASSETS 05/11/21
				DESIGN + PROJ. 05/11/21

PROJECT	Alterations & Additions
PROJECT ADDRESS	St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT	Facility & Recreation Penrith City Council

DWG TITLE	ROOM - TOILET MALE 2
PHASE	FOR DEVELOPMENT APPLICATION
ASSET NO.	B1200

DESIGN:	Designer	SCALE:	
DRAWN:	Author	ISSUE DATE	02/02/22
SHEET NO.	MP18302 - A741	REV NO:	B



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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	05/11/21
B	02/02/22	DEVELOPMENT APPLICATION		05/11/21
			ASSETS	05/11/21
			DESIGN + PROJ.	05/11/21

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

CLIENT
Facility & Recreation
Penrith City Council

DWG TITLE
ROOM - TOILET FEMALE 1

PHASE
FOR DEVELOPMENT APPLICATION

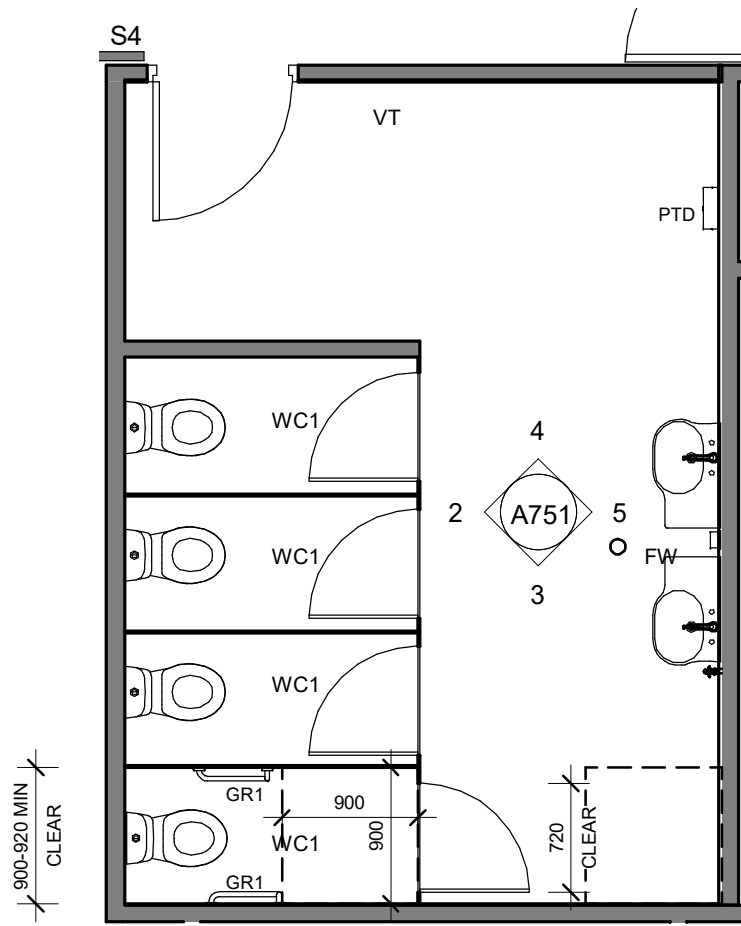
ASSET NO.
B1200

DESIGN:
Designer
DRAWN:
Author

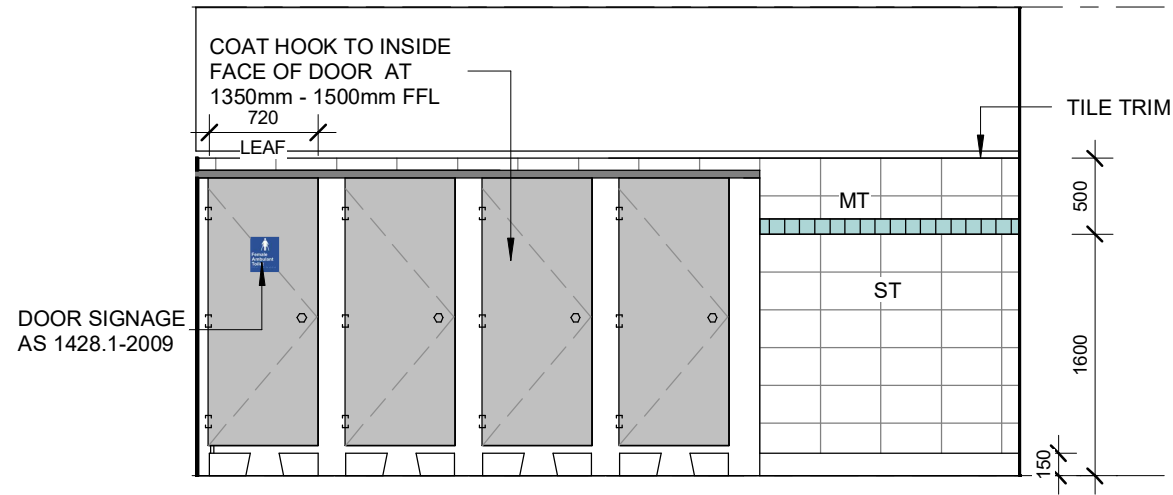
SHEET NO.
MP18302 - A750

SCALE:
ISSUE DATE
02/02/22

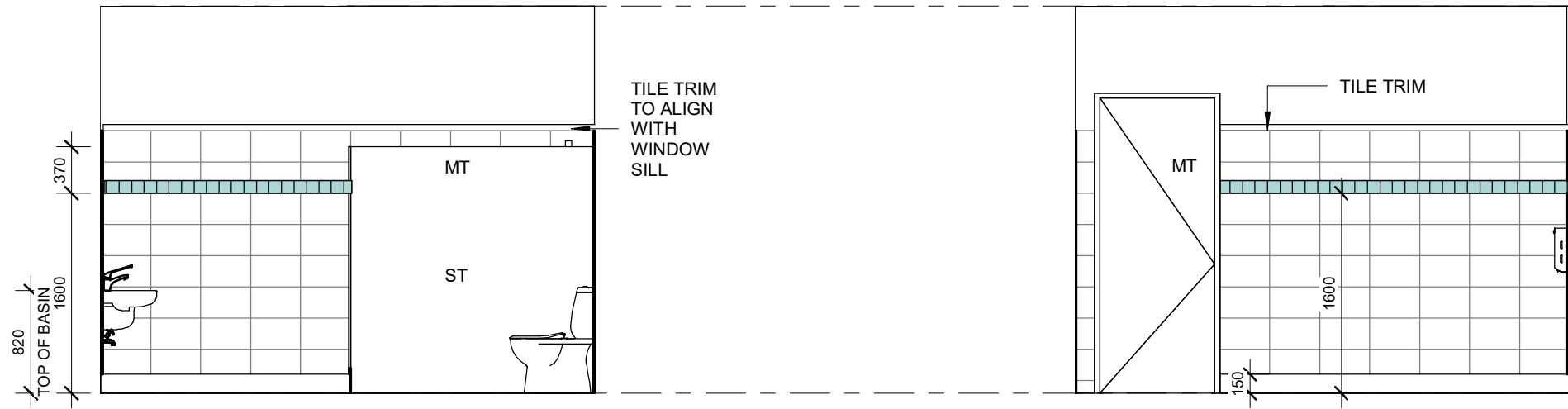
REV NO:
B



1 Female WC 2 - Plan
1 : 50

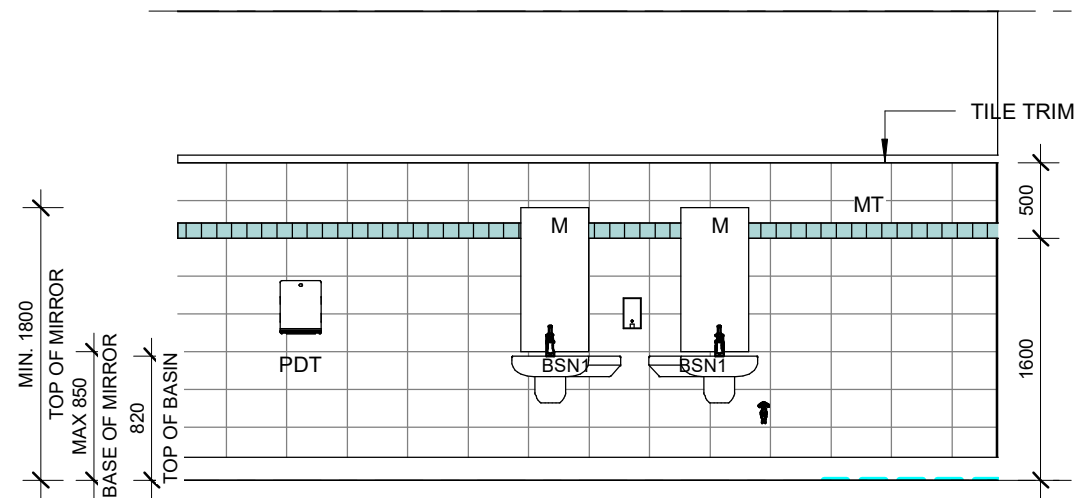


2 Elevation 1 - Female WC 2
1 : 50



3 Elevation 2 - Female WC 2
1 : 50

4 Elevation 3 - Female WC 2
1 : 50



5 Elevation 4 - Female WC 2
1 : 50

Ceiling Level 3100

Ground Floor 0

Ceiling Level 3100

Ground Floor 0

Ceiling Level 3100

Ground Floor 0

DESIGN
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REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings	B1200	05/11/21
B	02/02/22	DEVELOPMENT APPLICATION		05/11/21
			ASSETS	05/11/21
			DESIGN + PROJ.	05/11/21

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

CLIENT
Facility & Recreation
Penrith City Council

DWG TITLE
ROOM - TOILET FEMALE 2

PHASE
FOR DEVELOPMENT APPLICATION

DESIGN:
Designer
DRAWN:
Author

ASSET NO.
B1200

SHEET NO.
MP18302 - A751

SCALE:
ISSUE DATE
02/02/22

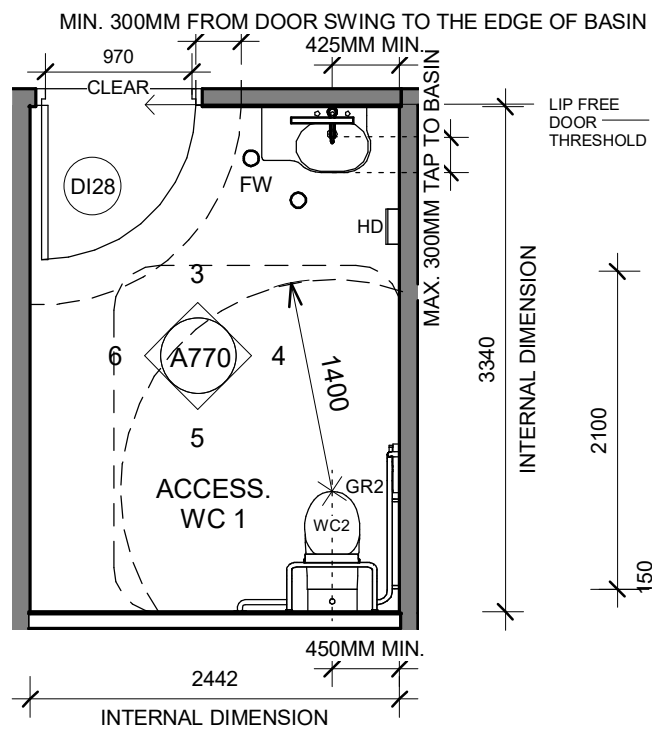
REV NO:
B

Document Set ID: 9900125

Version: 1, Version Date: 04/02/2022

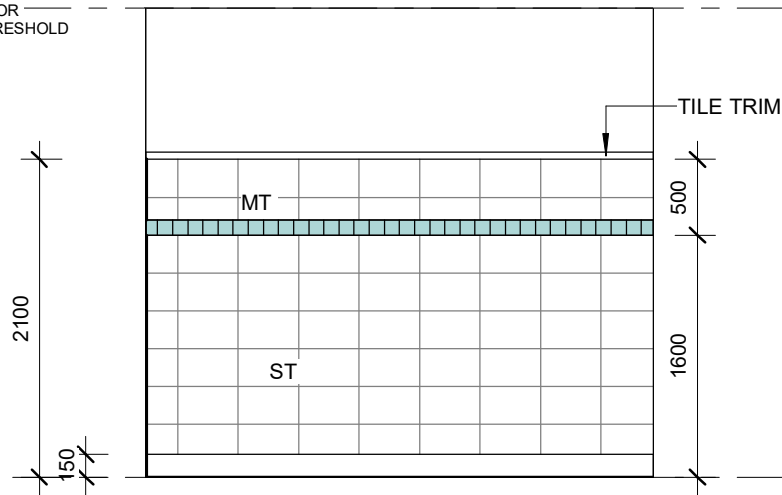
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PRINT: (A3)



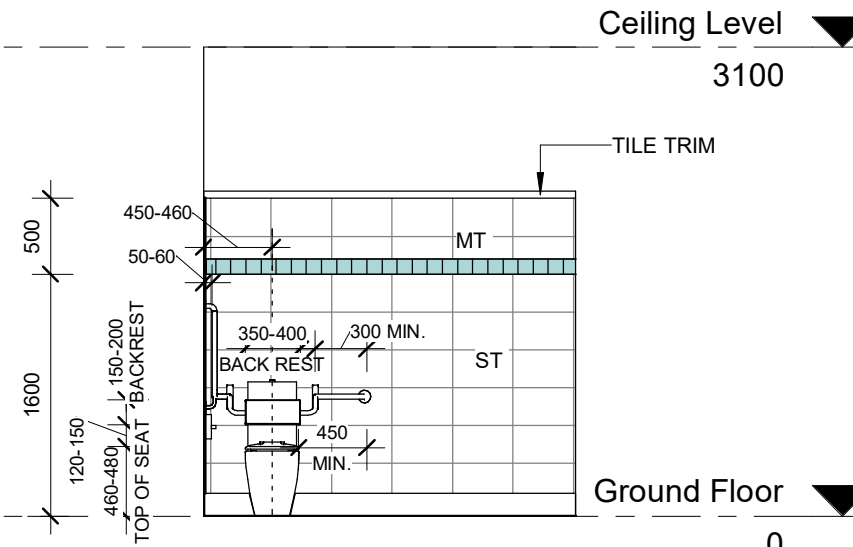
1 Access WC 1 - Plan

1 : 50



6 Elevation 1 - Access WC 1

1 : 50

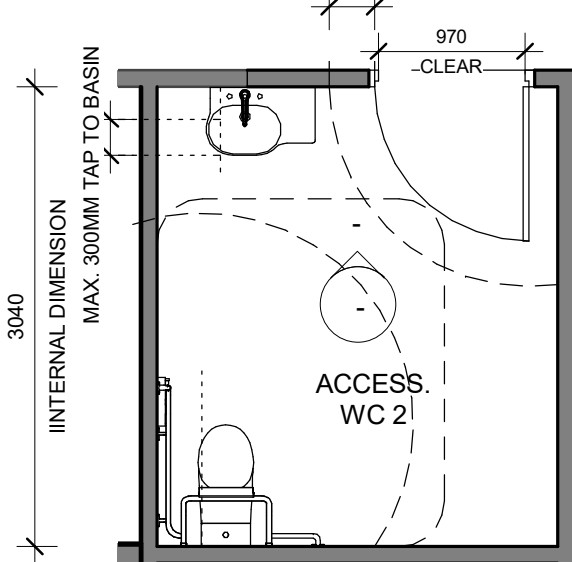


5 Elevation 4 - Access WC 1

1 : 50

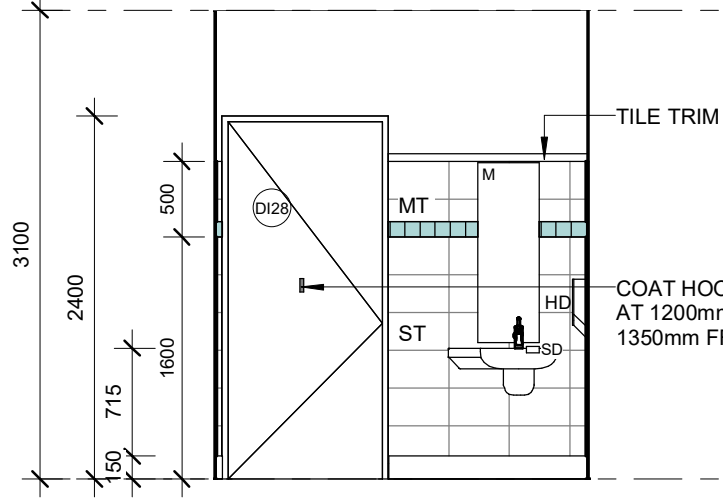
NOTE : SETOUT DETAILS OF FITTINGS & FIXTURES IN ACCESS WC2 IS SAME AS IN ACCESS WC1
THE DOOR TO THE ACCESSIBLE WC IS TO PROVIDE WITH A MINIMUM 30% LUMINANCE CONTRAST INTERNALLY AN EXTERNALLY TO THE WALL FINISHES

MIN. 300MM FROM DOOR SWING TO THE EDGE OF BASIN



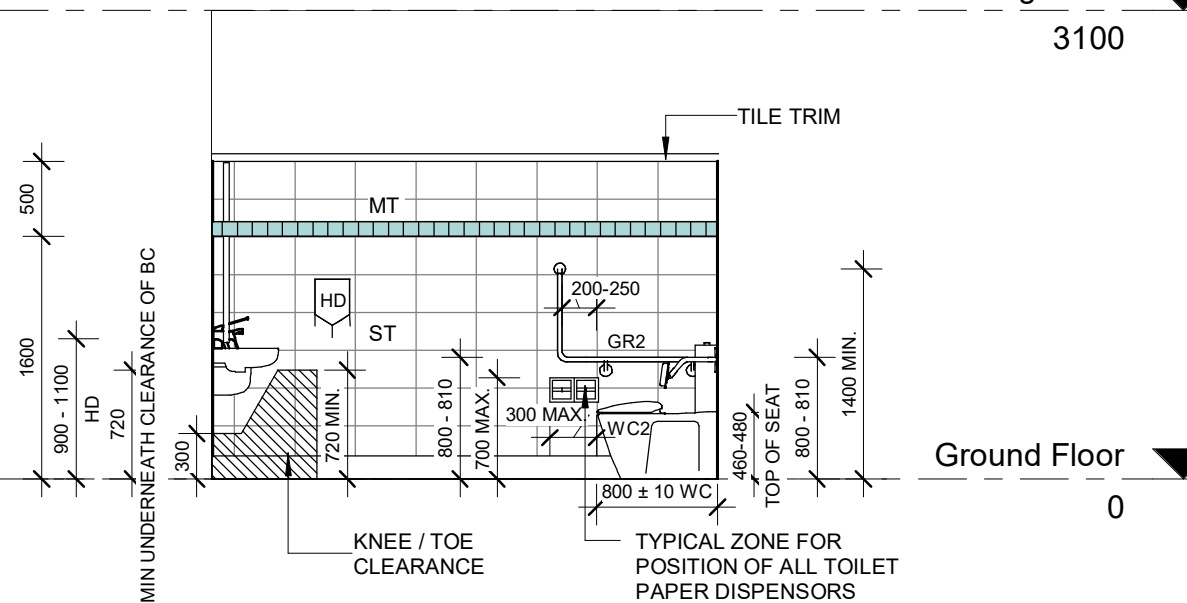
2 Access WC 2 - Plan

1 : 50



3 Elevation 2 - Access WC 1

1 : 50



4 Elevation 3 - Access WC 1

1 : 50

DESIGN
PENRITH CITY COUNCIL

REV	DATE	DESCRIPTION	DRAWN	APPROVALS
A	11/01/22	DA Drawings		B1200 07/27/20
B	02/02/22	DEVELOPMENT APPLICATION		CLIENT 07/27/20
				ASSETS 07/27/20
				DESIGN + PROJ. 07/27/20

PROJECT
Alterations & Additions

PROJECT ADDRESS
St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW

CLIENT
Facility & Recreation
Penrith City Council

DWG TITLE
ROOM - TOILET ACCESS

PHASE
FOR DEVELOPMENT APPLICATION

DESIGN:
Designer
DRAWN:
Author

SCALE:
ISSUE DATE
02/02/22

Design & Projects
601 High Street, PENRITH
NSW 2750 Australia

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Document Set ID: 9900125

ASSET NO.	SHEET NO.	REV NO.
B1200	MP18302 - A770	B












Version: 1, Version Date: 04/02/2022

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ASSET NO.
B1200

SHEET NO.
MP18302 - A770

REV NO.
B

SCHEDULE: SIGNAGE								
DOOR	ROOM NAME	SIGN LOCATION		FINISH	COLOUR	TEXT	BRAILLE	SIGN
		External	Internal					
DE01,DE11	Entrance	Sign on door		Anodised	Aluminium		na	
DI01	Office 5	Sign on door		Anodised	Aluminium	Office 5	na	
DI04	Computer Room	Sign on door		Anodised	Aluminium	Computer Room	na	
DI07	Meeting Room 1	Sign on door		Anodised	Aluminium	Meeting Room 1	na	
	Directional sign	Sign on Wall - S1 Front of Female WC 1		Anodised Anodised	Aluminium Aluminium	Hall 2 & Dining Unisex Toilet RH	na Yes	
DI44, DI45 DI17	Hall 2 & Dining Male WC 2	Sign on door Sign on Wall - S3		Anodised Anodised	Aluminium Aluminium	Hall 2 & Dining Male Toilets	na Yes	
	Ambulant Cubicle	Sign on door		Anodised	Aluminium	Male Ambulant Toilet	Yes	
DI15	Female WC 2	Sign on Wall - S3		Anodised	Aluminium	Female Toilets	Yes	
	Ambulant Cubicle	Sign on door		Anodised	Aluminium	Female Ambulant Toilet	Yes	
DI16	Access WC 2	Sign on Wall - S2		Anodised	Aluminium	Unisex Toilet LH	Yes	
DI19	Male WC 1	Sign on Wall - S3		Anodised	Aluminium	Male Toilets	Yes	
	Ambulant Cubicle	Sign on door		Anodised	Aluminium	Male Ambulant Toilet	Yes	
DI20	Female WC 1	Sign on Wall - S4		Anodised	Aluminium	Female Toilets	Yes	
	Ambulant Cubicle	Sign on door		Anodised	Aluminium	Female Ambulant Toilet	Yes	
DI24	Parent Room	Sign on door		Anodised	Aluminium	Parent Room	Yes	
DI28	Access WC 1	Sign on Wall - S2		Anodised	Aluminium	Unisex Toilet LH	Yes	
DI25	Meeting Room 2	Sign on door		Anodised	Aluminium	Meeting Room 2	na	
DI39	Reception	Sign on door		Anodised	Aluminium	Reception	na	
DI34	Office 1	Sign on door		Anodised	Aluminium	Office 1	na	
DI35	Office 2	Sign on door		Anodised	Aluminium	Office 2	na	
DI36	Office 3	Sign on door		Anodised	Aluminium	Office 3	na	
DI37	Office 4	Sign on door		Anodised	Aluminium	Office 4	na	
DI38	Counselling Room	Sign on door		Anodised	Aluminium	Counselling Room	na	
DI30	Hall 1	Sign on door		Anodised	Aluminium	Hall 1	na	
DI29	Meeting Room 3	Sign on door		Anodised	Aluminium	Meeting Room 3	na	

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CITY COUNCIL

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PROJECT
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PROJECT ADDRESS
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CLIENT
Facility & Recreation
Penrith City Council

DWG TITLE
SIGNAGE SHEET 1 of 2

PHASE
FOR DEVELOPMENT APPLICATION

ASSET NO.
B1200

DESIGN:
Designer

DRAWN:
Author

SCALE:
ISSUE DATE
02/02/22

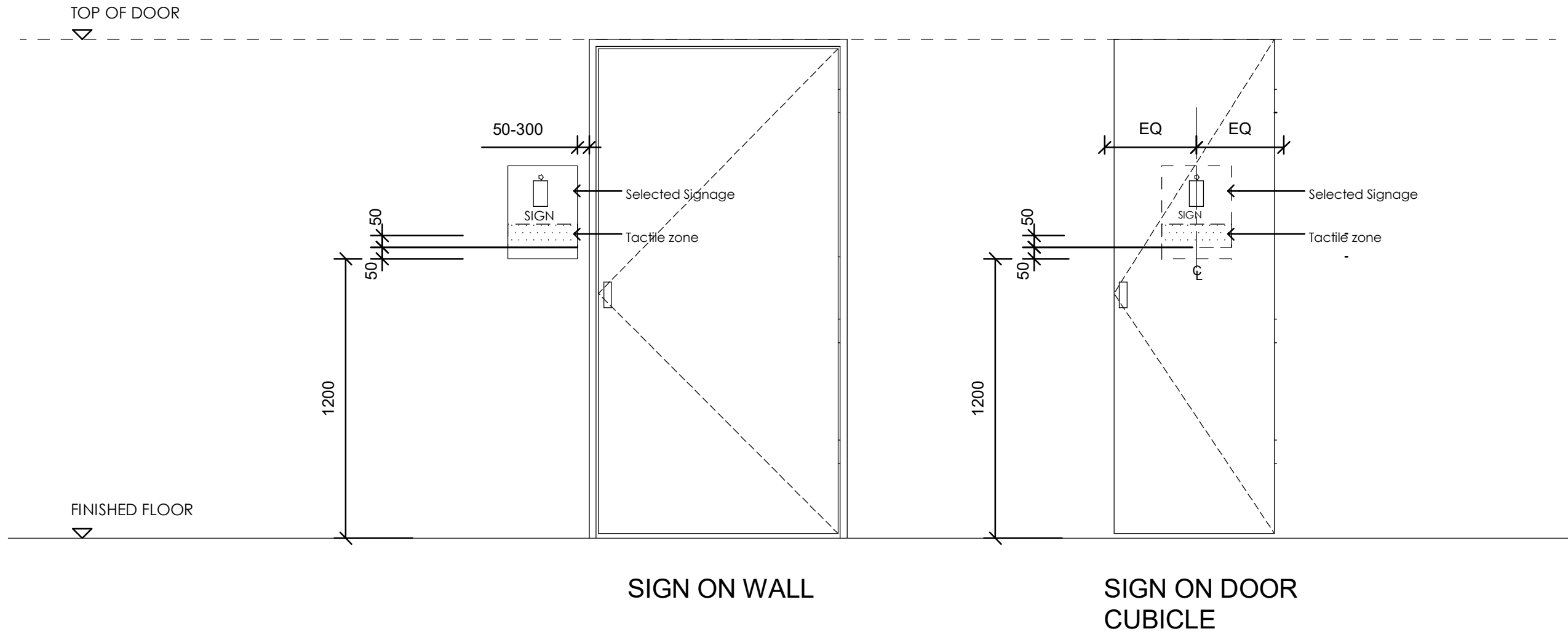
SHEET NO.
MP18302 - A901

REV NO:
B

Document Set ID: 9900125

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DESIGN
PENRITH
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				ASSETS
				DESIGN + PROJ.

PROJECT Alterations & Additions
PROJECT ADDRESS St. Mary's Community & Seniors Centre, 2-6 Mamre Road, St Marys 2760 NSW
CLIENT Facility & Recreation Penrith City Council

DWG TITLE SIGNAGE SHEET 2 of 2
PHASE FOR DEVELOPMENT APPLICATION
ASSET NO. B1200

DESIGN: Designer	SCALE:
DRAWN: Author	ISSUE DATE 02/02/22
SHEET NO. MP18302 - A902	REV NO: B