

- GENERAL NOTES:
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 AND AS3600
  - TERRACE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.13 OF THE NCC AND WITH AS2640.1
  - TIMBER CONSTRUCTION TO COMPLY WITH AS1684
  - CONCRETE ROOFING TO COMPLY WITH AS1757 / AS2050
  - WET AREAS TO COMPLY WITH CLAUSE F1.7 OF THE NCC
  - WEEDHOLES IN MASONRY WALLS AT 900 CTRS
  - GLASS INSTALLATION TO COMPLY WITH AS1288 AND AS2047
  - CONCRETE ROOF FIXED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS FOR RELEVANT CONDITIONS.
  - PROVIDE ALCOHOL BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED
  - VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 3.3.18 OF THE NCC

D.C.



TRIBECA  
HOMES

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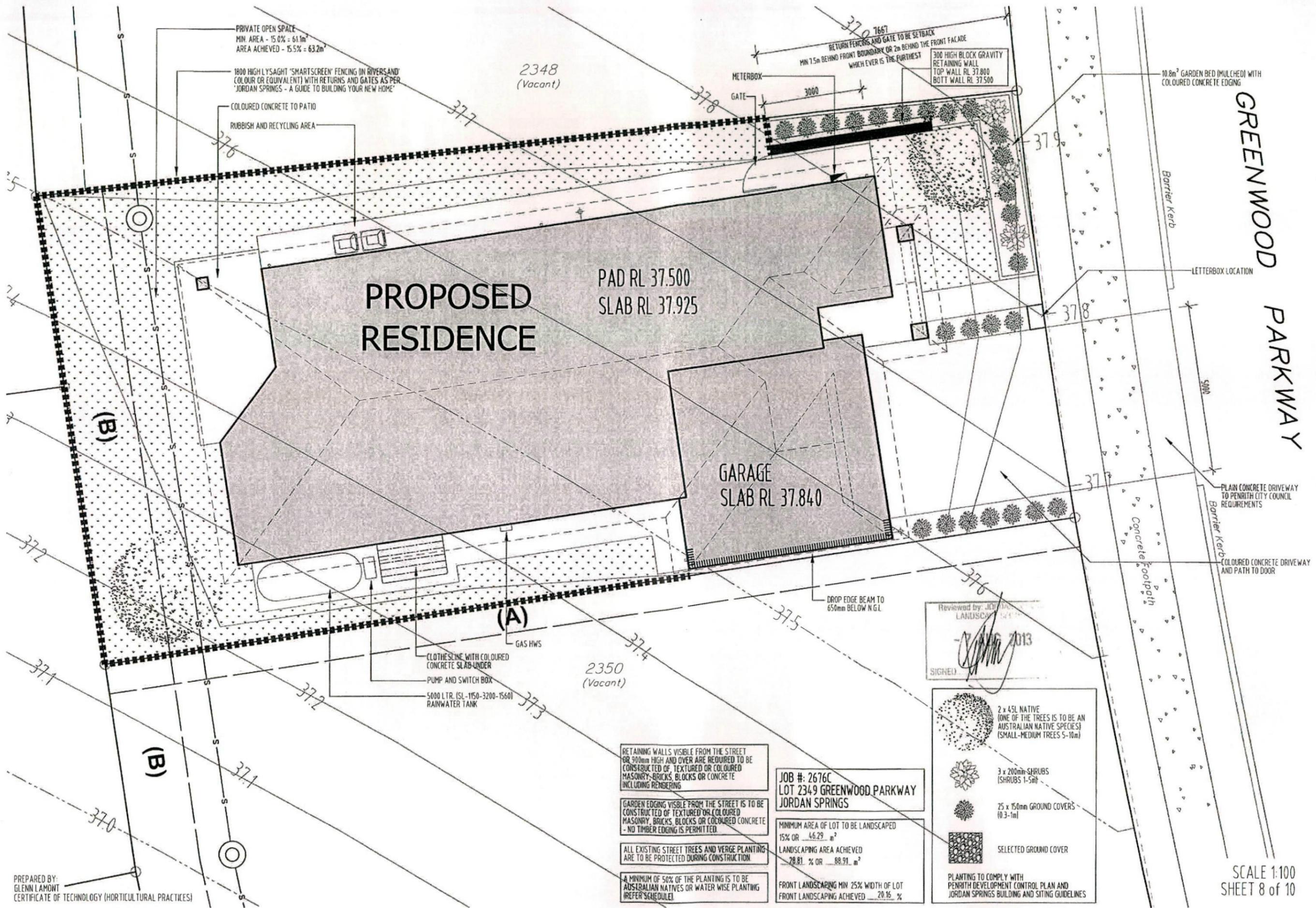
DESIGN **Noosa H04**

CLIENT

LOT 2349 GREENWOOD PARKWAY  
JORDAN SPRINGS ESTATE  
JORDAN SPRINGS

DRAWN	AS	DATE	11.06.2013
SCALE	1:100	WIND RATING	N2
JOB No.	-	SHEET	3 of 5





PRIVATE OPEN SPACE  
MIN. AREA - 15.0% = 61.1m<sup>2</sup>  
AREA ACHIEVED - 15.5% = 63.2m<sup>2</sup>

1800 HIGH LYSAGHT 'SMARTSCREEN' FENCING (IN RIVERSAND COLOUR OR EQUIVALENT) WITH RETURNS AND GATES AS PER 'JORDAN SPRINGS - A GUIDE TO BUILDING YOUR NEW HOME'

COLOURED CONCRETE TO PATIO  
RUBBISH AND RECYCLING AREA

2348  
(Vacant)

RETURN FENCING AND GATE TO BE SETBACK  
MIN 7.5m BEHIND FRONT BOUNDARY OR 2m BEHIND THE FRONT FACADE  
WHICH EVER IS THE FURTHEST

300 HIGH BLOCK GRAVITY  
RETAINING WALL  
TOP WALL RL 37.800  
BOTT WALL RL 37.500

10.8m<sup>2</sup> GARDEN BED (MULCHED) WITH  
COLOURED CONCRETE EDGING

**PROPOSED  
RESIDENCE**

PAD RL 37.500  
SLAB RL 37.925

**GARAGE**  
SLAB RL 37.840

**GREENWOOD  
PARKWAY**

LETTERBOX LOCATION

5000

PLAIN CONCRETE DRIVEWAY  
TO PENRITH CITY COUNCIL  
REQUIREMENTS

COLOURED CONCRETE DRIVEWAY  
AND PATH TO DOOR

DROP EDGE BEAM TO  
650mm BELOW NGL

CLOTHESLINE WITH COLOURED  
CONCRETE SLAB UNDER  
PUMP AND SWITCH BOX  
5000 LTR. (SL-1150-3200-1560)  
RAINWATER TANK

2350  
(Vacant)

Reviewed by: JORDAN SPRINGS  
LANDSCAPE ARCHITECTS  
2013  
SIGNED

RETAINING WALLS VISIBLE FROM THE STREET  
OR 900mm HIGH AND OVER ARE REQUIRED TO BE  
CONSTRUCTED OF TEXTURED OR COLOURED  
MASONRY, BRICKS, BLOCKS OR CONCRETE  
INCLUDING RENDERING

GARDEN EDGING VISIBLE FROM THE STREET IS TO BE  
CONSTRUCTED OF TEXTURED OR COLOURED  
MASONRY, BRICKS, BLOCKS OR COLOURED CONCRETE  
- NO TIMBER EDGING IS PERMITTED

ALL EXISTING STREET TREES AND VERGE PLANTING  
ARE TO BE PROTECTED DURING CONSTRUCTION

A MINIMUM OF 50% OF THE PLANTING IS TO BE  
AUSTRALIAN NATIVES OR WATER WISE PLANTING  
(REFER SCHEDULE)

JOB #: 2676C  
LOT 2349 GREENWOOD PARKWAY  
JORDAN SPRINGS

MINIMUM AREA OF LOT TO BE LANDSCAPED  
15% OR 46.29 m<sup>2</sup>  
LANDSCAPING AREA ACHIEVED  
28.81 % OR 88.91 m<sup>2</sup>  
FRONT LANDSCAPING MIN 25% WIDTH OF LOT  
FRONT LANDSCAPING ACHIEVED 20.16 %

-  2 x 45L NATIVE  
(ONE OF THE TREES IS TO BE AN  
AUSTRALIAN NATIVE SPECIES)  
(SMALL-MEDIUM TREES 5-10m)
  -  3 x 200mm SHRUBS  
(SHRUBS 1-5m)
  -  25 x 150mm GROUND COVERS  
(0.3-1m)
  -  SELECTED GROUND COVER
- PLANTING TO COMPLY WITH  
PENRITH DEVELOPMENT CONTROL PLAN AND  
JORDAN SPRINGS BUILDING AND SITING GUIDELINES

PREPARED BY:  
GLENN LAMONT  
CERTIFICATE OF TECHNOLOGY (HORTICULTURAL PRACTICES)

SCALE 1:100  
SHEET 8 of 10



Proposed Electrical Substation  
Refer to Draft 88b for  
easements and restrictions

KEY PLAN

Issue	Amendment	Date
A	Release Issue	25.01.13
B	Release Issue	14.02.13

**SITING REQUIREMENTS**

- Zero Boundary (max. 13m)
- Single Garage
- Double Garage
- Optional Garage location
- Increased Secondary Frontage building setback to 3.4m (garage 4.4m)
- Secondary Frontage Articulation 10m minimum of broken roofline & building line. Must provide suitable glazing.
- Easement for maintenance 0.9m wide
- Easement/pit to drain water 1.5-2.5 wide
- Approx. sewer line/manhole location Building adjacent or over sewer must conform with Sydney Water requirements
- Possible semi-detached site as referred to in the Western Precinct Plan. Subject to Council Approval.
- Proposed fill to site
- Proposed Design Levels
- Construction within this zone must comply with Sydney Water and Penrith City Council requirements concerning zone of influence
- Proposed driveway width reduced from standard due to setbacks

**SETBACK SUMMARY**

Front Building Setback	4.5m
Front Garage Setback	5.5m
Side Building Setback (≥15m Frontage)	min. 0.9m both sides
Side Building Setback (<15m Frontage)	Zero one side 0.9m other (as shown)
Secondary Side Setback	1.5m (unless otherwise noted)
Secondary Garage Setback	2.5m
Rear Building Setback	3m
BAL40, BAL29, BAL19, BAL12.5	Levels of Construction Standard for Bush Fire Protection (AS 3959-2009)

**Note:**  
It is acknowledged that the dimension and areas, as well as location of services and the existence and width of easements are subject to final survey and any change in accordance with the requirements of any relevant authority. The particulars of this plan are supplied for information only representing the facts at the time of printing and may change. The particulars shall not be taken as a representation in any respect on the part of the vendor or its agent. Authorities should be consulted in relation to any limitations or requirements as building restrictions may apply. Information correct at time of printing.

**Note:**  
Sydney Water have changed their sewerage requirements and introduced "low infiltration sewer systems". This new system may impact on the design and location of your home. Purchasers and their builders should make enquiries of Sydney Water to ascertain any relevant details.

Developer

**Lend Lease**  
 Cnr Jordan Springs Blvd and Lakeside Pde  
 Jordan Springs NSW 2747  
 PO Box 1978, Penrith NSW 2751  
 p.02 9016 6506  
 ABN 19 087 870 964

Development Manager: Lend Lease Development Pty Ltd

Project

**JORDANSPRINGS**

Drawing Title  
**Illoura  
 Stage 2d Release 11  
 Building Envelope Plan**

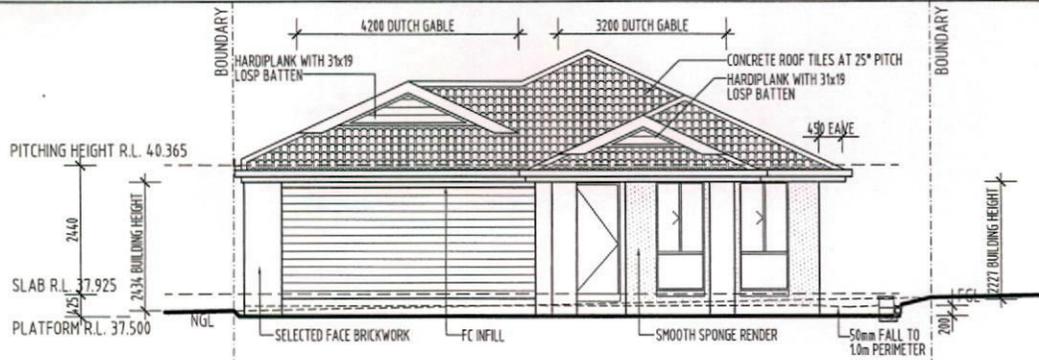
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Drawn by RS/LM

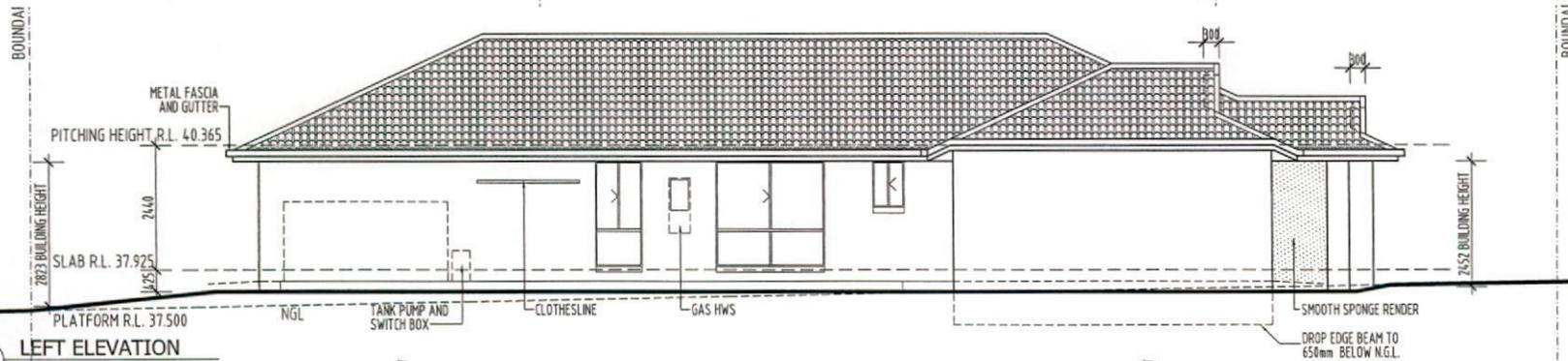
Drawing Number WP V2d R11 BEP

Issue B

FRONT ELEVATION



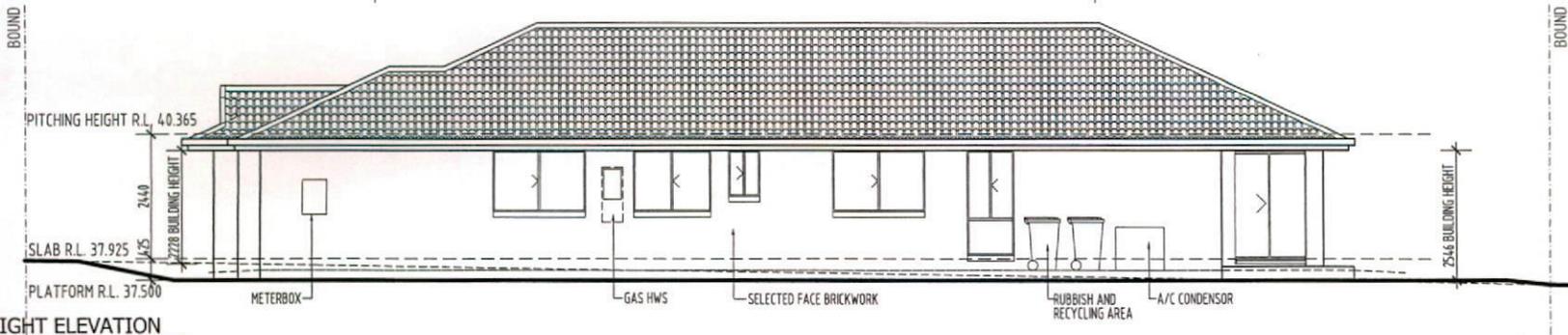
LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



- GENERAL NOTES:
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 AND AS3600.
  - TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3660.1
  - TIMBER CONSTRUCTION TO COMPLY WITH AS1684.
  - CONCRETE ROOFING TO COMPLY WITH AS1757 / AS2050
  - WET AREAS TO COMPLY WITH CLAUSE F1.7 OF THE NCC.
  - WEEPHOLES IN MASONRY WALLS AT 900 CTRS.
  - GLASS INSTALLATION TO COMPLY WITH AS1288 AND AS2047.
  - CONCRETE ROOF FIXED IN ACCORDANCE WITH THE MANUF'S SPECIFICATIONS FOR RELEVANT CONDITIONS.
  - PROVIDE ALCOB BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.
  - VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 3.3.1.8 OF THE NCC.



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DESIGN  
**Noosa H04 (Mod)**

CLIENT  
**D. CUSCHIERI**

LOT 2349 GREENWOOD PARKWAY  
JORDAN SPRINGS ESTATE  
JORDAN SPRINGS

DRAWN	AS	DATE	15.07.2013
SCALE	1:100	WIND RATING	N2
JOB No.	2676C	SHEET	3 of 10

**Disclaimer: This Contour Plan must be used in conjunction with the photographs and the Site Survey Report.**  
**No As constructed services information was received for this plan at time of survey. Service line location undetermined.**  
 (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE  
 (B) EASEMENT TO DRAIN WATER 2.0 WIDE  
 (C) EASEMENT TO DRAIN WATER 1.5 WIDE

DATE	DESCRIPTION	AM'T
25.07.2013	CERTIFIER /BASIX ISSUE	D
12.07.2013	CERTIFIER ISSUE	C
03.07.2013	CONTRACT ISSUE	B
		A

## REVISIONS

IF IN DOUBT ASK!

G.L	37.500
CUT	360
FILL	300
F.L	37.925

### SITE COVER

SITE AREA	407.3 m <sup>2</sup>
DWELLING	194.8 m <sup>2</sup>
SITE AREA	47.8 %

# CONTOUR SURVEY PLAN

CLIENT: D. CUSCHIERI

SITE ADDRESS:

Lot 2349 Greenwood Parkway  
 JORDAN SPRINGS

### REAL PROPERTY DESCRIPTION

Lot: 2349  
 on: -  
 Parish of: Londonderry  
 County of: Cumberland  
 Area: 407.3 m<sup>2</sup>  
 UBD Ref: Map - Ref -  
 Local Authority: Penrith C. C.  
 Contour Interval: 0.25m  
 Datum: -

### LEGEND

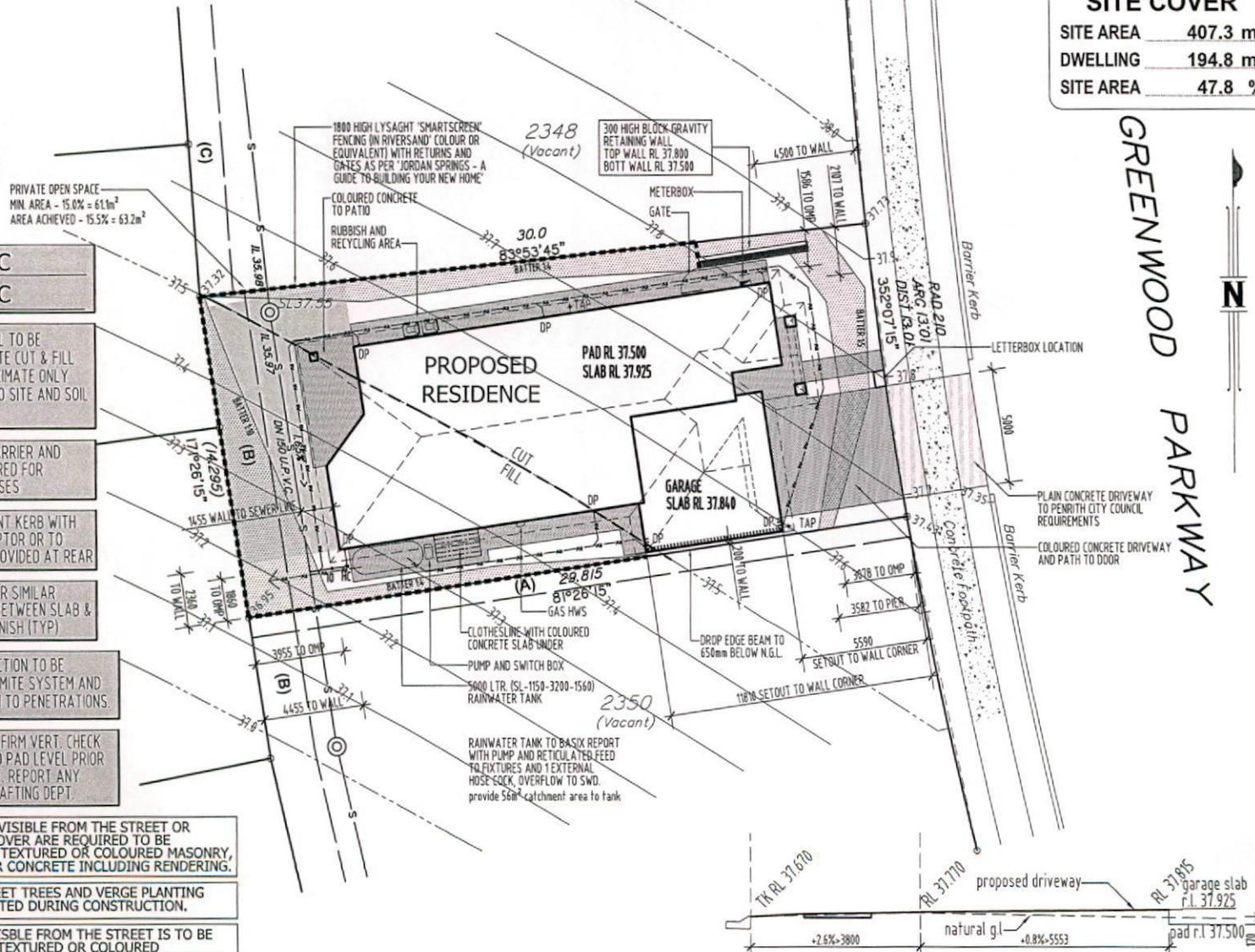
○ LP	LIGHT POLE	— FENCE
○ OP	ORIGINAL PEG	— ROCK RETAINING WALL
▲ TBM	TEMPORARY BENCH MARK	— TIMBER RETAINING WALL
○ PP	POWER POLE	— STORM WATER PIPE
⊠	FIRE HYDRANT	— GAS SUPPLY
⊡	AIR VALVE	— BARRIER KERB LINE
⊙	SEWER MANHOLE	— SURVEY CONTROL MARK
⊚	ROOFWATER PIT	— STORMWATER MANHOLE
⊛	POWER BOX	— PERMANENT SURVEY MARK
⊜	TELSTRA PIT	— GULLY GRATE
→	CROSS-OVER	— WATER TAP/WATER/VALVE
—	HEADWALL	— SIGN (AS SHOWN)
— S	SEWER LINE	— SW — STORMWATER LINE
— TOP	Top of Bank	— E — ELECTRIC POWER LINE
— TOE	Bottom of Bank	

**Disclaimer:**  
 The position of Fence Lines, Retaining Walls and other detail is indicative only and should not be relied upon as depicting the Boundary Lines. This is a plan of VISIBLE SERVICES ONLY. The location of pegs found have NOT BEEN CHECKED and as such should not be relied on as marking the corners of the lot. An Identification Survey should be carried out prior to any construction works.



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A3	SCALE: 1:200
	DATE DRAFTED: 12.07.2013
JOB NO.	PLAN NO. REV
2676C	Sheet 1 of 9



SEWER LEVEL TBC  
 INVERT LEVEL TBC

NOTE: FINAL PAD LEVEL TO BE CONFIRMED ON SITE. SITE CUT & FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY DUE TO SITE AND SOIL CONDITIONS.

SEDIMENT CONTROL BARRIER AND CROSSOVER AS REQUIRED FOR CONSTRUCTION PURPOSES

STORMWATER TO FRONT KERB WITH APPROVED KERB ADAPTOR OR TO GULLY TRAP WHEN PROVIDED AT REAR

PROVIDE ABLE-FLEX OR SIMILAR APPROVED PRODUCT BETWEEN SLAB & ADJOINING SURFACE FINISH (TYP)

NOTE: TERMITE PROTECTION TO BE HOMEGUARD BLUE TERMITE SYSTEM AND PHYSICAL PROTECTION TO PENETRATIONS

CONCRETOR NOTE: CONFIRM VERT. CHECK DIMENSION OF KERB TO PAD LEVEL PRIOR TO DRIVEWAY SETOUT. REPORT ANY VARIATION TO THE DRAFTING DEPT.

RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE REQUIRED TO BE CONSTRUCTED OF, TEXTURED OR COLOURED MASONRY, BRICKS, BLOCKS OR CONCRETE INCLUDING RENDERING.

ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

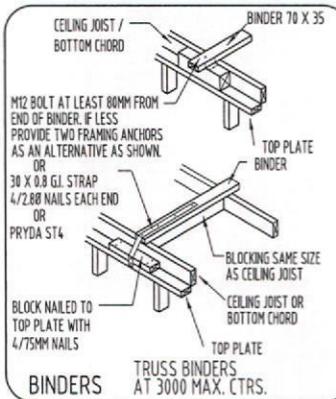
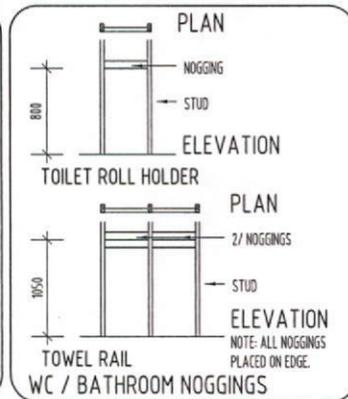
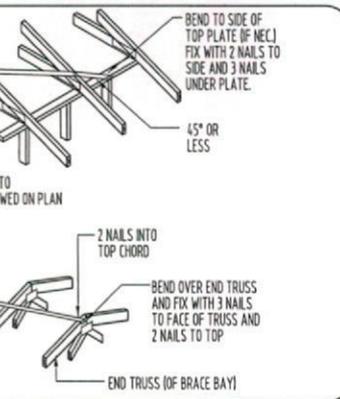
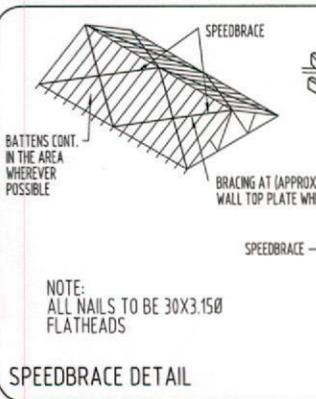
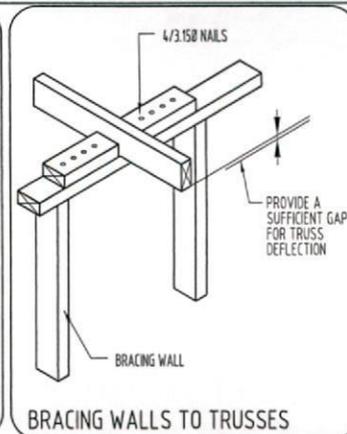
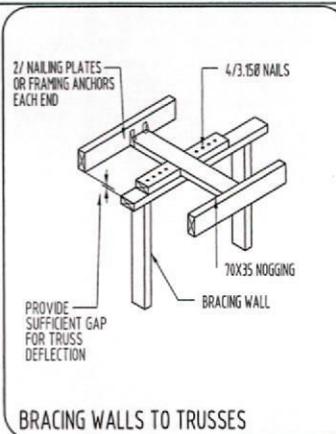
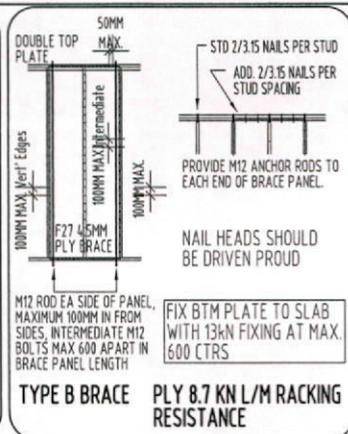
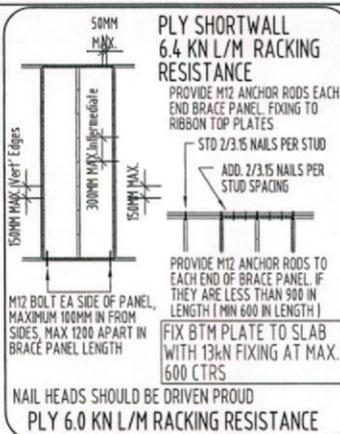
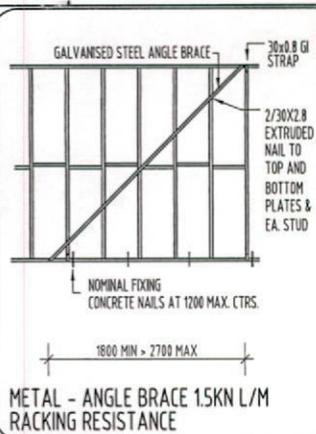
GARDEN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY, BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.

Scale 1:200 - Lengths are in Metres.



Driveway section to centreline of driveway  
 Round thru changes in grade  
 Driveway (including concrete and steel) to AS 2890.  
 scale 1:100

GREENWOOD PARKWAY

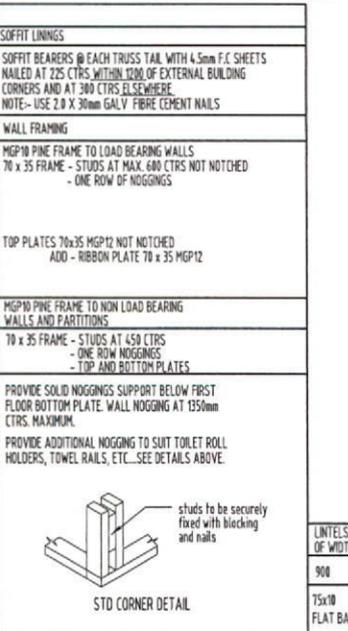


- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND WITH AS 1684.
- TREATMENT TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3668.1.
- CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 / AS3600.
- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART 3.4.3 OF THE NCC AND AS1720.1 / AS1684.
- CONCRETE ROOFING TO COMPLY WITH AS1757, AS2050 AND BE FIXED TO MANUFACTURER'S SPECS FOR RELEVANT CONDITIONS.
- STEEL ROOFING TO COMPLY WITH AS1562.1.
- WEEPHOLES IN MASONRY WALLS AT 900 CTRS.
- VERTICAL ARTICULATION IN MASONRY WALLS TO COMPLY WITH THE PROVISIONS OF PART 3.3.1.8 OF THE NCC.
- WET AREAS TO COMPLY WITH THE PROV. OF PART 3.8.1 OF THE NCC.
- SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART 3.7.2 OF THE NCC.
- WALL BRACING TO COMPLY WITH THE PROVISIONS OF PART 3.4.3.8 OF THE NCC + AS 1684.
- ENSURE SHEAR BLOCKS ARE OF A SUFFICIENT LENGTH TO AVOID POSSIBLE SPLITTING.
- GLASS INSTALLATION TO COMPLY WITH AS1288, AND AS2047.

**TIE DOWN CALCULATION - N2 NON-CYCLONIC (DLW=6000)**

MEMBER CONNECTION - J04 TYP. U.L.O	AS 1684	UPLIFT REQ.	UPLIFT RESIST.
ROOF TILES TO BATTENS: TO MANUFACTURER'S SPECIFICATIONS		Table 9.14 0.29kN 0.16kN	Table 9.25(a) 0.32kN
ROOF BATTENS TO TRUSSES: WITHIN 1200mm OF EDGES GENERAL AREA 1/165x2.8@NAIL, 160mm PENETRATION INTO RECEIVING MEMBER		Table 9.13 NOMINAL FIXING	Table 9.21(b) 3.50kN
ROOF TRUSSES TO TOP PLATE: @ 600 CTRS 1 No FRAMING ANCHOR WITH 4/2.8@NAILS MIN TO EACH LEG AT INTERFACE OR: MULTI GRIPS OR: CYCLONE STRAPS FIXED TO PL WITH 3/2.8@NAILS		NOM. FIXING AS PER AS 1684.4 TABLE 9.7	4.20kN 4.78kN
WALL FRAMING - GROUND FLOOR: TOP AND BOTTOM PLATES TO STUDS: @ 450 CTRS PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38-50mm THICK - 2/90mm NAILS THRU PLATE IN BOTH CASES. NOGGINGS TO STUDS: 2/75mm NAILS SKEW NAILED OR THRU NAILED. BOTTOM PLATES TO CONCRETE SLAB: NAILS AT MAX. 1200 CTRS. ST4 STUD TIES AT MAX. 3000 CTRS. OR CHEMICAL EXPANSION OR FIRED PROP. FASTENERS.	6.6kN		6.6kN REFER MANUF. SPECS.
BOTTOM PLATE TO JOISTS: PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38 - 50mm THICK - 2/90mm NAILS RIBBON PLATE TO TOP PLATE - REFER TO AS 1684.4			

COMMON STUD SPACING (mm)	NUMBER OF COMMON STUDS AT SIDES OF OPENINGS
	900 1200 1500 1800 2100 2400 2700 3000 3300 3600
450	1 2 2 2 2 3 3 3 4 4
600	1 1 2 2 2 2 3 3 4 4



**SOFFIT LININGS**

ROOF TILES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT ROOF BATTENS SHALL BE 50x25 F14 HWD FIXED AS PER THE DOWN SCHEDULE. ENTIRE ROOF SHALL BE TRUSS CONSTRUCTION AT 600 CTRS. MAX. DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT N2 CONDITIONS UNLESS NOTED OTHERWISE ON PLANS CEILING BINDERS SHALL BE 70x35 F5 AT 3000 CTRS. MAXIMUM.

**CONCRETE**

REFER TO ENGINEER'S DETAILS. PROVIDE CONTINUOUS 200um POLYTHENE VAPOUR BARRIER LAPPED 200 MIN. AND SEALED AT ALL JOINTS AND PENETRATIONS. PROVIDE TERMITE CONTROL IN ACCORDANCE WITH AS 3669.1

**BRICKWORK**

APPROVED BRICK TIES AT 600 x 600 CTRS. MAX. STAGGERED. BRICKWORK SHALL HAVE APPROVED DAMP COURSE NOT LESS THAN 2 COURSES ABOVE GROUND LEVEL. PROVIDE APPROVED CAVITY FLASHING WITH WECPHOLES AT 900mm CTRS. MAXIMUM.

CEILING SHALL BE LINED WITH 10mm THICK SUPACEL LINING, FOR FRAME SPACING OF 600mm AND 10mm THICK PLASTERBOARD FOR FRAME SPACINGS OF 450mm (eg UNDERSIDE OF FIRST FLOOR JOISTS).

WALLS SHALL BE LINED WITH 10mm THICK PLASTERBOARD OR 6mm THICK VELLBOARD TO WET AREAS. FIXED @ 300 CTRS OR 200 CTRS WHEN TILED. REFER TO BRACING PLANS FOR POSSIBLE VARIATIONS TO WALL LINING OR FIXING METHODS. ALL ABOVE LININGS SHALL APPLY UNLESS NOTED OTHERWISE ON FLOOR PLANS.

**WALL FRAMING**

MGP10 PINE FRAME TO LOAD BEARING WALLS 70 x 35 FRAME - STUDS AT MAX. 600 CTRS NOT NOTCHED - ONE ROW OF NOGGINGS

TOP PLATES 70x35 MGP12 NOT NOTCHED ADD - RIBBON PLATE 70 x 35 MGP12

MGP10 PINE FRAME TO NON LOAD BEARING WALLS AND PARTITIONS 70 x 35 FRAME - STUDS AT 450 CTRS - ONE ROW NOGGINGS - TOP AND BOTTOM PLATES

PROVIDE SOLID NOGGINGS SUPPORT BELOW FIRST FLOOR BOTTOM PLATE. WALL NOGGING AT 1950mm CTRS. MAXIMUM.

PROVIDE ADDITIONAL NOGGING TO SUIT TOILET ROLL HOLDERS, TOWEL RAILS, ETC.-SEE DETAILS ABOVE.

**LINTELS SUPPORTING NON LOAD BEARING BRICKWORK**

OF WIDTH (mm)	900	1200	1500	1800	2100	2400	2700	3000
75x10 FLAT BAR	100x100x6 ANGLE	150x100x6 ANGLE						



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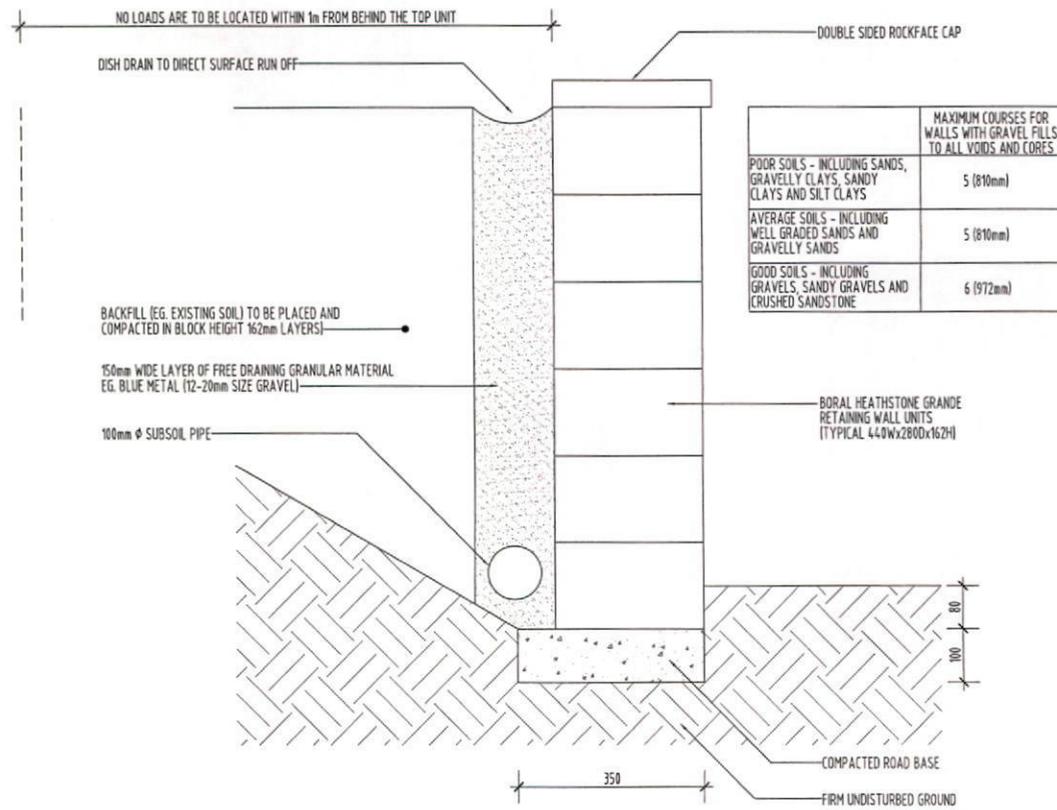
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JORDAN SPRINGS ESTATE  
JORDAN SPRINGS

DRAWN AS DATE 15.07.2013

SCALE 1:100 WIND RATING N2

JOB No. 2676C SHEET 6 of 10



**RETAINING WALL DETAIL**  
BORAL HEATHSTONE GRANDE 1:10



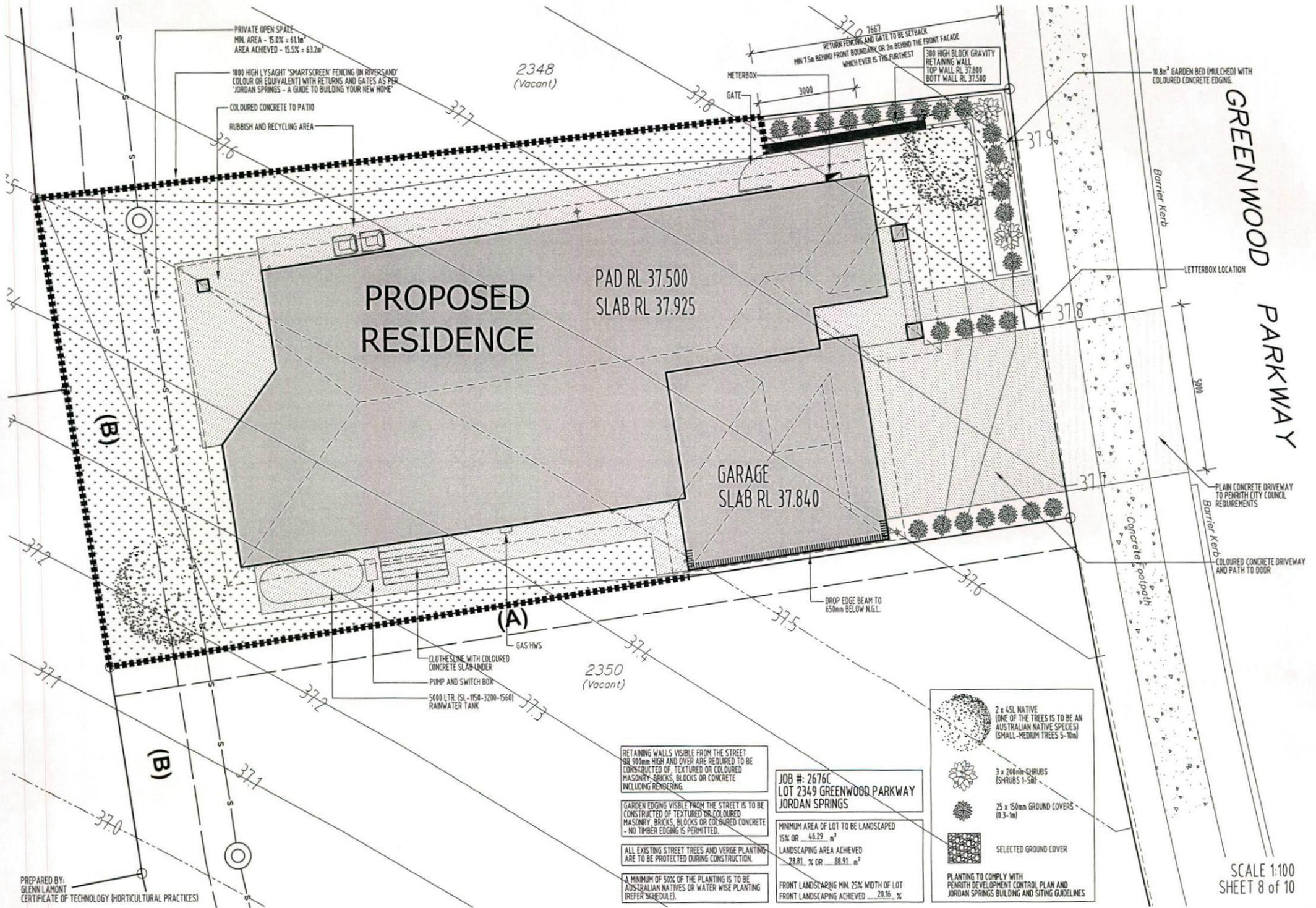
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DRAWN	AS	DATE	15.07.2013
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JOB No.	2676C	SHEET	7 of 10



PRIVATE OPEN SPACE  
MIN. AREA - 15.0% = 611m<sup>2</sup>  
AREA ACHIEVED - 15.5% = 632m<sup>2</sup>

1800 HIGH LYSAGHT 'SMARTSCREEN' FENCING (IN RIVERSAND)  
COLOUR OR EQUIVALENT) WITH RETURNS AND GATES AS PER  
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COLOURED CONCRETE TO PATIO  
RUBBISH AND RECYCLING AREA

2348  
(Vacant)

RETURN FENCING AND GATE TO BE SETBACK  
MIN 1.5m BEHIND FRONT BOUNDARY OR 2m BEHIND THE FRONT FACADE  
WHICH EVER IS THE FURTHEST

300 HIGH BLOCK GRAVITY  
RETAINING WALL  
TOP WALL RL 37.800  
BOTT WALL RL 37.500

10.8m<sup>2</sup> GARDEN BED (MULCHED) WITH  
COLOURED CONCRETE EDGING

PROPOSED  
RESIDENCE

PAD RL 37.500  
SLAB RL 37.925

GARAGE  
SLAB RL 37.840

GREENWOOD  
PARKWAY

(B)

(A)

(B)

CLOTHESLINE WITH COLOURED  
CONCRETE SLAB UNDER  
PUMP AND SWITCH BOX  
5000 LTR. (SL-1150-3200-1560)  
RAINWATER TANK

2350  
(Vacant)

RETAINING WALLS VISIBLE FROM THE STREET  
OR 900mm HIGH AND OVER ARE REQUIRED TO BE  
CONSTRUCTED OF TEXTURED OR COLOURED  
MASONRY BRICKS, BLOCKS OR CONCRETE  
INCLUDING RENDERING.

GARDEN EDGING VISIBLE FROM THE STREET IS TO BE  
CONSTRUCTED OF TEXTURED OR COLOURED  
MASONRY BRICKS, BLOCKS OR COLOURED CONCRETE  
- NO TIMBER EDGING IS PERMITTED.

ALL EXISTING STREET TREES AND VERGE PLANTING  
ARE TO BE PROTECTED DURING CONSTRUCTION.

A MINIMUM OF 50% OF THE PLANTING IS TO BE  
AUSTRALIAN NATIVES OR WATER WISE PLANTING  
(REFER SCHEDULE).

JOB #: 2676C  
LOT 2349 GREENWOOD PARKWAY  
JORDAN SPRINGS

MINIMUM AREA OF LOT TO BE LANDSCAPED  
15% OR 44.29 m<sup>2</sup>  
LANDSCAPING AREA ACHIEVED  
78.81 % OR 88.81 m<sup>2</sup>

FRONT LANDSCAPING MIN. 25% WIDTH OF LOT  
FRONT LANDSCAPING ACHIEVED 28.16 %

2 x 45L NATIVE  
(ONE OF THE TREES IS TO BE AN  
AUSTRALIAN NATIVE SPECIES)  
(SMALL-MEDIUM TREES 5-10m)

3 x 200mm SHRUBS  
(SHRUBS 1-5m)

25 x 150mm GROUND COVERS  
(0.3-1m)

SELECTED GROUND COVER

PLANTING TO COMPLY WITH  
PENRITH DEVELOPMENT CONTROL PLAN AND  
JORDAN SPRINGS BUILDING AND SITING GUIDELINES

PREPARED BY:  
GLENN LAMONT  
CERTIFICATE OF TECHNOLOGY (HORTICULTURAL PRACTICES)

SCALE 1:100  
SHEET 8 of 10

**Small-Medium Trees (5-10m)**

Common Name	Botanical Name (Exotic / Native)	Features
Lemon Scented Ironwood	<i>Backhousia citrifolia</i> (N)	Grown for its masses of flowers and scented as a hedge or feature tree with attractive creamy white flowers.
Coastal varivata	<i>Banksia integrifolia</i> (N)	Bright flower arrangements contrast with its otherwise drab green colouration.
Warty out flower	<i>Buckinghamia colossissima</i> (N)	Attractive foliage and flowers, attracts birds.
Pink bottle brush	<i>Callistemon eureka</i> (N)	Hardy adaptable shrub that has beautiful long lasting bright red flowers with golden tips.
White bottle brush	<i>Callistemon salignus</i> (N)	Attractive small tree through flushes of new growth which are pink to reddish, pendulous growth habit, white papery bark and cream flowers during spring or early summer.
Native frangipani	<i>Hymenosporum flavum</i> (N)	Upright open tree fragrant yellow flowers in spring. Prefers well-drained site. Attracts insects.
Sonch cherry	<i>Syzygium australe</i> (N)	Popular screening plant, glossy foliage, white flowers followed by red fruits summer to autumn. Attracts birds, bees and possums.
Golden penda	<i>Xanthostemon chrysanthus</i> (N)	Excellent ornamental tree with golden yellow flower heads contrasting well with dark glossy green foliage when in flower during the winter months.



**Recommended Plant Species**

Common Name	Botanical Name (Exotic / Native)	Features
<b>Ground Covers and Grasses (up to 1m)</b>		
Agave	<i>Agave attenuata</i> (E)	Sculptural succulent
Starflower, Pigeonback	<i>Bergenia "Bressingham White"</i> (E)	Flowering in Winter - Spring
Blue Flax Lily	<i>Dianella longifolia</i> (N)	Small lily of open eucalypt forest, blue flowers, bright blue berries, suits rocky or foreground planting.
Wild Iris	<i>Dietes bicolor &amp; grandiflora</i> (E)	Flowers yellow, white/mauve.
Grevillea royal mantle	<i>Grevillea pookiana</i> "Royal Mantle" (N)	Vigorous, evergreen groundcover with attractive lobed leaves attracts birds.
Philodendron	<i>Philodendron "Xanadu"</i> (E)	Leaves are usually large and imposing, often lobed or deeply cut.
Deer Sacred Bamboo	<i>Nendina domestica "Hana"</i> (E)	Red, yellow and green foliage.
Firecracker plant	<i>Ruellia equisetiformis</i> (N)	Drooping rush-like stems covered in tubular bright red flowers.
Native Violet	<i>Viola hederacea</i> (N)	Pretty creeping groundcover for shade, tiny violet flowers, attracts butterflies.
<b>Shrubs (1-5m)</b>		
Glossy starbush	<i>Abelia grandiflora</i> (N)	Thick mature foliage is golden to cream variegated with outer margins yellow green.
Golden candlesticks	<i>Banksia spinulosa</i> (N)	Spiry foliage and showy golden flower spikes, favourite of nectar-eating birds and gliders.
Wildfire bottlebrush	<i>Callistemon "Wildfire"</i> (N)	Tall growing shrub 4m+ with soft pale green new growth. The flowers are bright red bottlebrush mainly in spring.
Spear lily	<i>Doryanthes palmeri</i> (N)	Leaves are long in a large bassock and flowers on a tall stem are red.
Blueberry Ash	<i>Elaeocarpus reticulatus</i> (N)	Very attractive upright shrub, asymmetrical shape, small leaves, white-pink flowers and blue fruit in spring. Attracts birds and insects.
Claret tops	<i>Melaleuca "Claret Tops"</i> (N)	Bears white flowers, attractive profuse flowering rounded shrubs which are bird attracting.
Briarbane Laurel	<i>Pittosporum revolutum</i> (N)	Open shrub with cream flowers, evening fragrance, yellow fruit open to reveal red seeds, attracts birds.
Bird of Paradise	<i>Strelitzia reginae</i> (E)	Tropical looking evergreen perennial valued for its unique bird-like orange, blue and white flower heads.



**GARDEN CHARACTER**

Shall be predominately native shrub hedges to path / driveway edge punctuated by accent planting eg. feature tree specimens (note plant list). Garden area shall follow the structure above with a cohesive layout and selection of plant species from the suggested list. Plants of same species should be hedged or massed within designated planting beds to create a defined garden structure. Feature specimen trees in lawn shall be placed as focal points to the property frontage, suggested species are attached.

**Consolidation**

The landscaper shall consolidate the works and make good all defects for a period of 6 weeks after practical completion and shall leave the works in a clean and tidy condition. Grass and Plants shall be watered so as to ensure continuous healthy growth. Weeds and rubbish shall be regularly removed from planted areas. Replace all plants that are unhealthy or dead for any reason whatsoever. Replacements shall be of a similar size and quality and identical species or variety to the plant which has failed unless otherwise directed and replace immediately the plant is dead, all at the landscaper contractors own expense. Generally protect mulched and planted areas from damage, either malicious, irresponsible or accidental. Reinstatate damaged areas to the original specifications.

**GENERAL NOTES:-**

**Planting Beds**  
Remove all unwanted building material from site. Cultivate ground to minimum depth of 100mm. Supply and spread minimum 200mm layer of organic soil mix to gardens. Crown beds at centre. Finalise soil level 100mm below raised kerb areas where applicable. Mulch gardens with minimum 75mm "Forest Blend" organic mulch. Supply and place plants according to Plant Schedule and location on drawing. Ensure slow release pellet type fertilizer to manufacturers specification.

**Turfing**

Remove all unwanted materials from site. Cultivate ground to a minimum depth of 100mm. Supply and spread premium grade topsoil (AS2223) to a minimum depth of 50mm fill depressions and rake smooth. Finished turf surface shall be flush with all adjacent finish surfaces.

**Garden / Lawn Edges**

Continuous concrete edging



Level 1, 3350 Pacific Highway  
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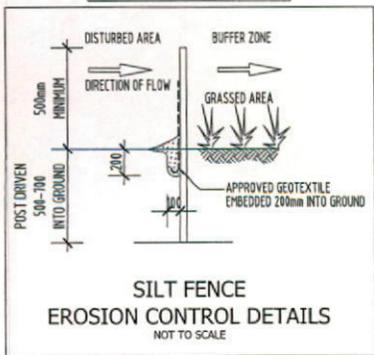
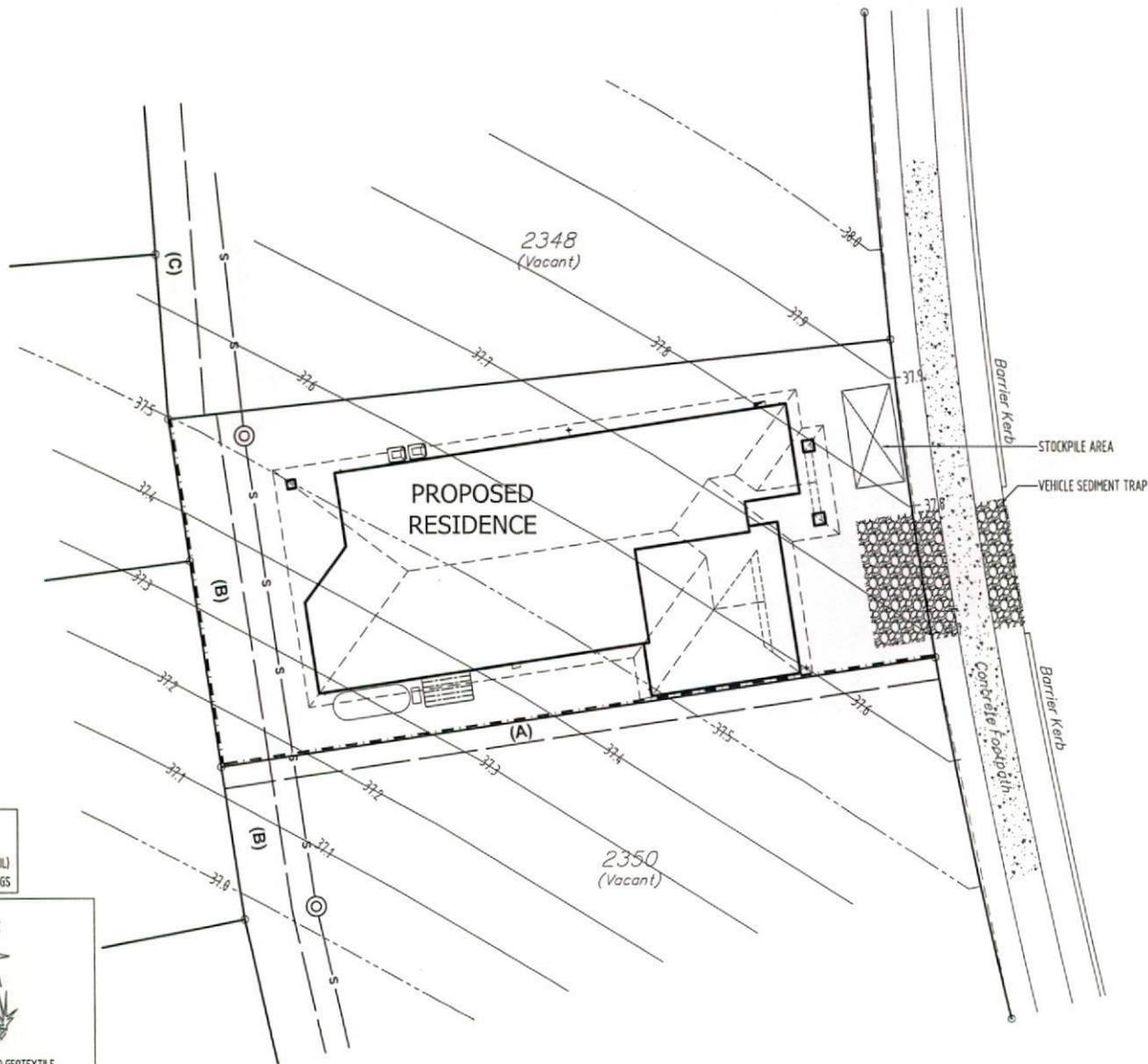
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DESIGN  
**Noosa H04 (Mod)**

CLIENT  
**D. CUSCHIERI**

**LOT 2349 GREENWOOD PARKWAY  
JORDAN SPRINGS ESTATE  
JORDAN SPRINGS**

DRAWN	AS	DATE	15.07.2013
SCALE	1:200	WIND RATING	N2
JOB No.	2676C	SHEET	9 of 10



GREENWOOD PARKWAY



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LOT 2349 GREENWOOD PARKWAY  
JORDAN SPRINGS ESTATE  
JORDAN SPRINGS

DRAWN	AS	DATE	15.07.2013
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SCALE	1:200	WIND RATING	N2
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JOB No.	2676C	SHEET	10 of 10
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