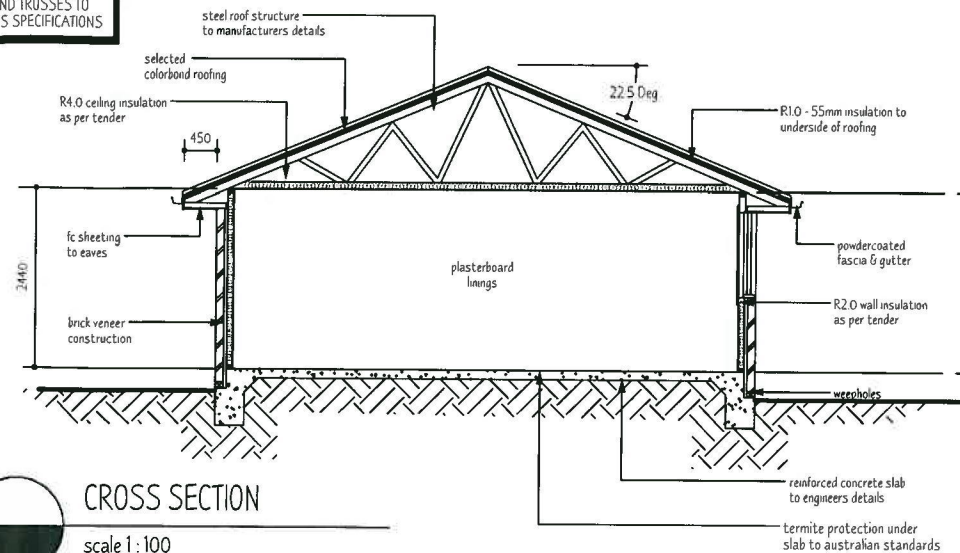


COMPLIANT LANDSCAPE PLAN
 REQUIRED TO BE
 SUBMITTED TO LEASE
 FOR REVIEW
 AND STAMPING PRIOR
 TO LOADING PLANS TO
 COUNCIL CONTRACTOR.

NOTE
 - STEEL FRAME AND TRUSSES TO
 MANUFACTURER'S SPECIFICATIONS



CROSS SECTION
 scale 1:100

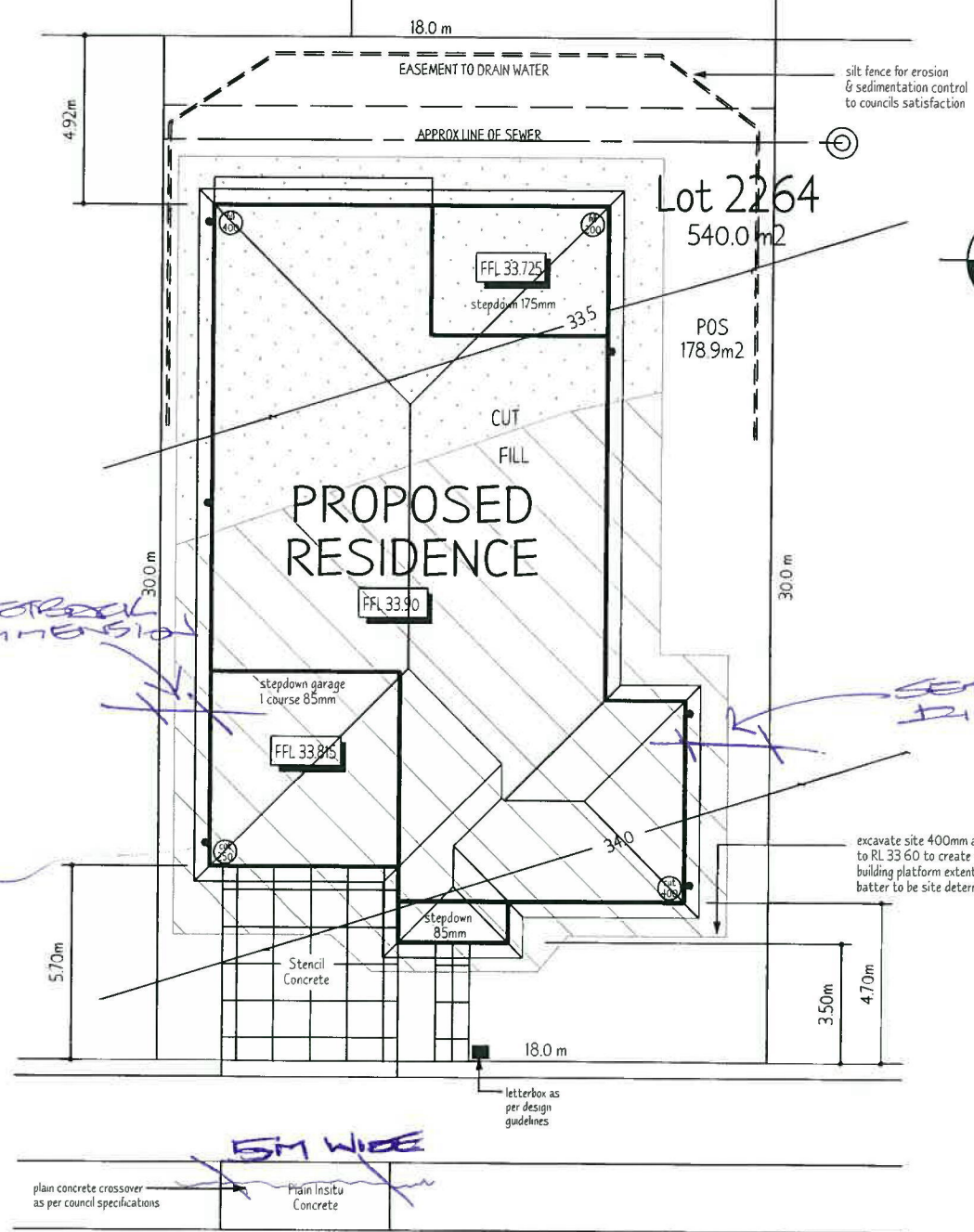
CONSTRUCTION NOTES

- All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities concerned.
- All structural work and site drainage to be subject to the Engineers details or certification where required by Council. This shall include r.c slab and footings, r.c and steel beams and columns, wind bracing to AS 1170 and AS 4055, anchor rods or bolts, tie downs, fixings etc., driveway slab and drainage to Council's satisfaction
- Smoke alarms are to be mains electrical & battery back up as per AS 3786 & AS/NZS 3000:2000
- Masonry walls shall be in accordance with AS 3700 Masonry code
- All timber frames in accordance with AS 1684 National Timber Framing Code
- Glazing selected and installed in accordance with AS 1288
- Stair and handrails to comply with AS 1288 & with BCA 3.9.1, 3.9.2.3, 3.9.1.3 & 3.9.1.4.
- Site preparation for Footings, Services, Drainage & Installation of Termite Barriers in accordance with: AS/NZS 3500.3.2 (Storm Water Drainage) & AS 3660.1 (Termite Protection of Buildings from Subterranean Termites)
- Waterproofing of wet areas in accordance with AS 3740

ADD NOTE:

ALL GREEN + LAWN
 EDGING IS TO BE
 DONE IN FRONT
 YARD AND MUST BE
 VISIBLE FROM THE
 STREET - NO TYPICAL EDGING IS PERMITTED

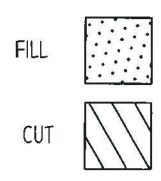
Reviewed by LEASE
 COVENANT MANAGER
 28 APR 2014
 Signed: [Signature]



TENGALA DRIVE

LOCATION OF NEW DOWNPIPES SHOWN ARE SUBJECT TO VERIFICATION BY THE BUILDER DURING CONSTRUCTION DOWNPIPES, SURFACE INLETS & KERB OUTLET LOCATIONS MAY VARY PROVIDING THE INTENT OF THE STORMWATER DESIGN IS MAINTAINED

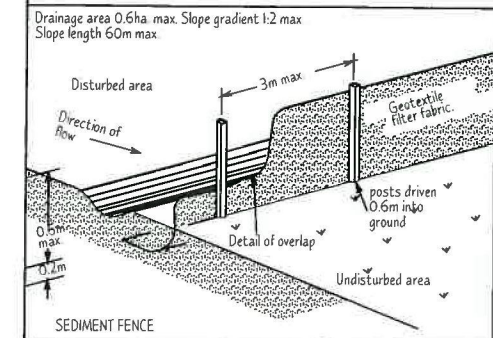
ANY RETAINING WALL VISIBLE FROM THE STREET OR 900mm HIGH AND OVER TO BE OF MASONRY CONSTRUCTION
 # ANY EXISTING STREET TREE AND VERGE PLANTING TO BE PROTECTED DURING CONSTRUCTION



SITE PLAN
 scale 1:200

SITE NOTES

- Do not scale of the drawings unless otherwise stated as written dimensions will take preference over scaling
- All dimensions and levels are to be checked and verified by the CONTRACTOR on site before the commencement of any works, all dimensions and levels are subject to final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works
- Where Engineers drawings are required such must take preference over this set of drawings
- Contours have been interpolated from the spot heights taken and are approximate only
- Finished site levels, banks excavations & filling may vary due to site conditions. Adjustments while complying with council requirements remain at the discretion on the builder
- All boundary clearances are to be verified by survey before any work
- All services to be located and verified by the Builder with the relevant authorities prior to any work commencing
- All work to be carried out in accordance with the Building Code of Australia, all Local and State Electricity and Water Authorities Regulations and all other relevant Authorities.



SEDIMENTATION / SITE CONTROL NOTES

- All Erosion & Sedimentation control measures, including revegetation and storage of soil and topsoil shall be implemented to the standards of the Soil Conservation Of NSW
- All Erosion & Sedimentation controls measures to be inspected and maintained daily
- Roads and Footpaths to be swept and kept clean daily
- All disturbed areas to be minimized
- All stockpiles to be clear of Drains, Gutters & Footpaths
- Drainage to be connected to Stormwater as soon as possible
- Filter shall be constructed by stretching a filter fabric (Propex or Approved Equivalent) between post at 3.0m centres Fabric shall be buried 150mm along it's lower edge
- 2.0m high chain mesh fence around tree preservation zones to remain intact until all construction on site is completed

DEVELOPMENT CALCULATIONS	
site area:	540.0m2
Itemised Floor Areas:	Totals:
ground floor :	194.4
first floor :	n/a
sub floor :	n/a
garage :	32.0
porch :	3.90
verandah :	n/a
alfresco :	19.8
balcony :	n/a
total floor area:	250.1 m2
floor space ratio	n/a
private open space	178 m2
landscape area	258 m2
site coverage	47%

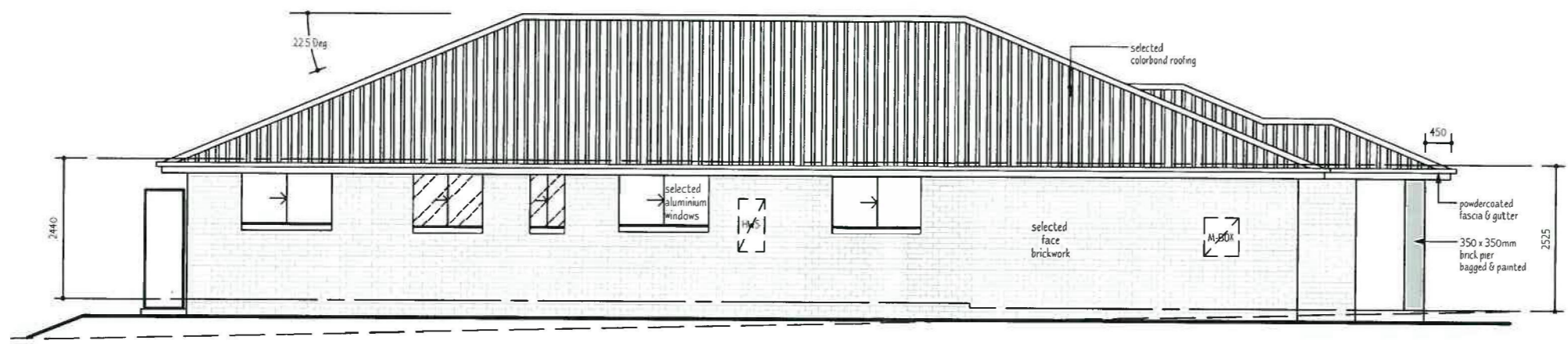
issue	date	revision
A	14-02-14	PRELIMINARY PLANS

PROPOSED NEW RESIDENCE		
client	A, M & J FEELEY	
project	LOT 2264 TENGALA DRIVE JORDAN SPRINGS	
scale	1:200	drawing title SITE PLAN
drawn	J.S	design NEWTOWN 255
date	14/02/14	drawing no. - 1/5
		issue A.

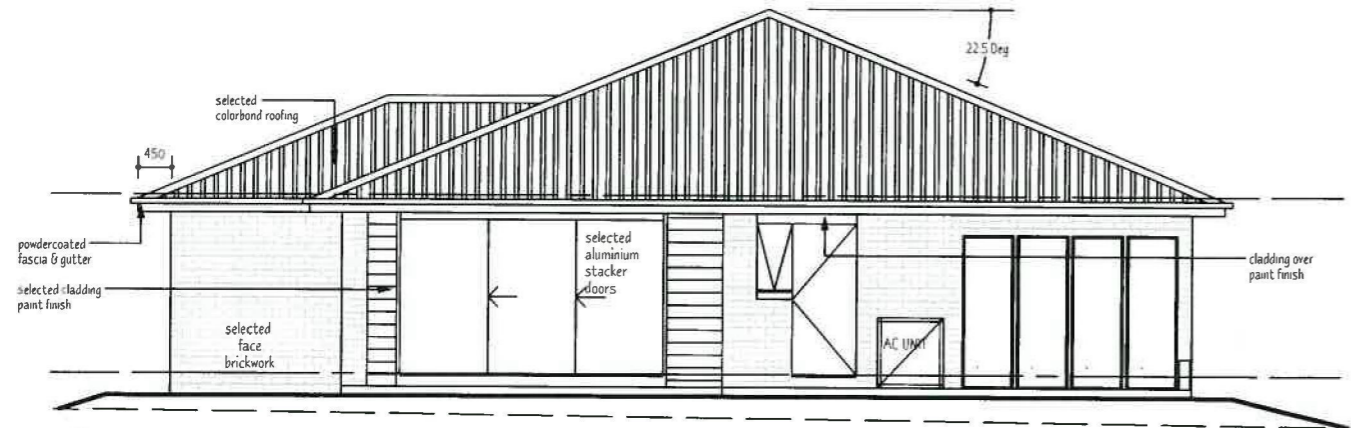




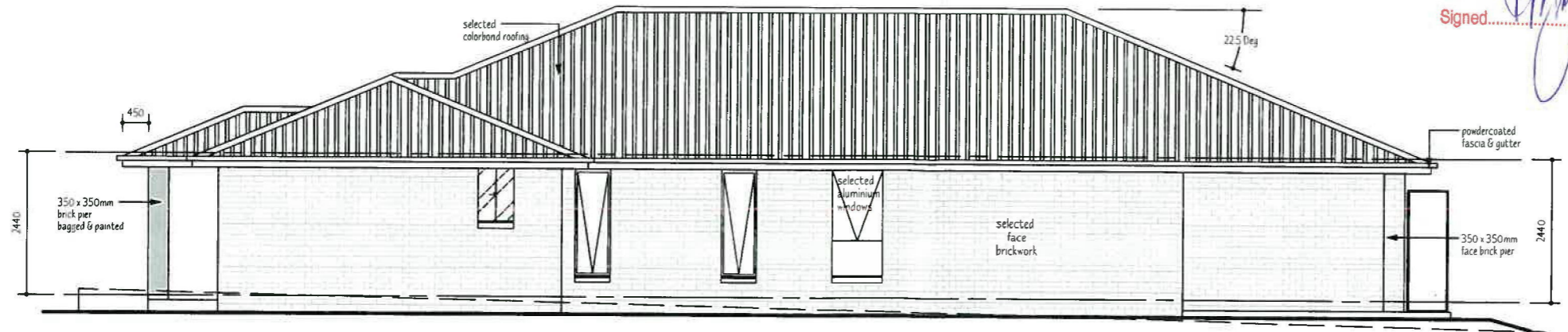
NORTH ELEVATION
scale 1:100



EAST ELEVATION
scale 1:100



SOUTH ELEVATION
scale 1:100



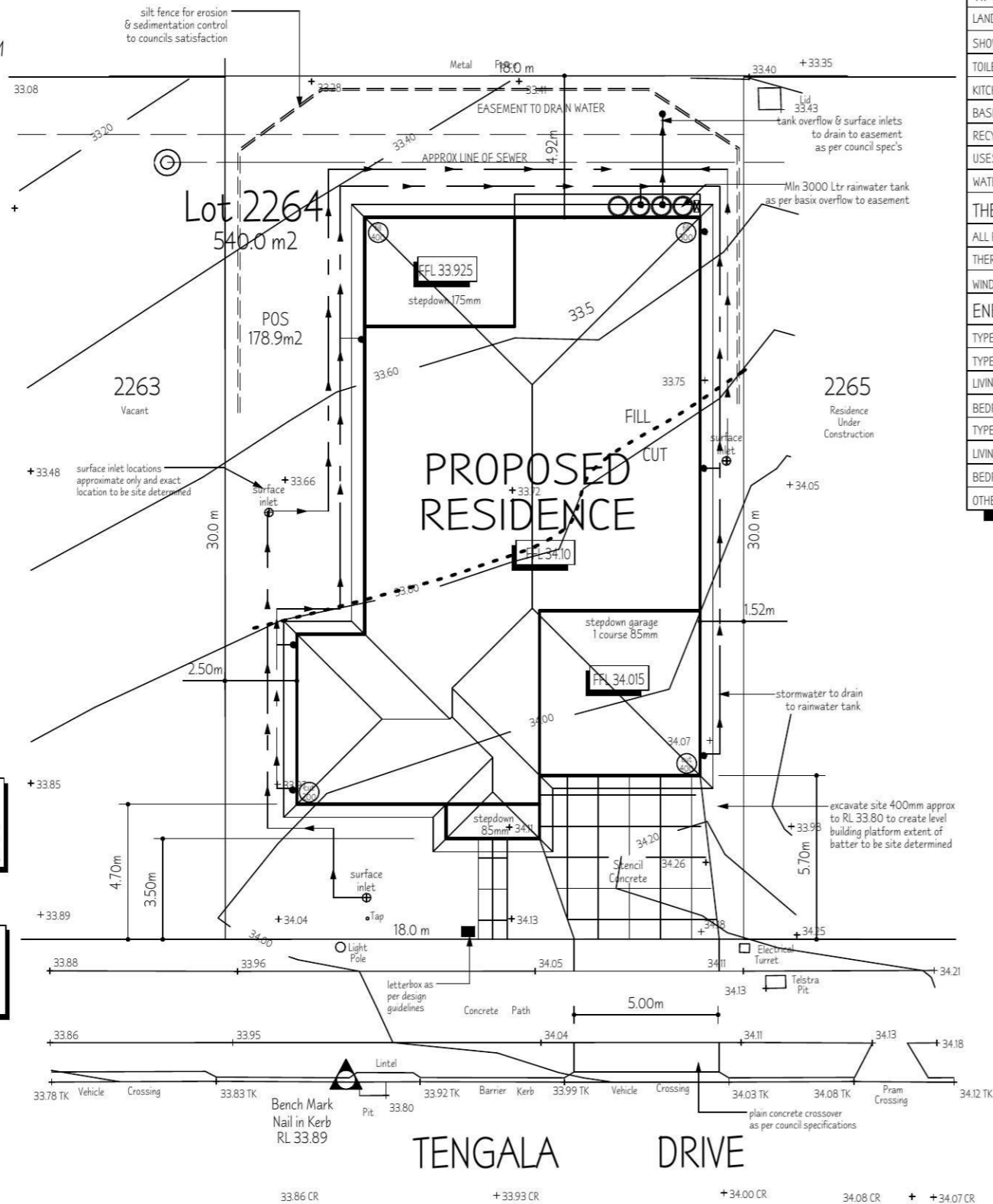
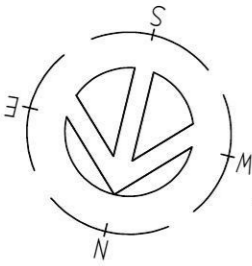
WEST ELEVATION
scale 1:100

GENERAL NOTES
 - Do not scale of the drawings unless otherwise stated as written dimensions will take preference over scaling
 - All dimensions and levels are to be checked and verified by the CONTRACTOR on site before the commencement of any works, all dimensions and levels are subject to final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works
 - Where Engineers drawings are required such must take preference over this set of drawings
 - All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities

Reviewed by LEASE COVENANT MANAGER
 28 APR 2014
 Signed.....



PROPOSED NEW RESIDENCE		
client	A, M & J FEELEY	
project	LOT 2264 TENGALA DRIVE JORDAN SPRINGS	
scale	1:100	drawing title ELEVATIONS
drawn	J.S	design NEWTOWN 255
date	14/02/14	drawing no. - 1/5
		issue A.



LOCATION OF NEW DOWNPIPES SHOWN ARE SUBJECT TO VERIFICATION BY THE BUILDER DURING CONSTRUCTION. DOWNPIPES, SURFACE INLETS & KERB OUTLET LOCATIONS MAY VARY PROVIDING THE INTENT OF THE STORMWATER DESIGN IS MAINTAINED.

ANY RETAINING WALL VISIBLE FROM THE STREET OR 900mm HIGH AND OVER TO BE OF MASONRY CONSTRUCTION
ANY EXISTING STREET TREE AND VERGE PLANTING TO BE PROTECTED DURING CONSTRUCTION

SITE PLAN
scale 1:200

BASIX COMMITMENTS

OWNER AND/OR BUILDER TO CHECK ALL COMMITMENTS ON THE BASIX CERTIFICATE 'SCHEDULE OF COMMITMENTS'. TABLE TO BE READ IN CONJUNCTION WITH SCHEDULE OF COMMITMENTS & SPECIFICATION. SCHEDULE OF COMMITMENTS TO TAKE PRECEDENCE OVER PLANS AND SPECIFICATION

WATER COMMITMENTS

LANDSCAPING - PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 10m² OF THE SITE

SHOWER HEAD RATING - 3 STAR

TOILET FLUSHING SYSTEM RATING - 4 STAR

KITCHEN TAP RATING - 5 STAR

BASIN TAPS - 3 STAR

RECYCLED WATER - 3000 LITRE RAINWATER TANK

USES OF RECYCLED WATER- ALL TOILETS AND AT LEAST ONE GARDEN TAP

WATER COLLECTION AREA - 285 m²

THERMAL COMMITMENTS

ALL FLOORS, WALLS AND CEILINGS/ROOF OF THE DWELLING MUST BE IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE

THERMAL COMFORT COMMITMENTS TABLE IN THE DWELLINGS BASIX CERTIFICATE

WINDOWS, GLAZED DOORS AND SHADING DEVICES INSTALLED AS DESCRIBED IN THE WINDOW SCHEDULE AND THE DWELLINGS BASIX CERTIFICATE

ENERGY COMMITMENTS

TYPE OF HOT WATER SYSTEM - GAS INSTANTANEOUS 5.5 STAR

TYPE OF COOLING SYSTEM

LIVING AREAS - Single Phase - Min Energy rating: EER < 2.5

BEDROOMS - Single Phase - Min Energy rating: EER < 2.5

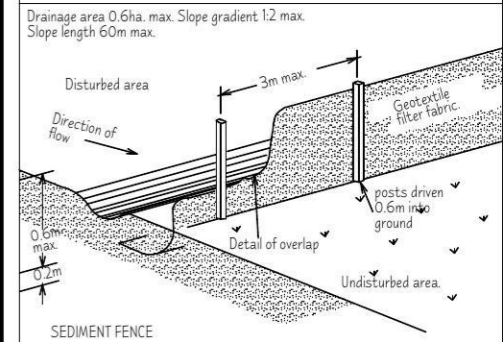
TYPE OF HEATING SYSTEMS

LIVING AREAS - Single Phase - Min Energy rating: EER < 2.5

BEDROOMS - Single Phase - Min Energy rating: EER < 2.5

OTHER - FIXED OUTDOOR CLOTHESLINE, WELL VENTILATED FRIDGE SPACE, GAS COOKTOP

SITE NOTES
- Do not scale of the drawings unless otherwise stated as written dimensions will take preference over scaling
- All dimensions and levels are to be checked and verified by the CONTRACTOR on site before the commencement of any works, all dimensions and levels are subject to final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works
- Where Engineers drawings are required such must take preference over this set of drawings
- Contours have been interpolated from the spot heights taken and are approximate only
- Finished site levels, banks excavations & filling may vary due to site conditions. Adjustments while complying with council requirements remain at the discretion of the builder.
- All boundary clearances are to be verified by survey before any work.
- All services to be located and verified by the Builder with the relevant authorities prior to any work commencing.
- All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities.



SEDIMENTATION / SITE CONTROL NOTES
- All Erosion & Sedimentation control measures, including revegetation and storage of soil and topsoil shall be implemented to the standards of the Soil Conservation Of NSW
- All Erosion & Sedimentation controls measures to be inspected and maintained daily.
- Roads and Footpaths to be swept and kept clean daily.
- All disturbed areas to be minimized.
- All stockpiles to be clear of Drains, Gutters & Footpaths.
- Drainage to be connected to Stormwater as soon as possible.
- Filter shall be constructed by stretching a filter fabric (Propex or Approved Equivalent) between post at 3.0m centres. Fabric shall be buried 150mm along it's lower edge.
- 2.0m high chain mesh fence around tree preservation zones to remain intact until all construction on site is completed



DEVELOPMENT CALCULATIONS

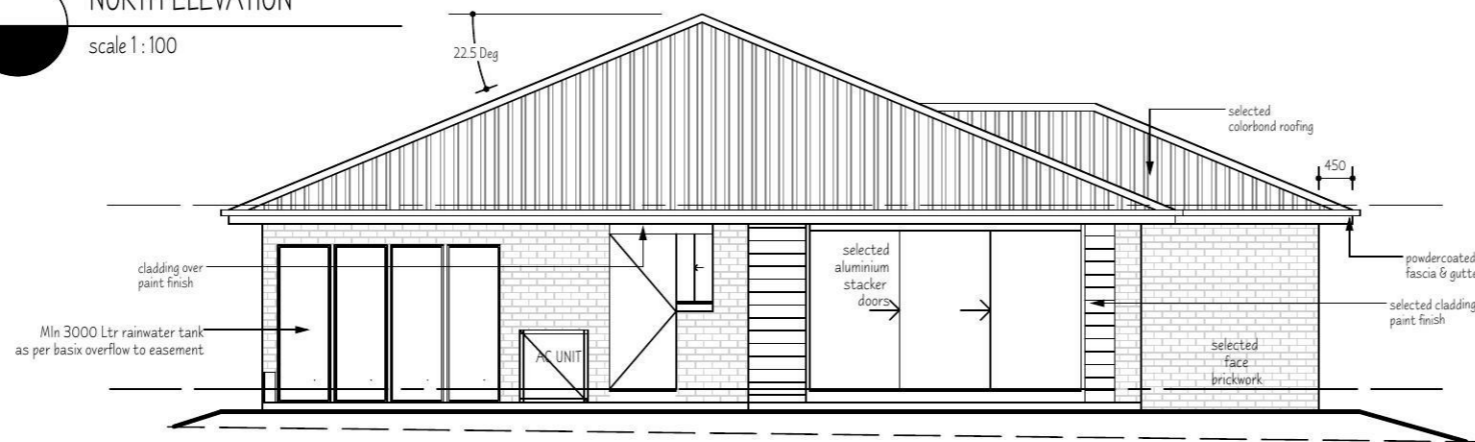
Issue	Date	Revision
A	14-02-14	PRELIMINARY PLANS
B	15-04-14	DESIGN REVIEW
C	03-06-14	LANDSCAPE PLAN ADDED
D	17-06-14	CONTOUR ADDED

site area: 540.0m ²	Totals:
Itemised Floor Areas:	
ground floor :	194.4
first floor :	n/a
sub floor :	n/a
garage :	32.0
porch :	3.90
verandah :	n/a
alfresco :	19.8
rear slab :	5.1
total floor area:	255.2 m ²
floor space ratio	n/a
private open space	178 m ²
landscape area	258 m ²
site coverage	47%

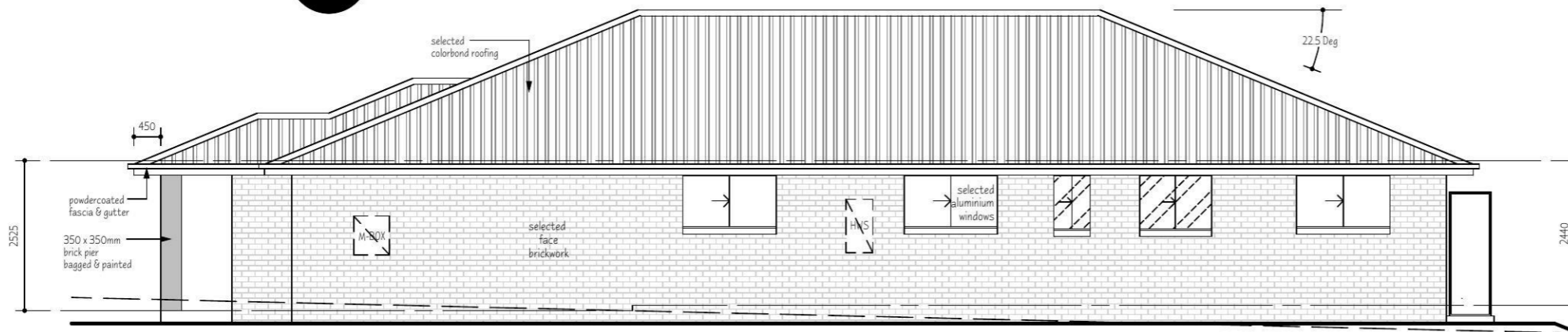
PROPOSED NEW RESIDENCE		
client	A, M & J FEELEY	
project	LOT 2264 TENAGA DRIVE JORDAN SPRINGS	
scale	1:200	drawing title SITE PLAN
drawn	J.S	design NEWTOWN 255
date	17/06/14	drawing no. 1/6
		issue D.



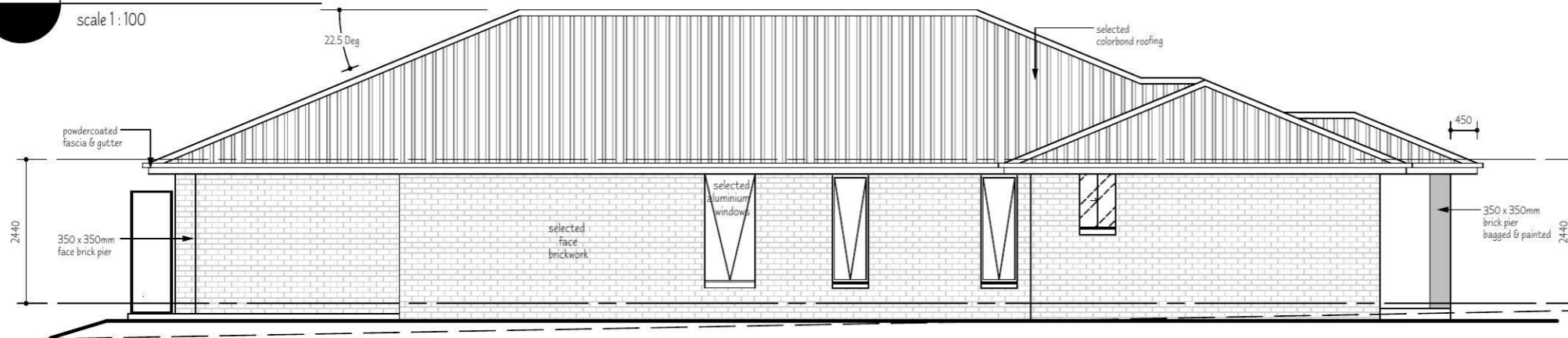
NORTH ELEVATION
scale 1:100



SOUTH ELEVATION
scale 1:100



WEST ELEVATION
scale 1:100



EAST ELEVATION
scale 1:100

GENERAL NOTES
 - Do not scale of the drawings unless otherwise stated as written dimensions will take preference over scaling
 - All dimensions and levels are to be checked and verified by the CONTRACTOR on site before the commencement of any works, all dimensions and levels are subject to final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works
 - Where Engineers drawings are required such must take preference over this set of drawings
 - All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities.



PROPOSED NEW RESIDENCE

client **A, M & J FEELEY**

project **LOT 2264
TENGALA DRIVE
JORDAN SPRINGS**

scale 1:100 drawing title **ELEVATIONS**

drawn J.S design **NEWTOWN 255**

date 17/06/14 drawing no. 4/6 issue **D.**

LEGEND

Turf
Excavate / grade all areas to be turfed to 120mm below required finished levels.
Do not excavate within 1500mm of the trunk of any existing tree to be retained.
Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly.

Planting areas
Ensure that the mass planting areas have been excavated to 300 below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix.

Garden edging
Selected edging
Finish turf flush with surrounding edges
Turf species as indicated on landscape plan
100mm depth topsoil mix
Cultivate sub base 150mm

selected retaining walls

blue metal

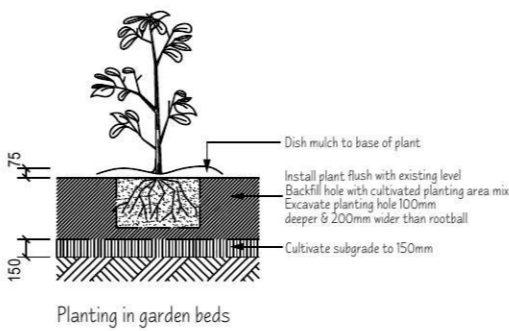
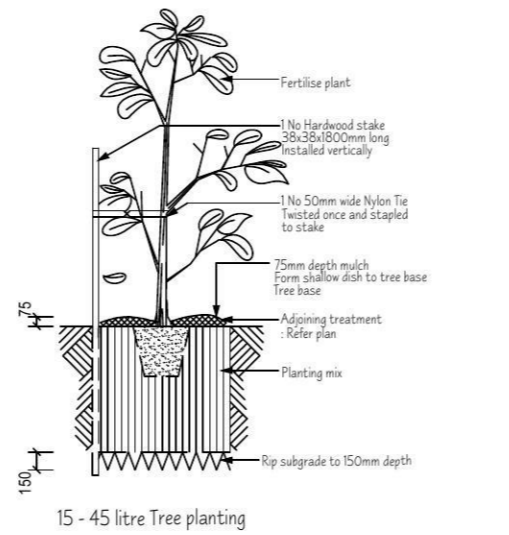
Bins location

Drying Area

1800mm boundary fence as per design guidelines

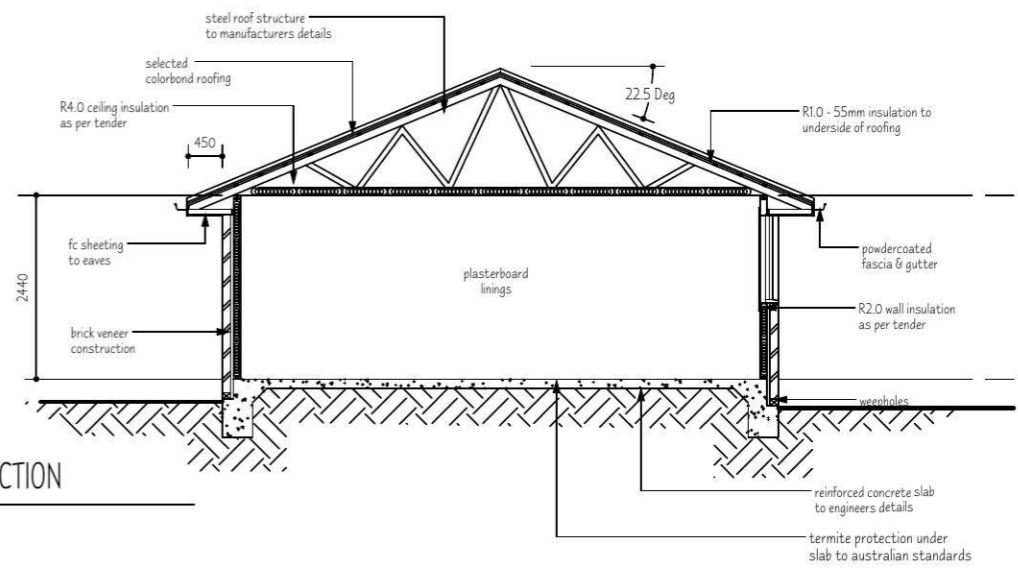
Ground preparation
Grassed area: turf using imported topsoil

Ground preparation
Planting area using imported topsoil



NOTE
- STEEL FRAME AND TRUSSES TO MANUFACTURERS SPECIFICATIONS

CROSS SECTION
scale 1:100



- CONSTRUCTION NOTES**
- All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities concerned.
 - All structural work and site drainage to be subject to the Engineers details or certification where required by Council. This shall include r.c slab and footings, r.c and steel beams and columns, wind bracing to AS 1170 and AS 4055, anchor rods or bolts, tie downs, fixings etc.. driveway slab and drainage to Council's satisfaction
 - Smoke alarms are to be mains electrical & battery back up as per AS 3786 & AS/NZS 3000:2000
 - Masonry walls shall be in accordance with AS 3700 Masonry code
 - All timber frames in accordance with AS 1684 National Timber Framing Code
 - Glazing selected and installed in accordance with AS 1288
 - Stair and handrails to comply with AS 1288 & with BCA 3.9.1, 3.9.2.3, 3.9.1.3 & 3.9.1.4.
 - Site preparation for Footings, Services, Drainage & Installation of Termite Barriers in accordance with: AS/NZS 3500.3.2 (Storm Water Drainage) & AS 3660.1 (Termite Protection of Buildings from Subterranean Termites)
 - Waterproofing of wet areas in accordance with AS 3740

PLANT SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	MATURE HEIGHT	MATURE WIDTH	NATIVE
TREES						
FT	ACER NEGUNDO	FLAMINGO TREE	1	5	4	NO
LST	LEPTOSPERMUM PETERSONII	LEMON SCENTED TEA TREE	1	5	1-2	YES
SHRUBS						
PH	PHORMIUM TENAX PURPUREA	PURPLE HAZE	6	1.2	0.6	YES
LC	LOMANDRA CONFERTIFOLIA	LITTEL CON	22	0.3	0.3	YES
BG	FESTUCA GLAUCA	BLUE GRASS	4	1.0	0.5	NO
BM	OPHIPOGON PLANISCAPUS	BLACK MONDO	4	1.0	0.5	YES

- IF SPECIES UNAVAILABLE AT TIME OF PLANTING A SUITABLE NATIVE OR LOW WATER USE PLANT IS TO BE USED
- ITEMS SHOWN ON LANDSCAPE PLAN MAY BE REQUIRED TO BE SUPPLIED & INSTALLED BY CLIENT REFER TO TENDER & CONTRACT FOR CONFIRMATION

GENERAL NOTES
- Do not scale of the drawings unless otherwise stated as written dimensions will take preference over scaling
- All dimensions and levels are to be checked and verified by the CONTRACTOR on site before the commencement of any works, all dimensions and levels are subject to final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works
- Where Engineers drawings are required such must take preference over this set of drawings
- All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities concerned.



PROPOSED NEW RESIDENCE		scale	1:100	drawing title		SECTION & LANDSCAPE	
client	A, M & J FEELEY	drawn	J.S	design		NEWTOWN 255	
project	LOT 2264 TENGALA DRIVE JORDAN SPRINGS	date	17/06/14	drawing no.	5/6	issue	D.

LEGEND

Turf
Excavate / grade all areas to be turfed to 120mm below required finished levels
Do not excavate within 1500mm of the trunk of any existing tree to be retained.
Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly.

Planting areas
Ensure that the mass planting areas have been excavated to 300 below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix.

Garden edging

selected retaining walls

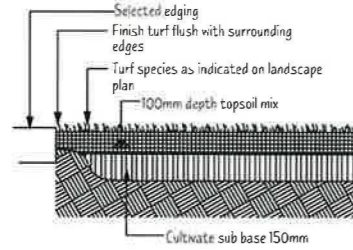
blue metal

Bins location

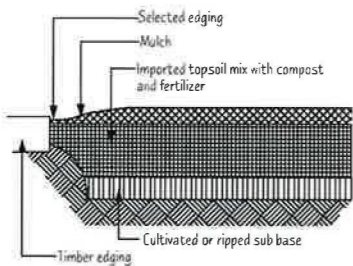
Drying Area

1800mm boundary fence
as per design guidelines

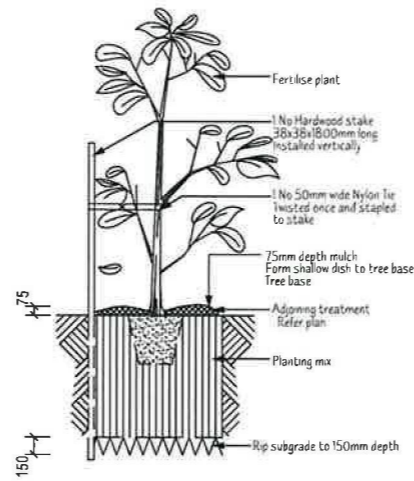
LYSOL
"STANDSTAND"
IN RIVERSIDE
OR EQUAL.



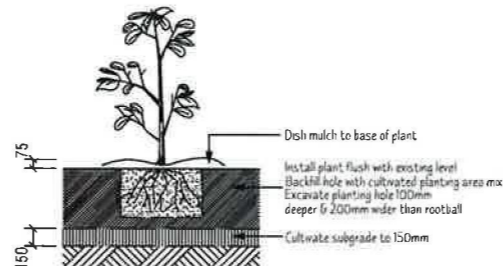
Ground preparation
Grassed area: turf using imported topsoil



Ground preparation
Planting area using imported topsoil



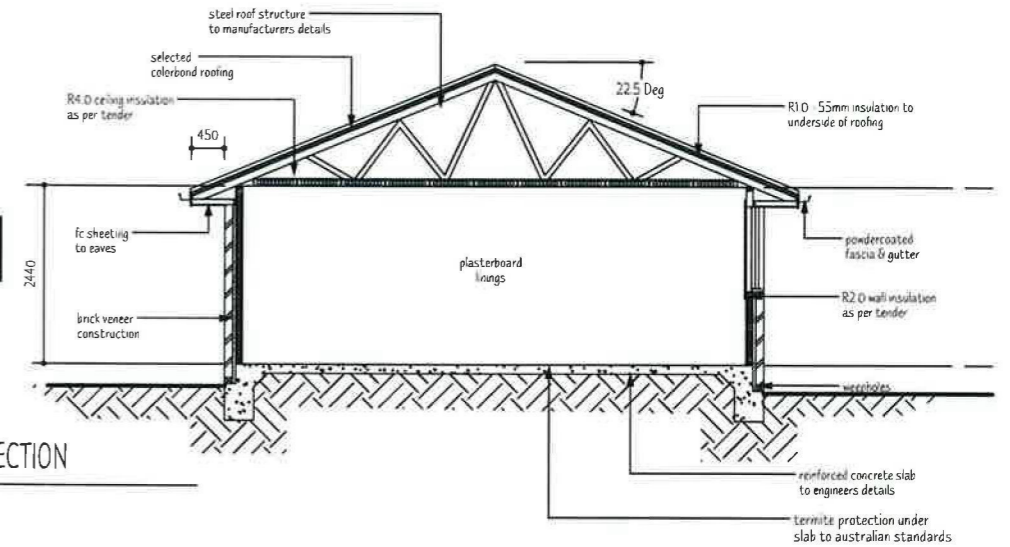
15 - 45 litre Tree planting



Planting in garden beds

NOTE
- STEEL FRAME AND TRUSSES TO MANUFACTURERS SPECIFICATIONS

CROSS SECTION
scale 1:100



CONSTRUCTION NOTES

- All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities concerned.
- All structural work and site drainage to be subject to the Engineers details or certification where required by Council. This shall include r.c slab and footings, r.c and steel beams and columns, wind bracing to AS 1170 and AS 4055, anchor rods or bolts, tie downs, fixings etc. driveway slab and drainage to Council's satisfaction
- Smoke alarms are to be mains electrical & battery back up as per AS 3786 & AS/NZS 3000:2000
- Masonry walls shall be in accordance with AS 3700 Masonry code
- All timber frames in accordance with AS 1684 National Timber Framing Code
- Glazing selected and installed in accordance with AS 1288
- Stair and handrails to comply with AS 1288 & with BCA 3.9.1, 3.9.2.3, 3.9.13 & 3.9.14.
- Site preparation for Footings, Services, Drainage & Installation of Termite Barriers in accordance with: AS/NZS 3500.3.2 (Storm Water Drainage) & AS 3660.1 (Termite Protection of Buildings from Subterranean Termites)
- Waterproofing of wet areas in accordance with AS 3740

PLANT SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	MATURE HEIGHT	MATURE WIDTH	NATIVE
TREES						
FT	ACER NEGUNDO	FLAMINGO TREE	1	5	4	NO
LST	LEPTOSPERMUM PETERSONII	LEMON SCENTED TEA TREE	1	5	1-2	YES
SHRUBS						
PH	PHORMIUM TENAX PURPUREA	PURPLE HAZE	5	1.2	0.6	YES
LC	LOMANDRA CONFERTIFOLIA	LITTEL CON	20	0.3	0.3	YES
BG	FESTUCA GLAUCA	BLUE GRASS	4	1.0	0.5	NO
BM	OPHIPOGON PLANISCAPUS	BLACK MONDO	4	1.0	0.5	YES

- IF SPECIES UNAVAILABLE AT TIME OF PLANTING A SUITABLE NATIVE OR LOW WATER USE PLANT IS TO BE USED
- ITEMS SHOWN ON LANDSCAPE PLAN MAY BE REQUIRED TO BE SUPPLIED & INSTALLED BY CLIENT REFER TO TENDER & CONTRACT FOR CONFIRMATION

GENERAL NOTES
- Do not scale of the drawings unless otherwise stated as written dimensions will take preference over scaling
- All dimensions and levels are to be checked and verified by the CONTRACTOR on site before the commencement of any works, all dimensions and levels are subject to final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works
- Where Engineers drawings are required such must take preference over this set of drawings
- All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Electricity and Water Authorities Regulations and all other relevant Authorities concerned



PROPOSED NEW RESIDENCE		scale	1:100	drawing title		SECTION & LANDSCAPE	
client	A, M & J FEELEY	drawn	J.S	design		NEWTOWN 255	
project	LOT 2264 TENGALA DRIVE JORDAN SPRINGS	date	03/06/14	drawing no.	5/6	issue	C.