



CADDENS HILL STAGE 7

Landscape Masterplan Report

Prepared for
Legacy Property

Project Reference: 2517024
March 2018 rev B

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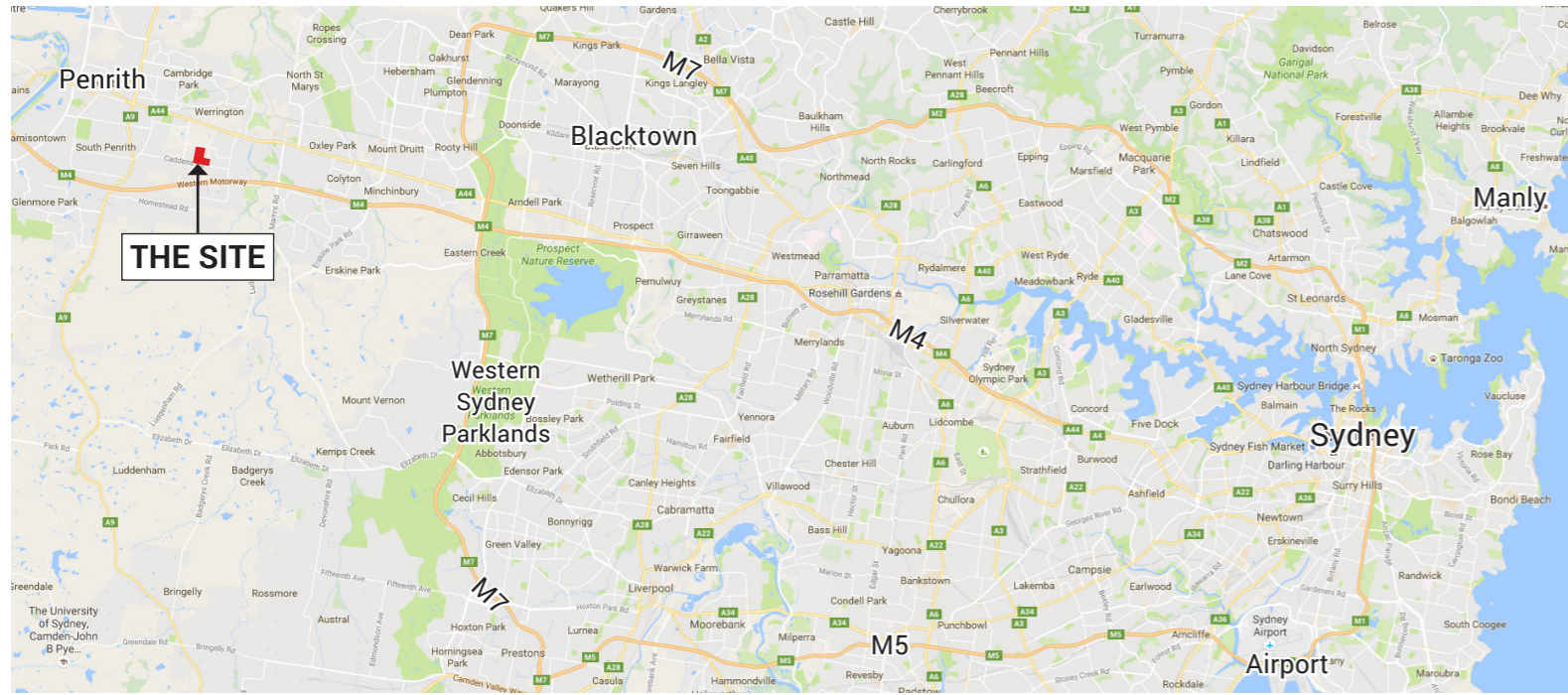


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INTRODUCTION



GoogleMap Location of the Site, NSW

NOT TO SCALE NORTH



PLACE Design Group have been engaged by Legacy Property to provide landscape DA documentation for Stage 7 of the Caddens Hill Development in Caddens, Penrith, NSW.

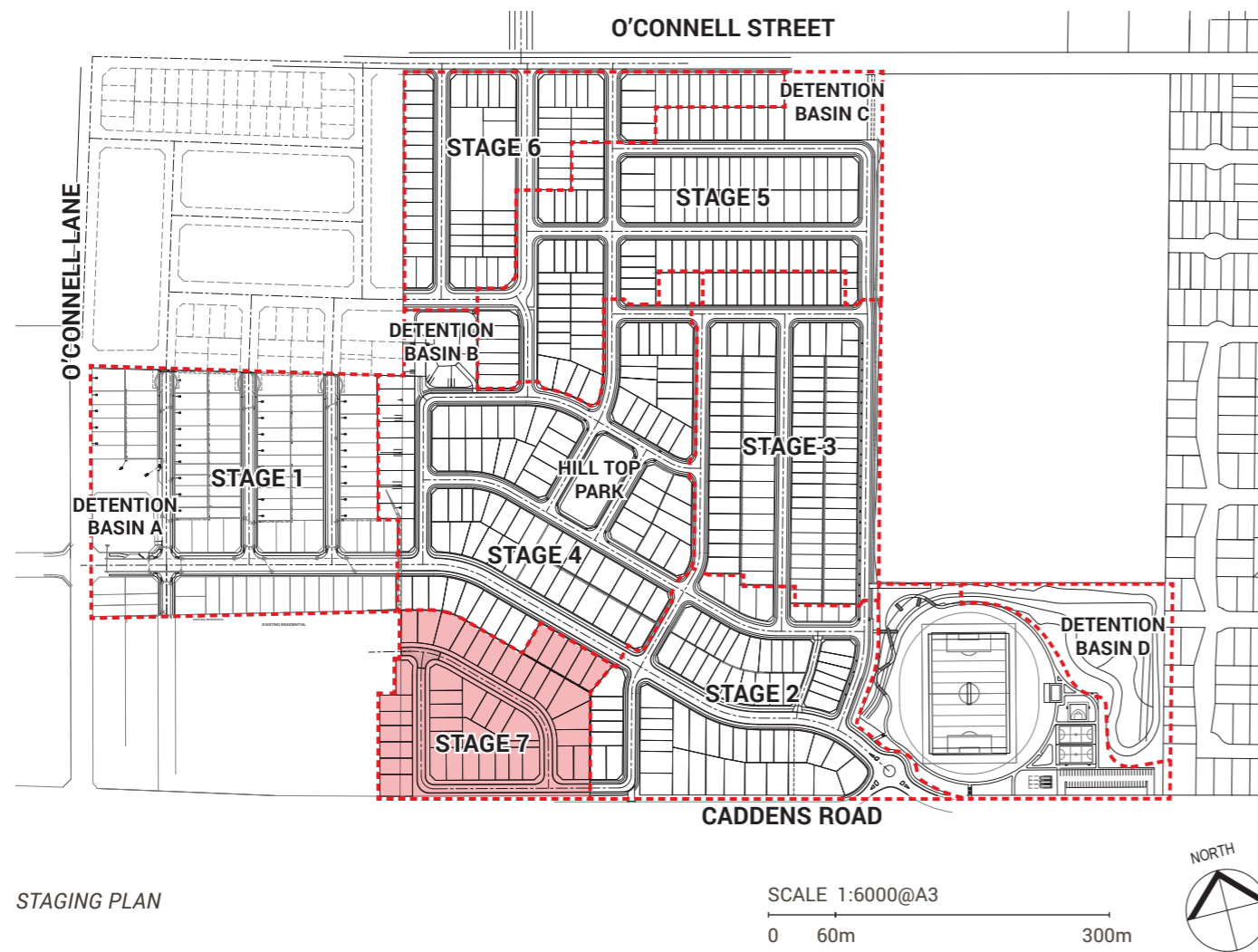
This document is intended to assist in defining the development and landscape character of Caddens Hill and to be coherent with the current development of the site. It is intended that Caddens Hill will provide a quality sustainable development that recognizes and interprets the rural character, landscape features and undulating topography of the site.

The landscape Design as set out in this DA Report is intended to:

- Provide high quality, low maintenance public domain which affords the community with a high level of amenity and creates a strong sense of place for the development.
- Create attractive streetscapes which retain and enhance significant views and vistas, landmark elements and Landscape Features and;

- Ensure continuity of design not only from Stages 1 to 6 but also the adjacent UGNSW Caddens site
- Create a strong sense of arrival and identity for the site through the use of linear avenues of trees (*various species*) that characterise the streetscapes.

STAGING PLAN & DOCUMENT REFERENCES



View from Caddens Road Looking north at the Proposed Additional Lots



View from Caddens Road at Proposed Location of New Road



Images taken from GoogleMaps

Control Documents:

Background Information

- DCP - Penrith City Council. Items for the site include:

Penrith DCP 2014 Volume 2 E1 Caddens

1.3 The Public Domain

1.3.3 Pedestrian and Cycle Network

Figure E1.6 – Street Hierarchy

Figure E1.7a-j

Figure E1.8 – Pedestrian & Cycle Routes

1) Key pedestrian and cycleway routes are to be provided generally in accordance with Penrith Development Control Plan 2014 E1 Caddens E1 - 25 Figure E1.8.

2) The design of cycleways located within the road reserve is to be in accordance with Figure E1.7.

3) The minimum width of off-street shared cycle and pedestrian pathways is to be 2.5m (as shown in Figure E1.7g).

4) The minimum width of pedestrian footpaths is 1.5m.

5) All pedestrian and cycleway routes and facilities are to be consistent with the Planning Guidelines for Walking and Cycling (DOP & RTA 2004).

1.3.5 Open Space, Environmental Conservation and Landscape Network

Figure E1.10 – Open Space and Environmental Conservation Network

Figure E1.11 – Eastern Hilltop Park Concept

Figure E1.14 – Active open space concept

Figure E1.15 – Detention Basins Concept

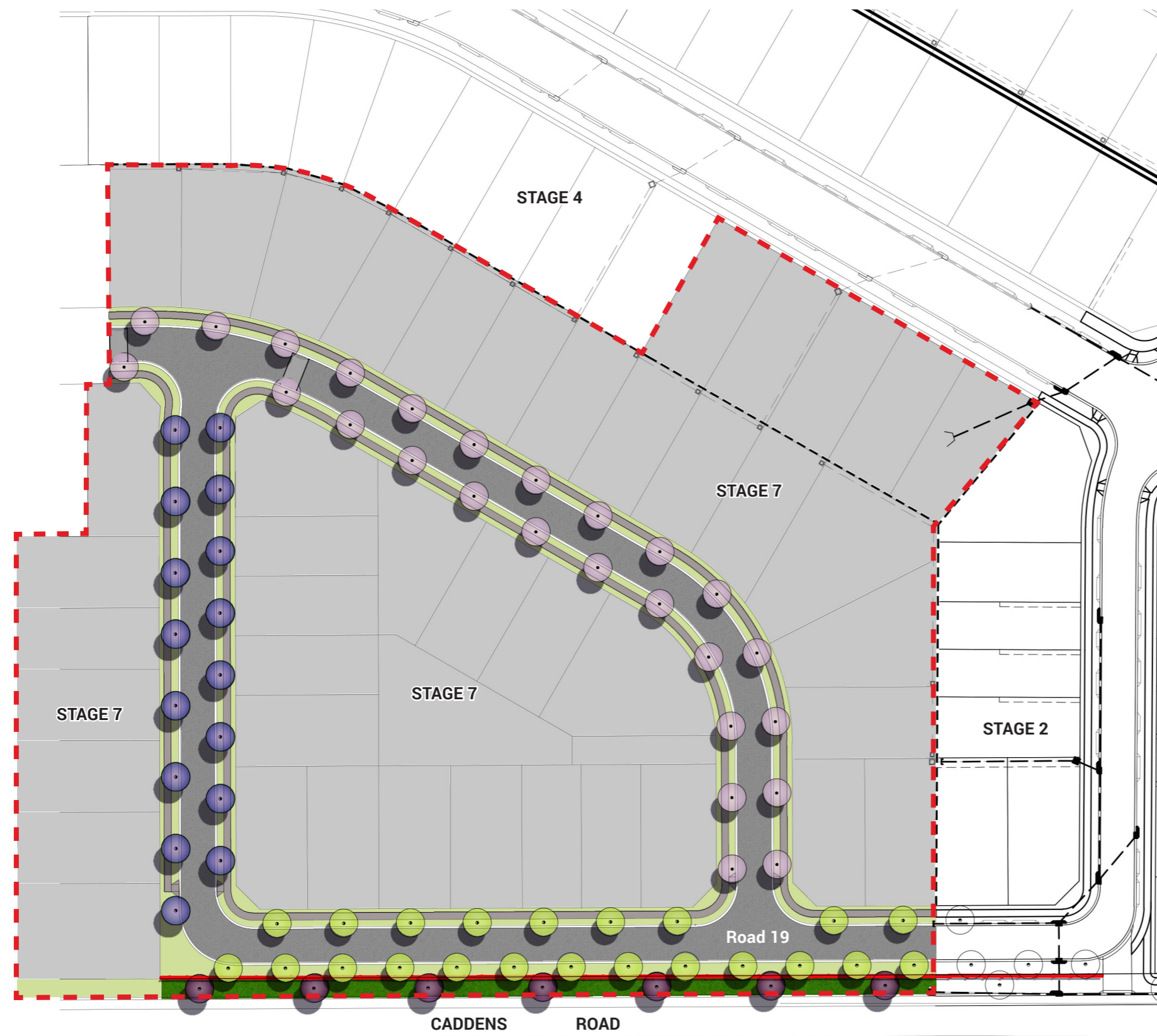
7) The 0.35 hectare Eastern Hilltop Park located on the ridgeline to the east of the site is to present as natural woodland. It is to incorporate the following elements as illustrated in Figure E1.11:

- heritage interpretation of the ruins of the 19th century farmhouse and re-use of materials where appropriate;
- viewing platforms to other vantage points within Caddens and beyond;
- an informal kick about space on the flatter land;
- accessible paths where possible;
- seating areas and shade structures;
- canopy trees;
- existing trees, Cumberland Plain Woodland species as well as other endemic robust native plant species and where necessary saline-tolerant species; and
- low maintenance and robust finishes.









Associated Consultant Documents:

Caddens Hill Project Stage 1 to 7 Soil Investigation by SESL (October 2016)

STAGE 7 PLAN



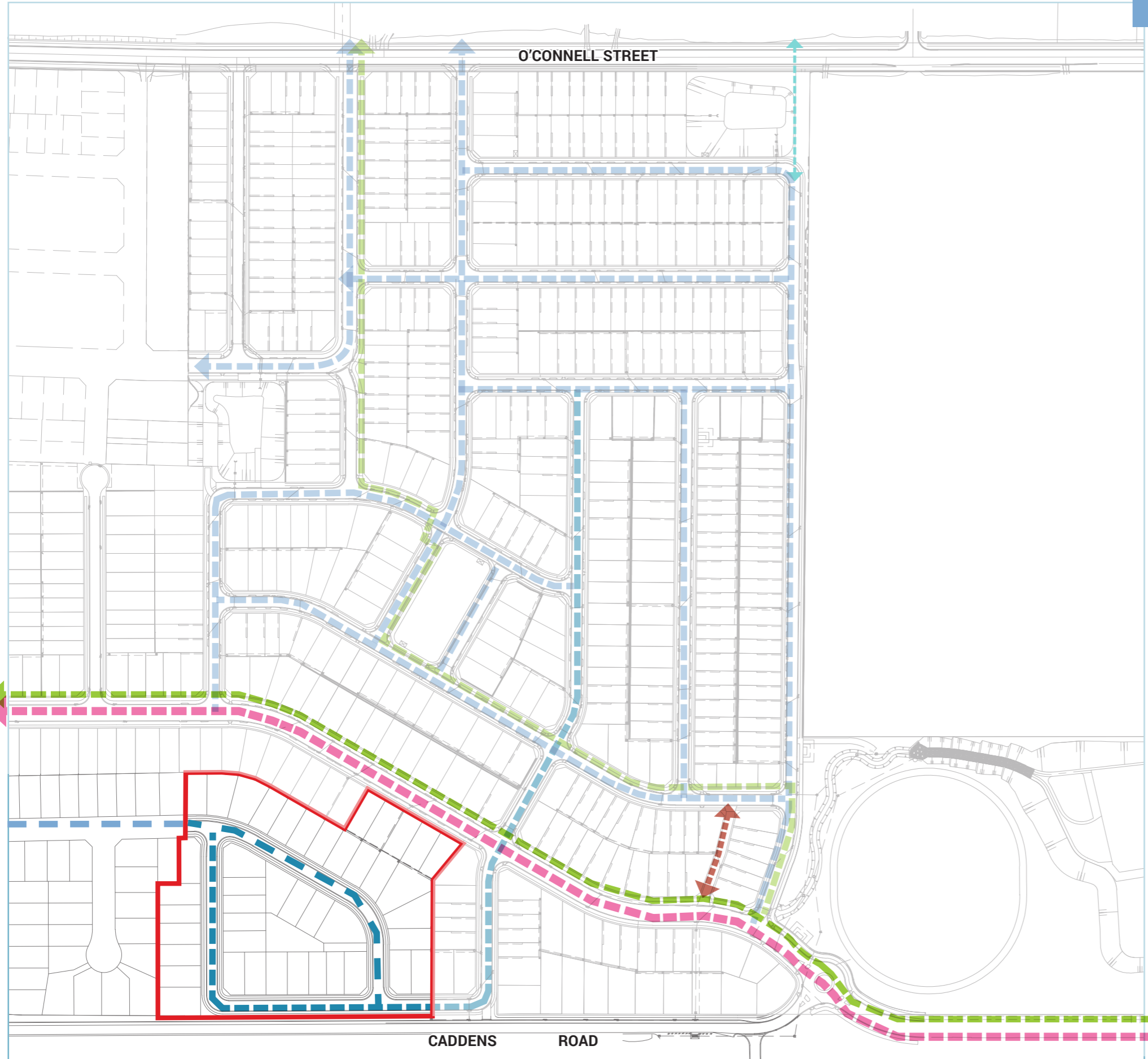
LEGEND

-  *Eucalyptus sideroxylon*
-  *Lagerstroemia indica 'Natchez'*
-  *Tristaniopsis laurina 'Luscious'*
-  *Melaleuca linariifolia*
-  Grasses & Low Shrub Embellishment Planting
-  Turf
-  Post & Rail Timber Fence (to continue into Stage 2)
-  Path 1.5m wide

SCALE 1:1000@A3
 0 10m 50m



CIRCULATION DIAGRAM



- LEGEND**
- Scope of Work (Stage 7)
 - - - Site Wide 2.5m wide Shared Path (Cycleway / Pedestrian)
 - - - Site Wide Primary Vehicle Circulation
 - - - Site Wide Secondary Vehicle Circulation
 - - - STAGE 7 Secondary Vehicle Circulation
 - - - Laneway



SCALE 1:3000@A3
 0 30m 150m

TYPICAL PLANT SCHEDULE & IMAGES

CADDENS HILL PLANT SCHEDULE				
STAGE 7				
Botanical Name	Common Name	Mature Height	Pot Size	Spacing /m2
TREES TO STREETScape				
<i>Eucalyptus sideroxylon</i>	Red Ironbark	15m	75L	As Shown
<i>Lagerstroemia indica x L. fauriei 'Natchez'</i>	Crepe Myrtle	5m	100L	As Shown
<i>Melaleuca linariifolia</i>	Snow in Summer	6m	100L	As Shown
<i>Tristaniopsis laurina</i>	Water Gum	9m	100L	As Shown
SHRUBS & GRASSES BETWEEN CADDENS ROAD & ROAD 19				
<i>Carex appressa</i>	Tall Sedge	0.8m	150mm	4
<i>Grevillea rosmarinifolia 'Crimson villeda'</i>		0.8m	150mm	3
<i>Lomandra longifolia 'Nyalla'</i>	Basket Grass	0.75m	150mm	4
<i>Pennisetum alopecuroides 'Pennstripe'</i>	Chinese Fountain grass	0.45m	150mm	5
<i>Poa labillardieri 'Eskdale'</i>	Common Tussock Grass	0.75m	150mm	5
Turf				
Kikuyu Grass	<i>Pennisetum clandestinum</i>			

Street Trees



Lagerstroemia 'Natchez'



Melaleuca linariifolia



Eucalyptus sideroxylon



Tristaniopsis laurina 'Luscious'

Embellishment Planting



Carex appressa



Grevillea rosmarinifolia 'Crimson Villeda'



Lomandra longifolia 'Nyalla'



Pennisetum alopecuroides 'Pennstripe'



Poa labillardieri 'Eskdale'



Rural Fence

MAINTENANCE PROGRAM

Caddens Hill DEVELOPER MAINTENANCE PROGRAM - SOFTSCAPE

Client: Legacy Property
 Project Name: Caddens Hill
 Precinct Name: STAGE 7
 Works Description: Maintenance of soft landscape areas
 Maintenance Period: 12 months

SOFTSCAPE AREAS:

TASK DESCRIPTION:	0-9 MONTHS	9-12 MONTHS
	FREQUENCY:	FREQUENCY:
Trees to Streetscapes		
Visual inspection of all street and park trees	<i>Fortnightly in summer/Monthly in Winter</i>	<i>Monthly in summer/Once in Winter</i>
Manually inspect water levels to trees	<i>Fortnightly in summer/Monthly in Winter</i>	<i>Monthly in summer/Once in Winter</i>
Inspect damage to trees	<i>Fortnightly in summer/Monthly in Winter</i>	<i>Monthly in summer/Once in Winter</i>
Prune dead or damaged branches	<i>Fortnightly in summer/Monthly in Winter</i>	<i>Monthly in summer/Once in Winter</i>
Check for and report pests & diseases	<i>Fortnightly</i>	<i>Monthly</i>
Replace failed or damaged trees	<i>Fortnightly/As required</i>	<i>Monthly/As required</i>
Spray in accordance with manufacturers recommendations	<i>As required</i>	<i>As required</i>
Adjust &/or replace stakes & ties where necessary	<i>As required</i>	<i>As required</i>
Monitor and apply fertiliser to turf areas	<i>6 month intervals - Autumn/Spring</i>	<i>Yearly</i>
Turf to Verges		
Mow all turf areas to maintain height between 30-40mm	<i>Weekly in Summer/Monthly in Winter</i>	<i>Fortnightly in Summer/2 months in Winter</i>
Trim edges of all turf areas	<i>Weekly in Summer/Monthly in Winter</i>	<i>Fortnightly in Summer/2 months in Winter</i>
Remove clippings from site	<i>Weekly in Summer/Monthly in Winter</i>	<i>Fortnightly in Summer/2 months in Winter</i>
Remove litter & debris from turf areas	<i>Weekly in Summer/Monthly in Winter</i>	<i>Fortnightly in Summer/2 months in Winter</i>
Check for and report pests & diseases	<i>Fortnightly</i>	<i>Monthly</i>
Spray in accordance with manufacturers recommendations	<i>As required</i>	<i>As required</i>
Monitor and apply fertiliser to turf areas	<i>6 month intervals - Autumn/Spring</i>	<i>Yearly</i>
Garden Bed - Between Caddens Road & Road 19		
Remove litter & debris and rake over mulch as required	<i>Fortnightly</i>	<i>Monthly/As required</i>
Remove weed growth in mulch areas	<i>Fortnightly</i>	<i>Monthly</i>
Top up mulch as required	<i>Annually</i>	<i>Annually</i>
Replace failed or damaged shrubs and grasses	<i>Fortnightly/As required</i>	<i>Monthly/As required</i>
Visual inspection of rural fence, check, report / repair any damage	<i>Fortnightly/As required</i>	<i>Monthly/As required</i>
General watering		
Irrigation by hydrant or water cart as required to maintain health	<i>Weekly first 6 months/Fortnightly there after</i>	<i>Monthly</i>

ADDITIONAL WORKS / COMMENTS:

Caddens Hill DEVELOPER MAINTENANCE PROGRAM - HARDSCAPE

Client: Legacy Property
 Project Name: Caddens Hill
 Precinct Name: STAGE 7
 Works Description: Maintenance of hard landscape areas
 Maintenance Period: 12 months

HARDSCAPE AREAS:

TASK DESCRIPTION:	0-9 MONTHS	9-12 MONTHS
	FREQUENCY	FREQUENCY
Concrete pavements to Streetscapes & Basin C		
Visual inspection of all pavements for damage and cracks	<i>Fortnightly</i>	<i>Monthly</i>
Visual inspection of all pavements for efflorescence (salt deposits)	<i>Fortnightly</i>	<i>Monthly</i>
Visual inspection of all pavements for colour consistency and stains	<i>Fortnightly</i>	<i>Monthly</i>
Clean in accordance with manufacturers recommendations	<i>As required</i>	<i>As required</i>
Leaf and debris clearance with blower	<i>Monthly</i>	<i>2 Months</i>
Urgent works		
Report any theft damage or vandalism	<i>Weekly</i>	<i>Fortnightly</i>

ADDITIONAL WORKS / COMMENTS:

Site Foreman

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design
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South East Asia

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