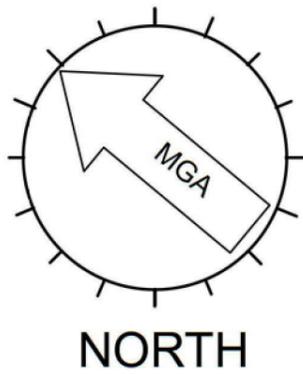


Proposed Site Plan

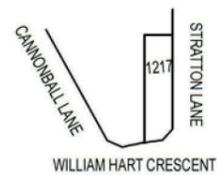
SCALE 1:200



LOT 1217
 DP: 1171492
 AREA: 235m²

LOCATION PLAN

UBD REF: 163, K7



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: PM 12651
 RL 27.165
 SOURCE OF LEVELS: SCIMS

NOTE: CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.

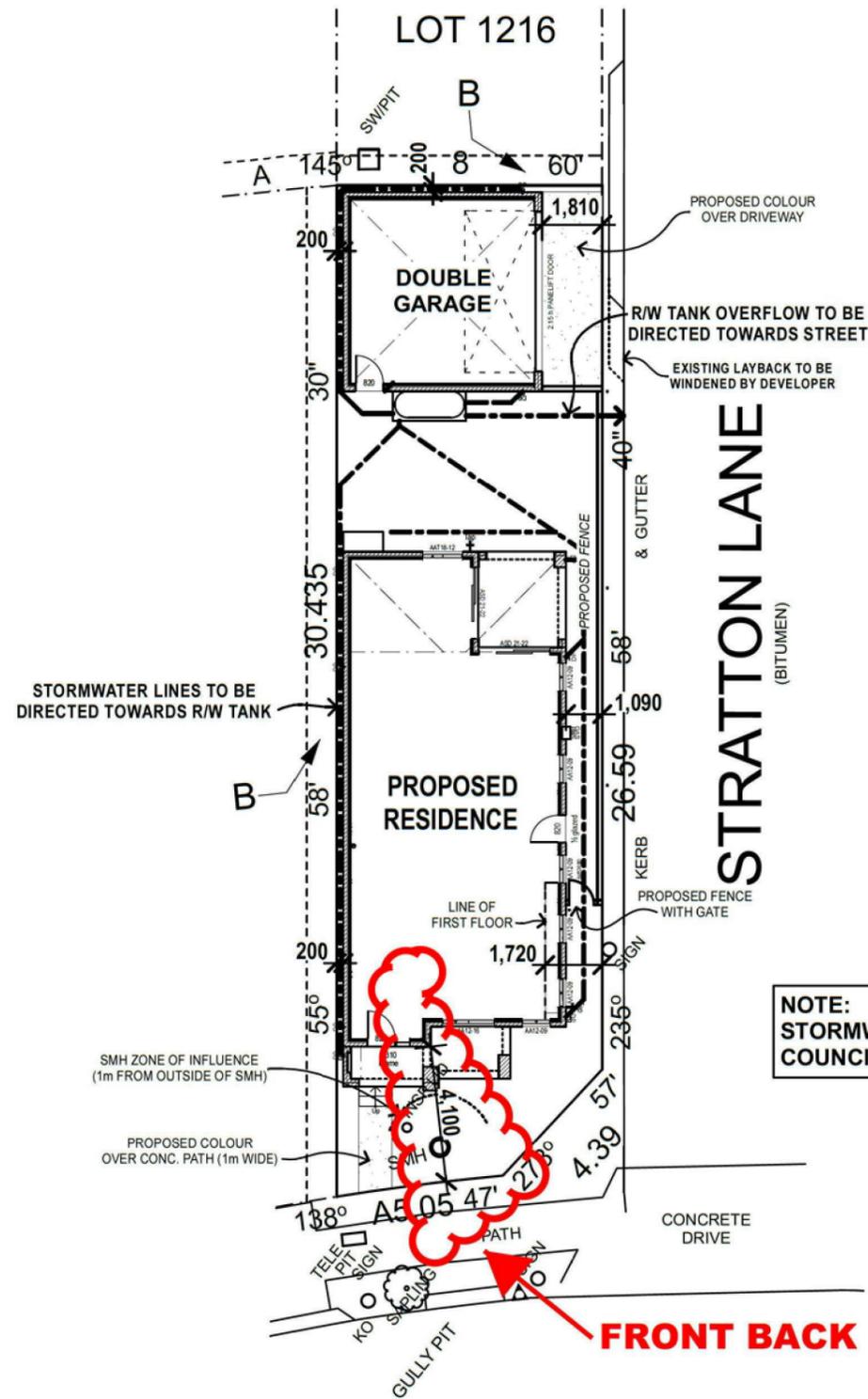
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DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

LEGEND

KO: DENOTES KERB OUTLET
 WC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT



NOTE:
 STORMWATER DESIGN COMPLIES TO
 COUNCIL CODES & REQUIREMENTS

**FRONT FENCE AS PER
 LANDSCAPE PLAN**

WILLIAM HART CRESCENT

B: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

A: EASEMENT TO DRAIN WATER 1 WIDE



**ALL GLAZING TO BE:
 NFRV VALUES :**
 SHGC_w = 0.70 +/- 10%
 U_w = 6.66 OR LESS

**SITE & SLAB
 CLASSIFICATION
 IS TO BE CONFIRMED**
**Wind Speed category is
 TO BE CONFIRMED**

| SLAB SETDOWNS FROM ENTRY. | |
|---------------------------|--------------------|
| EDGE REBATES | 172mm x 150mm WIDE |
| GARAGE | 170 mm FROM F.F.L. |
| FRONT PORCH/VERANDAH | 170 mm FROM F.F.L. |
| BALCONY | 130 mm FROM F.F.L. |

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|----------------------------|----------|--|
| Design : Custom Design | | |
| Drawn : MT Date : 11.03.13 | | |
| H | 16.07.13 | SECTION 96 PLANS - MT |
| G | 22.06.13 | CONTOUR PLAN ADDED - BT |
| F | 31.05.13 | COUNCIL LETTER - BT |
| E | 16.05.13 | CLIENT AMENDMENTS - MT |
| D | 9-04-13 | DEVELOPMENT APPLICATION |
| C | 03.04.13 | BASIX INFO ADDED - MT |
| B | 26-03-13 | Rear Family window reduced in width - PC |
| A | 11.03.13 | CONTRACT DRAWINGS - MT |

Proposed Residence

For: A. Harris

At: Lot 1217 William Hart Crescent,
 Thornton

| Plot Date | Sheet Size: | Job |
|-----------------|-------------|---------------|
| Tue 23 Jul 2013 | A3 | 2901N |
| | | Sheet 1 of 12 |

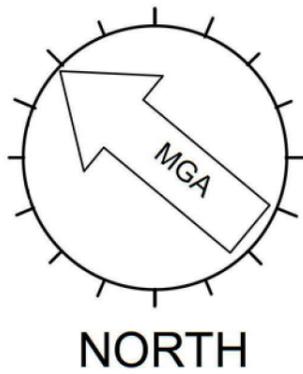
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 P.O. Box 95 Hoxton Park,
 N.S.W. 2171.

Telephone (02) 9825 8000
 Fax (02) 9825 8110

Builders Licence No. 92732C

Proposed Site Analysis Plan

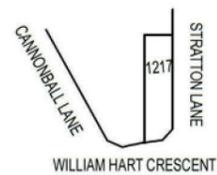
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LOT 1217
 DP: 1171492
 AREA: 235m²

LOCATION PLAN

UBD REF: 163, K7



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: PM 12651
 RL 27.165
 SOURCE OF LEVELS: SCIMS

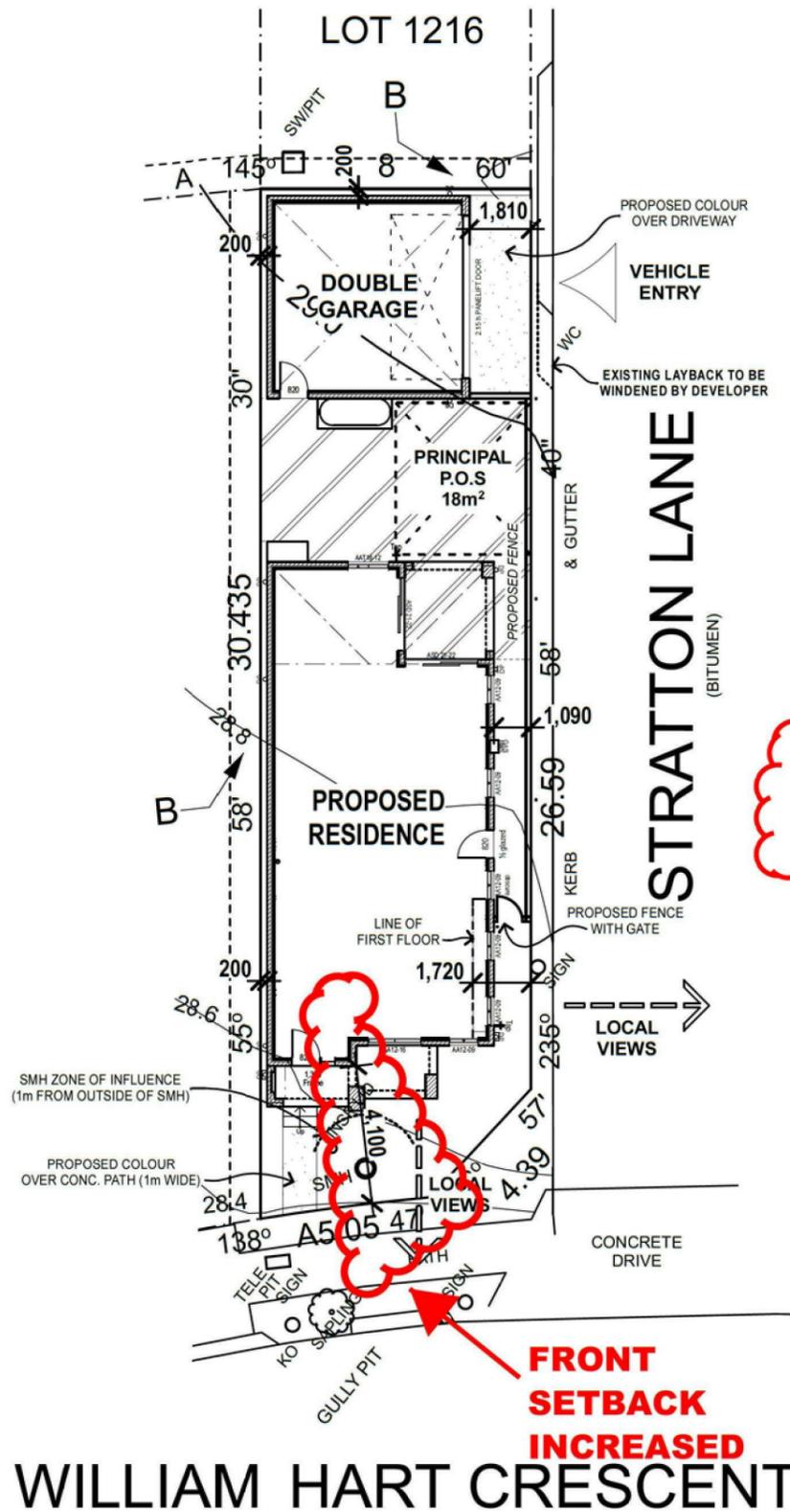
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LEGEND
 KO: DENOTES KERB OUTLET
 WC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT



NORTH PENRITH "THORTON" REQUIREMENTS:
 SITE AREA: 235m²
 PRIVATE OPEN SPACE:
 REQUIRED: 20% or 47m²
 ACHIEVED: 20% or 47.36m²
 LANDSCAPE AREA:
 ACHIEVED: 31.7% or 74.49m²
 CARPARKING:
 REQUIRED: 2 SPACES
 ACHIEVED: 2 SPACES

P.O.S & LANDSCAPE CALCULATIONS AMENDED

FRONT FENCE AS PER LANDSCAPE PLAN

FRONT SETBACK INCREASED



SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED
 Wind Speed category is TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY.

| | | |
|----------------------|-----|--------------------|
| EDGE REBATES | - | 172mm x 150mm WIDE |
| GARAGE | 170 | mm FROM F.F.L. |
| FRONT PORCH/VERANDAH | 170 | mm FROM F.F.L. |
| BALCONY | 130 | mm FROM F.F.L. |

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Proposed Residence
 For: A. Harris
 At: Lot 1217 William Hart Crescent,
 Thornton

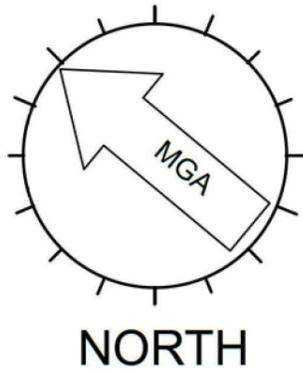
| | | |
|-----------------|-------------|---------------|
| Plot Date | Sheet Size: | Job |
| Tue 23 Jul 2013 | A3 | 2901N |
| | | Sheet 2 of 12 |

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 Fax (02) 9825 8110
 Builders Licence No. 92732C

B: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
 A: EASEMENT TO DRAIN WATER 1 WIDE

Proposed Site-Works Plan

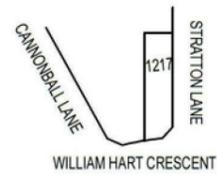
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LOT 1217
 DP: 1171492
 AREA: 235m²

LOCATION PLAN

UBD REF: 163, K7



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: PM 12651
 RL 27.165

SOURCE OF LEVELS: SCIMS

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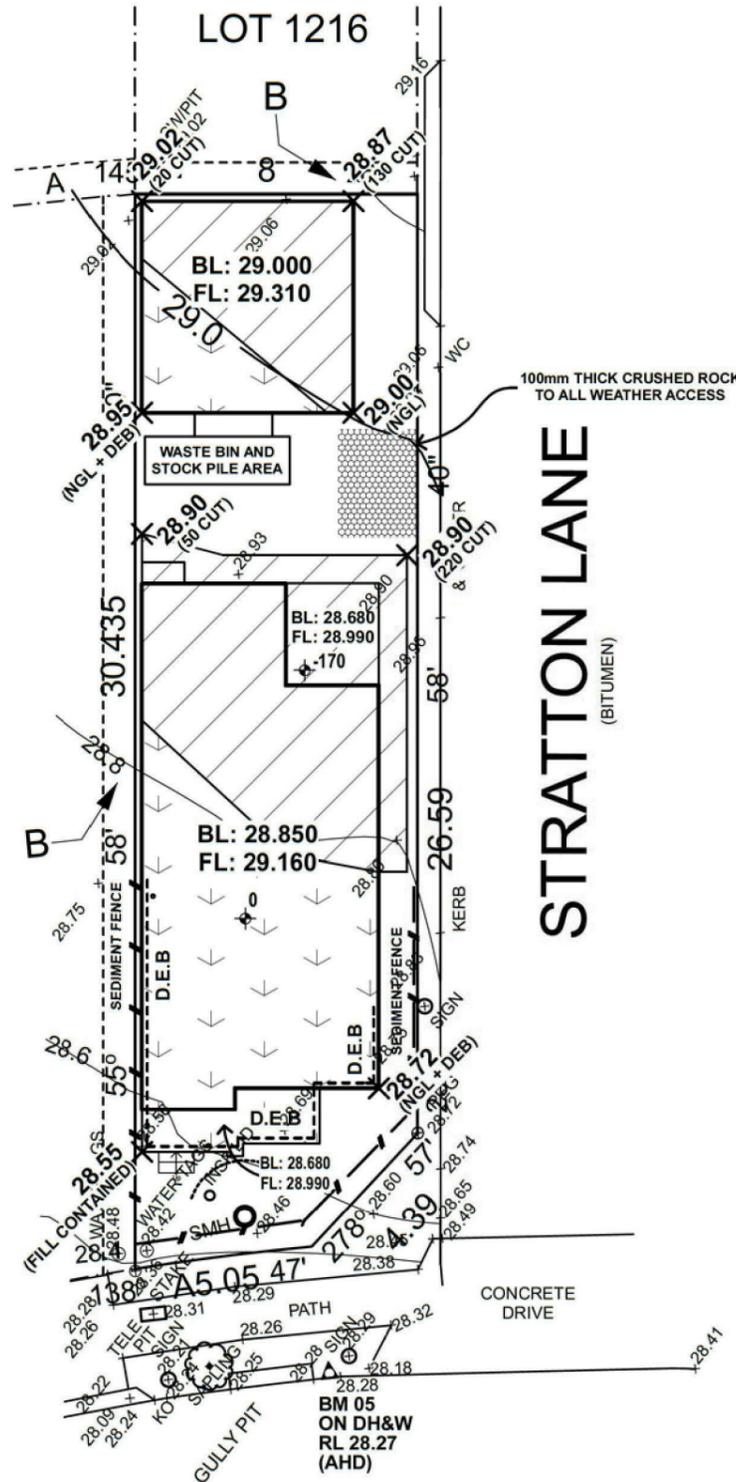
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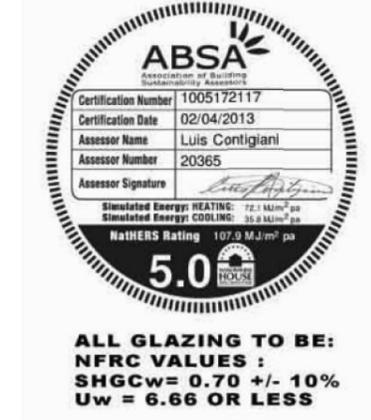
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LEGEND

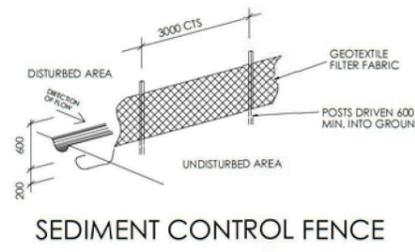
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 WC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT



STRATTON LANE
(BITUMEN)

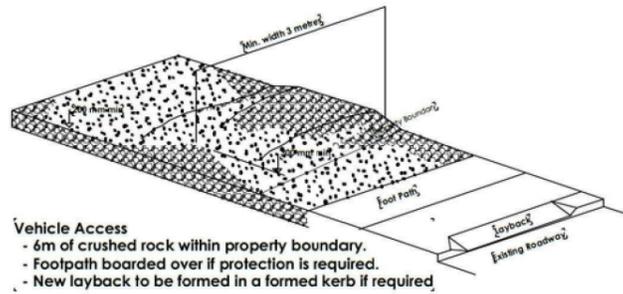


**ALL GLAZING TO BE:
 NFRC VALUES:
 SHGCw = 0.70 +/- 10%
 Uw = 6.66 OR LESS**



SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Vehicle Access
 - 6m of crushed rock within property boundary.
 - Footpath boarded over if protection is required.
 - New layback to be formed in a formed kerb if required.

WILLIAM HART CRESCENT

B: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
 A: EASEMENT TO DRAIN WATER 1 WIDE

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed category is **TO BE CONFIRMED**

| SLAB SETDOWNS FROM ENTRY. | |
|---------------------------|--------------------|
| EDGE REBATES | 172mm x 150mm WIDE |
| GARAGE | 170 mm FROM F.F.L. |
| FRONT PORCH/VERANDAH | 170 mm FROM F.F.L. |
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| A | 11.03.13 | CONTRACT DRAWINGS - MT |

Proposed Residence
 For: A. Harris
 At: Lot 1217 William Hart Crescent,
 Thornton

| | | |
|------------------------------|----------------|----------------------------|
| Plot Date Tue 23 Jul 2013 | Sheet Size: A3 | Job 2901N Sheet 3 of 12 |
|------------------------------|----------------|----------------------------|



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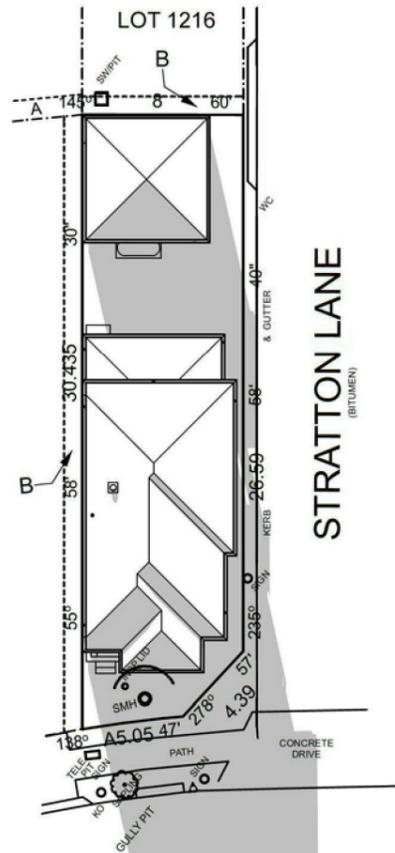
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Shadow Diagrams



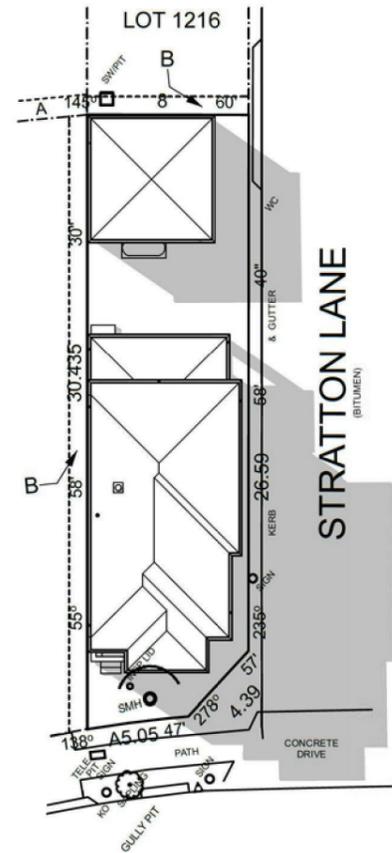
LOT 1217
DP: 1171492
AREA: 235m²

LOCATION PLAN
UBD REF: 163, K7



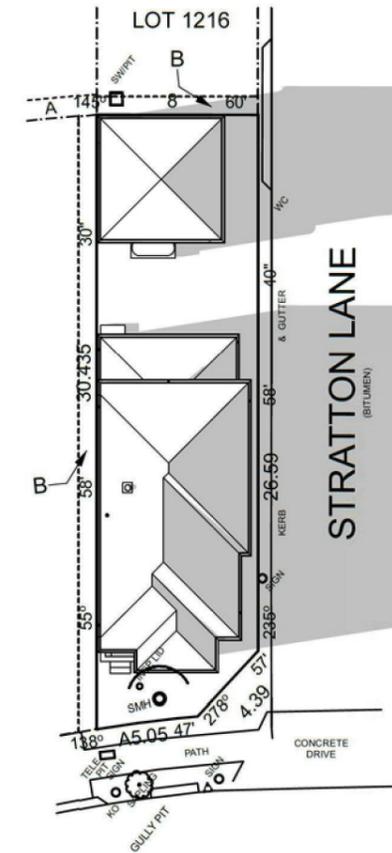
WILLIAM HART CRESCENT

June 21st - 9am
SCALE 1:350



WILLIAM HART CRESCENT

June 21st - 12noon
SCALE 1:350



WILLIAM HART CRESCENT

June 21st - 3pm
SCALE 1:350



**ALL GLAZING TO BE:
NFRC VALUES :
SHGCw= 0.70 +/- 10%
Uw = 6.66 OR LESS**

**SITE & SLAB
CLASSIFICATION
IS TO BE CONFIRMED**

**Wind Speed category is
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| FRONT PORCH/VERANDAH | 170 mm FROM F.F.L. |
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Do not assume - if in doubt ASK.



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Proposed Residence
at Lot : 1217
William Hart Crescent,
Thornton

Plot Date
Tue 23 Jul 2013

| | | |
|---------------------------|----------------|-----------|
| Client : A. Harris | | |
| Sheet Size: A3 | Date: 11.03.13 | Drawn: MT |
| Design : Custom Design | | |
| Job No. 2901N | Sheet 4 of 12 | |

PLEASE NOTE : BASIX CERTIFICATES TAKE PRECEDENCE OVER THIS TEMPLATE

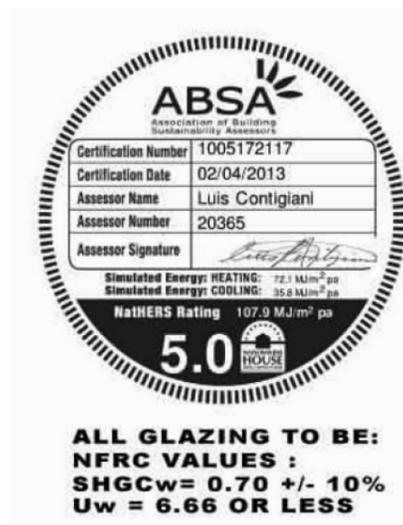
BASIX'S REQUIREMENT

| |
|--|
| ADDRESS: Lot 1217, William Hart Drive, Thornton. |
| STORMWATER |
| PROPOSED SIZE OF RAINWATER TANK INSTALLED ON SITE - 2000 L |
| HOW MUCH RAIN RUNOFF FROM ROOF MUST TANK COLLECT - 78.5 MSQ |
| RAINWATER TANK MUST SERVICE - Laundry, Bathrooms and outdoor taps only |
| WATER |
| SHOWERHEAD RATING - 3 star (> 6 but <= 7.5 L/min) |
| TOILET FLUSHING SYSTEM RATING - 3 star |
| KITCHEN TAP RATING - 3 star |
| BATHROOM TAP RATING - 3 star |
| THERMAL COMFORT / SIMULATION METHOD |
| PLEASE SEE ABSA NATHERS SPECIFICATION TABLE, CERTIFICATION NUMBER -- 1005172117 |
| ENERGY |
| ACTIVE COOLING FOR LIVING ROOMS - 1 / PHASE / EER 2.5 - 3.0 / ZONED LIV-BED-NIGHT-DAY |
| ACTIVE COOLING FOR BED ROOMS - 1 / PHASE / EER 2.5 - 3.0 / ZONED LIV-BED-NIGHT-DAY |
| ACTIVE HEATING FOR LIVING ROOMS - 1 / PHASE / EER 2.5 - 3.0 / ZONED LIV-BED-NIGHT-DAY |
| ACTIVE HEATING FOR BED ROOMS - 1 / PHASE / EER 2.5 - 3.0 / ZONED LIV-BED-NIGHT-DAY |
| WHAT TYPE OF HOT WATER SYSTEM MUST BE INSTALLED - GAS INSTANTANEOUS 5 STAR |
| DOES THE KITCHEN HAVE NATURAL LIGHTING? NO |
| DO BATHROOMS HAVE NATURAL LIGHTING? 3 OFF |
| VENTILATION DETAILS? At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off LDY = NATURAL VENTILATION Rangehood - fan- NOT ducted to roof or ext wall / MANUAL SWITCH ON & OFF |
| WHAT TYPE OF COOKTOP AND OVEN SHALL BE INSTALLED? GAS cooktop and electric oven |
| IS THERE A OUTDOOR CLOTHES DRYING AREA? YES |

TO COMPLY WITH BASIX CERTIFICATE NUMBER : 473187S

SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS

| | | |
|--------------|---------------------------------------|---|
| 3.12.1.1 | Building fabric thermal insulation | Any Insulation installation required by plans must be fitted in alignment with this clause. |
| 3.12.1.2 (e) | | Recompense for any reduced ceiling insulation is required to comply with this clause (any downlights installed must be non - ventilated). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation. |
| 3.12.3.3 | External Windows & Doors | The sealing of any windows or doors must be in conformity with this clause. |
| 3.12.3.4 | Exhaust Fans | In cases where an exhaust fan serves a space within a kitchen and / or a bathroom, it must comply with this clause. |
| 3.12.3.5 | Construction of Roofs, Walls & Floors | The sealing of roofs, walls and / or floors must align with this clause. |
| 3.12.5.0 | Acceptable Construction Manuals | Installation of any hot water systems must abide by this clause. |
| 3.12.5.1 | Insulation of Services | Installation of any services must observe requirements of this clause. |
| 3.12.5.3 | Heating & Cooling Ductwork | Ductwork insulation to cooling & heating systems must abide by this clause. |



SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed category is TO BE CONFIRMED

| | |
|---------------------------|--------------------|
| SLAB SETDOWNS FROM ENTRY. | |
| EDGE REBATES | 172mm x 150mm WIDE |
| GARAGE | 170 mm FROM F.F.L. |
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| Rev.ref. | Date | Amendment |

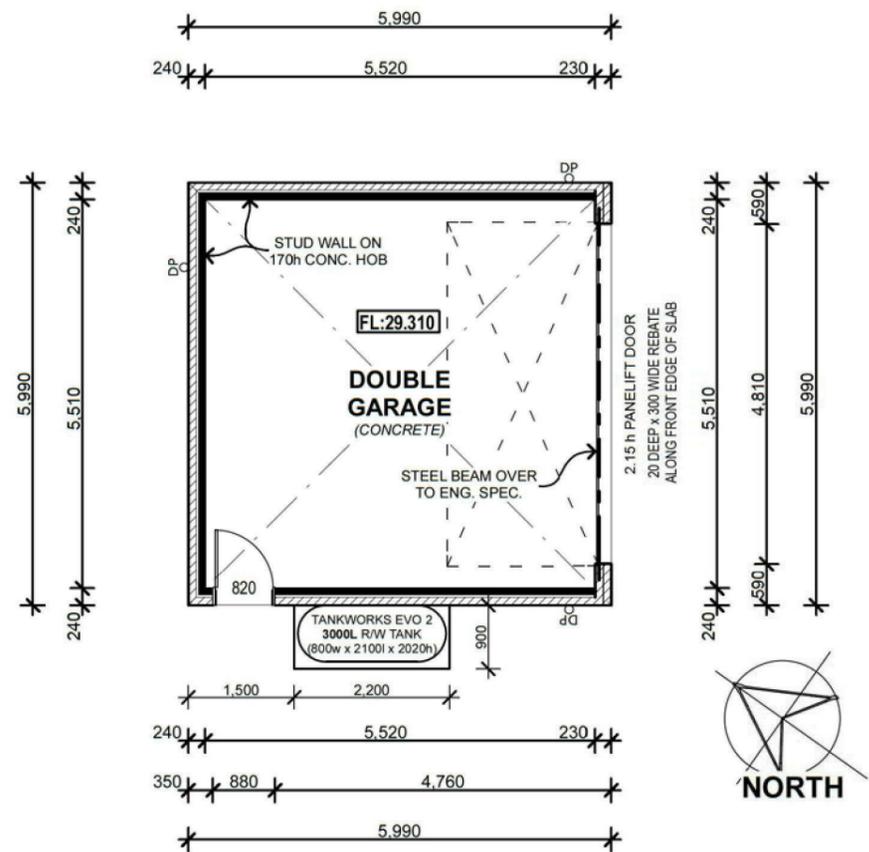
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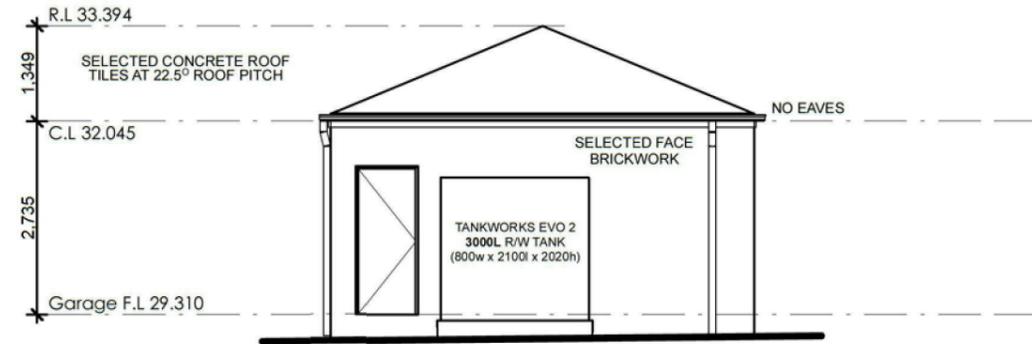
Proposed Residence
at Lot : 1217
William Hart Crescent,
Thornton

Plot Date
Tue 23 Jul 2013

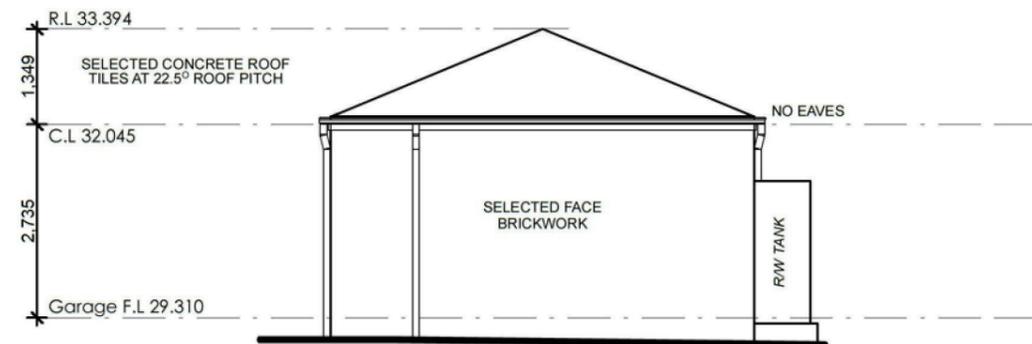
| | | |
|---------------------------|----------------|-----------|
| Client : A. Harris | | |
| Sheet Size: A3 | Date: 11.03.13 | Drawn: MT |
| Design : Custom Design | | |
| Job No. 2901N | Sheet 5 of 12 | |



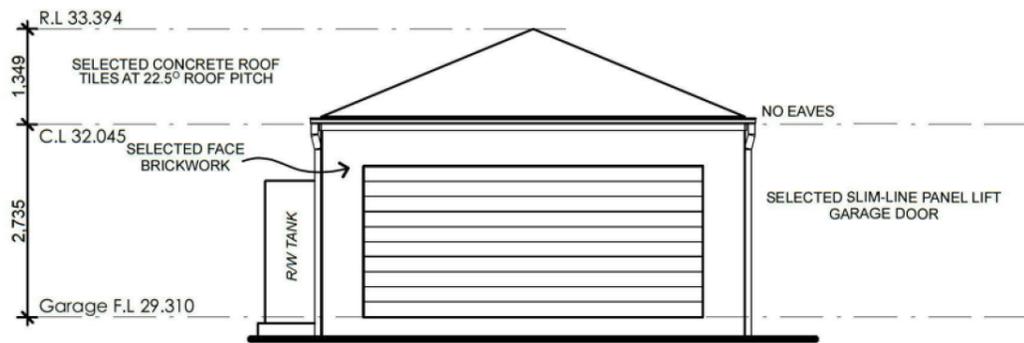
Garage Floor Plan
SCALE 1:100



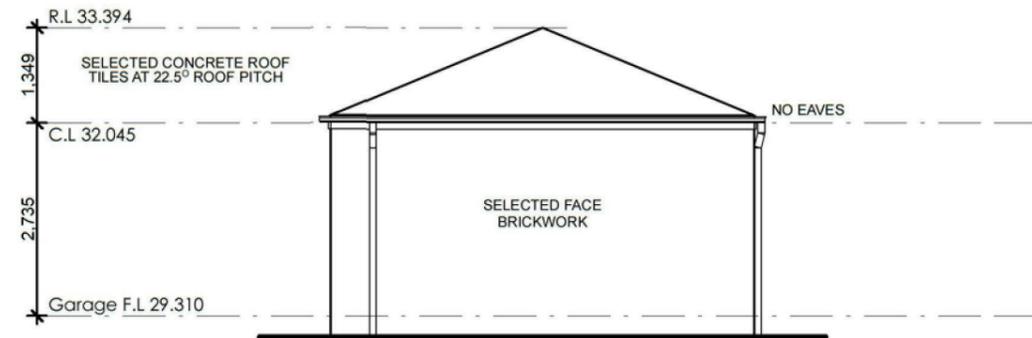
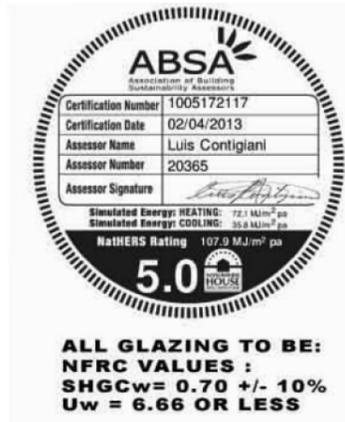
South-Western Elevation
SCALE 1:100



North-Western Elevation
SCALE 1:100



South-Eastern Elevation
SCALE 1:100



North-Eastern Elevation
SCALE 1:100

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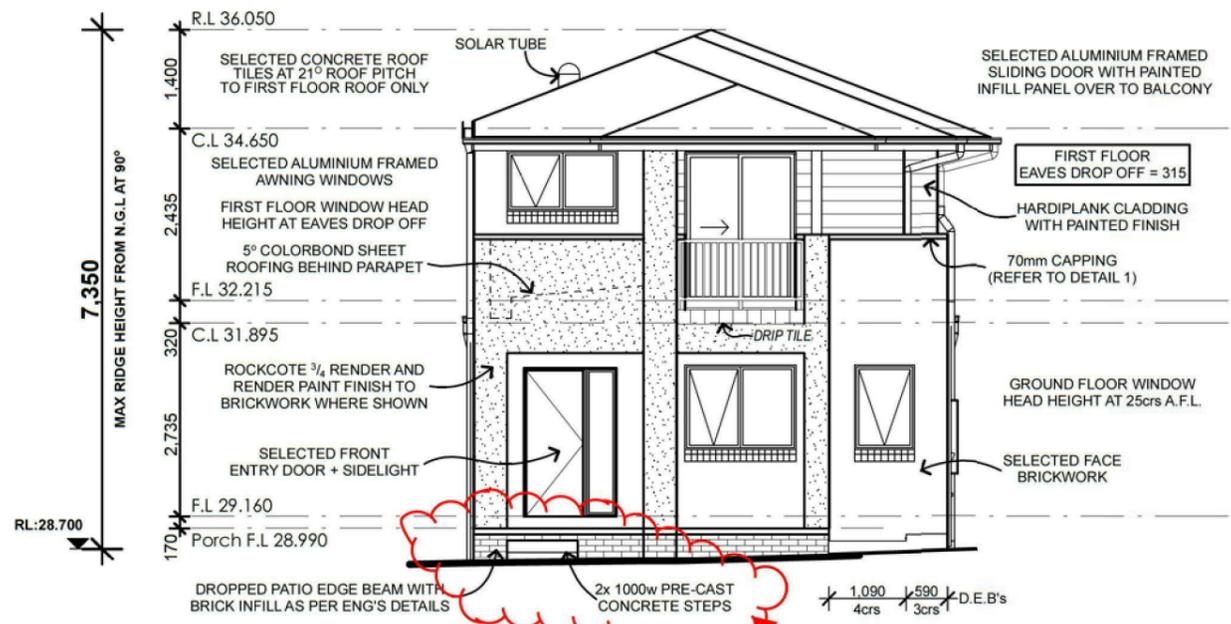
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Proposed Residence
at Lot : 1217
William Hart Crescent,
Thornton

Plot Date
Tue 23 Jul 2013

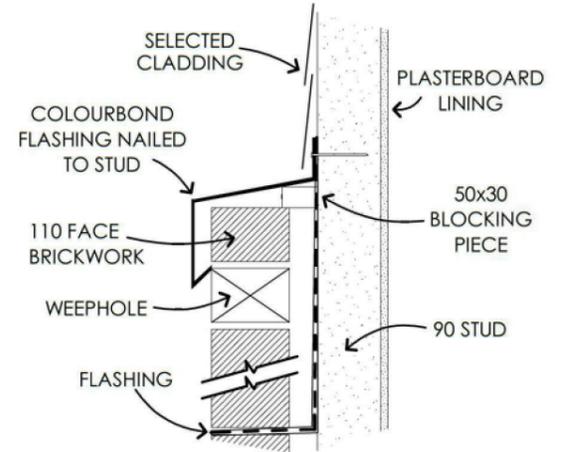
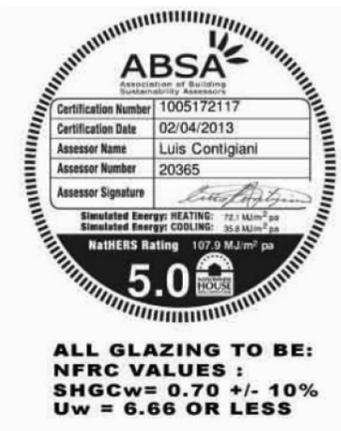
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|---------------------------|----------------|-----------|
| Client : A. Harris | | |
| Sheet Size: A3 | Date: 11.03.13 | Drawn: MT |
| Design : Custom Design | | |
| Job No. 2901N | Sheet 8 of 12 | |



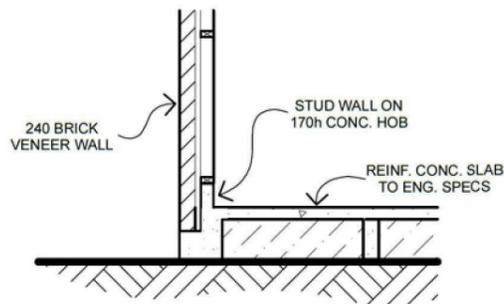
South-Western Elevation

SCALE 1:100

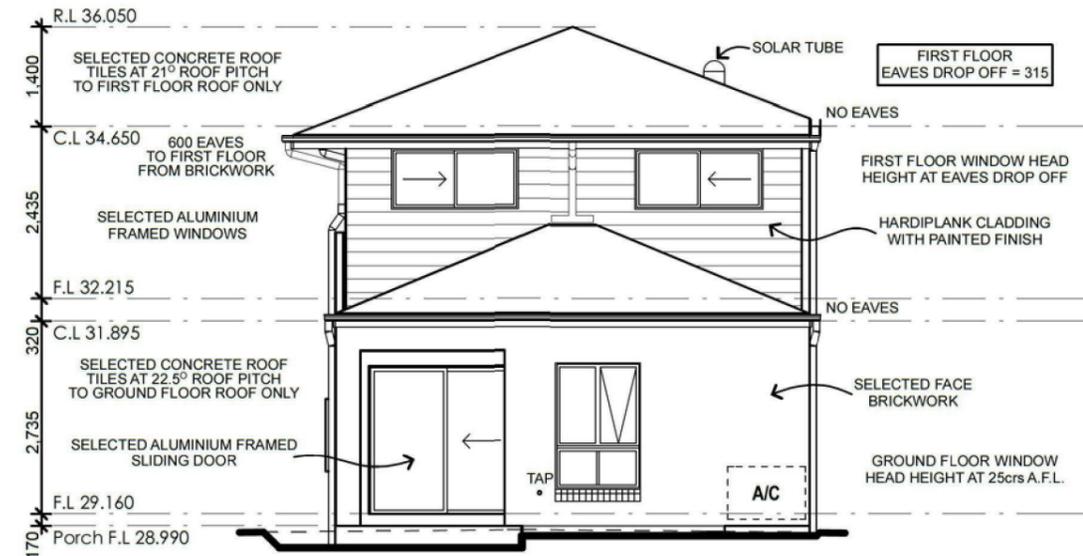
FRONT STEPS RELOCATED



DETAIL 1



GARAGE CONC. HOB DETAIL



North-Eastern Elevation

SCALE 1:100

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed category is TO BE CONFIRMED

| SLAB SETDOWNS FROM ENTRY. | |
|---------------------------|--------------------|
| EDGE REBATES | 172mm x 150mm WIDE |
| GARAGE | 170 mm FROM F.F.L. |
| FRONT PORCH/VERANDAH | 170 mm FROM F.F.L. |
| BALCONY | 130 mm FROM F.F.L. |

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.



Suite 1, Level 1,
600 Hoxton Park Rd,
Hoxton Park, N.S.W. 2171.
P.O. Box 95 Hoxton Park,
N.S.W. 2171.

Telephone (02) 9825 8000
Fax (02) 9825 8110

Builders Licence No. 92732C

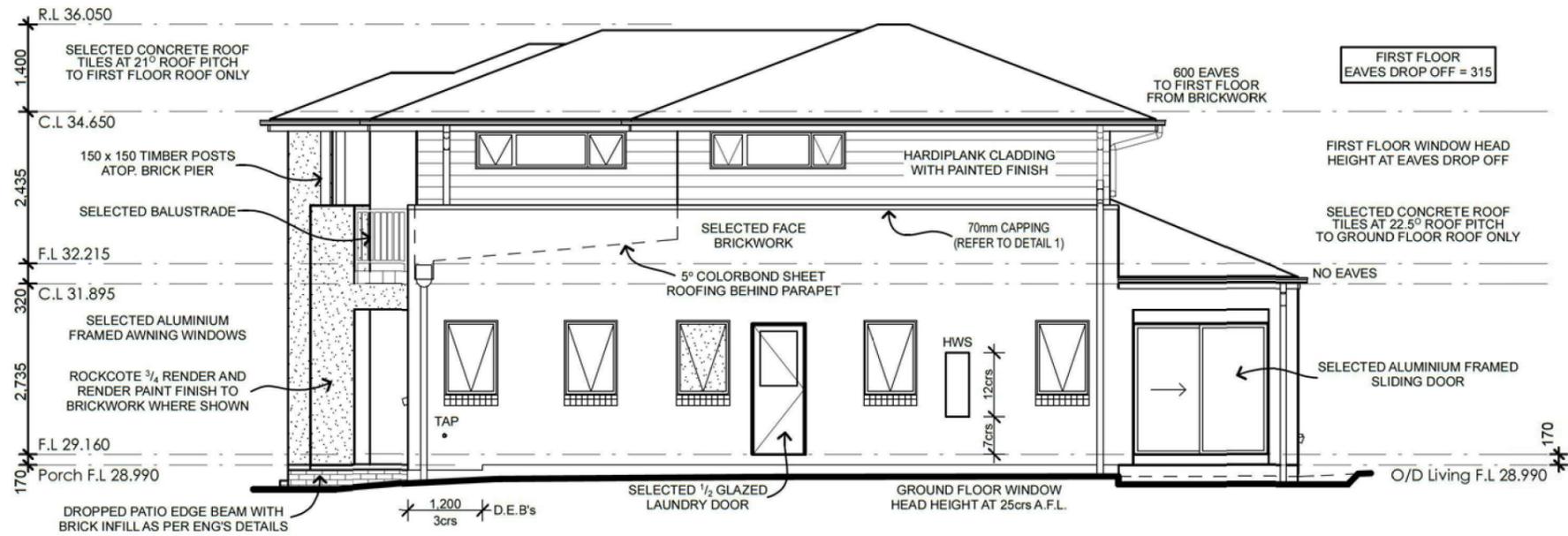
| Rev.ref. | Date | Amendment |
|----------|----------|--|
| H | 16.07.13 | SECTION 96 PLANS - MT |
| G | 22.06.13 | CONTOUR PLAN ADDED - BT |
| F | 31.05.13 | COUNCIL LETTER - BT |
| E | 16.05.13 | CLIENT AMENDMENTS - MT |
| D | 9-04-13 | DEVELOPMENT APPLICATION |
| C | 03.04.13 | BASIX INFO ADDED - MT |
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Proposed Residence at Lot : 1217
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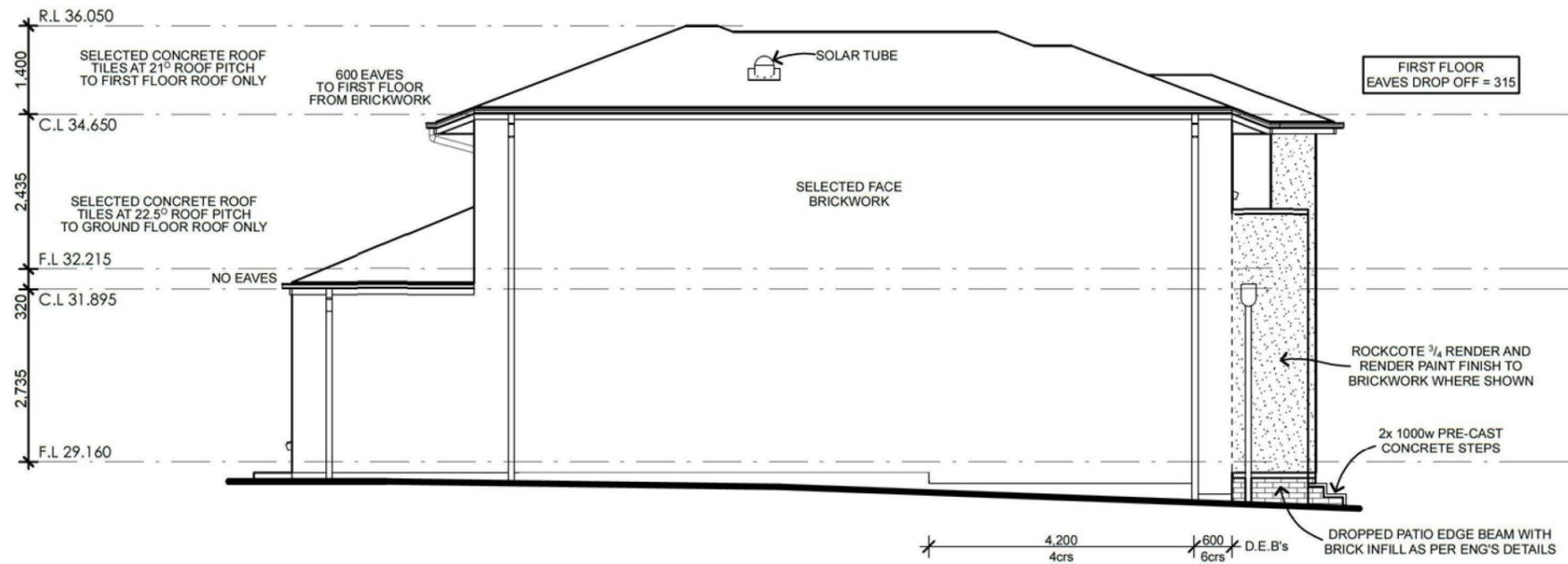
Plot Date
Tue 23 Jul 2013

| | | |
|---------------------------|----------------|-----------|
| Client : A. Harris | | |
| Sheet Size: A3 | Date: 11.03.13 | Drawn: MT |
| Design : Custom Design | | |
| Job No. 2901N | Sheet 9 of 12 | |



South-Eastern Elevation

SCALE 1:100



North-Western Elevation

SCALE 1:100



**ALL GLAZING TO BE:
NFRC VALUES :
SHGCw = 0.70 +/- 10%
Uw = 6.66 OR LESS**

**SITE & SLAB
CLASSIFICATION
IS TO BE CONFIRMED**

**Wind Speed category is
TO BE CONFIRMED**

| SLAB SETDOWNS FROM ENTRY. | |
|---------------------------|--------------------|
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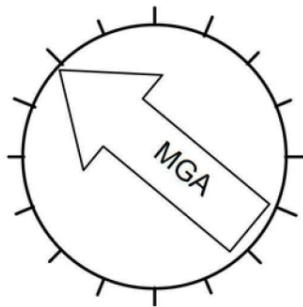
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**Proposed Residence
at Lot : 1217
William Hart Crescent,
Thornton**

Plot Date
Tue 23 Jul 2013

| | | |
|---------------------------|----------------|-----------|
| Client : A. Harris | | |
| Sheet Size: A3 | Date: 11.03.13 | Drawn: MT |
| Design : Custom Design | | |
| Job No. 2901N | Sheet 10 of 12 | |



NORTH

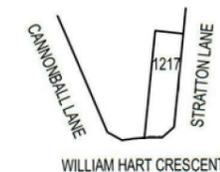
DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: PM 12651
RL 27.165

SOURCE OF LEVELS: SCIMS

LOCATION PLAN

UBD REF: 163, K7

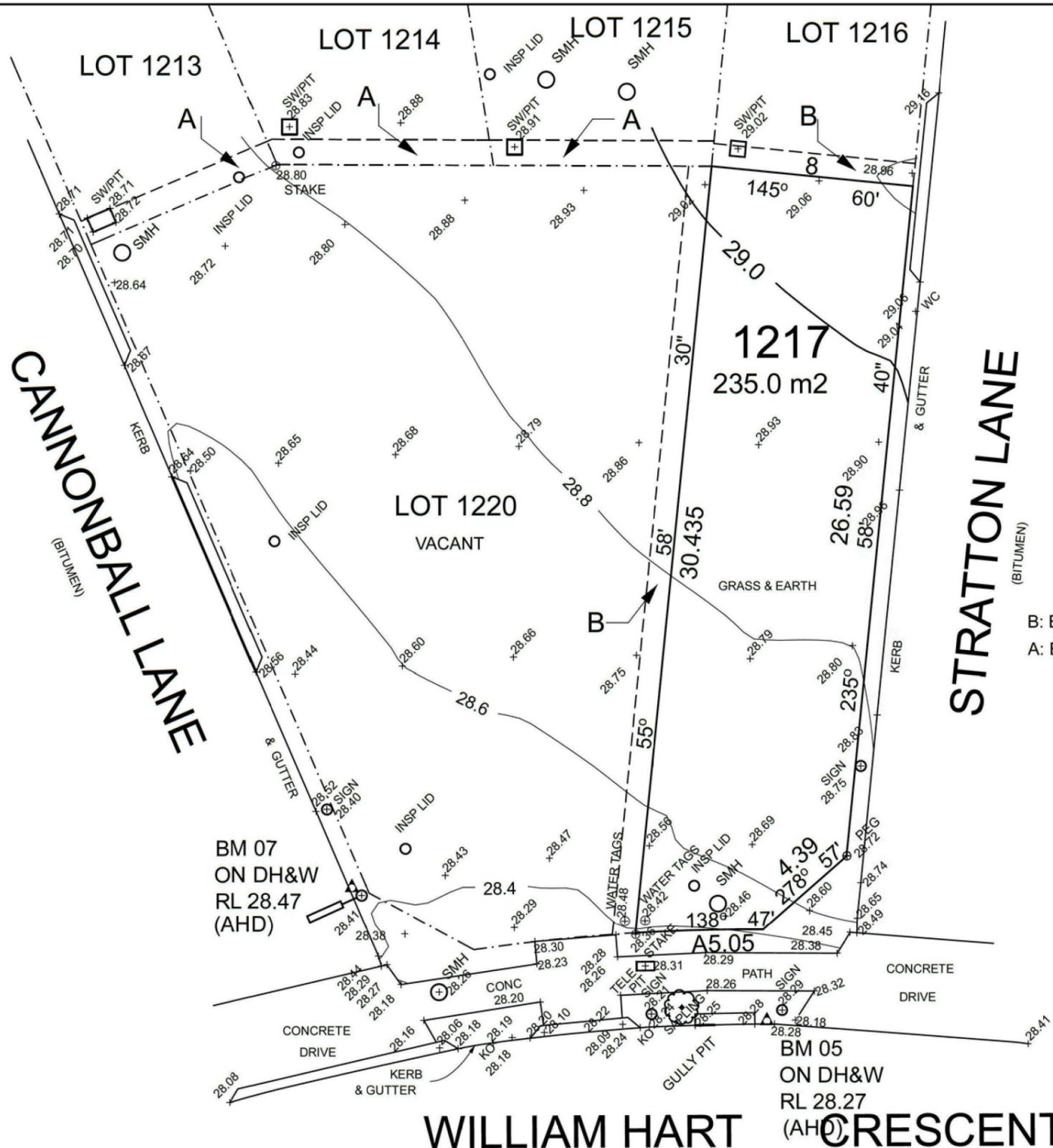


LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

LEGEND
 KO: DENOTES KERB OUTLET
 WC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT

www.dialbeforeyoudig.com.au



B: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
 A: EASEMENT TO DRAIN WATER 1 WIDE

WILLIAM HART CRESCENT

DONOVAN ASSOCIATES

INCORPORATED ENG/SURVEY PTY LTD ABN: 84 134 616 078
 PH/ 9806 3000 F/9891 2806 www.donovanassociates.com
 15 PARKES STREET PARRAMATTA NSW 2150

CIVIL, STRUCTURAL, HYDRAULIC ENGINEERS
 REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS

NOTE: CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.

DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.

SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.

DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

| No. | DATE | NOTATION/AMENDMENT | | |
|--------------|------|--------------------|-----------------|------------------|
| 1 | | | | |
| SCALE 1: 200 | | DRAWN: IS | JOB 1908/134805 | DATE: 18.06.2013 |
| | | CHECKED: RM | DGN 134805 | DATUM: AHD |

| CONTOUR PLAN | |
|-----------------------------------|------------------|
| LOT 1217 DP 1171492 | |
| AT WILLIAM HART CRESCENT, PENRITH | |
| CLIENT: CHAMPION HOMES | REF: HARRIS 2901 |