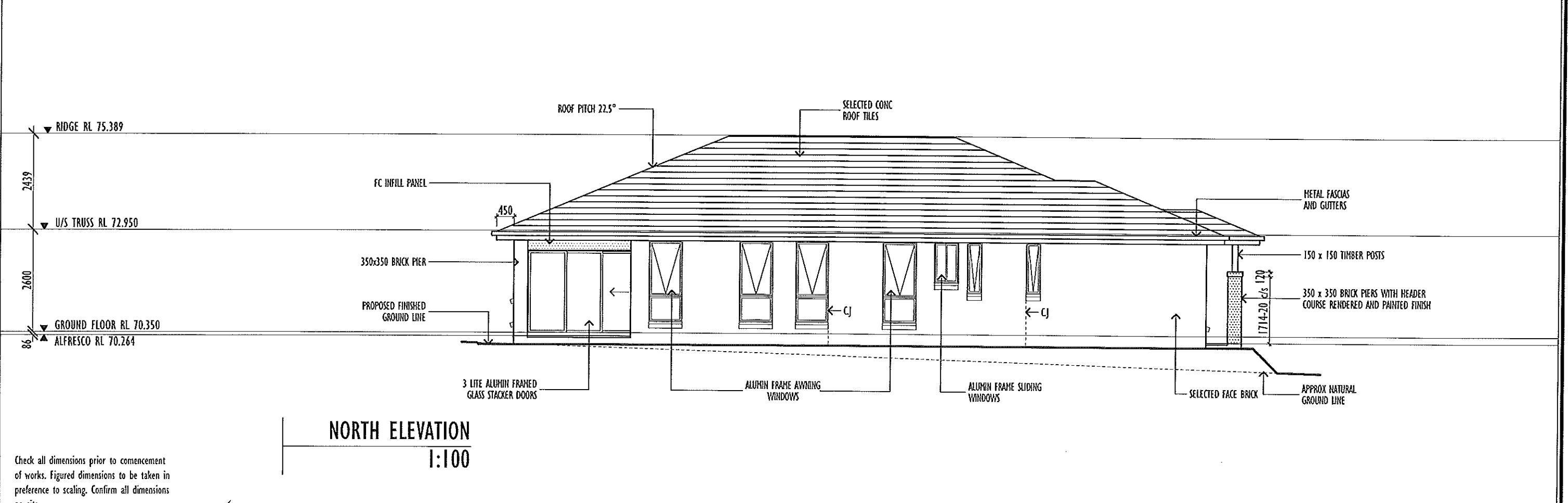


WEST ELEVATION
1:100



NORTH ELEVATION
1:100

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

designniche
Building Designers

Designniche P/L
2/45 Crosby Street, (T) 02 9631 7844
Greystanes, NSW 2145 (M) 0438 538 118
(E) orhan@designniche.com.au

REF. No.
13055

UBD REF.	184 H4	SCALE.	1:100
H.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAÇADE.		
FAIRLIGHT 22	SUBURBAN		

AMENDMENTS		
Issue.	date.	amendments.
B	05.09.13	Clear span beam to stacker doors
A	30.08.13	Combined Application

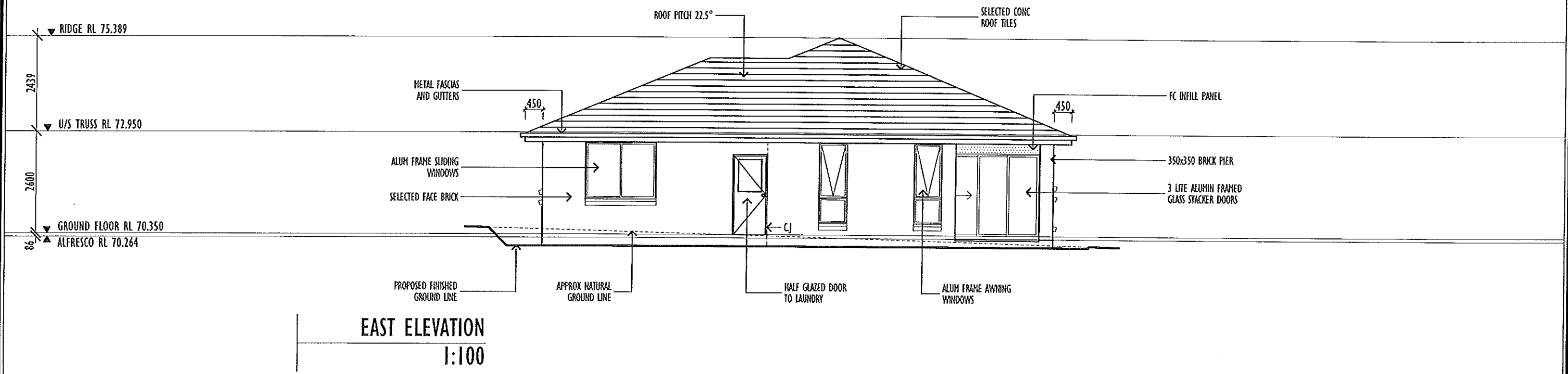
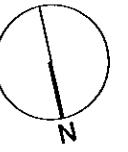
HEAD OFFICE
Unit 35/10 Gladstone Rd
Castle Hill NSW 2154
(ph) 02 9894 5200 (f) 02 9894 5728
Lic no: 5685C ABN 31003934058
COPYRIGHT RESERVED

Proven Professional Provincial Homes

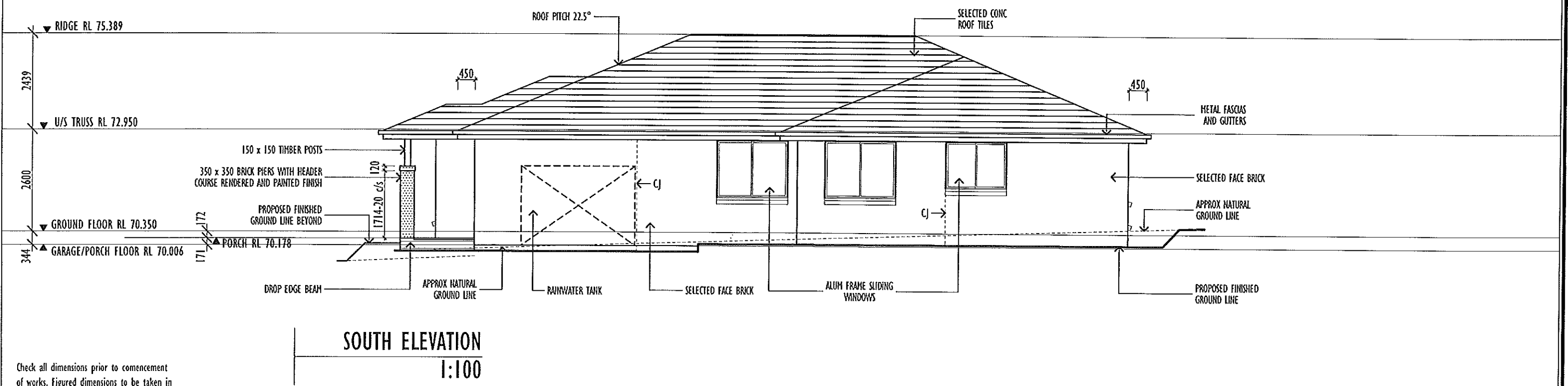
PROJECT.
PROPOSED DWELLING AT Lot 41, No 5
ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
Mr Mehmet & Mrs Helen KILIC

TITLE . ELEVATIONS

ISSUE.	B
JOB No.	13059
SHEET.	2-7



EAST ELEVATION
1:100



SOUTH ELEVATION
1:100

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

designniche
Building Designers

Designiche P/L
2/45 Crosby Street,
Greystanes, NSW 2145
(T) 02 9631 7844
(F) 0438 538 118
(E) orhan@designniche.com.au

REF. No.
13055

UBD REF.	184 H4	SCALE.	1:100
H.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FACADE.	SUBURBAN

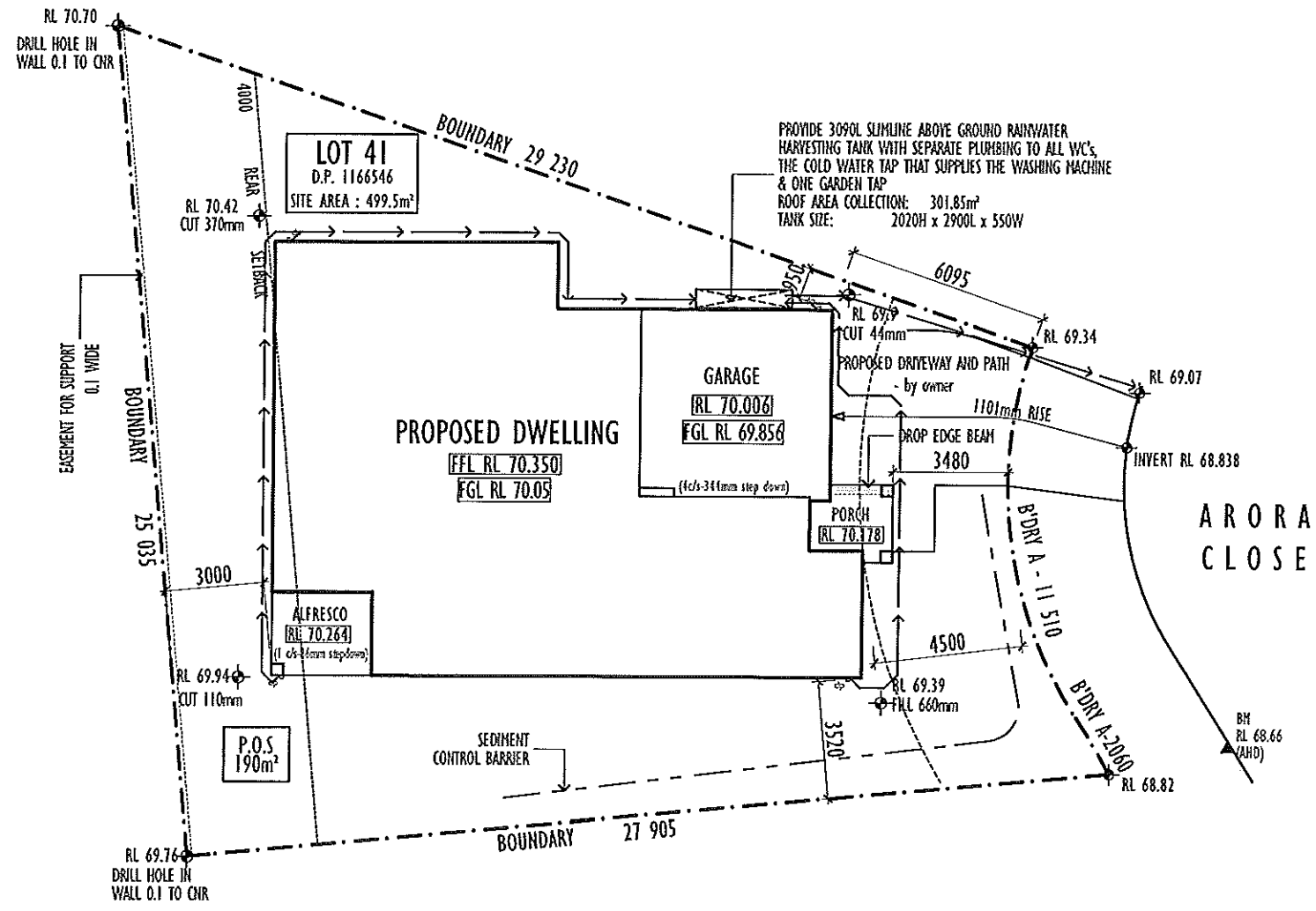
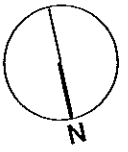
AMENDMENTS		
Issue	date	amendments
B	05.09.13	Clear span beam to stacker doors
A	30.08.13	Combined Application

HEAD OFFICE
Unit 35/10 Gladstone Rd
Castle Hill NSW 2154
(ph) 02 9894 5200 (f) 02 9894 5728
lic no: 5685C ABN 31003934058
COPYRIGHT RESERVED

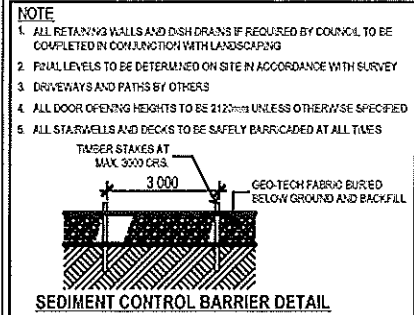
Proven Professional Provincial Homes

PROJECT.
PROPOSED DWELLING AT Lot 41, No 5
ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
Mr Mehmet & Mrs Helen KILIC
TITLE . ELEVATIONS

ISSUE.	B
JOB No.	13059
SHEET.	3-7



SITE PLAN
1:200



NOTE
 1. ALL RETAINING WALLS AND DSH DRAINS IF REQUIRED BY COUNCIL TO BE COMPLETED IN CONJUNCTION WITH LANDSCAPING
 2. FINISH LEVELS TO BE DETERMINED ON SITE IN ACCORDANCE WITH SURVEY
 3. DRIVEWAYS AND PATHS BY OTHERS
 4. ALL DOOR OPENING HEIGHTS TO BE 2120mm UNLESS OTHERWISE SPECIFIED
 5. ALL STAIRWELLS AND DECKS TO BE SAFELY BARRICADED AT ALL TIMES
 TAPER STAKES AT MAX. 9000 CRS.
 3000
 GEO-TECH FABRIC BURIED BELOW GROUND AND BACKFILL

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

SITE CALCULATIONS			
CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE AREA	N/A	499.50m ²	N/A
DWELLING HEIGHT, MASSING & SITING			
Maximum number of stories	2	2	YES
BUILDING SETBACKS			
Front setback (12.5m - < 15m frontage)	4.5m	4.5m	YES
Side setback (12.5m - < 15m frontage)	0.9m	0.95m	YES
Rear setback (12.5m - < 15m frontage)	4m	3.0m	NO
Garage setback from front building facade	1m	1.0m	YES
Allowable front setback encroachment for arch feature	1.0max	1.022m	NO
DEVELOPMENT ON SLOPING LANDS			
Max cut to side boundary retaining walls	1.0m	0.448m	YES
Max cut to rear boundary retaining walls (1.0m from rear fence)	1.5m	0.448m	YES
Max grade of driveway	20%	12%	YES
PRIVATE OPEN SPACE			
P.O.S. area (20%) & dimension for lots 10-15m	99m ² & 2m	190m ² & 3m	YES
Principle area & dimension for lots 10-15m	24m ² & 4m	45m ² & 6.2m	YES
SITE COVER AND LANDSCAPED AREAS			
Max 60% site cover (single storey) req'd for lots = > 450m ²	299.70m ²	209.63m ²	YES
Min 35% landscaped area required	175m ²	266m ²	YES
GARAGES AND ACCESS			
Minimum front setback for garages and carports	5.5m	6.097m	YES
Minimum setback behind building facade	1.0m	1.0m	YES
Minimum lot frontage required for double garages	12.5m	13.570m	YES
Max width of garage doors to be 50% facade width and 6m	6.0m	4.58m	YES
Max height of garage doors	2.4m	2.1m	YES
Minimum double garage internal width	5.50m	5.52m	YES
Max driveway width at front boundary	4.50m	4.0m	YES

designniche
Building Designers

Designniche P/L
2/45 Crosby Street, (T) 02 9631 7844
Greystanes, NSW 2145 (H) 0438 538 118
(E) orhan@designniche.com.au

REF. No.
13055

UBD REF.	184 H4	SCALE.	1:200	AMENDMENTS		
N.C.S.		DATE.	19.05.13	Issue.	date.	amendments.
COUNCIL	PENRITH	DRAWN.	O.K.			
DESIGN.	FAIRLIGHT 22	FAÇADE.	SUBURBAN			
				A	30.08.13	Combined Application

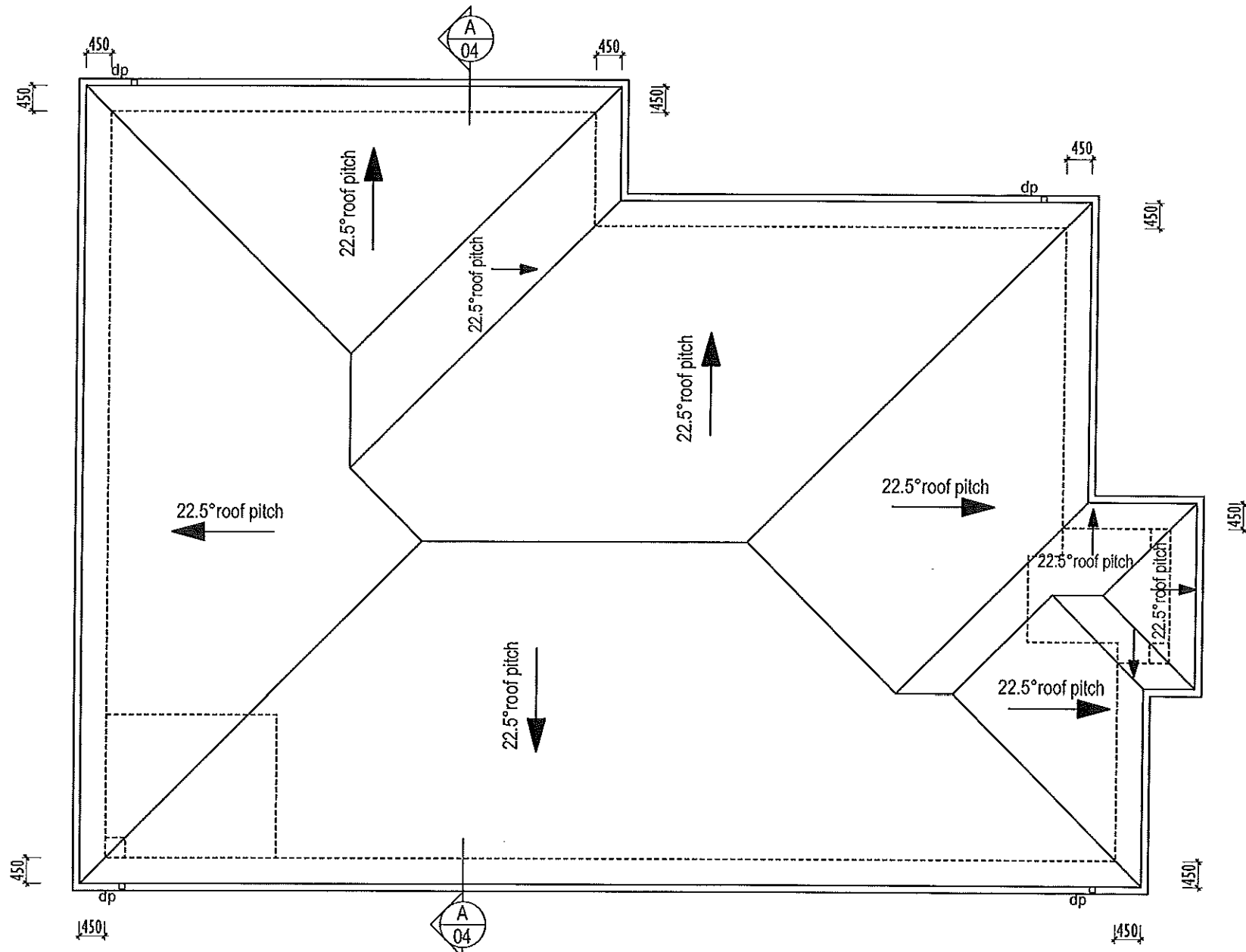
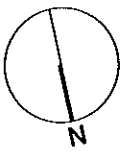
HEAD OFFICE
Unit 35/10 Gladstone Rd
Castle Hill NSW 2154
(ph) 02 9894 5200 (f) 02 9894 5728
Lic no: 5685C ABN 31003934058
COPYRIGHT RESERVED

Proven Professional Provincial Homes

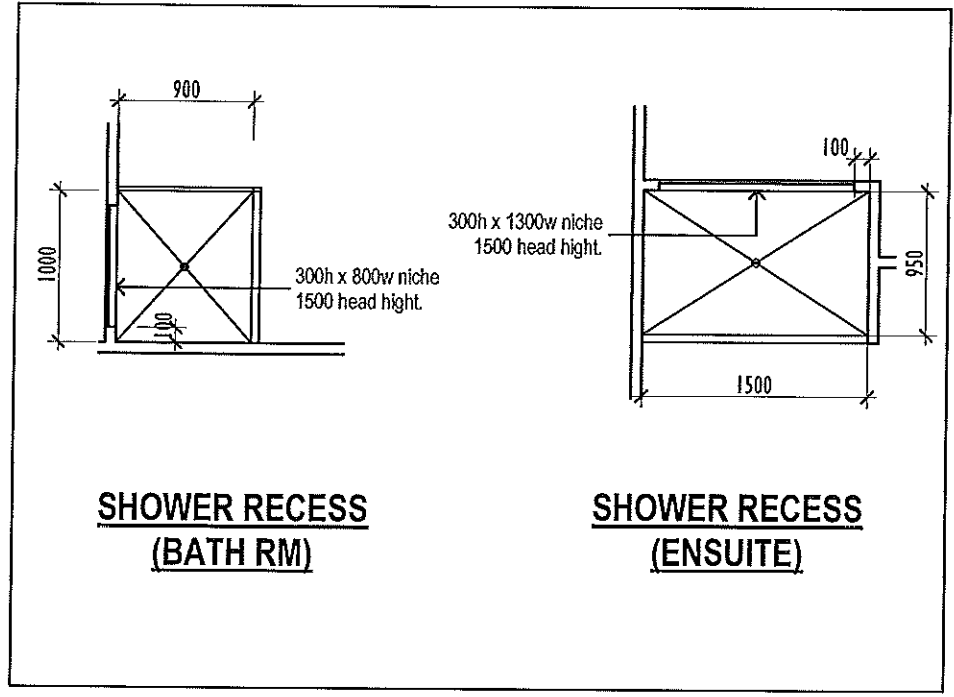
PROJECT
PROPOSED DWELLING AT Lot 41, No 5
ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
Mr Mehmet & Mrs Helen KILIC

TITLE - SITE PLAN

ISSUE.	A
JOB No.	13059
SHEET.	5-7



ROOF PLAN
1:100



**SHOWER RECESS
(BATH RM)**

**SHOWER RECESS
(ENSUITE)**

SHOWER DETAILS
1:50

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

designniche
Building Designers

Designiche P/L
2/45 Crosby Street, (T) 02 9631 7844
Greystanes, NSW 2145 (H) 0438 538 118
(E) orhan@designniche.com.au

REF. No.
13055

UBD REF.	184 H4	SCALE.	1:100 & 1:50
N.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FACADE.	SUBURBAN

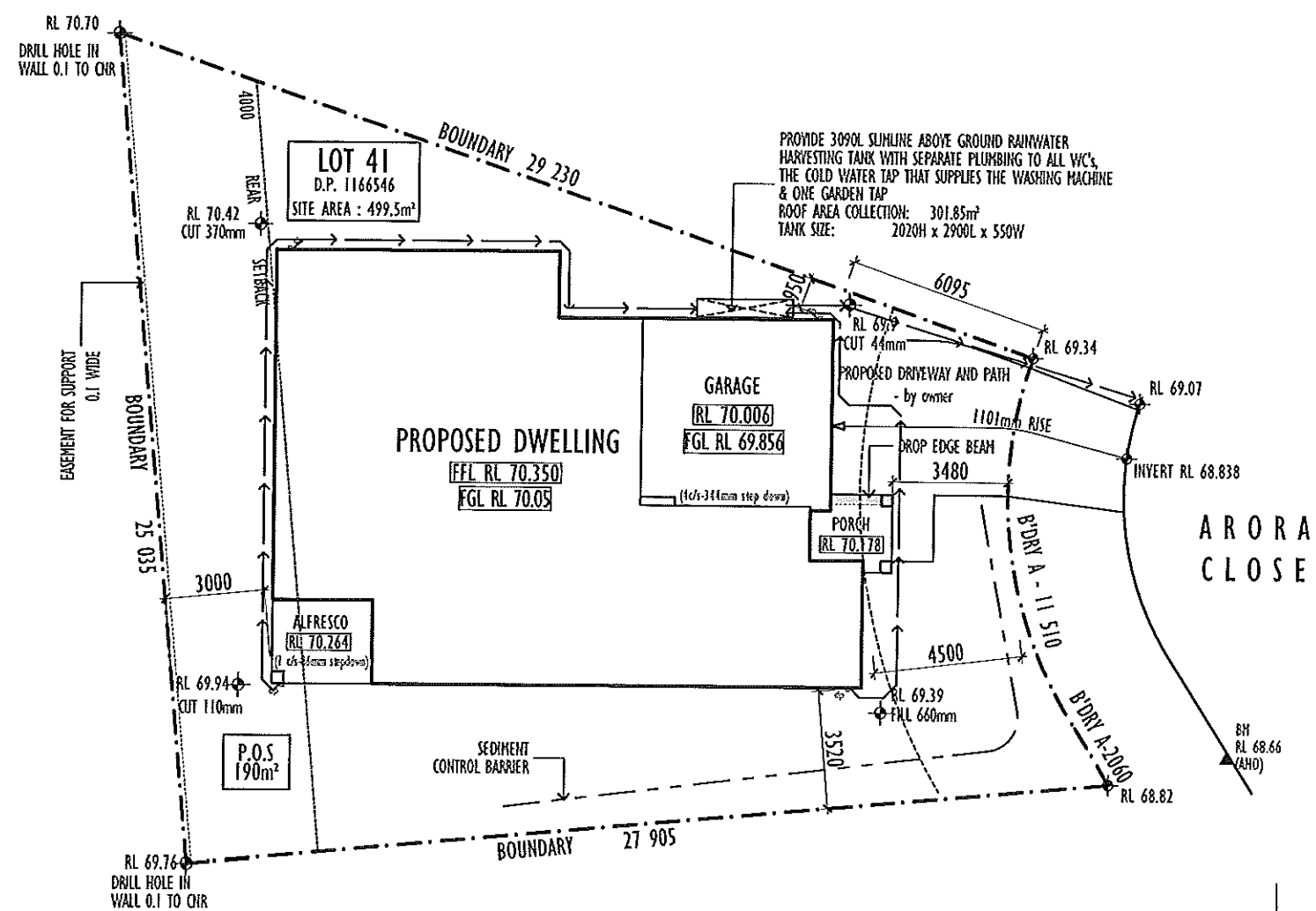
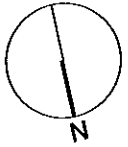
AMENDMENTS		
Issue.	date.	amendments.
A	30.08.13	Combined Application

HEAD OFFICE
Unit 35/10 Gladstone Rd
Castle Hill NSW 2154
(ph) 02 9894 5200 (f) 02 9894 5728
lic no: 5685C ABN 31003934058
COPYRIGHT RESERVED

**Proven
Professional
Provincial Homes**

PROJECT.
PROPOSED DWELLING AT Lot 41, No 5
ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
Mr Mehmet & Mrs Helen KILIC
TITLE . ROOF PLAN & SHOWER DETAILS

ISSUE.	A
JOB No.	13059
SHEET.	6-7



BASIX COMMITMENTS
1:200

WATER COMMITMENTS

FIXTURES

- PROVIDE SHOWER HEADS WITH A MINIMUM RATING OF 3 STAR IN ALL SHOWERS
- PROVIDE TOILETS CISTERNS WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET
- PROVIDE TAPS WITH A MINIMUM RATING OF 3 STAR IN THE KITCHEN
- PROVIDE BASIN TAPS WITH A MINIMUM RATING OF 3 STAR IN EACH BATHROOM

ALTERNATIVE WATER

- PROVIDE A TALL SLIMLINE ABOVE GROUND RAINWATER TANK OF AT LEAST 3000LITRES
- TANK ON A CONCRETE SLAB
- THE RAINWATER TANK MUST COLLECT RAIN RUNOFF FROM AT LEAST 301.85SQM OF THE ROOF AREA
- THE RAINWATER TANK MUST CONNECT TO ALL TOILETS, THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER AND AT LEAST ONE OUTDOOR TAP

THERMAL COMMITMENTS

- PROVIDE R1.66 RATED BATTS TO EXTERNAL WALLS
- PROVIDE R3.0 RATED BATTS TO CEILING AND ROOF - FLAT CEILING/PITCHED ROOF
- PROVIDE SARKING TO THE UNDERSIDE OF ROOF TILES

ENERGY COMMITMENTS

- PROVIDE A GAS INSTANTANEOUS HOT WATER SYSTEM WITH A PERFORMANCE RATING OF 6 STARS
- PROVIDE 3 PHASE AIR-CONDITIONING SYSTEM WITH A EER BETWEEN 3.0 AND 3.5
- THE AIR-CONDITIONING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS
- PROVIDE AN INDIVIDUAL FAN TO THE KITCHEN DUCTED TO THE FAÇADE WITH MANUAL ON/OFF SWITCH
- PROVIDE FLUORESCENT OR L.E.D LIGHTING TO AT LEAST 4 BEDROOMS/STUDY, AT LEAST 4 OF THE LIVING/DINING ROOMS, THE KITCHEN, ALL BATHROOMS/TOILETS, THE LAUNDRY AND ALL HALLWAYS
- PROVIDE A WINDOW AND/OR SKYLIGHT TO IN 1 BATHROOM(S)/TOILET(S)
- PROVIDE A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN
- PROVIDE A REFRIDGERATOR SPACE THAT IS 'WELL VENTILATED' AS DEFINED IN THE BASIX
- PROVIDE A FIXED OUTDOOR CLOTHES LINE

WINDOWS

- ALUMINIUM CLEAR GLASS
- WALLS CONSTRUCTION**
- BRICK VENEER
- INSULATION R1.66 INSULATION RATING
- ROOF COVERING**
- TILES
- SARKING
- CEILING R3.0 INSULATION RATING
- FLOOR**
- CONCRETE SLAB ON GROUND
- HOT WATER UNIT**
- GAS INSTANTANEOUS HWU - 6 STARS

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

	UBD REF.	184 H4	SCALE.	1:200	AMENDMENTS			HEAD OFFICE Unit 35/10 Gladstone Rd Castle Hill NSW 2154 (ph) 02 9894 5200 (f) 02 9894 5728 lic no: 5685C ABN 31003934058 COPYRIGHT RESERVED		PROJECT.	PROPOSED DWELLING AT Lot 41, No 5 ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,	ISSUE.	A
	N.C.S.		DATE.	19.05.13	Issue.	date.	amendments.			JOB No.	13059		
Designiche P/L 2/45 Crosby Street, (T) 02 9631 7844 Greystanes, NSW 2145 (M) 0438 538 118 (E) orhan@designiche.com.au	COUNCIL	PENRITH	DRAWN.	O.K.				Mr Mehmet & Mrs Helen KILIC TITLE . BASIX COMMITMENTS	SHEET.	7-7			
	DESIGN.	FAIRLIGHT 22	FAÇADE.	SUBURBAN	A 30.08.13 Combined Application								



BURTON & FIELD

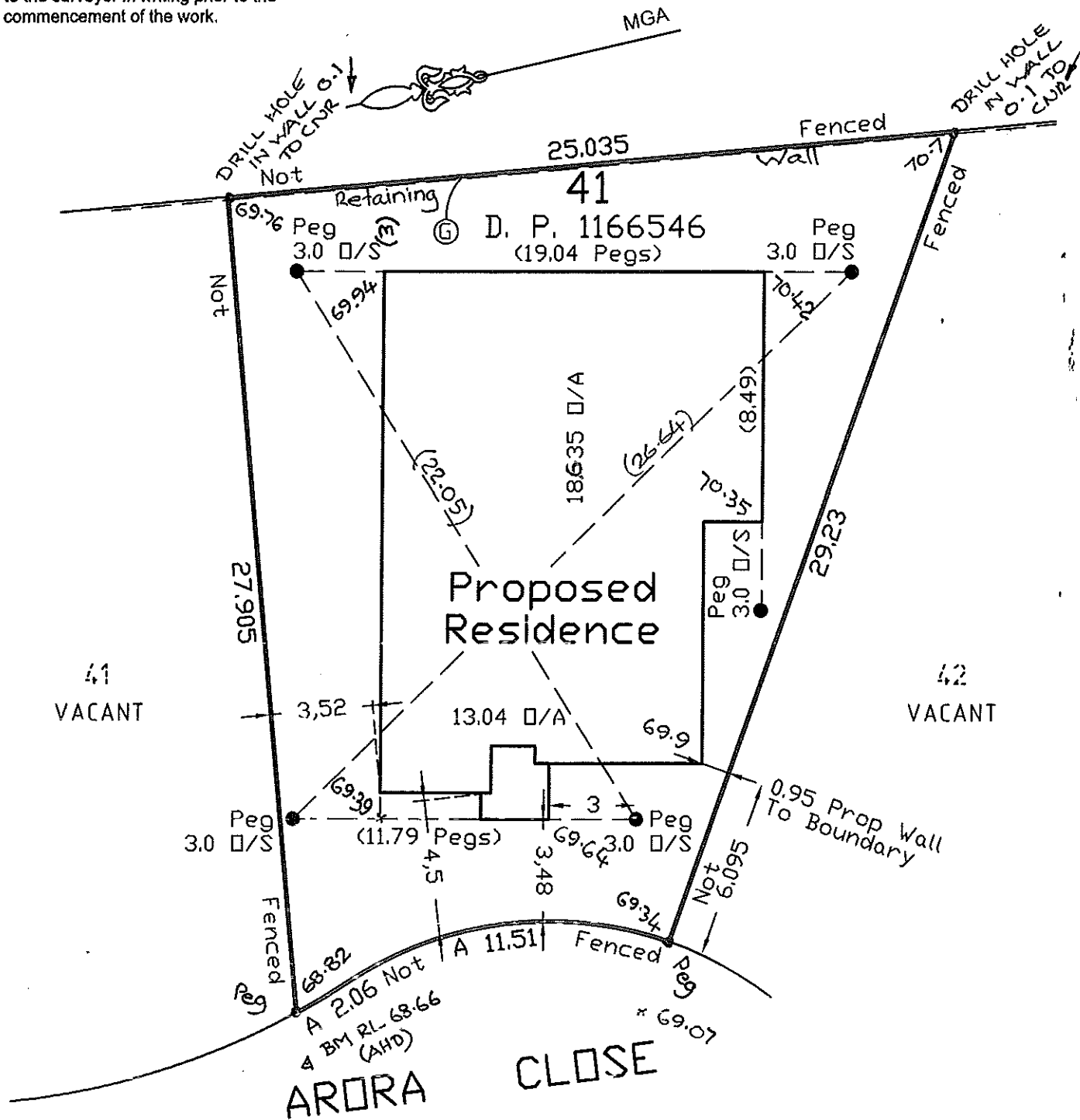
surveying & land development

Setout dimensions are based on architectural drawings as supplied. The builder should verify all setout dimensions shown on this plan with the architectural drawings. All discrepancies shall be reported to the surveyor in writing prior to the commencement of the work.

Date: 26.09.203

Our Ref: 20305/67870_PD

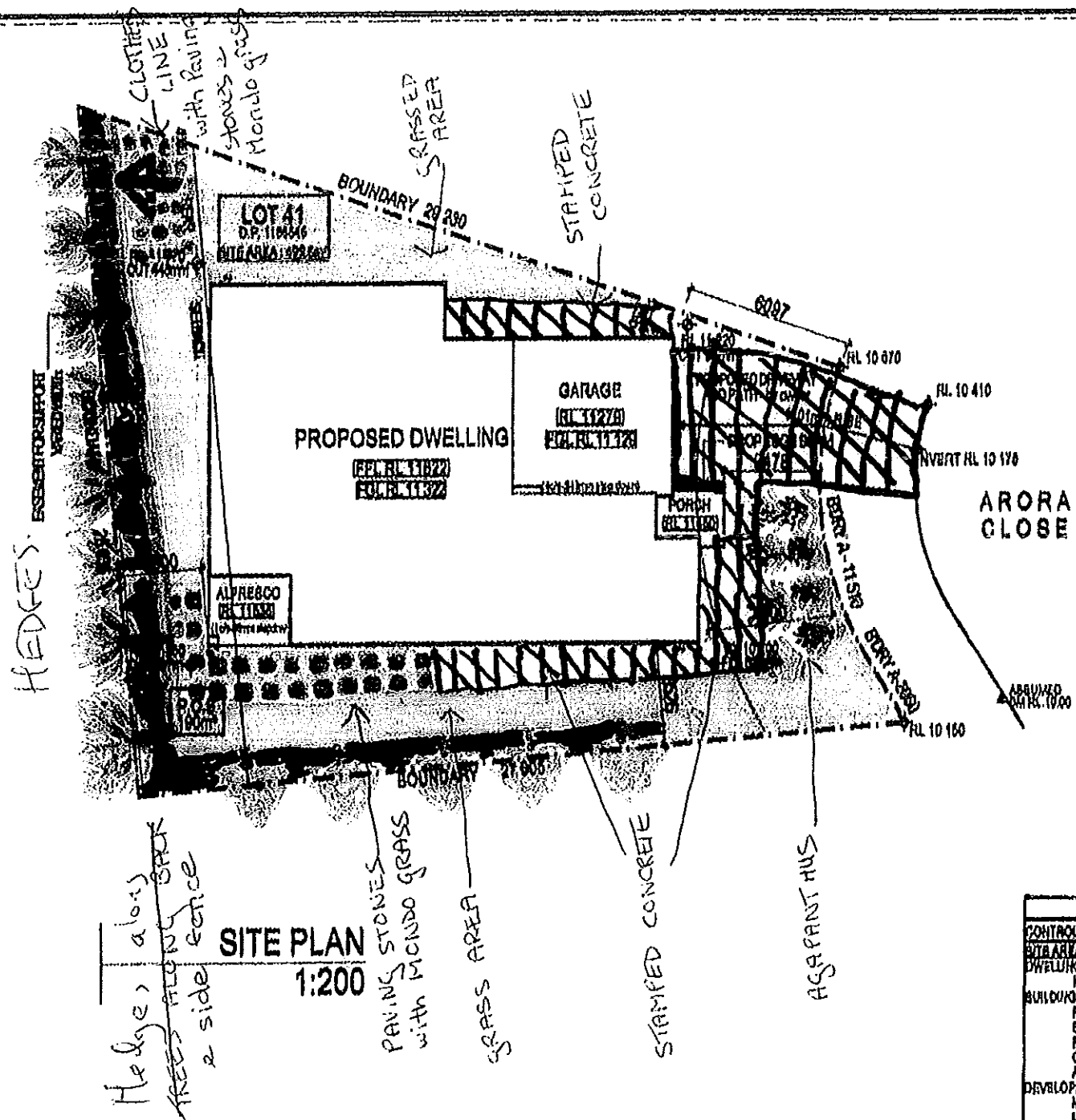
Ⓞ EASEMENT FOR SUPPORT 0.1 WIDE



I, **S.T. DIKE**

of burton & field pty. limited, a surveyor registered under the surveying and spatial information act 2002, hereby certify that the survey represented in this plan is accurate and has been made in accordance with the surveying and spatial information regulation 2012.

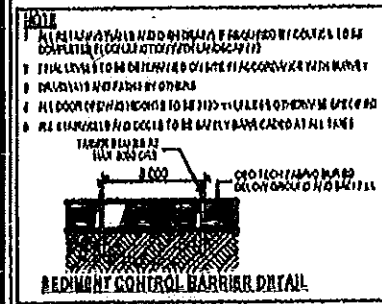
burton & field pty. limited A.C.N. 692 693 432



SITE PLAN
1:200

Landscape Plan

SITE CALCULATIONS			
CONTROL	REQ'D	PROPOSED	COMPLIED
SITE AREA	NA	490.60m ²	Y/A
DWELLING HEIGHT, MASSING & SITING			
Maximum number of stories	2	2	Y/B
BUILDING SETBACKS			
Front setback (12.6m < 15m frontage)	4.6m	4.6m	Y/B
Side setback (18.6m < 15m frontage)	0.0m	0.063m	Y/B
Rear setback (12.6m < 15m frontage)	4m	3.0m	N/O
Garage setback from front building facade	1m	1.0m	Y/B
Allowable front setback encroachment for arch feature	1.0max	1.022m	N/O
DEVELOPMENT ON SLOPING LAND			
Max out to side boundary retaining walls	1.0m	0.410m	Y/B
Max out to rear boundary retaining walls (1.0m from rear fence)	1.6m	0.440m	Y/B
Max grade of driveway	20%	12%	Y/B
PRIVATE OPEN SPACE			
P.O.S. area (20%) & dimension for lots 10-15m	69m ² & 2m	190m ² & 3m	Y/B
P.O.S. area & dimension for lots 10-15m	34m ² & 4m	46m ² & 6.2m	Y/B
SITE COVER AND LANDSCAPED AREAS			
Max 60% site cover (single storey) req'd for lots > 400m ²	2970m ²	200.63m ²	Y/B
Min 30% landscaped area required	172m ²	268m ²	Y/B
GARAGES AND ACCESS			
Minimum front setback for garages and carports	6.6m	0.927m	Y/B
Minimum setback behind building facade	1.0m	1.0m	Y/B
Minimum lot frontage required for double garages	18.0m	13.670m	Y/B
Max width of garage doors to be 60% facade width and 6m	6.0m	4.06m	Y/B
Max height of garage doors	2.4m	2.1m	Y/B
Minimum double garage internal width	6.60m	6.62m	Y/B
Max driveway width at front boundary	4.6m	4.0m	Y/B



SEDIMENT CONTROL BARRIER DETAIL

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

design niche
Building Designers

Designiche P/L
2/45 Crosby Street, Penrith NSW 2150
Tel: (02) 9631 7844
Fax: (02) 9631 1116

REF. No. 13055

UBD REF.	184 H4	SCALE	1:200	AMENDMENTS
N.C.B.		DATE	19.05.13	Issue, date, amendments
COUNCIL	PENRITH	DRAWN	O.K.	
DESIGN	FAIRLIGHT 22	FAÇADE	SUBURBAN	

HEAD OFFICE
Unit 35/10 Gladstone Rd
Castle Hill NSW 2154
(ph) 02 9894 6200 (f) 02 9894 5728
Uic no: 58835 ABN 31063934058

Proven Professional
Provincial Homes

PROJECT
PROPOSED DWELLING AT Lot 41, No 6
ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
Mr Mohmet & Mrs Helen KILIC

1688U, A
JOB No. 13059
SHEET 5-6