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18th July 2019

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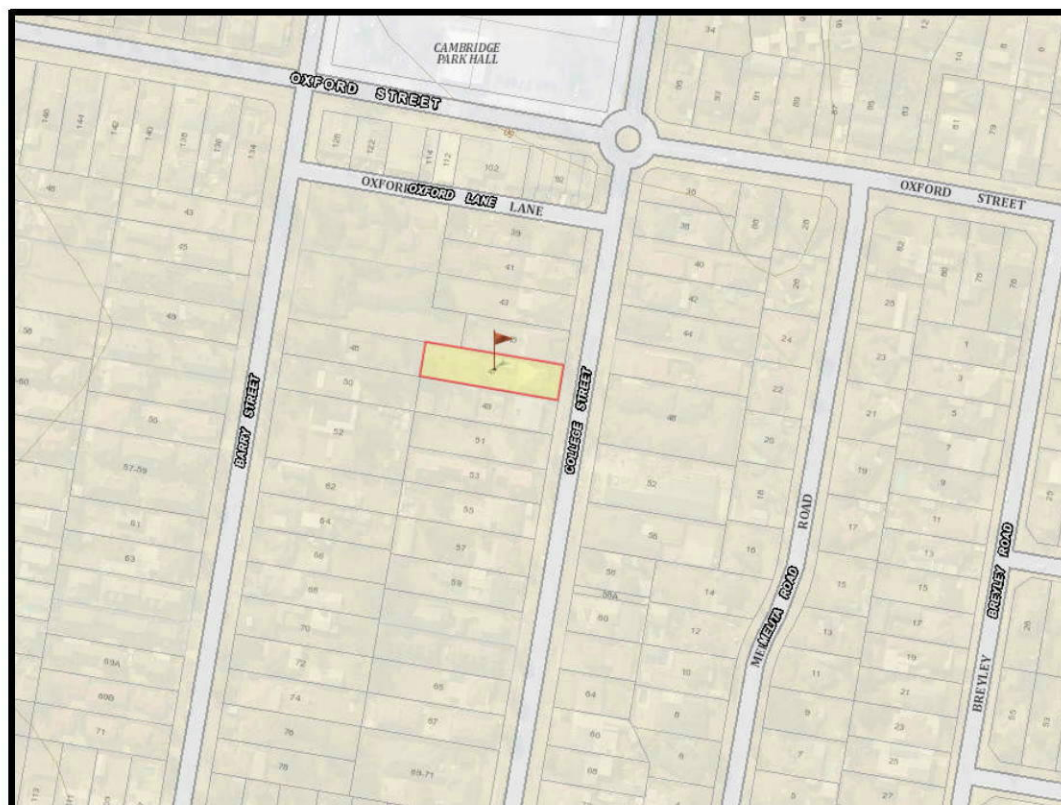
PENRITH NSW 2751

STATEMENT OF ENVIRONMENTAL EFFECTS

Proposed Relocated Dwelling Dual Occupancy

47 College Street, Cambridge Park

Lot A DP 394842,



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1. INTRODUCTION

This report has been prepared by Casson Planning & Development Services to support the proposed relocation of a dwelling on, Lot A DP 394842, 74 College Street, Cambridge Park. There is an existing dwelling on the land, therefore approval for a dual occupancy is being sought.

The subject land has an area of 932.1m².



Figure 1 Aerial view (Source SIX Maps 2019)

2. DETAILS OF LAND

2.1 Title and Existing Uses

Description: Lot A DP 394842, 47 College Street, Cambridge Park

Owner: W & B Mcauley

2.2 Zoning and Planning Instruments

2.2.1 Penrith Local Environmental Plan 2010 (PLEP)

The Penrith LEP 2010 is the relevant environmental planning instrument. The zoning of the subject land is R3 Medium Density Residential in the PLEP as shown in figure 3 below:



Property Report
47 COLLEGE STREET CAMBRIDGE PARK 2747

Property Details

Address: 47 COLLEGE STREET CAMBRIDGE PARK 2747
Lot/Section /Plan No: A/-/DP394842
Council: PENRITH CITY COUNCIL

Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Minimum Lot Size	400 m ²
Height Of Building	8.5 m
Land Zoning	R3 - Medium Density Residential: (pub. 25-2-2015)
Local Environmental Plans	Penrith Local Environmental Plan 2010 (pub. 11-8-2017)

Figure 2 PLEP – RU4 Primary Production Small Lots (Source PLEP Map LZN_17)

The objectives of the zone are:

Zone R3 Medium Density Residential

1 Objectives of zone

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide for a concentration of housing with access to services and facilities.*
- *To enhance the essential character and identity of established residential areas.*
- *To ensure that a high level of residential amenity is achieved and maintained.*
- *To ensure that development reflects the desired future character and dwelling densities of the area.*

2 Permitted without consent

Home occupations

3 Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Emergency services facilities; Environmental protection works; Exhibition homes; Exhibition villages; Flood mitigation works; Group homes; Home-based child care; Home businesses; Home industries; Information and education facilities; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Semi-detached dwellings; Seniors housing; Shop top housing; Tank-based aquaculture

4 Prohibited

Pond-based aquaculture; Any development not specified in item 2 or 3

The relocation of the proposed dwelling to the subject land as a dual occupancy:

- Is permissible within the zone,
- Is consistent with the established development in the area, and
- satisfies the objectives of the zone.

2.2. Penrith Development Control Plan 2014 (PDCP)

Section D2 of the PDCP refers to Residential Development and section 2.2 specifically refers to dual occupancy dwellings.

Section 2.2.3 Alternative Configuration for Dual Occupancy Development

This proposal is for the placement of a relocated dwelling behind an existing dwelling and is therefore acceptable as alternate configuration for dual occupancy development.

B Objectives

The existing and relocated dwellings will have their entrances and windows to principal living room facing the street and therefore comply with the objective.

C Controls

- 1 Tree and shrub planting is proposed along the rear boundary to provide a 'green corridor' (*complies – see plans*)
- 2 The existing dwelling and proposed dwelling will be separated by a corridor of open space which will include shady trees providing garden courtyard or open car-parking court (*complies – see plans*)
- 3 The parking areas for the existing and proposed relocated dwellings will both have their parking areas concealed from the street. (The dwelling being moved currently has a carport structure however this will not be relocated - otherwise the proposal *complies – see plans*)

2.2.4 Urban Form

A Objective

There is an existing building at the front of the allotment – retaining the street characteristics. The relocated dwelling (dual occupancy) is at the rear of the allotment with minimal impact.

B Controls

- 2) The relocated dwelling will be behind the street frontage and will have:
 - a) single story appearance (*complies – see plans*)
 - b) living rooms, entrance facing the street (*complies – see plans*)
 - c) private gardens filling the rear setback, (*complies – see plans*)

- d) car parking space concealed from the street (*complies – see plans*)
- 3) Avoid gun barrel style developments with long buildings, long straight driveways and rows of uniform width garden courtyards
 - b) the detached buildings will be separated by an 'open space corridor' at least 4m wide (*complies – see plans*)
- 4) Articulate all building forms and facades
 - a) This is a relocated building which is being moved from only two lots north of the subject land. The front elevation has an entry feature. Other walls are longer than the 5m guideline. It is suggested however that there will be minimal view of the relocated dwelling which will be in the back half of the subject land.
 - b) The building to be relocated has a hip roof which has a front entry feature which includes extension of the roof giving it variety.
 - c) All walls have windows.

2.2.5 Front and Rear Setbacks

A Objective

There is an existing dwelling at the front of the property. The rear setback satisfies the minimum controls.

B Controls

- 1) Development to be within the maximum footprint determined for the site
 - a) the relocated dwelling is 4m from the rear boundary
 - b) not applicable (single storey)
 - c) not applicable (regular shape lot)
 - d) not applicable (existing dwelling / setback)
- 2) Within the rear boundary setback
 - a) no building encroachment (*complies – see plans*)
 - b) maximise undisturbed soil – satisfied
 - c) not applicable (no encumbrances)

- 3) Determine an appropriate front setback – not applicable (existing dwelling)
- 4) Permissible encroachments within front setback – not applicable
- 5) Garages and parking spaces are not permissible within the front setback – (complies – see plans)

2.2.6 Building Envelope and Side Setbacks

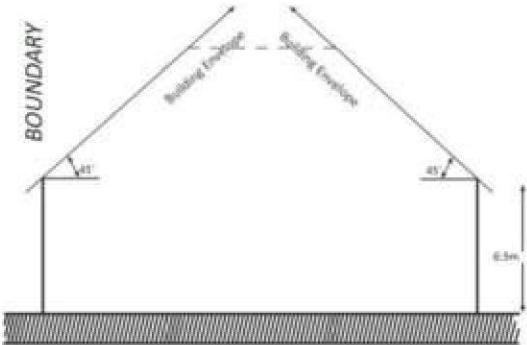
A Objective

Comply with building envelope controls, minimise disturbance to existing topography and natural soil profiles, and provide for reasonable landscaped separation between neighbouring buildings.

B Controls

- 1) development to comply with the building envelope for the site

The apex of the roof is less than 5m from ground level. The building very comfortably sits within the maximum building envelope shown below

Zone	Maximum building envelope
R3 Medium Density Residential	

- 2) The building envelope, and the apparent rise in storeys and external wall heights shall be measured relative to.....(building comfortably complies)
- 3) Only minor encroachments through the building envelope shall be permitted
No encroachments
- 4) Cut and fill and ground floor heights are restricted by the following:
Not applicable – no cut and fill

- 5) Pitches for main roofs to be in accordance with the following:
 - a) single storey dwellings – not greater than 35 degrees (roof pitch is 28 degrees)
- 6) Setback from side boundaries should be varied to articulate walls to side boundaries by the following:
 - a) maximise setbacks (and landscaped area) beside neighbouring cottage back yards
 - b) minimum 900mm at ground level – walls no longer than 10m - complies
- 7) Zero setback not permissible except for single garage etc - not applicable
- 8) Attics permissible in dwellings behind others – no attic – not applicable

2.2.7 Driveways and Parking Areas

A Objective

Provide on site parking at a level that encourages of os public transport, minimise area required for parking, encourage efficient land and maximise the area available for landscaping and gardens

B Controls

- 1) Provide on site parking in accordance with parking section of the DCP

DCP requires two spaces for each dwelling – parking area shown on plans – complies

- 2) not applicable

- 3) For dwellings located one behind the other, driveways should:

- a) be separated from dwellings by a landscaped verge at least 1m wide – the width of the shared driveway is determined by the location of the existing house. The plans propose a 4m access, other than a reduced width to the front boundary setback to allow a landscape strip to be established on the southern side as shown on the plans. It is suggested that combined with the existing landscaping on the front building, that the additional planting will be effective.

- b) where possible, also separated from boundary fences by a landscape verge – the proposed landscape strip is placed on the southern boundary and extends to the building setback.

- c) prevent adverse long term effect upon any vegetation that must be preserved – not applicable

d) provide for effective and healthy landscaping along all site boundaries- additional boundary fencing is proposed – refer to plans

e) drain by gravity to Council's stormwater network - noted

2.2.8 Landscaped Area

A Objective

Retain a reasonable proportion of each site for landscaped garden areas, conserve significant existing vegetation, and provide reasonable separation between neighbouring dwellings

B Controls

1) Landscaping should be R3 – 40% minimum of the site – subject land is 932.1m² – landscaped area to be 373m². There is at least 95% of this requirement available – refer to plans

2) Landscaped area should provide:

a) effective separation between neighbouring dwellings, satisfied – refer to plans

b) healthy growth of new trees and shrubs, satisfied – refer to plans – additional tree planting proposed

c) long term survival of existing vegetation required by Council to be preserved (both on site and on neighbouring properties), not applicable

d) private courtyards for all dwellings and a green outlook, satisfied – refer to plans

e) civic gardens along street frontages – there are existing garden beds at the front of the existing dwelling on site.

3) Landscaped areas are required to:

a) have a minimum width of 2m and serve as functional spaces - satisfied – refer to plans

b) should include private courtyards measuring a minimum of 30m²- satisfied – refer to plans

c) may include verandahs or patios that open directly to private courtyards – not applicable

d) do not include substantially paved areas such as buildings, driveways and covered garages - satisfied – refer to plans

e) that part of any easement exceeding 10% of the site area shall not be included in the landscaped area calculation not applicable

2.2.9 Solar Planning

A Objective

- a) Improve the energy efficiency of dwellings and achieve a high standard of residential amenity
- b) To ensure adequate residential amenity through the provision of sunlight access and good solar amenity to the living spaces and private open space areas of dwellings
- c) to recognise the reasonable expectation for a dwelling to have the ability to access sunlight

B Controls

- a) Providing shadow diagrams prepared by a qualified technician for all two storey buildings and additions Not applicable – single storey

2.3 LOCALITY SKETCH

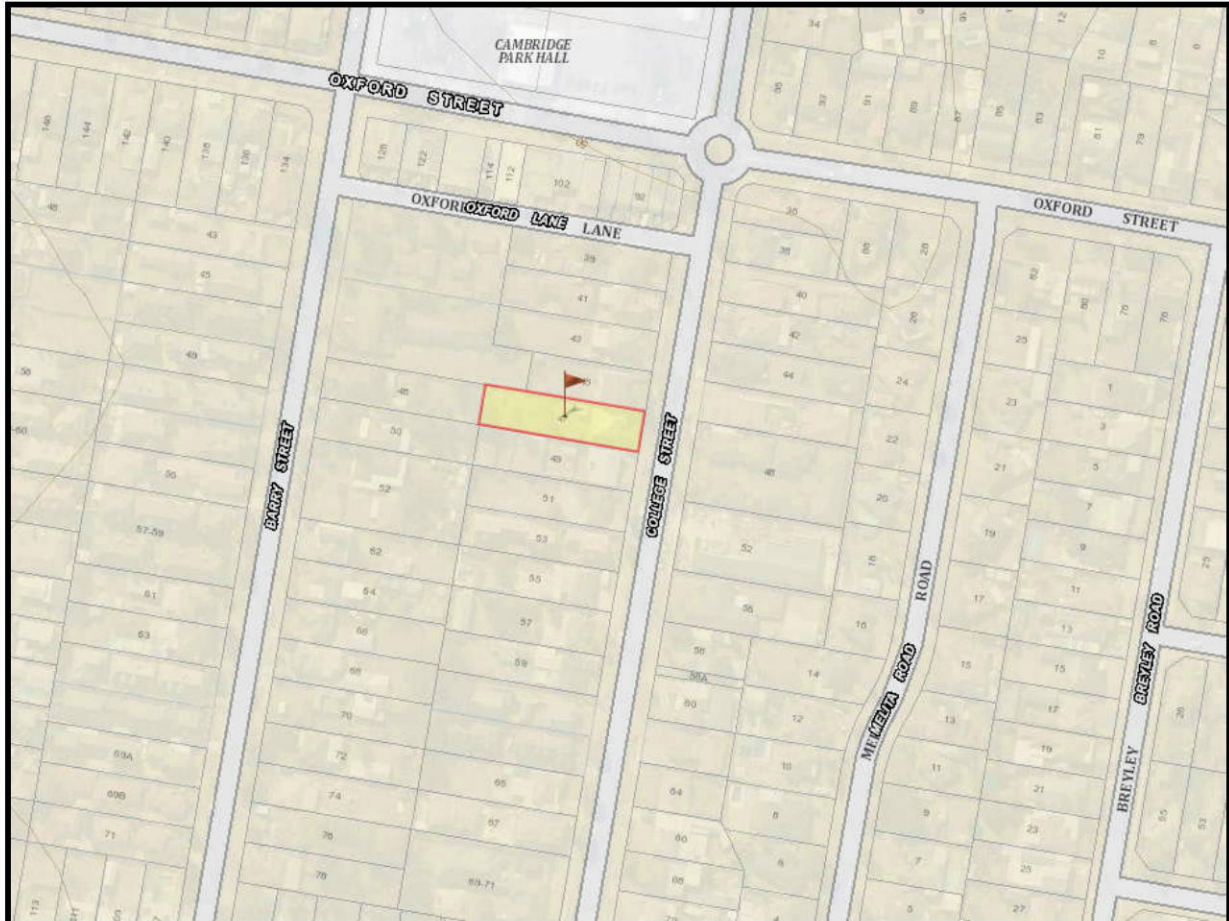


Figure 3 Locality Map (Source SIX Viewer 2019)

Other points under this plan will be discussed within the Statement of Environmental Effects.

3. STATEMENT OF ENVIRONMENTAL EFFECTS

3.1 Flooding, Drainage, Landslip and Soil Erosion

The land is not subject to flooding.

The subject land has minimal grade towards College Street. Drainage of any roof water overflow would be directed to the street frontage.

Any minor clearing for relocation of the dwelling and erection of the garage will be undertaken with due regard to erosion and sedimentation control on the site.

3.2 Bushfire Risk

The subject land is not subject to any constraints due to bush fire vegetation.

3.3 Flora and Fauna

The siting for the proposed dual occupancy has ensured that there will be no removal of substantial trees. Minor clearing of other vegetation / grass will be required in the building footprint and is not expected to have any significant impacts on either flora or fauna.

3.4 Lot Shape and Size

The relocation of the dwelling is on an existing lot and will not impact on lot shape or size.

3.5 Impact on adjacent properties

The proposed relocated dwelling will be approximately 45m from College Street. The dwelling is 4m from the rear boundary and 1.5m from the northern boundary.

The area is characterised by a mix of residential and multi residential development.

The dwelling on the adjoining allotment to the north is approximately 25m away from the proposed dwelling. The closest dwelling on the southern boundary is approximately 12m away.

The minimum setbacks to the boundaries are satisfied and it is therefore suggested there will be no adverse impact on adjacent properties.

*Proposed relocated dwelling (dual occupancy)
Lot A DP 394842, 47 College Street, Cambridge Park*

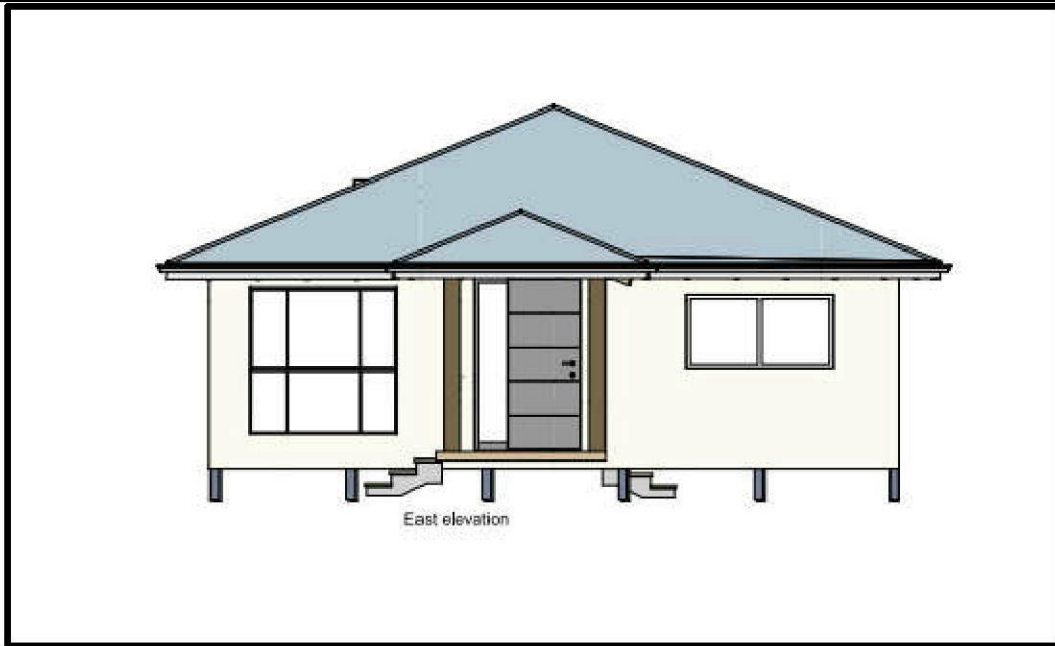


Figure 4 DA plan - eastern elevation

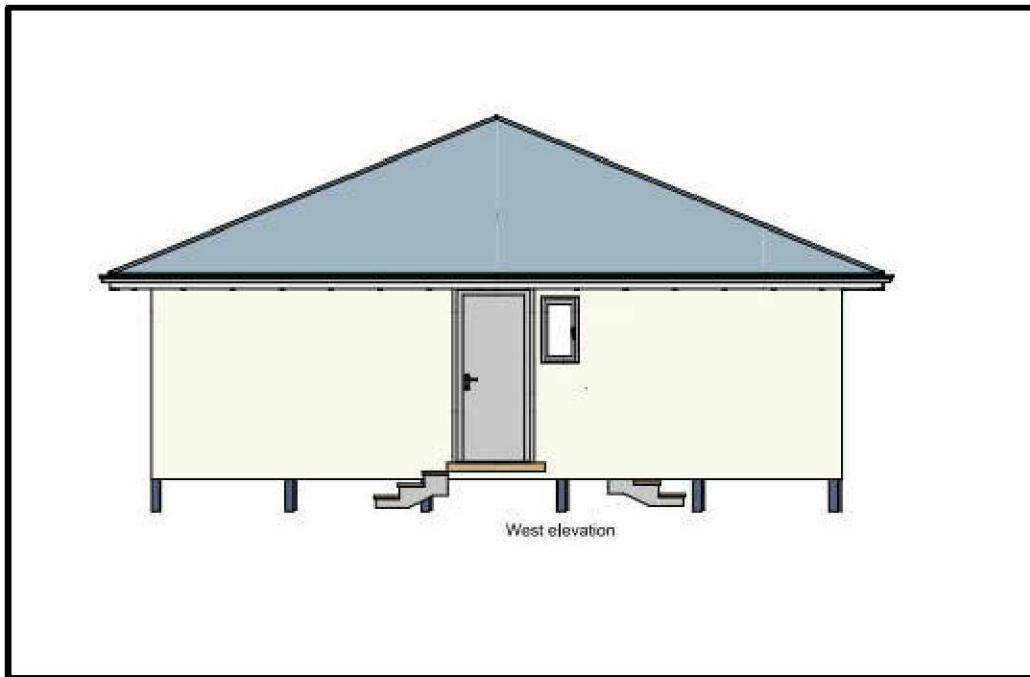


Figure 5 DA plan – western elevation

*Proposed relocated dwelling (dual occupancy)
Lot A DP 394842, 47 College Street, Cambridge Park*

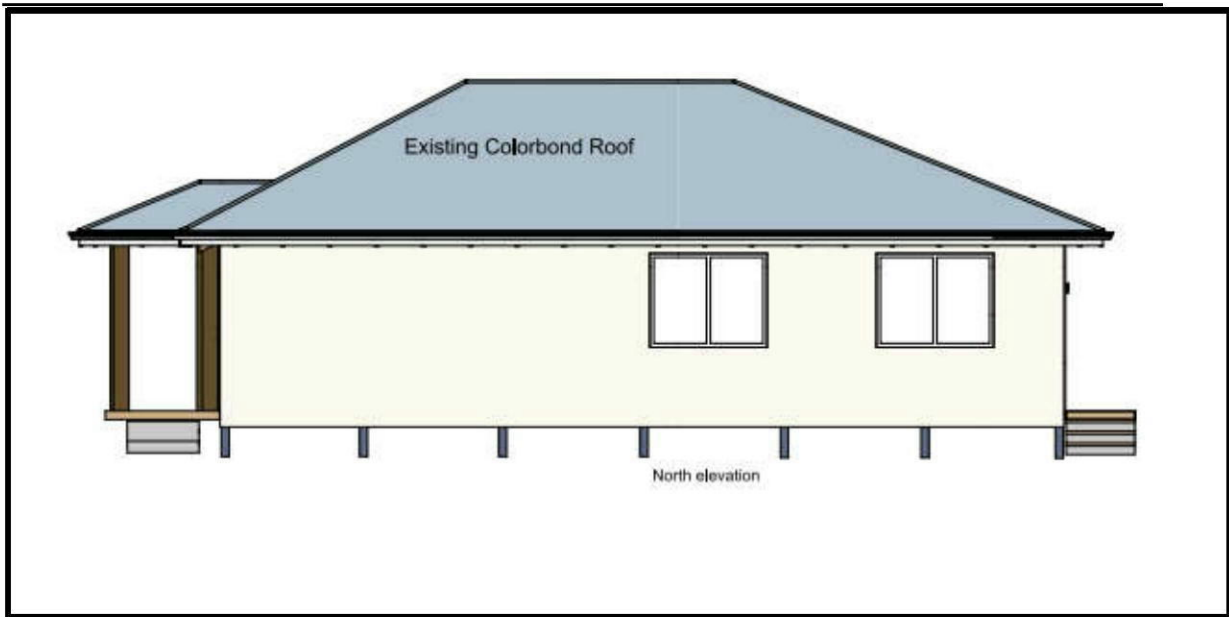


Figure 6 DA plan - northern elevation

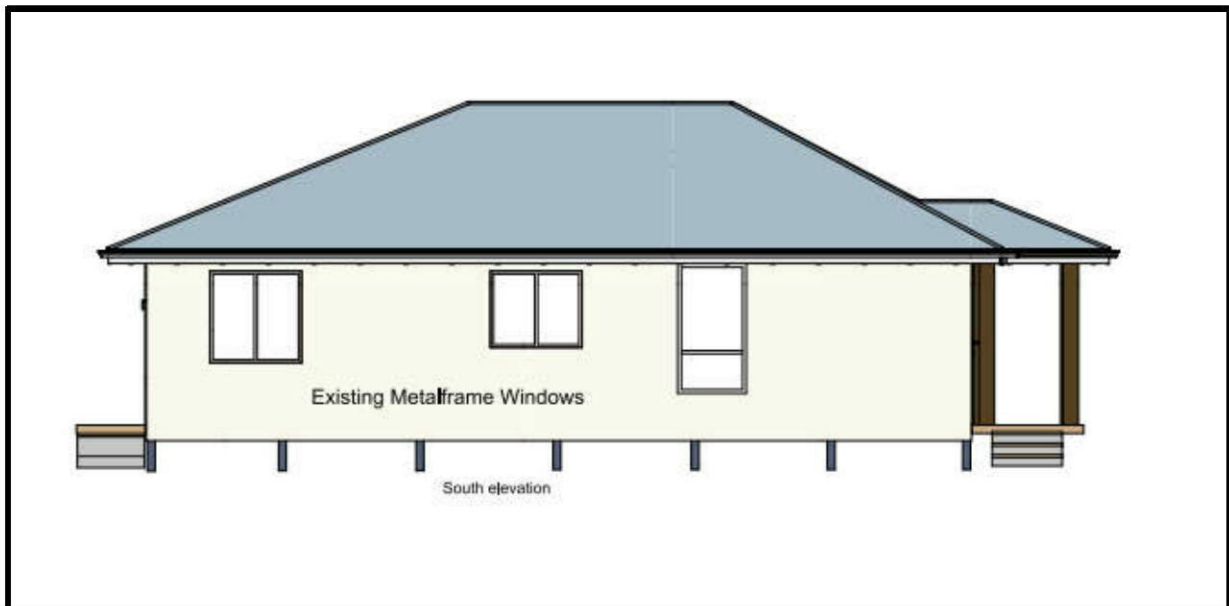


Figure 7 DA plan - western elevation

*Proposed relocated dwelling (dual occupancy)
Lot A DP 394842, 47 College Street, Cambridge Park*

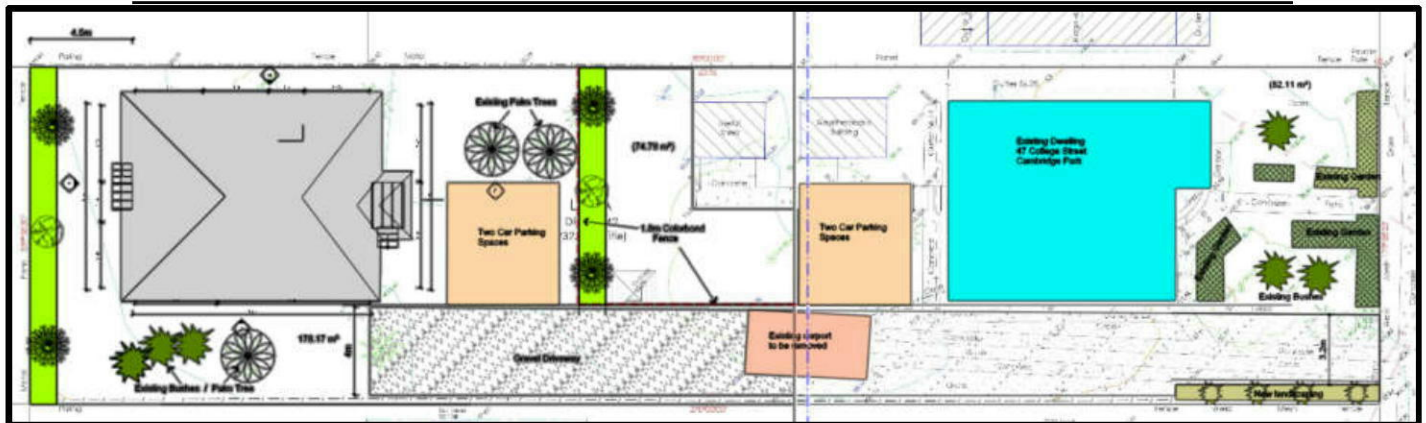


Figure 8 Site plan for relocated dwelling / dual occupancy

3.6 Impact on existing and future amenity of the locality

There will no identified adverse impact attributable to the placement of the relocated dwelling on existing or future amenity of the locality. The relocated dwelling will be over 40m from the front boundary and 'obscured' by the existing dwelling.

Dwellings either side of the subject land are at least 12m away. The development is a low density use of the land and consistent with adjoining and nearby land. There will be some increase in traffic movements with the existing access being modified accordingly and shared by both households.

It is suggested that there are no adverse impacts on the amenity of the locality.

3.7 Traffic Considerations

3.7.1 Traffic Generation

The development will have minimal if any effect on the traffic in the area with all roads infrastructure already in place.

3.7.2 Road Network

There is an existing access to the College Street frontage which will be shared with the existing dwelling on the land, avoiding a second entrance. Should modifications on the road reserve be deemed necessary, an application under s138 will be lodged for approval.

3.7.3 Parking

The land has adequate space for off street parking on the subject land as shown on the attached plans.

3.7.4 Road Works Engineering Design

There is no proposed public work for this development.

3.8 Methods of Sewerage Effluent Disposal

The new premises will be connected to the Sydney Water sewerage main at the rear of the land.

3.9 Availability of Utility Services, Power, Telephone, Water, Sewer

All utility services are available to the development.

3.10 Social and Economic Effects

This relocation of a dwelling and will have minimal if any impact in respect of social or economic effects within the locality. If anything, impacts will be positive provide additional choice and availability of residential accommodation in the locality.

3.11 Anticipated Impact of Noise Levels to the site and the locality

The development will not create adverse noise levels to the site or locality.

3.12 Archaeological/Heritage Items

The subject land is within a highly developed residential area. There would be no impact on Aboriginal sites attributable to the proposal.

4 CONCLUSION

In support of this application we highlight the following points covered within this report:

- The subject land is within an R3 Medium Density zone the relocation of a dwelling and subject occupation as a duplex dwelling is permissible and consistent with the objectives of the zone..
- The subject land has an existing dwelling and ancillary buildings.
- The proposed relocated dwelling will be over 40m from the front boundary and is separated from the existing dwelling on the land by minimum 20m.

*Proposed relocated dwelling (dual occupancy)
Lot A DP 394842, 47 College Street, Cambridge Park*

- The land has existing garden beds at the front and further landscaping is proposed to accord with Council's DCP.
- The existing dwelling will provide an effective screen for the relocated dwelling with minimal view from College Street.

It is considered that this application complies with council's overall objectives for development within the zone and for the reasons abovementioned and detailed in this report should be approved.

Yours faithfully,



*David Casson
Planning and Development Advisor*

5 ATTACHMENTS

5.1 Detail Survey of Subject Land – Matthew Freeburn

5.3 Architectural Plans

*Proposed relocated dwelling (dual occupancy)
Lot A DP 394842, 47 College Street, Cambridge Park*

5.1 – Detail Survey of Subject Land – Matthew Freeburn

*Proposed relocated dwelling (dual occupancy)
Lot A DP 394842, 47 College Street, Cambridge Park*

5.2 – Architectural Plans