

Project summary		
Project name	6660	
Street address	106-108 Lethbridge Street Penrith 2750	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 545304	
Lot no.	11	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	20	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	35	Target 35

Description of project

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Section no.	-
Project type	
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No. of units in residential flat buildings	20
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m ²)	1825
Roof area (m ²)	1175
Non-residential floor area (m ²)	0.0
Residential car spaces	27
Non-residential car spaces	0

Common area landscape	
Common area lawn (m ²)	300.0
Common area garden (m ²)	240.0
Area of indigenous or low water use species (m ²)	0.0
Assessor details	
Assessor number	20039
Certificate number	-
Climate zone	2B
Project score	
Water	40 Target 40
Thermal Comfort	Pass Target Pass
Energy	35 Target 35

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building, 20 dwellings, 3 storeys above ground

Dwelling no.	M _o . of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	M _o . of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	M _o . of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	2	84.8	0.0	0.0	0.0	2	1	55.0	0.0	0.0	0.0	4	2	93.1	0.0	0.0	0.0
5	2	93.1	0.0	0.0	0.0	6	3	98.7	0.0	0.0	0.0	7	2	84.5	0.0	0.0	0.0
9	2	90.9	3.9	0.0	0.0	10	2	84.9	0.0	0.0	0.0	11	2	87.2	0.0	0.0	0.0
13	2	84.5	0.0	0.0	0.0	14	2	81.4	0.0	0.0	0.0	15	2	90.9	3.9	0.0	0.0
17	2	87.2	0.0	0.0	0.0	18	2	99.8	0.0	0.0	0.0	19	3	98.7	0.0	0.0	0.0
						20	2	84.5	0.0	0.0	0.0						

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building

Common area	Floor area (m ²)	Common area	Floor area (m ²)	Common area	Floor area (m ²)
Basement Car park area	777.0	Lift car (No.1)	-	Services Cupboard	6.0
Services Room	41.0	Garbage Room/Bulky Waste	28.0	Stairwells (total)	86.0
Circulation areas (total)	324.0				

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Building

- (a) Dwellings
 - (i) Water
 - (ii) Energy
 - (iii) Thermal Comfort
- (b) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy
- 2. Commitments for multi-dwelling houses
- 3. Commitments for single dwelling houses
- 4. Commitments for common areas and central systems/facilities for the development (non-building specific)
 - (i) Water
 - (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building

(a) Dwellings

(a) Water	Show on DA plans	Show on CC/DC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. 		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures				Appliances			Individual pool			Individual spa	
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	All clothes washers	All dish-washers	Volume (max volume)	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	5 star	5 star	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water supply systems		Size	Configuration	Landscape connection	Toilet connection (a)	Laundry connection	Pool top-up	Spa top-up
	None	-							
All dwellings	-	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/DC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating systems specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/DC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ul style="list-style-type: none"> (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. 		✓	✓
(h) The applicant must install in the dwelling: <ul style="list-style-type: none"> (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. 		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

Dwelling no.	Hot water system		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
All dwellings	electric heat pump - air sourced 31 to 35 RECs	individual fan into central duct + VSD	manual switch on/off	individual fan, not ducted	manual switch on/off	individual fan into central duct + VSD	manual switch on/off	

Dwelling no.	Cooling		Heating		Artificial lighting				Natural lighting			
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bedrooms &/or toilets	Main kitchen
2	(zoned)	(zoned)	(zoned)	(zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
3	(zoned)	(zoned)	(zoned)	(zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
9, 15	(zoned)	(zoned)	(zoned)	(zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
6, 12, 19	(zoned)	(zoned)	(zoned)	(zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
7, 13, 17, 20	(zoned)	(zoned)	(zoned)	(zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
All other dwellings	(zoned)	(zoned)	(zoned)	(zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	electric cooktop & electric oven	-	yes	-	-	-	yes	no

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
Council Submission DA - Cover Sheet
 View List DA, Sheet Index DA, 6660 - 106

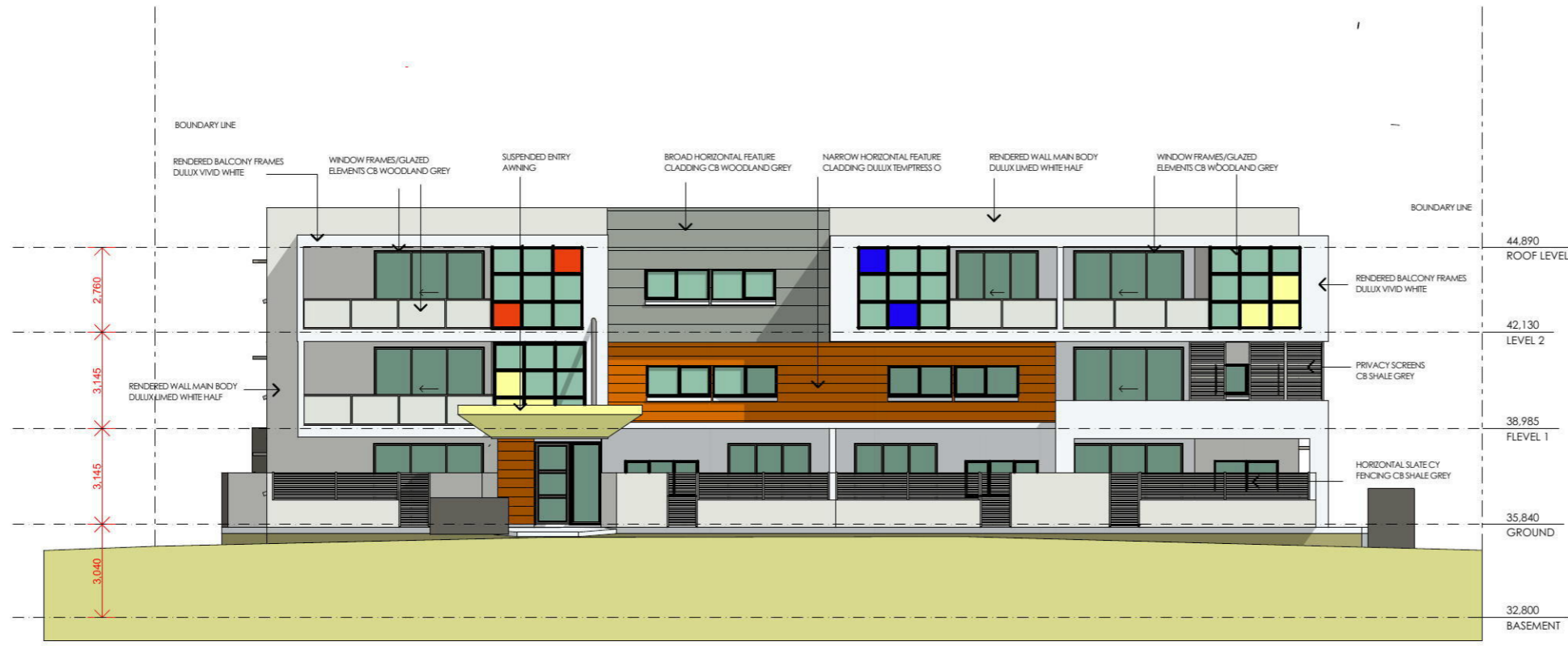
LETHBRIDGE ST - Draft BASIX v2

Scale: as noted Date:

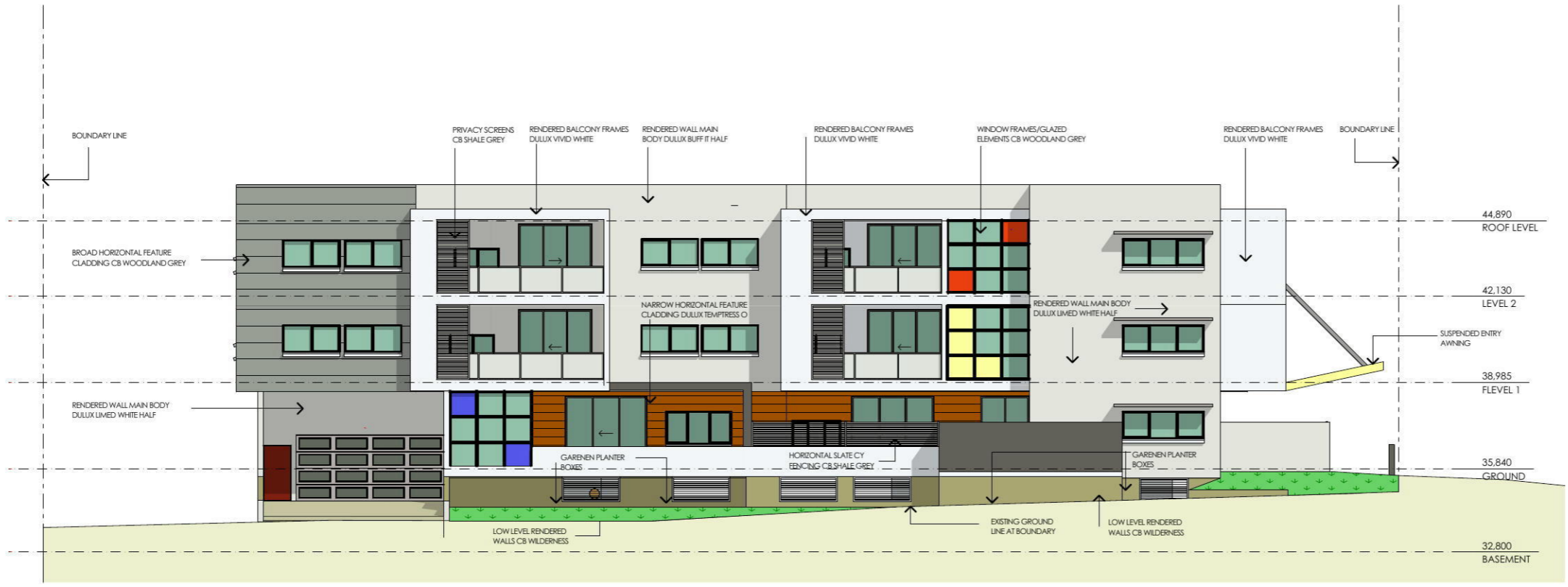
Status: PRELIMINARY Checked By:

Project No: **0316** Drawing No.: **BASIX**

Plot Date: 20/04/2017



1 NORTH ELEVATION
1:200



3 EAST ELEVATION
1:200

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client: NOR-SIDE INVESTMENTS PTY LTD
Project Name: LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

Drawing Title: - E 1 NORTH ELEVATION
NORTH ELEVATION, EAST ELEVATION

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No.: 0316 Drawing No.: DA 13

Plot Date: 20/04/2017

BUILDING ENVIRONMENTS PTY.LTD

PO BOX 34 EMU PLAINS NSW 2750
PH 0428 505 900

ARVI RANNASTE ARCHITECT REG.NO, 7085
email: arvi@buildingenvironments.com.au

length in millimeters at full size

length in millimeters at full size



1 WEST ELEVATION 1:200



3 SOUTH ELEVATION 1:200

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client: NOR-SIDE INVESTMENTS PTY LTD
 Project Name: LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title: - E 3 WEST ELEVATION
 WEST ELEVATION, SOUTH ELEVATION

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No.: 0316 Drawing No.: DA 14

Plot Date: 20/04/2017

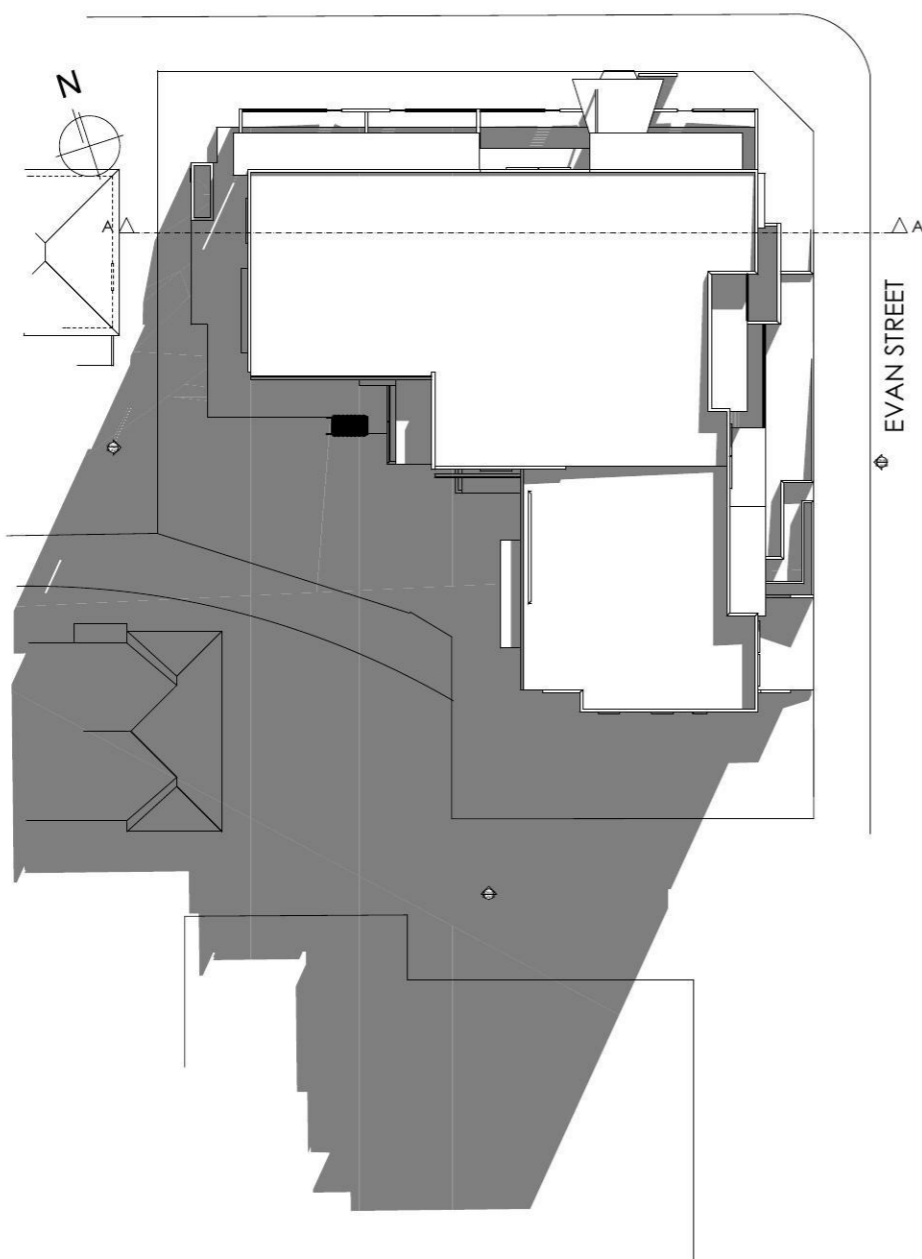
BUILDING ENVIRONMENTS PTY.LTD

PO BOX 34 EMU PLAINS NSW 2750
 PH 0428 505 900

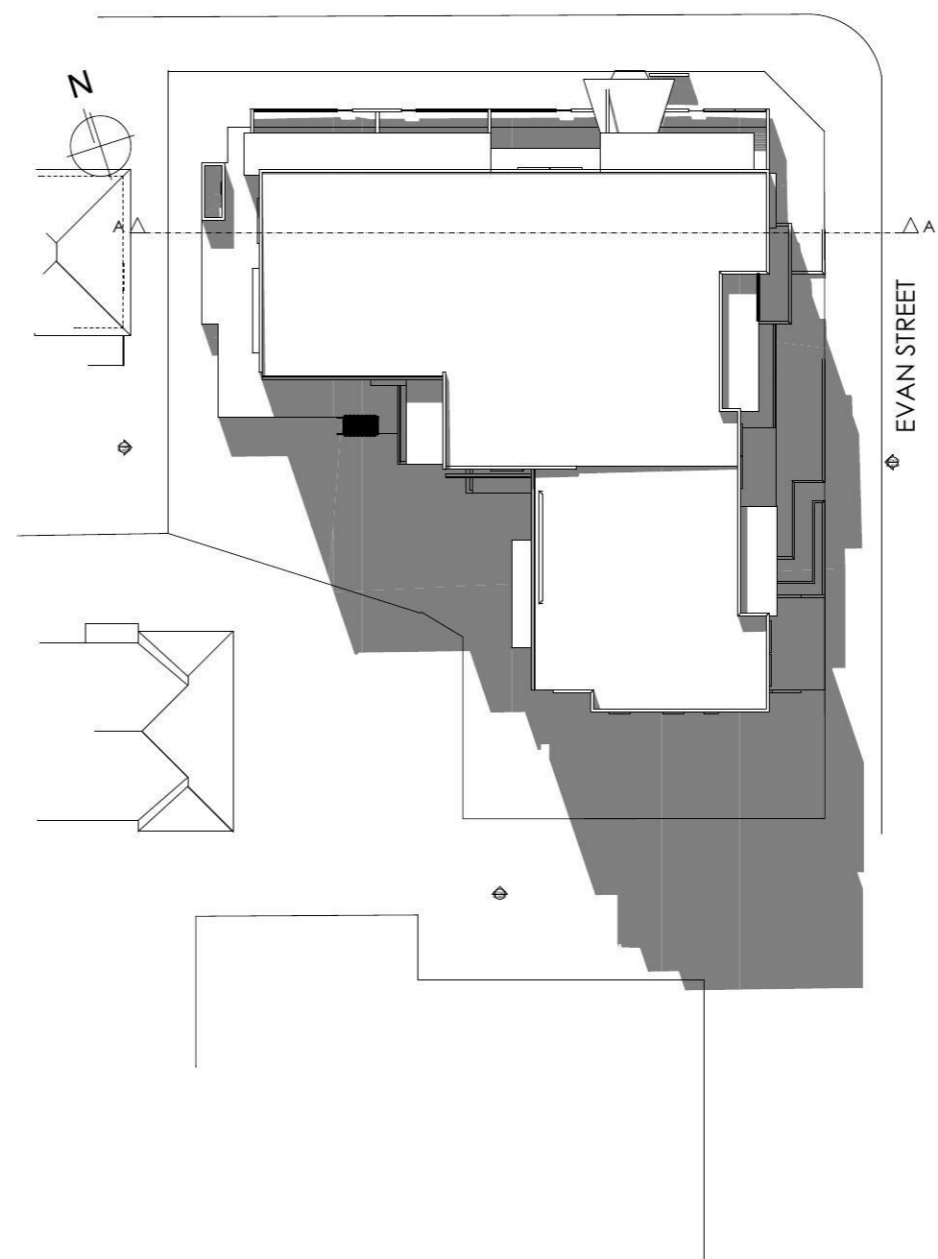
ARVI RANNASTE ARCHITECT REG.NO, 7085
 email: arvi@buildingenvironments.com.au

length in millimeters at full size

length in millimeters at full size



3 9am June Shadow 1:500



4 12 midday June Shadow 1:500

200
150
100
50
40
30
20
10
length in millimeters at full size

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Client:
NOR-SIDE INVESTMENTS PTY LTD
Project Name:
LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

Drawing Title:
- 11. 9am June Shadow
9am June Shadow, 12 midday June Shadow

Scale: as noted Date:
Status: PRELIMINARY Checked By:

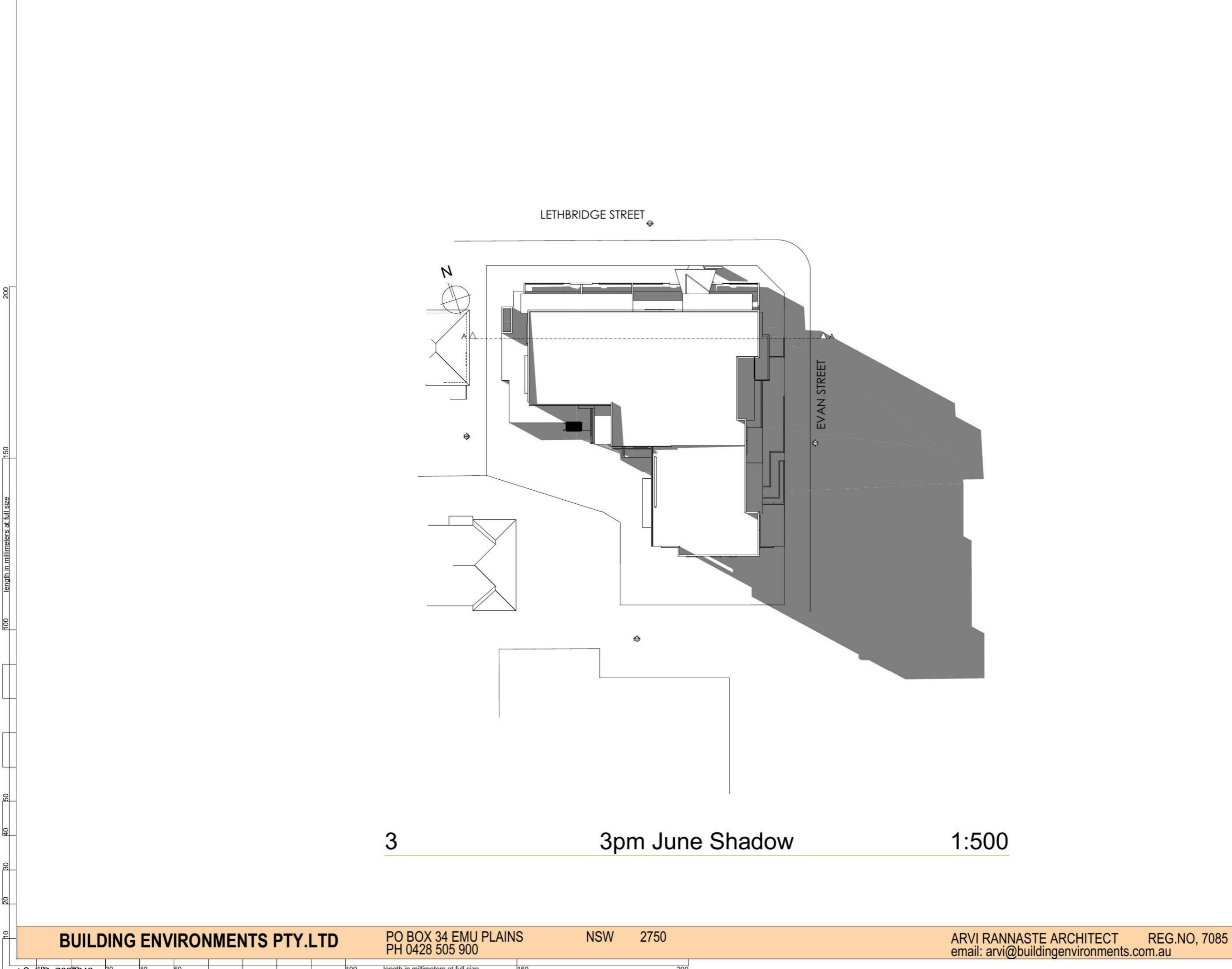
Project No.: **0316** Drawing No.: **DA 15**

Plot Date: 20/04/2017

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The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client:
NOR-SIDE INVESTMENTS PTY LTD
 Project Name:
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
- 13. 3pm June Shadow
 3pm June Shadow

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

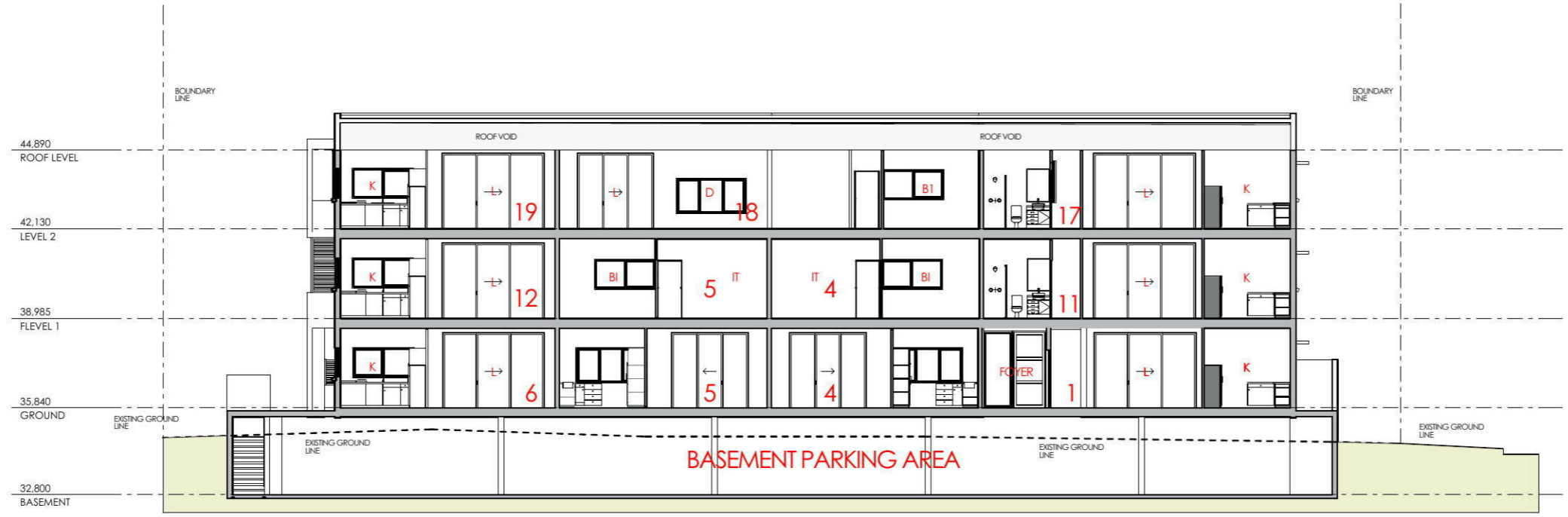
Project No.: **0316** Drawing No.: **DA 16**

Plot Date: 20/04/2017

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PH 0428 505 900

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1 SECTION A
1:200

200
150
100
50
40
30
20
10
length in millimeters at full size

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client:
NOR-SIDE INVESTMENTS PTY LTD
Project Name:
LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

Drawing Title:
- A SECTION A
SECTION A

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No.: **0316** Drawing No.: **DA 17**

Plot Date: 20/04/2017



1 LETHBRIDGE FRONT 1:1



3 LETHBRIDGE WEST 1:1

200
150
100
50
40
30
20
10
length in millimeters at full size

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Client: NOR-SIDE INVESTMENTS PTY LTD
Project Name: LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

Drawing Title: Council Submission DA - 3 D VIEWS
LETHBRIDGE FRONT, LETHBRIDGE WEST

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No: 0316 Drawing No.: DA2

Plot Date: 20/04/2017



1 EVAN LETHBRIDGE EAST 1:1



3 EVAN LETHBRIDGE 1:1

200

150

length in millimeters at full size

100

50

40

30

20

10

BUILDING ENVIRONMENTS PTY.LTD

PO BOX 34 EMU PLAINS
PH 0428 505 900

NSW 2750

ARVI RANNASTE ARCHITECT REG.NO, 7085
email: arvi@buildingenvironments.com.au

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client:
NOR-SIDE INVESTMENTS PTY LTD
Project Name:
LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

Drawing Title:
Council Submission DA - 3 D VIEWS
EVAN LETHBRIDGE EAST, EVAN LETHBRIDGE

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No.: **0316** Drawing No.: **DA3**

Plot Date: 20/04/2017



1 EVAN SOUTH 1:1



3 SOUTH WEST 1 1:1

length in millimeters at full size

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client:
NOR-SIDE INVESTMENTS PTY LTD
 Project Name:
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
Council Submission DA - 3 D VIEWS
 EVAN SOUTH, SOUTH WEST 1

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No.: **0316** Drawing No.: **DA4**

Plot Date: 20/04/2017

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: <ul style="list-style-type: none"> (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. 	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	65.0	30.4
2	50.0	28.1
3	51.4	36.9
4	12.0	19.2
5	12.1	19.0

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
6	37.5	26.1
7	51.5	12.5
8	32.3	48.1
9	43.0	28.4
10	31.9	22.7
11	26.6	35.4
12	20.3	29.4
13	20.3	15.9
14	50.3	69.6
15	57.7	45.8
16	47.0	37.4
17	46.2	55.5
18	16.1	30.2
19	38.3	49.3
All other dwellings	36.5	24.6

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	3 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area ventilation system			Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Basement Car park area	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	light-emitting diode	daylight sensor and motion sensor	No
Lift car (No. 1)	-	-	none	none	No
Services Cupboard	no mechanical ventilation	-	fluorescent	manual on / manual off	No
Services Room	no mechanical ventilation	-	fluorescent	manual on / manual off	No
Garage Rooms/Bulky Waste	ventilation exhaust only	-	fluorescent	motion sensors	No
Stairwells (total)	no mechanical ventilation	-	light-emitting diode	daylight sensor and motion sensor	No
Circulation areas (total)	no mechanical ventilation	-	light-emitting diode	daylight sensor and motion sensor	No

Central energy systems	Type	Specification
Lift (No. 1)	geared traction with V V A C motor	Number of levels (including basement): 4

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	3 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Other	Common area clothes drying line installed?: yes	-

- Notes**
- In these commitments, "applicant" means the person carrying out the development.
 - The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
 - This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
 - If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
 - If a star or other rating is specified in a commitment, this is a minimum rating.
 - All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

- Legend**
- Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
 - Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
 - Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
Council Submission DA - BASIX 2
 6660 - 106 LETHBRIDGE ST - Draft BASIX v2

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No: **0316** Drawing No.: **DA5**

Plot Date: 2004/2017

BUILDING ENVIRONMENTS PTY.LTD

PO BOX 34 EMU PLAINS NSW 2750
 PH 0428 505 900

ARVI RANNASTE ARCHITECT REG.NO, 7085
 email: arvi@buildingenvironments.com.au

200 length in millimeters at full size
 150
 100
 50
 40
 30
 20
 10

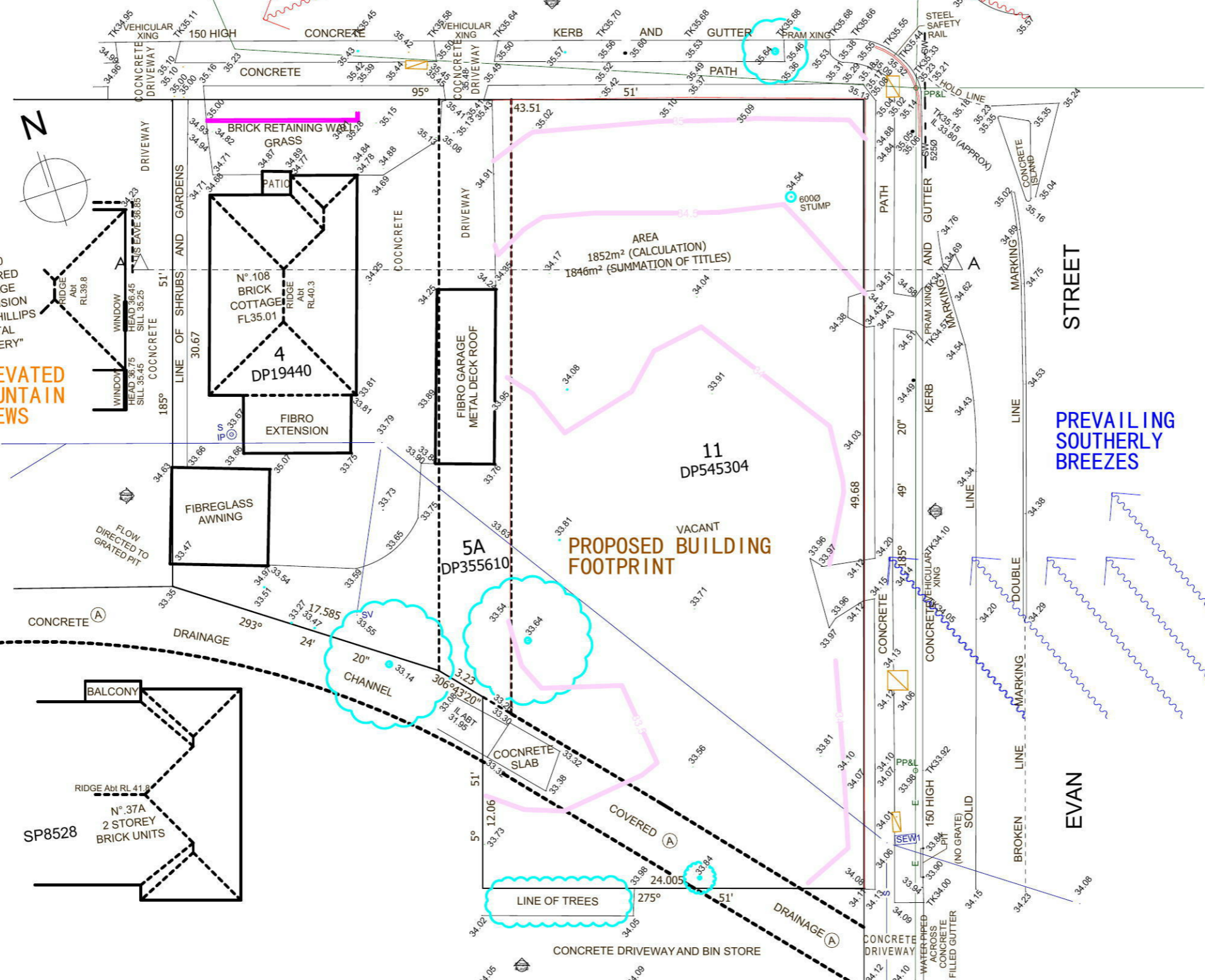
DEPT
PM12645 PIN IN STEEL BOX
RL35.629 (A.H.D.) (ORIGIN)

LETHBRIDGE

STREET

SOLAR PATH

CONCRETE MOUNTABLE ROUND-A-BOUT



3
DP19440
N° 110 RENDERED COTTAGE & EXTENSION "BRIAN PHILLIPS DENTAL SURGERY"
ELEVATED MOUNTAIN VIEWS

PROPOSED BUILDING FOOTPRINT

PREVAILING SOUTHERLY BREEZES

SURVEY
1:300

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PO BOX 34 EMU PLAINS NSW 2750
PH 0428 505 900

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email: arvi@buildingenvironments.com.au

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client: NOR-SIDE INVESTMENTS PTY LTD
Project Name: LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH 2750

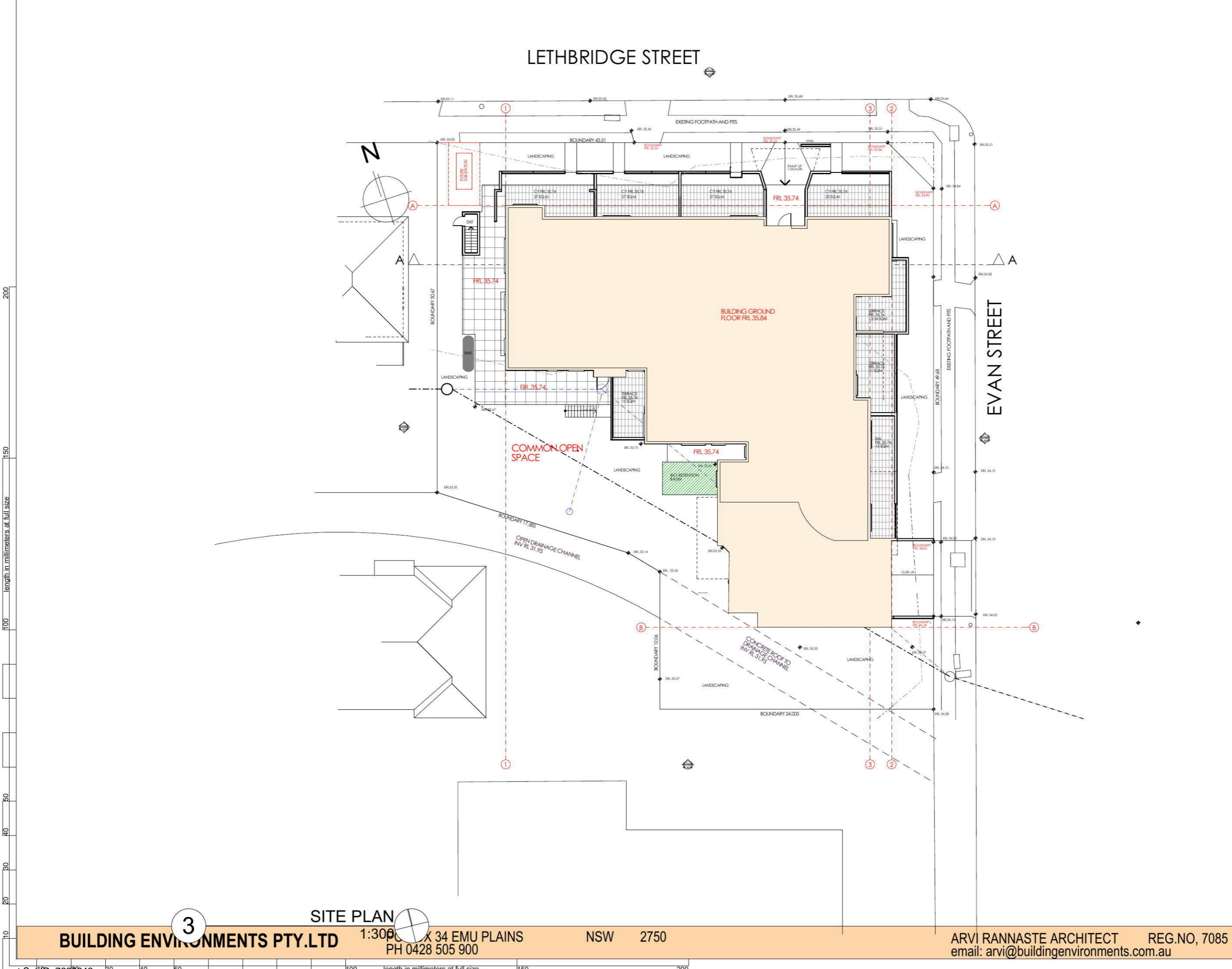
Drawing Title: Council Submission DA -1. SURVEY/SITE SURVEY ANALYSIS

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No: 0316 Drawing No.: DA6

Plot Date: 2004/2017

LETHBRIDGE STREET



200
150
100
50
40
30
20
10
length in millimeters at full size

3

SITE PLAN

1:300
34 EMU PLAINS
PH 0428 505 900

NSW 2750

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Client
NOR-SIDE INVESTMENTS PTY LTD
Project Name
LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

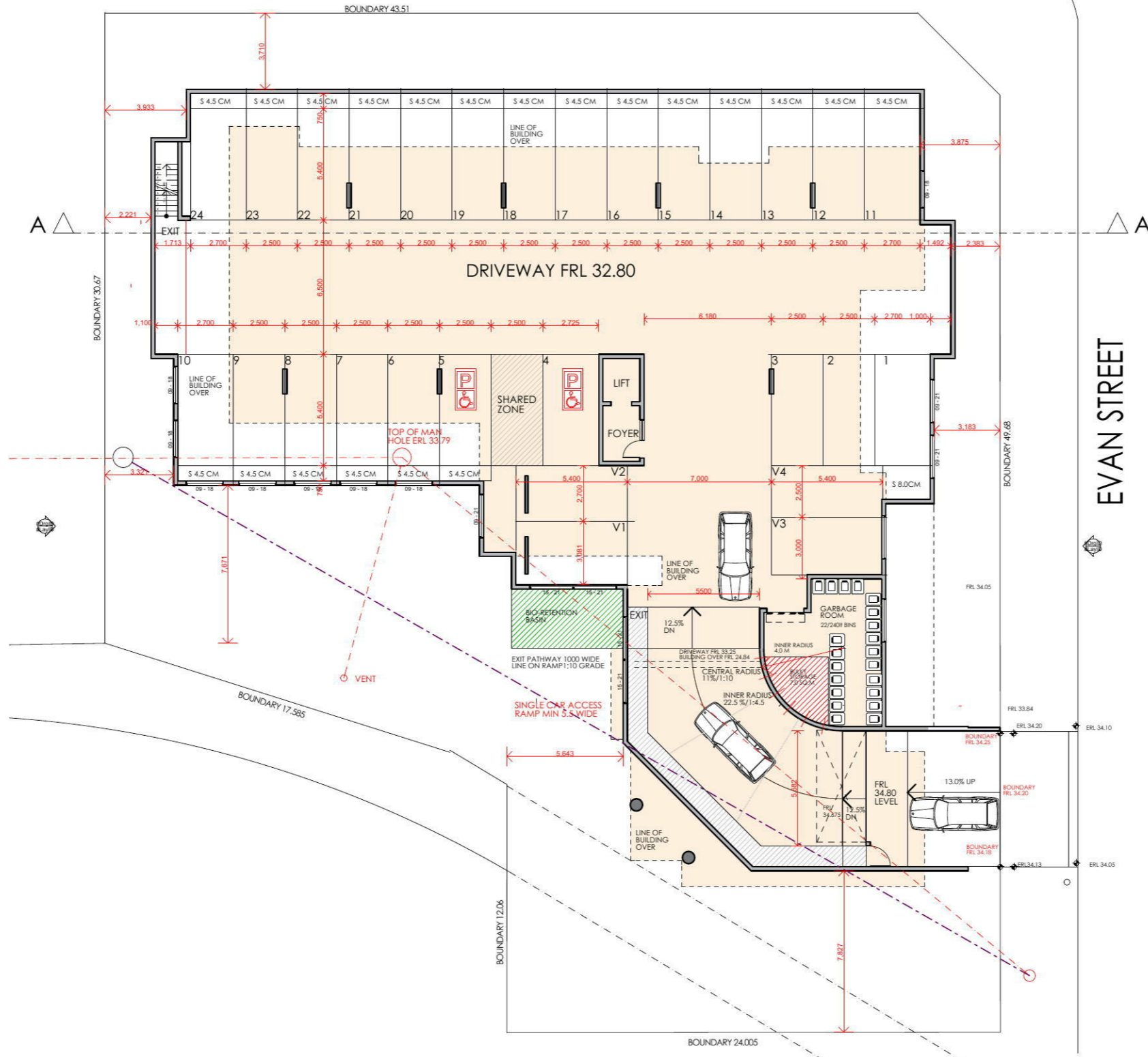
Drawing Title:
Council Submission DA - 3. SITE PLAN
SITE PLAN

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No.: 0316 Drawing No.: DA7

Plot Date: 20/04/2017

LETHBRIDGE STREET



3 BASEMENT 1:250

EVAN STREET

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
Council Submission DA - 2. BASEMENT BASEMENT

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No:
0316 Drawing No.:
DA8

Plot Date: 20/04/2017

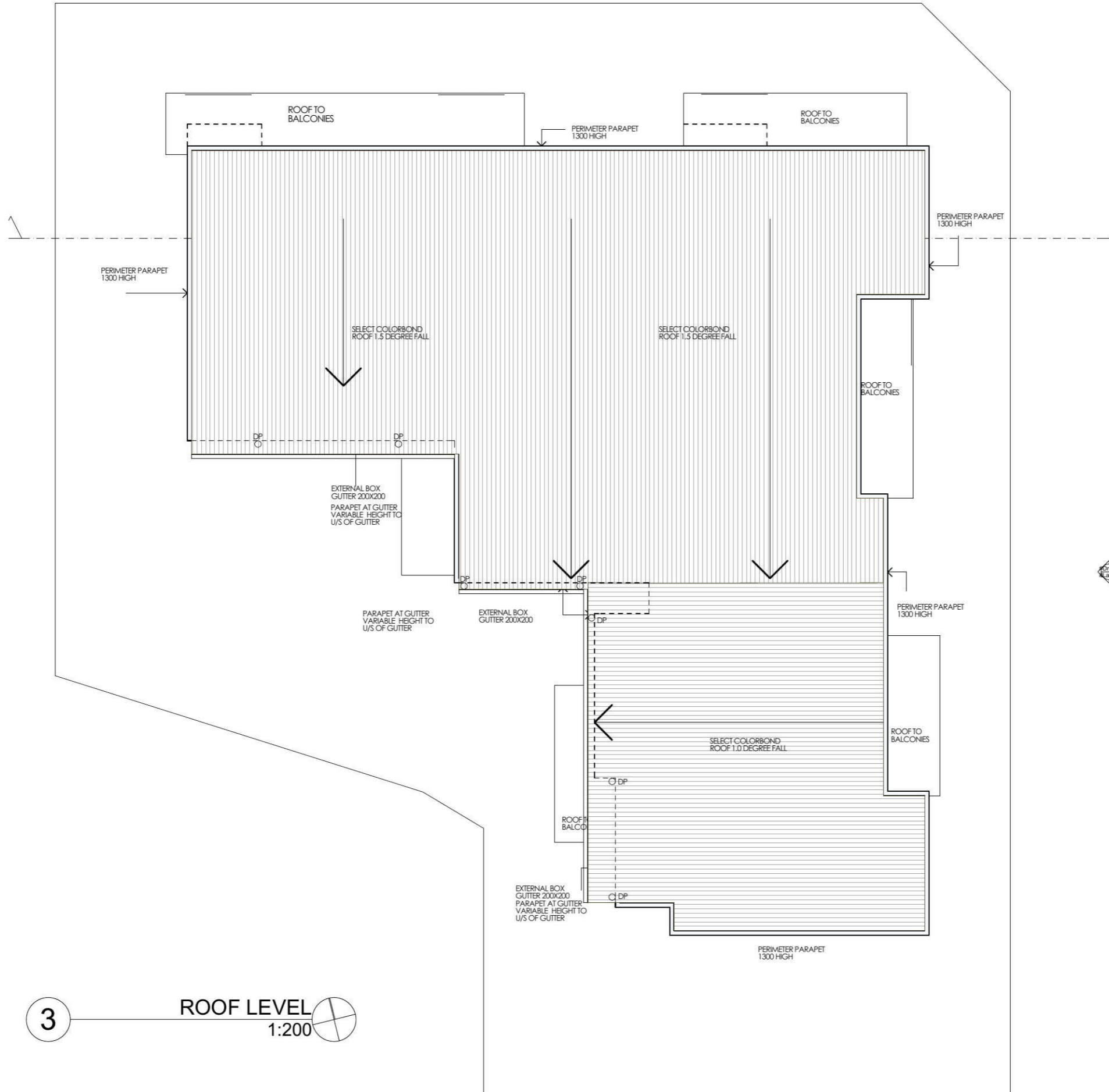
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200
150
100
50
40
30
20
10

length in millimeters at full size 200



3 ROOF LEVEL 1:200

200
150
100
50
40
30
20
10

length in millimeters at full size

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PH 0428 505 900

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email: arvi@buildingenvironments.com.au

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client: **NOR-SIDE INVESTMENTS PTY LTD**
Project Name: **LETHBRIDGE APARTMENTS**
104-108 LETHBRIDGE STREET PENRITH 2750

Drawing Title: **Council Submission DA - 6.ROOF PLAN ROOF LEVEL**

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No: **0316** Drawing No.: **DA12**

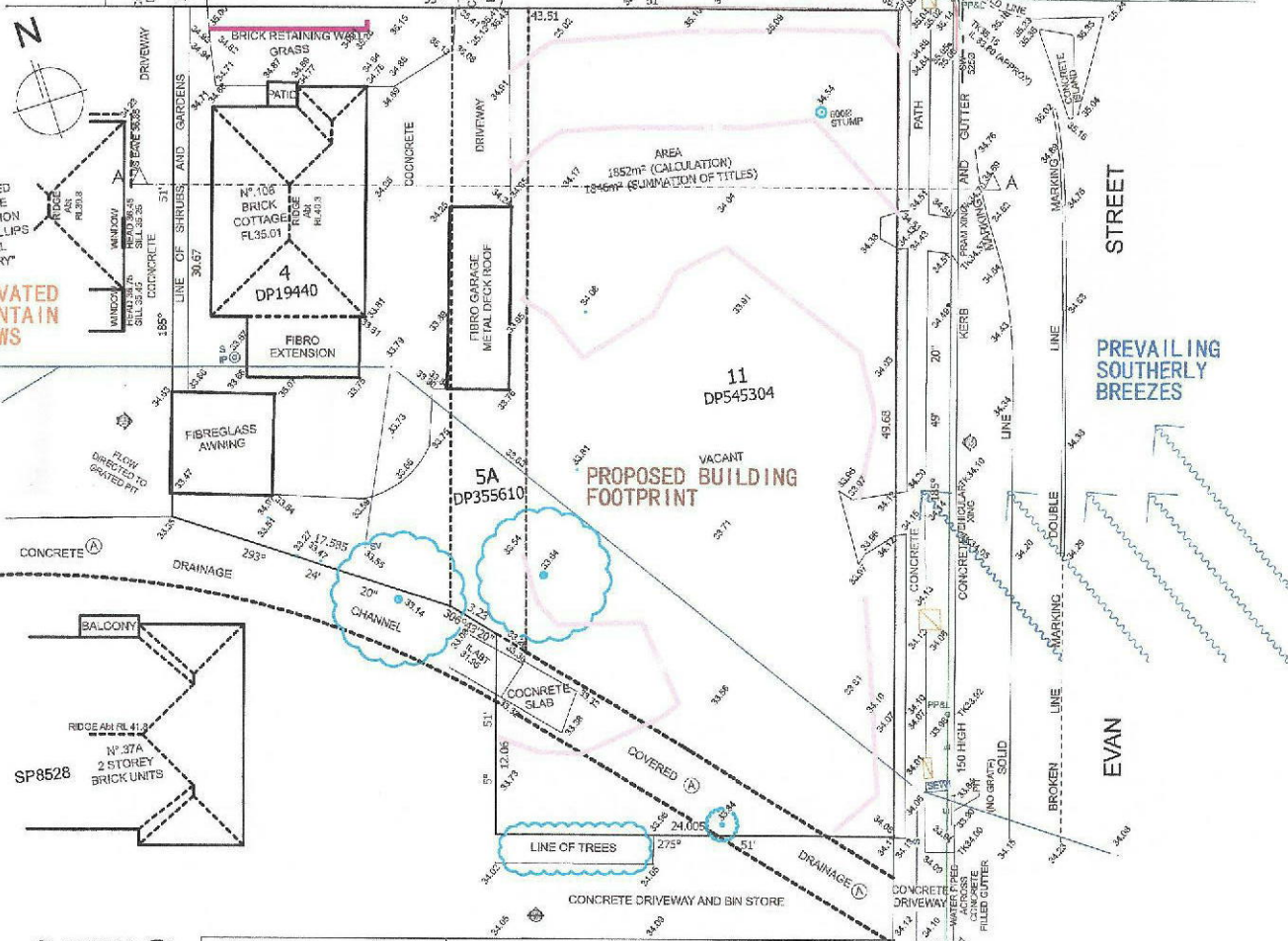
Plot Date: 20/04/2017

LETHBRIDGE STREET

STREET

SOLAR PATH

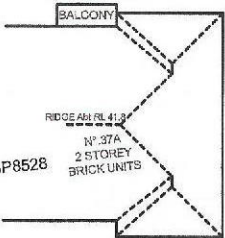
CONCRETE MOUNTABLE ROUND-A-BOUT



N° 110 RENDERED COTTAGE & EXTENSION "BRIAN PHILLIPS DENTAL SURGERY"

ELEVATED MOUNTAIN VIEWS

PREVAILING SOUTHERLY BREEZES



SURVEY 1:300

ABOUT 4.3m TO LINE OF MAIN UNITS
NUMEROUS WINDOWS AND DOORS

The Builder shall be held liable for any errors or omissions in the drawings. Drawings shall not be used for construction purposes without the approval of the architect.

12-101
NOR-SIDE INVESTMENTS PTY LTD
Project Name
LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

Drawing No.
Council Submission DA -4- SURVEYSITE
SUBS15

Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No. 0316 Drawing No. DA6

BUILDING ENVIRONMENTS PTY.LTD

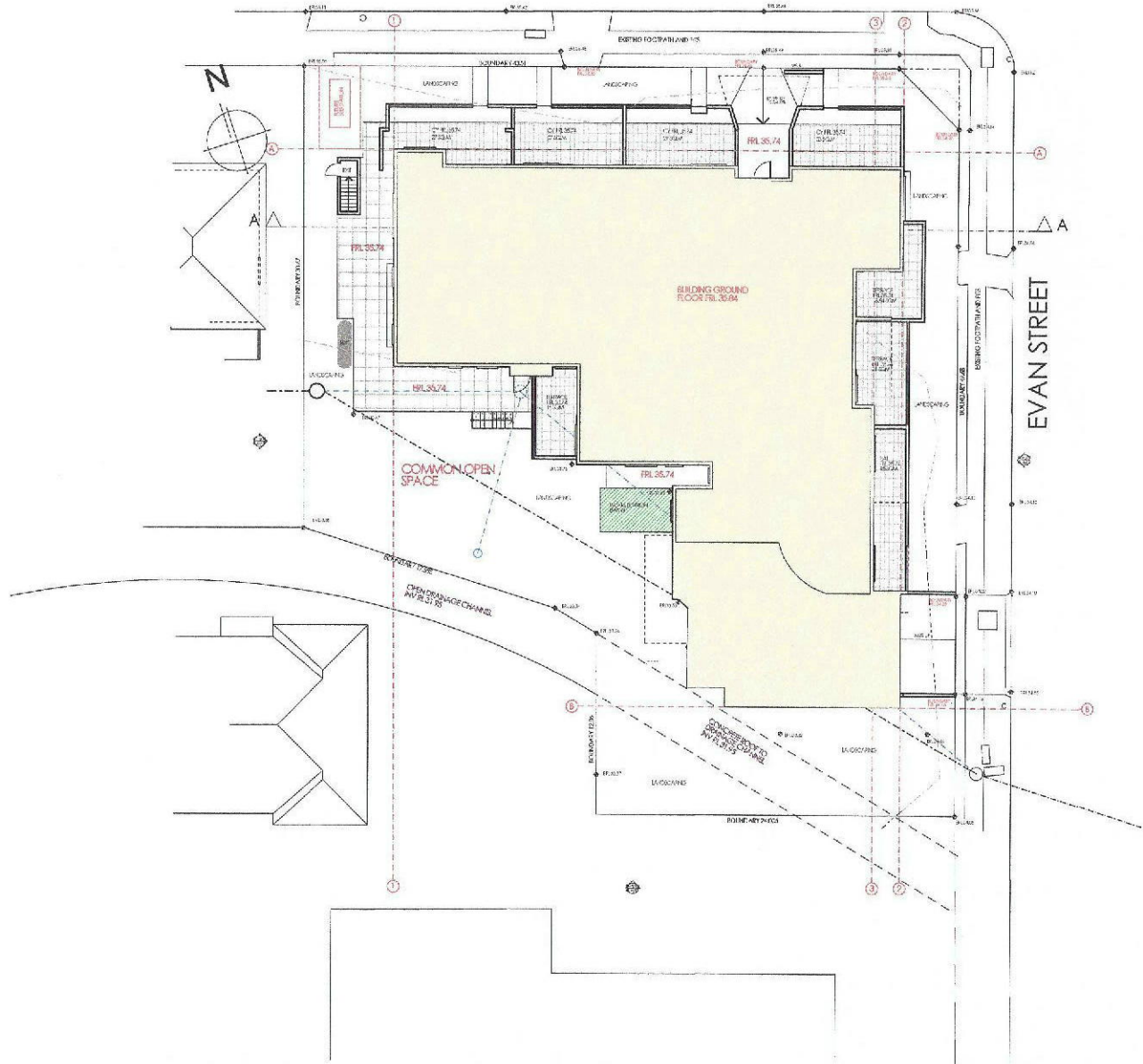
PO BOX 34 EMU PLAINS
PH 0428 505 900

NSW 2750

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email: arvi@buildingenvironments.com.au

LETHBRIDGE STREET

200
150
100
50
0
0 20 40 60 80 100 150 200
length in millimeters at A1 scale



3

SITE PLAN

BUILDING ENVIRONMENTS PTY.LTD

1:300 34 EMU PLAINS
PH 0428 505 900

NSW 2750

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The builder shall verify all dimensions and levels of all works and shall refer to the Architect for any discrepancies in the drawings. The builder shall not be held responsible for any errors or omissions by the Architect for construction.

Client:
NOR-SIDE INVESTMENTS PTY LTD
Project Name:
LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH
2750

Drawing Title:
Council Submission DA - 3 SITE PLAN
SITE PLAN

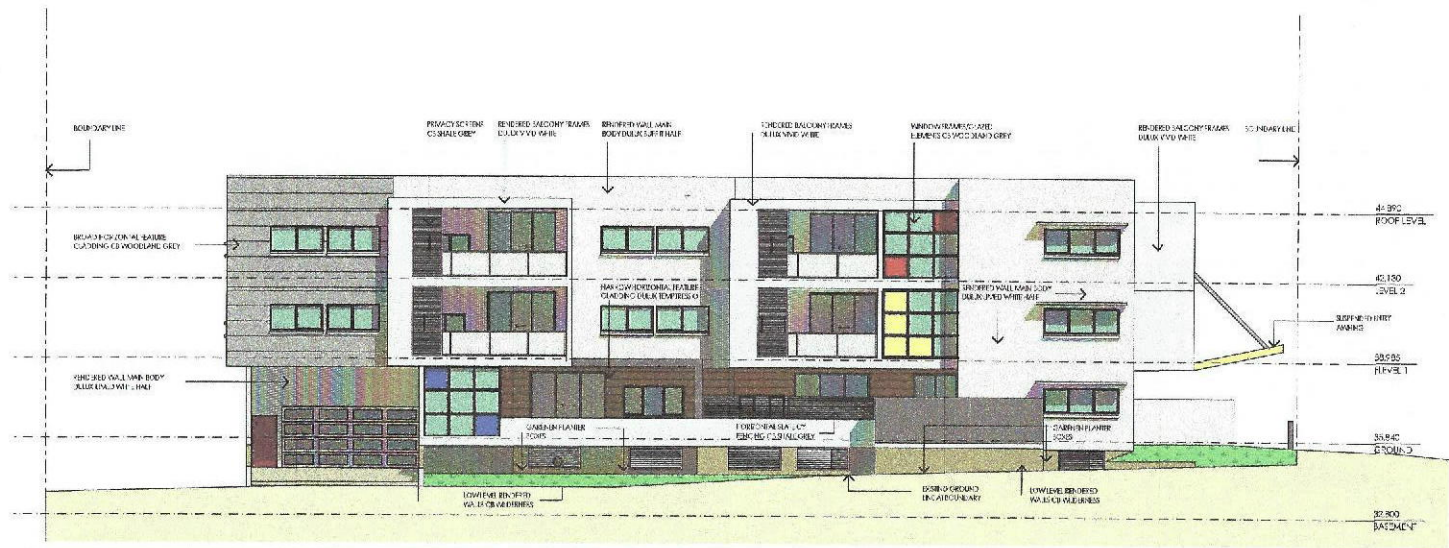
Scale: as noted Date:
Status: PRELIMINARY Checked By:

Project No: 0316 Drawing No: DA7

Plot Date: 26/02/17



1 NORTH ELEVATION 1:200



3 EAST ELEVATION 1:200

The floor slab thickness and every other dimension are given in metric and metric to the nearest 100 millimetres. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title
 - E 1 NORTH ELEVATION
 NORTH ELEVATION, EAST ELEVATION

Scale: as noted	Date:
Status: PRELIMINARY	Checked by:
Project No: 0316	Drawn by: DA 13
Plot Date:	24/04/2017

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 PH 0428 505 900

NSW 2750

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1 WEST ELEVATION 1:200



3 SOUTH ELEVATION 1:200

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawing. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title
 - E3 WEST ELEVATION
 WEST ELEVATION, SOUTH ELEVATION

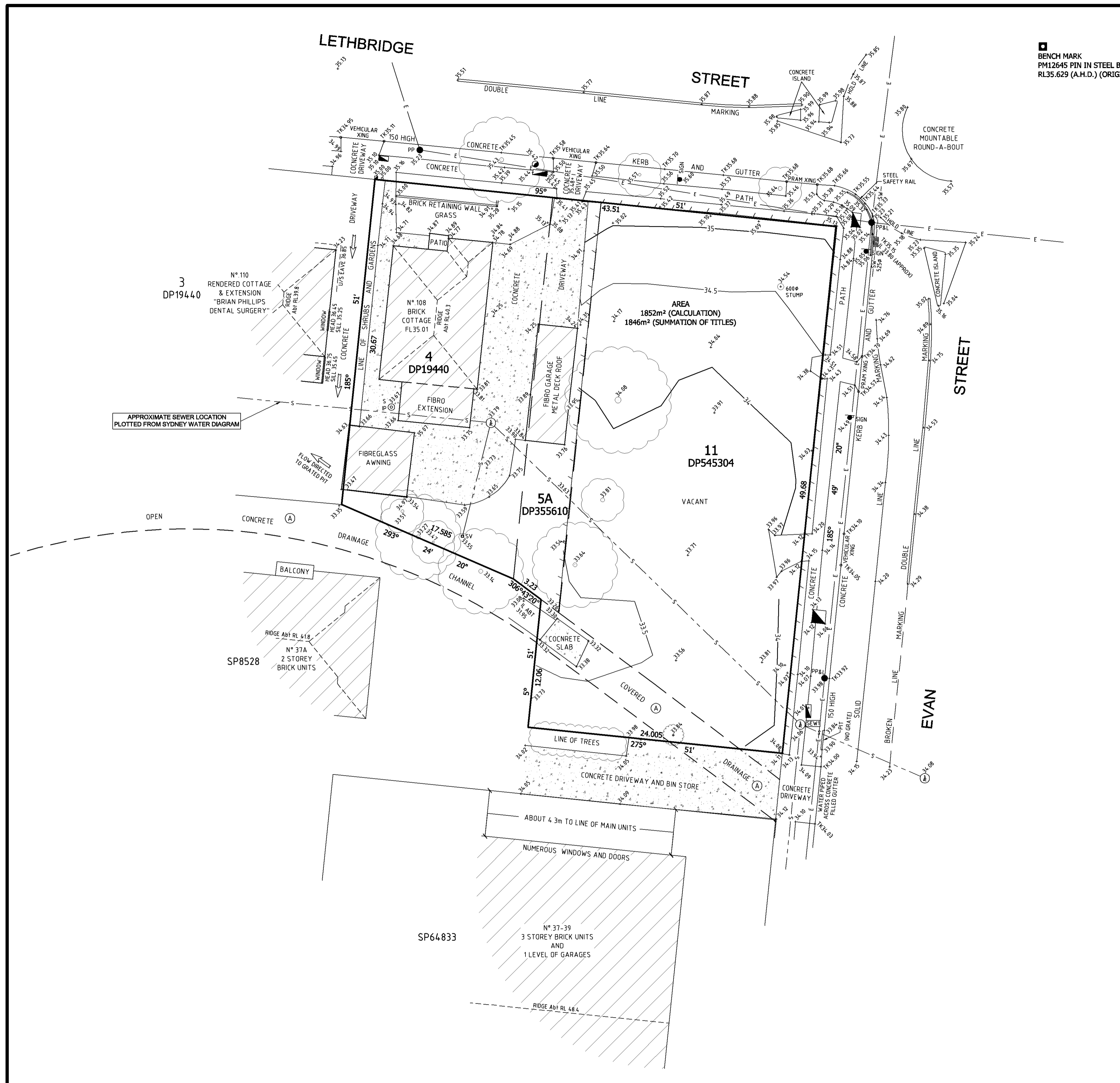
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Status: PRELIMINARY	Checked By:
Project No: 0316	Drawing No.: DA 14
Plot Date: 24/04/2017	

BUILDING ENVIRONMENTS PTY.LTD

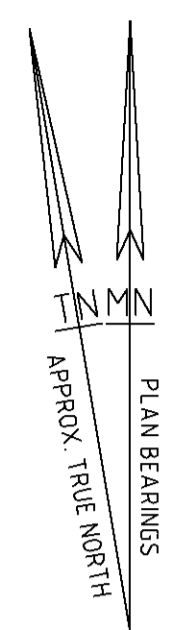
PO BOX 34 EMU PLAINS
 PH 0428 505 900

NSW 2750

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 email: arvi@buildingenvironments.com.au



BENCH MARK
 PM12645 PIN IN STEEL BOX
 RL35.629 (A.H.D.) (ORIGIN)



(A) EASEMENT FOR STORMWATER DRAINAGE (D364021)

NOTE:
 SEWER ACCESS CHAMBERS HAVE BEEN LOCATED BY SURVEY.
 SEWER LINES HAVE BEEN PLOTTED FROM SERVICE AUTHORITY INFORMATION.
 THE SEWER CHAMBER MARKED SEW1 SHOULD BE VERIFIED BY FIELD
 INVESTIGATION AS SEWER BEFORE COMMENCEMENT OF DESIGN.
 THIS ACCESS CHAMBER LID MAY REQUIRE REPLACEMENT ONCE IT HAS BEEN
 OPENED FOR INSPECTION.

LEGEND

DESCRIPTION	EXISTING
ELECTRICITY (AERIAL), POWER POLE, POWER POLE & LIGHT, LIGHT POLE	E ELP EP
ELECTRICITY (UNDERGROUND), PILLAR, PIT	EP ELP
TELECOMMUNICATION CABLE (UNDERGROUND), PIT, ACCESS PIT, PILLAR, EQUIPMENT HOUSING	Tu TEL
TELECOMMUNICATION CABLE (AERIAL), POLE	TEL Tu
SHARED TELECOMMUNICATION/ELECTRICITY	TE
WATER MAIN, METER, HYDRANT, STOP VALVE	WM W HYD SV
GAS MAIN, METER, MARKER, VALVE	G M S
SEWER MAIN, ACCESS CHAMBER, INSPECTION POINT, LAMP HOLE	S AC IP LH
DRAINAGE PIPE, KERB INLET PIT, SEALED PIT, GRATED PIT, DOWN PIPE, GUTTER OVERFLOW	DP KIP SP GP DP GOF
SIGN (GENERAL), TRAFFIC LIGHT, TRAFFIC LIGHT CONTROL BOX	SIGN TL TCB
FENCE	FENCE
WATERCOURSE/TABLE DRAIN	WD
EMBANKMENT/BATTER	EB
CONTOURS	CONTOUR
LEVELS, TOP OF KERB LEVEL	LEVEL

DISCLAIMER
 THE TITLE BOUNDARIES AS SHOWN HEREON HAVE NOT BEEN MARKED. BOUNDARY DIMENSIONS HAVE BEEN TAKEN FROM THE TITLE DIAGRAM/S. THIS DETAIL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEYING ACT 2002.
 IF ANY CONSTRUCTION IS PLANNED ESPECIALLY ON OR NEAR BOUNDARIES IT WOULD BE ADVISABLE TO HAVE FURTHER SURVEY WORK CARRIED OUT TO DETERMINE AVAILABLE BOUNDARY DIMENSIONS.
 SERVICES SHOWN HEREON HAVE BEEN LOCATED BY SURVEY. EXCEPT FOR SEWER, RECORDS OF RELEVANT AUTHORITIES HAVE NOT BEEN SEARCHED. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON SITE, THE RELEVANT AUTHORITIES SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES.

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.



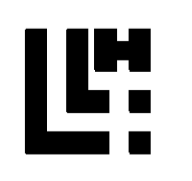
LEAN LACKENBY & HAYWARD
 CONSULTANTS IN SURVEYING, ENGINEERING & LAND DEVELOPMENT
 1ST FL 209 NORTHUMBERLAND ST, LIVERPOOL, PH: (02) 9622 1220 FAX: (02) 9600 8609
 PO BOX 160 LIVERPOOL, BC NSW 1571 EMAIL: llhpool@lly.com.au

L'POOL PTY LTD.
 ABN 61 003 107 971

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L.G.A:	PENRITH	SCALE	1:200	A1
LOCALITY:	PENRITH	PROPERTY DESCRIPTION:	LOT 4 IN DP19440, LOT 5A IN DP355610, LOT 11 IN DP545304	
SURVEY	DJA	DRAWN	GJA	DATUM & ORIGIN OF LEVELS
DESIGN	APPROVED	SJA		A.H.D. (AS SHOWN)

PLAN OF LEVELS AND DETAIL



DATE	23/7/13	SHEET	1 OF 1	DRAWING NUMBER	59810 LD	AMEND	FILE No:	59810
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