



5th November 2017

ref:2016-0007-access1

Robbin Gibbon
FoodBoss Cold Storage
24-27 Lambridge Place,
Penrith NSW 2750

**Re: Proposed Alterations and Additions to 24- 27 Lambridge Place, Penrith
Disabled Access Capability Statement**

Reference is made to your request for Consult Code Solutions to undertake an assessment of the design documentation related to the Development Application for the alterations and additions to the rear of the above premises.

The design indicates that development proposal comprises of alterations and additions to the rear an existing food storage warehouse building and includes a new loading dock, receiving and dispatch areas with a small plant room above.

Additional carparking and truck manoeuvring areas are also proposed on the eastern side of the property.

The new warehouse areas are to be used as freezer rooms for the medium and long term storage and holding of packaged food products.

The new additions are to be constructed as a separate addition to the existing building however new access through doors are proposed to connect the new building areas with the existing building.

In this regard, we have undertaken an assessment of the DA design drawings against the Disability Access provisions of the National Construction Code – Building Code of Australia (BCA) which are principally contained within Part D3, E3.6 & F2.4 of that code. The assessment also considers the the Disability (Access to Premises - Buildings) Standards 2010 as applicable to the subject proposal.

The Access to Premises Standards provides detailed information regarding the required access provisions associated with the design and construction of new buildings and upgrade to existing buildings. They do not apply to existing buildings that are not undergoing upgrade. They only apply to elements addressed within the Standards. All other elements related to premises is still subject to the existing provisions of the DDA

The Disability Discrimination Act 1992 (DDA) applies nationally and is complaint based. While the BCA is recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA and the referenced standards does not guarantee that a complaint will not be lodged.

The assessment contained in this report is not intended to demonstrate that the requirements of Clause 98 of the Environmental Planning and Assessment regulation 2000 have been satisfied but rather are capable of being met as such conclusion can only be made following a detailed assessment of all plans, documentation and the like submitted with any subsequent Construction Certificate application.

This report has been based on the following design documentation as prepared by Ezzy Architects.

Sheet List		
Number	Name	Issued
A00	Cover	19/10/2017
A100	Existing Site	19/10/2017
A101	Proposed Site	19/10/2017
A102	Flood Area	19/10/2017
A200	Existing Floor Plans	19/10/2017
A201	Proposed Ground Floor Plan	19/10/2017
A202	Floor Plans and Travel Distances	19/10/2017
A203	Truck Refuelling Plan	19/10/2017
A204	Truck Turning Circle	19/10/2017
A300	Sections	19/10/2017
A301	Detail Wall	19/10/2017
A400	Elevations	19/10/2017
A401	Elevations	19/10/2017
A500	Landscape plan	19/10/2017
A501	Landscape Plan Details	19/10/2017
A502	External Colour Schedule	19/10/2017
A600	Shadow Diagrams	19/10/2017
A601	Visual Analysis	19/10/2017
A700	3D Views	16/10/2017

Building Description

The subject as proposed to be used would be described by the Building Code of Australia (BCA) as follows: -

- Having a rise-in-storeys of one (1)
- Having the following Classifications: -
 - Warehouse & Loading Dock – Class 7b (existing and proposed)
 - Administration/ Office – Class 5 (existing)
- Required to be of Type C Construction.
- Subject to maximum floor area and volume limitations of:-
 - Class 5 - Maximum Floor Area of 3,000m², Maximum Volume 18,000m³
 - Class 7 - Maximum Floor Area of 2,000m², Maximum Volume 12,000m³
- Having an Effective height of less than 12m.
- Being in Climate Zone 6

BCA / ACCESS DESIGN ASSESSMENT SUMMARY

General

The table below is a summary of all the individual elements that relate directly to the ability of a person with a disability to access all the portions of the building required to be accessible as outlined in this report.

Access has been assessed against the relevant portions of the BCA and the related Australian Standards for each item listed below.

Compliance has been indicated by using the following symbols:

Symbol	Description
✓	Compliance is achieved, and no further information is required.
✓	Specific details are not provided, but compliance can be readily achieved.
✗	From the documentation provided, compliance is not achieved.
N/A	Not Applicable. The clause does not apply to the subject building.

NB: where ✓ is used It is considered that there was not enough information included in the documentation to accurately determine strict compliance with the individual clause requirements.

However, subject to noting the requirements of each clause, compliance can be readily achieved.

This information may be included in other documentation, which was not forwarded to this office for assessment, such as door schedules, electrical, mechanical and hydraulic design documentation or architectural specifications.

Clause	Comment	Status
SECTION D: ACCESS AND EGRESS		
PART D3 - ACCESS FOR PEOPLE WITH A DISABILITY		
D3.0: Deemed-to-Satisfy Provisions	Disability (access to premises – Buildings) Standards 2010 is to be read in conjunction with the BCA	Noted
D3.1: General Building Access Requirements	Access required to and within all area of the building used by the occupants.	✓
D3.2: Access to Buildings	An Accessway must be provided from the main points of a pedestrian entry at the allotment boundary and from any required accessible carparking space on the allotment. Access must be provided through the principle pedestrian entrance and through not less than 50% of all the pedestrian entrances. All doorways are to be a minimum clear opening width of not less than 850mm and the required circulation space at doors to be in accordance with AS1428.1.	✓
D3.3: Parts of Buildings to be Accessible	Accessways must have passing spaces/ turning spaces at maximum 20m intervals as per AS1428.1 Fire stairs to be designed as per Cl 11(f) & (g) of AS1428.1 Floor covering in the accessible areas to comply with Clause 7.4.1(a) of AS1428.1.	✓

SECTION D: ACCESS AND EGRESS

D3.4: Exemptions	Information only.	Noted
D3.5: Accessible Car Parking	1 Accessible carparking space is required for every 50 carparking spaces is required. Accessible carparking space including access to accessible carparking space to comply with AS2890.6	✓
D3.6: Signage	Braille and tactile signage complying with Specification D3.6 and incorporating the international symbols as appropriate must identify each exit door, sanitary facility and all accessible entrances where an entrance is not accessible.	✓
D3.7: Hearing Augmentation	Required where an inbuilt amplification system is installed	N/A
D3.8: Tactile Indicators	Tactile Ground Surface Indicators required to stairways (other than fire isolated stairways) escalators, ramps and where an accessway meets a vehicle way adjacent to a pedestrian entrance	✓
D3.9: Wheelchair seating spaces in Class 9b Assembly Buildings		N/A
D3.10: Swimming Pools		N/A
D3.11: Ramps	On an accessway a series of connected ramps must not have a combined vertical rise of 3.6m and a landing for a step ramp must no overlap a landing for another step ramp or ramp.	N/A
D3.12: Glazing on an Accessway	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.	✓

SECTION E: SERVICES AND EQUIPMENT**PART E3 – LIFT INSTALLATIONS**

E3.6: Passenger Lifts	The passenger lift must be one that is identified in Table E3.6a and have accessible features in accordance with Table E3.6b.	✓
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SECTION F: HEALTH AND AMENITY**PART F2 – SANITARY AND OTHER FACILITIES**

F2.4: Accessible Sanitary Facilities (including Table F2.4)	One accessible sanitary facility required for Class 5 tenancies Plus one male and one female ambulant facility at each bank of the toilets.	N/A
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BCA ACCESS & ACCESS TO PREMISES STANDARDS COMMENTARY

General

With reference to the 'Assessment Summary' above, the following detailed analysis and commentary is provided.

This commentary is formulated to enable the design documentation to be further progressed, for the purpose of evidencing the attainment of compliance with the relevant 'accessibility provisions' of the BCA and the Access to Premises Standards.

Access is required to and throughout the building to the extent nominated within the BCA and as identified below.

Part D3 — Access for People with Disabilities

D3.1 General building access requirements

Access is required to be provided to and within all areas normally used by the occupants including the carparking areas (excluding those areas identified within Clause D3.4).

Access is available to all areas of the new building works subject to compliance with the following Clause requirements.

D3.2 Access to buildings

Entry to the new building areas will be via the existing buildings front entrance on the western side of the existing office.

From the pedestrian footpath, there is a suitable accessible pathway having a gradient not steeper than 1:20 to the existing buildings front entrance.

However, whilst this existing entrance doorway which has an unobstructed width of 850mm and a compliant door hardware as required there is a step at the door threshold which creates an access impediment for persons with a disability to enter through the doorway.

Therefore, to comply a new landing and step ramp in accordance with 10.6 of AS1428.1-2009 will be required to be provided at this doorway.

D3.3 Parts of buildings to be accessible

In general access is achievable, however further assessment is required at Construction Certificate stage.

The following matters are raised, not as deficiencies, but items to be addressed during design progression.

- Doorways/ doors
 - (i) All doors to have a minimum 850mm clear width an appropriate latch side clearance compliant with AS 1428. - 2009:
 - (ii) Doors to be located on level landing areas with maximum 1:40 grade fall over a 1450mm depth clearance:

- (iii) Doors to have minimum 450mm clearances between open doors swings within airlocks/vestibules:
- (iv) Door operational force to be lightweight in design to satisfy the operational requirements of AS1428.1-2009. Where this cannot be achieved, automatic or power-operated doors are required;
- (v) All doorways shall have a minimum luminance contrast of 30% between —
 - door leaf and door jamb;
 - door leaf and adjacent wall;
 - architrave and wall;
 - door leaf and architrave;
 - door jamb and adjacent wall.

The minimum width of the area of luminance contrast shall be 50mm;

- (vi) Provide compliant door hardware be located at a suitable location in accordance with AS1428.1-2009.

- Floor/ground surfaces

- (i) A continuous accessible path of travel and any circulation spaces shall have a slip-resistant surface. The texture of the surface shall be traversable by people who use a wheelchair and those with ambulant or sensory disability —
 - Abutment of surfaces shall have a smooth transition. Design transition shall be 0 mm, however, construction tolerances are as follows —0 +/-3mm vertical change in level;
 - 0 :+/- 5mm change in level provided the edges have a bevelled or rounded edge to reduce the likelihood of tripping.
- (ii) Where carpets or any soft flexible materials are used on the ground or floor surface
 - The pile height or pile thickness, shall not exceed 11mm and the carpet backing thickness shall not exceed 4mm;
 - Exposed edges of floor covering shall be fastened to the floor surface and shall have a trim along the entire length of any exposed edge;
 - At the leading edges, carpet trims and any soft flexible materials shall have a vertical face no higher than 3mm or a rounded bevelled edge no higher than 3mm or above that height a gradient of 1:8 up to a total maximum height of 10mm.

- Stairways

- (i) Any riser contained within a stairway must be opaque;
- (ii) Riser to have a maximum vertical splay of 25mm from the nosing;
- (iii) Stair nosings shall not project beyond the face of the riser more than 10mm and can be setback 15mm from the tread;
- (iv) Stair nosing profiles shall
 - be chamfered up to 5 mm x 5 mm: or
 - have a sharp intersection, or
 - be rounded up to 5 mm radius.
- (v) At the nosing, each tread shall have a strip not less than 50 mm and not more than 75mm deep across the full width of the path of travel with Ohio luminance contrast to the background.

- (vi) A stairway must comply with clauses 11.1(f) and g) and handrails comply with clause 12 of AS1428.1-2009. This may require an offset tread (see Figure 01 below)

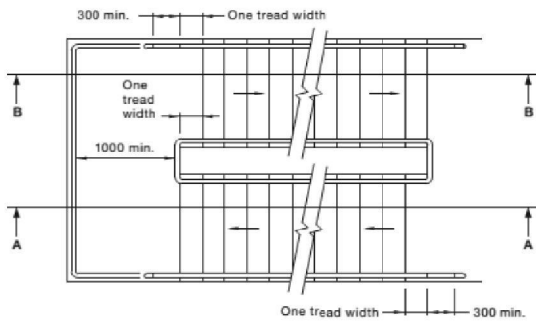


Figure 01 — Offset tread stairs within fire

- (vii) Stairway handrails must be continuous throughout the stair flight and around landings and be provided on both sides of the stairway. Handrails must comply with Clause 11.2 of AS1428.1-2009 which requires a 300mm extension at both the top and bottom of the flight (see Figure 02 below).

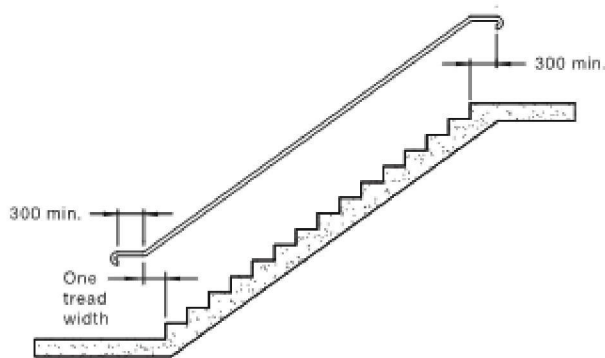


Figure 02 — handrail extensions

- (viii) Tactile ground surface indicators must be provided at the top and bottom of the stairways in accordance with AS1428.4

- **Controls, Switches and GPOs**
 - (i) Power-operated doors to have raised buttons of 25mm in diameter. Controls to be located between 1-2m of door in its open position and 900-1250mm from FFL, no less than 500mm from an internal corner in accordance with AS1428.1;
 - (ii) All light switches located on the accessible path of travel shall be located at least 500mm from internal corners. The centerline of all light switches shall be horizontally with the centerline of all door handles:
 - (iii) All push pad switches shall have a minimum diameter of 25mm.

D3.4 Exemptions

The following rooms / areas have been afforded the concession under D3.4 and access for people with disabilities need not be provided to these areas —

- Plant and equipment rooms (and associated accessways):
- Commercial Waste Room;
- Storerooms;
- Cleaners room, and
- Service rooms.

D3.5 Accessible carparking

The BCA require carapaces at a rate of 1 space for every 100 carparking spaces to be accessible based on the following: —

- (i) Not less than one (1) accessible parking bay with internal dimensions of 2400mm min. width x 5400mm min. length adjacent to shared zone with 2400mm min. width x 5400mm min. length with bollard installed at start of shared zone in accordance with AS2890.6, fig 2.2, 2.3; (see Figure 03 below).
- (ii) Need not be designated where there is a total of not more than 5 carparking spaces, so as to restrict the use of the car parking space only for people with a disability; and
- (i) Accessible car bays and associated shared zones to have a minimum vertical clearance no less than 2500mm. The vertical clearance leading to the accessible car bay may not be less than 2200mm.

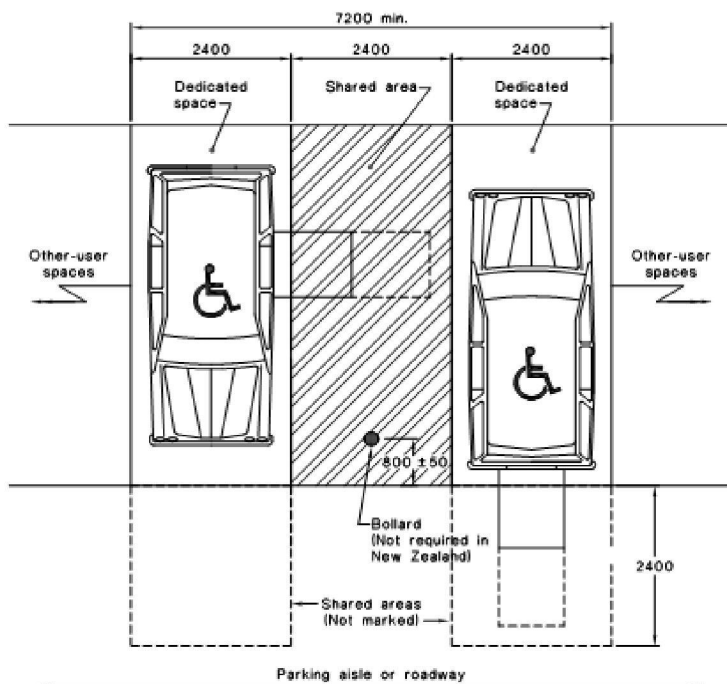


Figure 03 — Accessible car parking spaces

Currently there is an existing accessible carparking space designated near the front entrance of the building. However, this carparking space is not correctly line marked and the adjacent space is not line marked as a dedicated shared space.

Therefore, to comply the designated accessible space and the adjacent share space will need to be line marked as outlined above and a bollard provided in the share space as required by AS2890.6

D3.6 Signage

Clear and legible Braille and tactile signage complying with Specification D3.6 of the BCA and located between 1200-1600mm from the floor must identify every 'exit' door in the building required to be provided with an exit sign indicating the level number.

D3.7 Hearing augmentation

Not applicable within this building.

D3.8 Tactile indicators

Tactile ground surface indicators complying with sections 1 & 2 of AS1428.4.1 must be provided to warn people with a vision impairment that they are approaching a stairway, a ramp (other than a step ramp) or an overhead obstruction less than 2m above floor level (other than a doorway).

D3.9 Wheelchair seating spaces in Class 9b assembly buildings

Not applicable within this class of building.

D3.10 Swimming pools

No swimming pool has been provided within the subject development.

D3.11 Ramps

See section D3.3 above.

D3.12 Glazing on an accessway

Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width with a solid contrasting line.

The contrasting line shall be not less than 75mm wide and shall extend across the full width the glazing panel. The lower edge of the contrasting line shall be located between 900mm and 1000mm above the plane of the finished floor level.

Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2m of the glazing on the opposite side.

Part E3 — Lift Installations

E3.6 Passenger lifts

Every passenger lift provided must be one of the types identified in Table E3.6a and have the appropriate accessible features in accordance with Table E3.6b.

Part F2 — Accessible sanitary and other facilities

F2.4 Accessible Sanitary Facilities

The existing building includes separate male and female and a unisex accessible sanitary facility which are not proposed to be altered under the current building proposal.

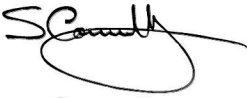
We have been advised that the proposed additional building areas will not increase the existing personnel accommodated in the building and as such there is no need to include additional sanitary facilities in the new building portion. Nor is there any obligation to upgrade or alter any of the existing sanitary facilities.

Conclusion

The assessment undertaken with respect to the proposed development indicates that the design as indicated in the drawings as referenced it is capable of achieving compliance with the Disability Access provisions of the National Construction Code – Building Code of Australia (BCA) and the Disability (Access to Premises - Buildings) Standards 2010 as applicable subject to the recommendations included in this report.

Submitted for your information and assistance and should you require further detail or explanation please do not hesitate to contact the undersigned.

Yours faithfully,



Sean Connolly

Consult Code Solutions

Diploma of Access Consulting