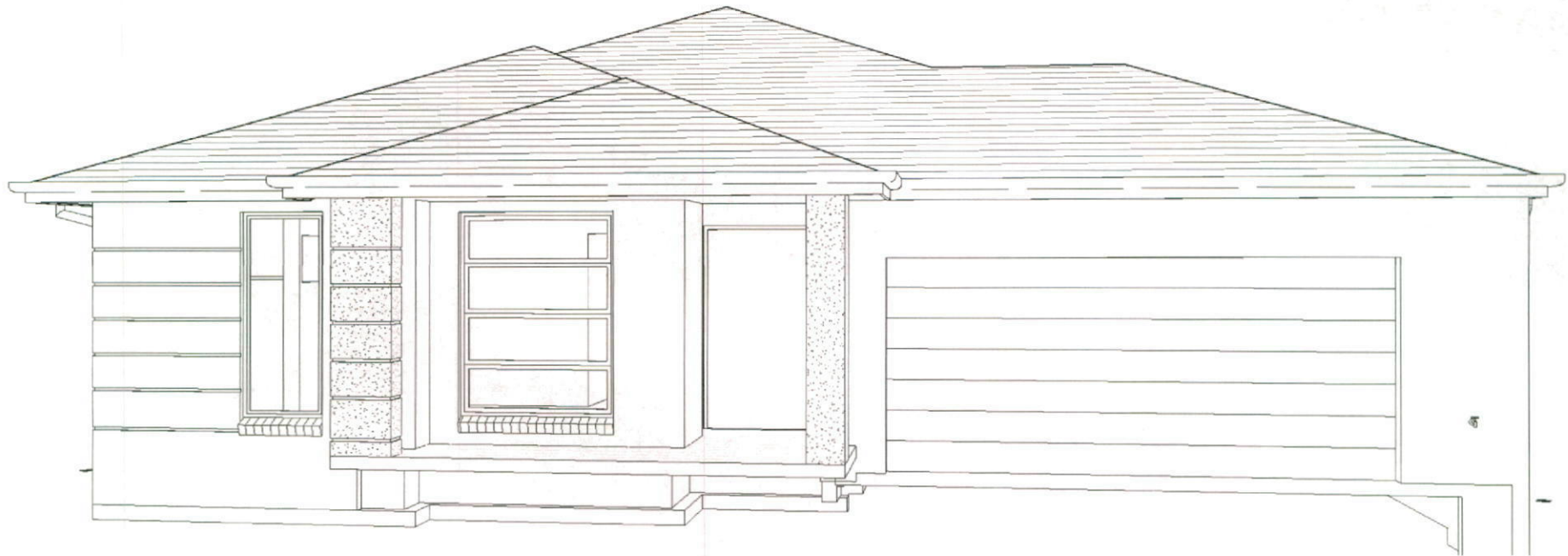
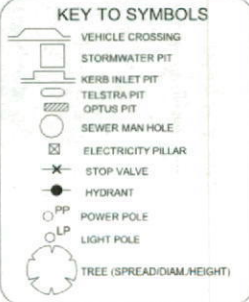


RECEIVED  
 D/M/GT  
 26 SEP 2013  
 PENRITH CITY COUNCIL



<b>Energy Rating</b>		Certificate Number: 14410710
<input checked="" type="checkbox"/> Single-dwelling rating	6.0 stars	
<input checked="" type="checkbox"/> Multi-unit development (attach listing of ratings)	Heating 40.0 stars	
	Cooling 38.2 stars	
Accepted power/split confirmation	<input type="checkbox"/> Rated with	<input checked="" type="checkbox"/> Rated without
Assessor Name/Number: JAMES ROBERTSON/21541	Assessor Signature: <i>[Signature]</i>	
	Date: 23/07/13	

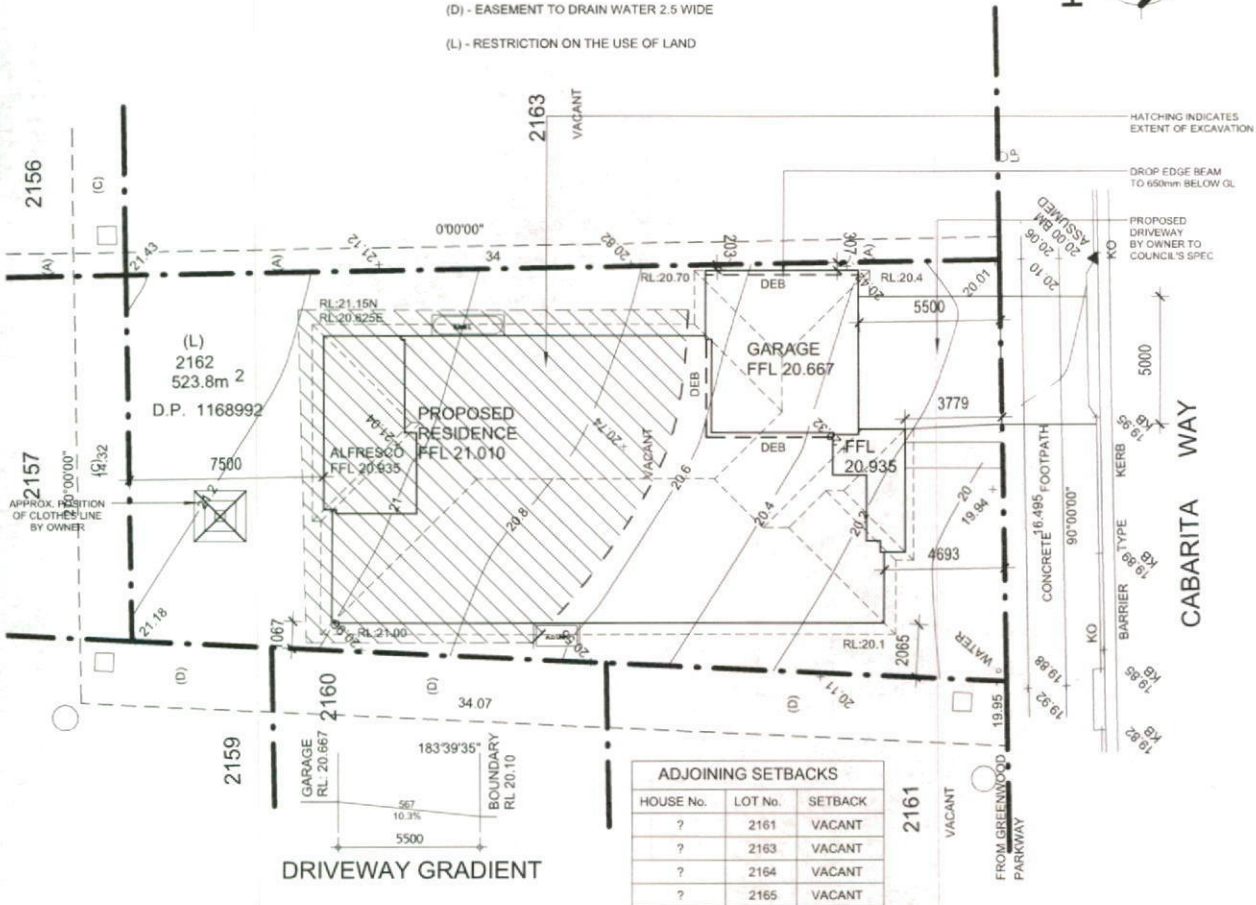




**JORDAN SPRINGS - ILLOURA VILLAGE NOTES:**

- ANY GARDEN OR LAWN EDGING VISIBLE FROM STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
- VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS, 3M WIDE V.C. FOR A DOUBLE GARAGE AND 3M WIDE V.S FOR A SINGLE GARAGE.
- ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

- (A) - EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) - EASEMENT TO DRAIN WATER 2 WIDE
- (D) - EASEMENT TO DRAIN WATER 2.5 WIDE
- (L) - RESTRICTION ON THE USE OF LAND



ADJOINING SETBACKS		
HOUSE No.	LOT No.	SETBACK
?	2161	VACANT
?	2163	VACANT
?	2164	VACANT
?	2165	VACANT

### EXCAVATION & SITE NOTES

EXCAVATE/FILL TO FORM DATUM APPROX 50mm  
 EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. BACKFILL 150mm AGAINST FOOT OF SLAB)  
 SEWER CONNECTION TO AUTHORITIES REQUIREMENTS TO WITHIN PROPERTY BOUNDARY.  
 WATER CONNECTION TO SUPPLY AUTHORITIES MAIN LOCATED IN NEAR SIDE NATURE STRIP.  
 TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS.  
 SITE LEVELS SUBJECT TO SECOND SITE INSPECTION.  
 SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE & BOUNDARY POSITIONS. DRIVEWAY GRADIENT  
 SUBJECT TO POSITION OF SERVICES  
 PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED FFL  
 POSSIBLE BAS/BOS (SEWER PEGOUT REQUIRED)

### ITEMS BY OWNER

RETAINING WALLS TO BE COMPLETED TO ENG'S DETAILS (IF REQUIRED).  
 DISH DRAINS (IF NEEDED) TO AUTHORITIES' REQUIREMENTS.  
 EXISTING TREES, STUMPS, CONC. PATHS, BUILDINGS, ETC. TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO 2ND SITE INSPECTION.

DRAWING:	DRAWN:	TENDER:
1 CONTRACT PLAN 1	DG 12/04/13	T1 & TV1
2 CONTRACT PLAN 2	AZ 17.05.13	-
3 CONTRACT PLAN 3	A.T 12.06.13	-
4 COUNCIL SUBMISSION 1	MG 19.07.13	-
5 COUNCIL SUBMISSION 2	MG 30.07.13	-
6 COUNCIL SUBMISSION 3	AZ 22.08.13	-
7	-	-
8	-	-
9	-	-
10	-	-

**BUSHFIRE PRONE**

**YES INCLUSIONS PACKAGE**

**MASTERTON GOLD MANSION PACKAGE**

### BASIX & SITE INFORMATION

BASIX CERTIFICATE No	494878s
CDC No	----
<b>SITE DETAILS</b>	
LOT NUMBER:	LOT 2162
DP NUMBER:	1168992
UBD REFERENCE:	NOT AVAILABLE
SITE AREA:	523.80m <sup>2</sup>
HOUSE AREAS: (MEASURED TO EXTERNAL WALLS)	
GROUND FLOOR:	191.68m <sup>2</sup>
GARAGE:	37.86m <sup>2</sup>
PORCH:	8.27m <sup>2</sup>
ALFRESCO:	21.75m <sup>2</sup>
<b>TOTAL:</b>	<b>259.56m<sup>2</sup></b>
DRIVEWAY / PATHS TO BOUNDARY:	29.59m <sup>2</sup>
<b>PROJECT DETAILS</b>	
NO. OF BEDROOMS:	4
ROOF AREA:	303.25m <sup>2</sup>
TOTAL AREA OF ROOF MEASURED TO THE OUTSIDE OF GUTTERS EXCLUDES PARAPETS & TRAFFICABLE TERRACES (GUTTER WIDTH 150mm)	
GARDEN & LAWNS (AREA OF PROPOSED GARDENS & LAWNS)	232.22m <sup>2</sup>
<b>STORMWATER</b>	
MIN. RAINWATER TANK SIZE REQ:	3000 Litre
MIN. ROOF AREA CONNECTED TO RAINWATER:	180.00m <sup>2</sup>
RAINWATER USES:	TOILETS, DRY, OUTDOOR TAPS
REMAINDER OF ROOFWATER & OVERFLOW TO:	KERB
HYDRAULIC DESIGN REQUIRED:	NO
<b>WATER</b>	
KITCHEN TAP FITTING RATING:	4 STAR
SHOWERHEAD RATING:	3 STAR
TOILET RATING: -DUAL FLUSH (3/6 litre)	4 STAR
BATHROOM TAP FITTING RATING:	4 STAR
<b>THERMAL COMFORT/ENERGY</b>	
EXTERNAL WALL SURFACE:	BRICK & PART RENDER
EXTERNAL WALL INSULATION:	R1.5
LIGHT	
WALL COLOUR	
ROOFING MATERIAL:	TILES
ROOF INSULATION:	-
ROOF COLOUR:	DARK
CEILING INSULATION:	R3.5
AIR CONDITIONING INCLUDED:	YES
EER:	2.5 - 3.0 OR HIGHER
HOT WATER SYSTEM:	GAS INSTANTANEOUS
EER:	26 - 30
COMPACT FLUORESCENT LIGHTING:	AS PER BASIX
COOKING APPLIANCES:	GAS COOKTOP/ELEC OVEN
CLOTHES DRYING LINE REQUIRED:	AS PER BASIX
<b>WIP (WORKS IN PROGRESS)</b>	
DRAINAGE REQUIRED:	YES / NO
LANDSCAPING:	
MIN REQ: 000m <sup>2</sup>	PRIVATE OPEN SPACE: 80m <sup>2</sup>
PROVIDED: 000m <sup>2</sup>	PROVIDED: 206.43m <sup>2</sup>
CARPARKING:	
MIN REQ: 2 SPACES	RIDGE HEIGHT: 10m
PROVIDED: 2 SPACES	PROPOSED: 5.90m

**Proposed Residence**

For: MR DUFFY, MISS GRIEVE

Lot No : LOT 2162, CABARITA WAY

Suburb : JORDAN SPRINGS

Council: PENRITH

LOCATION: SYMPHONY 2-171-495-01

### Project Details

Design: SYMPHONY 2 GARAGE RHS	Facade: IVY	Edition: DESIGNER
DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
SHEET TITLE: SITE PLAN	SCALE: 1:200	SHEET NO: 01 / 13
FINAL PLAN ISSUE: -	FINAL PLAN DATE: -	
PLLOT DATE: 17/09/2013 10:12:43 AM		

### GENERAL NOTES

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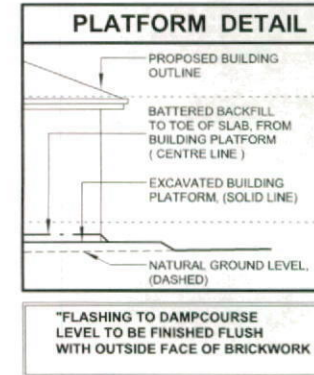
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FRONT ELEVATION

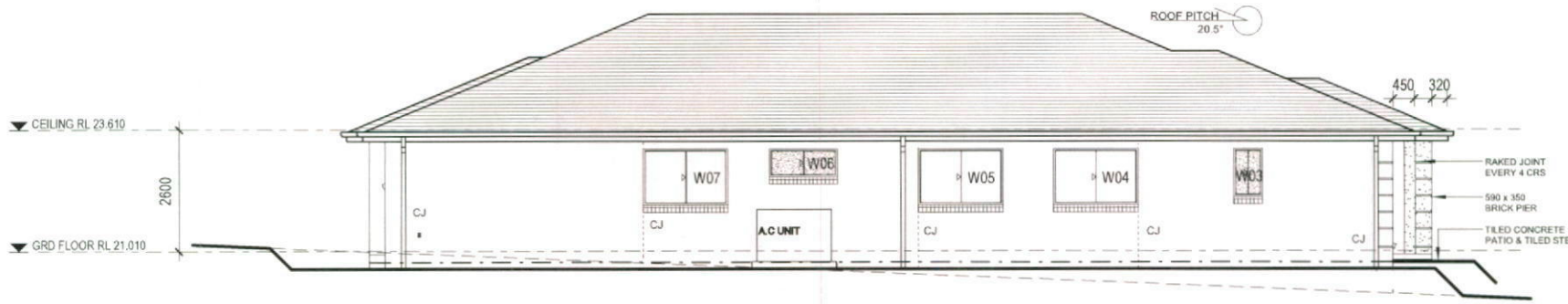


**Energy Rating** Certificate Number 14410210

<input checked="" type="checkbox"/> Single dwelling rating	6.0	Stars
<input type="checkbox"/> Multi-unit development (based on rating of category)	40.0	Stars
<input type="checkbox"/> Multi-unit development (based on rating of category)	36.2	Stars

Approved draughtstop certification:  Rated with  Rated without

Assessor Name/Signature: *[Signature]* Date: 23/07/13



LEFT ELEVATION

**Proposed Residence**

For: MR DUFFY, MISS GRIEVE  
 Lot No : LOT 2162, CABARITA WAY  
 Suburb: JORDAN SPRINGS  
 Council: PENRITH

**Project Details**

Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13	JOB NO: 2007214
Facade: IVY	SHEET TITLE: ELEVATIONS	SHEET NO: 03 / 13	
Edition: DESIGNER	SCALE: 1 : 100	FINAL PLAN ISSUE: -	FINAL PLAN DATE: -

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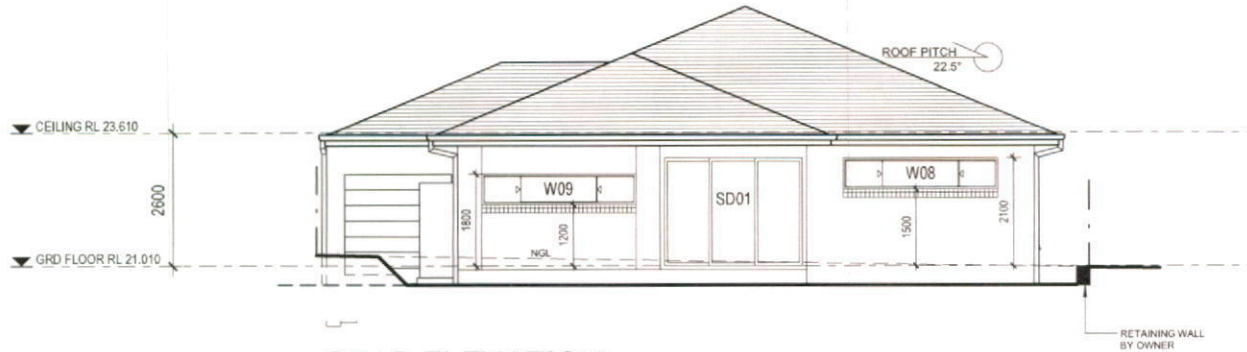
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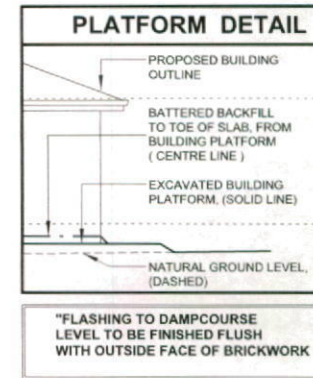
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REAR ELEVATION



**Energy Rating** Certificate Number: 14412719

Single dwelling rating

Multi-unit development (all-in rating)

Rating: 6.0 stars

Heating: 40.0 stars

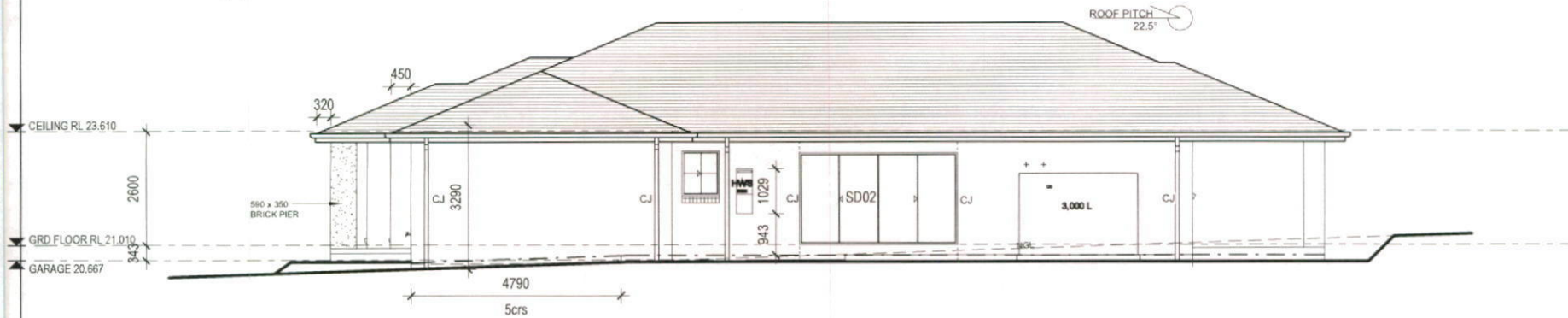
Cooling: 38.2 stars

Revised sample certification:  Brick with  Flash without

Assessor Name/Number: JEFFREY SCUDAMORE/21541

Assessor Signature: [Signature]

Date: 23/07/13



RIGHT ELEVATION

**Proposed Residence**

For: MR DUFFY, MISS GRIEVE  
 Lot No: LOT 2162, CABARITA WAY  
 Suburb: JORDAN SPRINGS  
 Council: PENRITH

**Project Details**

Design: SYMPHONY 2 GARAGE RHS  
 Facade: IVY  
 Edition: DESIGNER

DRAWN BY:	DATE:	JOB NO:
DG	12.04.13	2007214
SHEET TITLE:		SHEET NO:
ELEVATIONS		04 / 13
SCALE:	FINAL PLAN ISSUE:	FINAL PLAN DATE:
1 : 100	-	--/--/--

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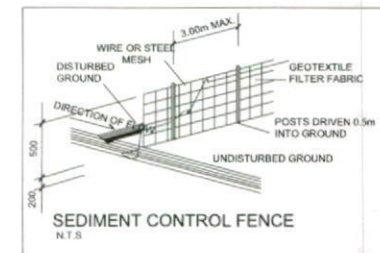
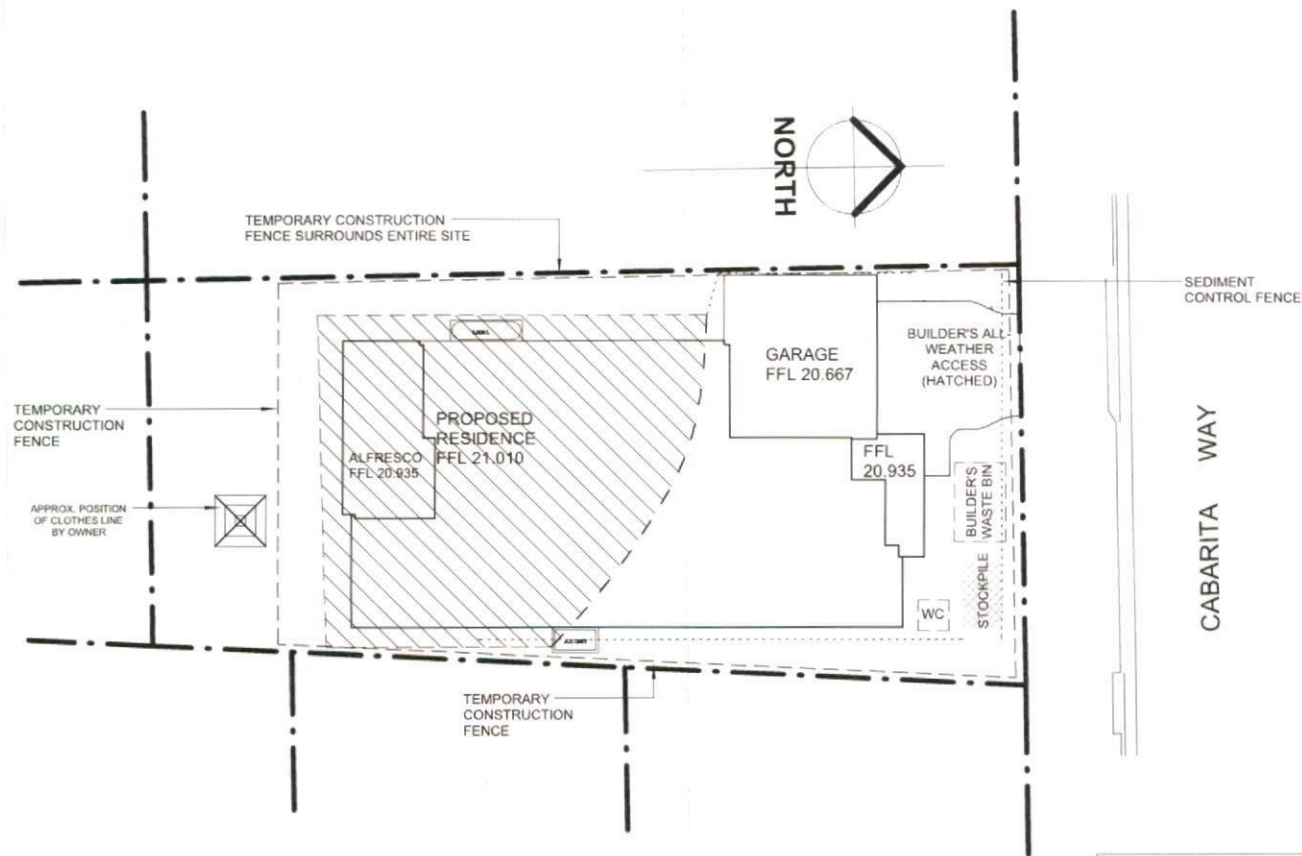
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Licence No.: 35558C  
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LOCATION: SYMPHONY 2-IVY-RHS.rvt

PLOT DATE: 17/06/2013 10:12:45 AM



- SEDIMENT NOTE:**
1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
  2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
  3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
  4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
  5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
  6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
  7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
  8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

**Energy Rating** Certificate Number: 14410710

<input checked="" type="checkbox"/> Single dwelling rating	6.0 stars
<input type="checkbox"/> Multi-unit development (with rating of ratings)	heating 40.0 stars
	cooling 38.2 stars

Relevant standards information:  Rated with  Rated without

Assessor Name/Signature: [Signature] Date: 23/07/13

**Proposed Residence**  
 For: MR DUFFY, MISS GRIEVE  
 Lot No : LOT 2162, CABARITA WAY  
 Suburb: JORDAN SPRINGS  
 Council: PENRITH  
 LOCATION: SYMPHONY 2 2162-495-00

Project Details		
Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13
Facade: IVY	JOB NO: 2007214	SHEET NO: 06 / 13
Edition: DESIGNER	SCALE: 1 : 200	FINAL PLAN DATE: -- / -- / --
PLOT DATE: 17/09/2013 10:12:47 AM	FINAL PLAN ISSUE: -	

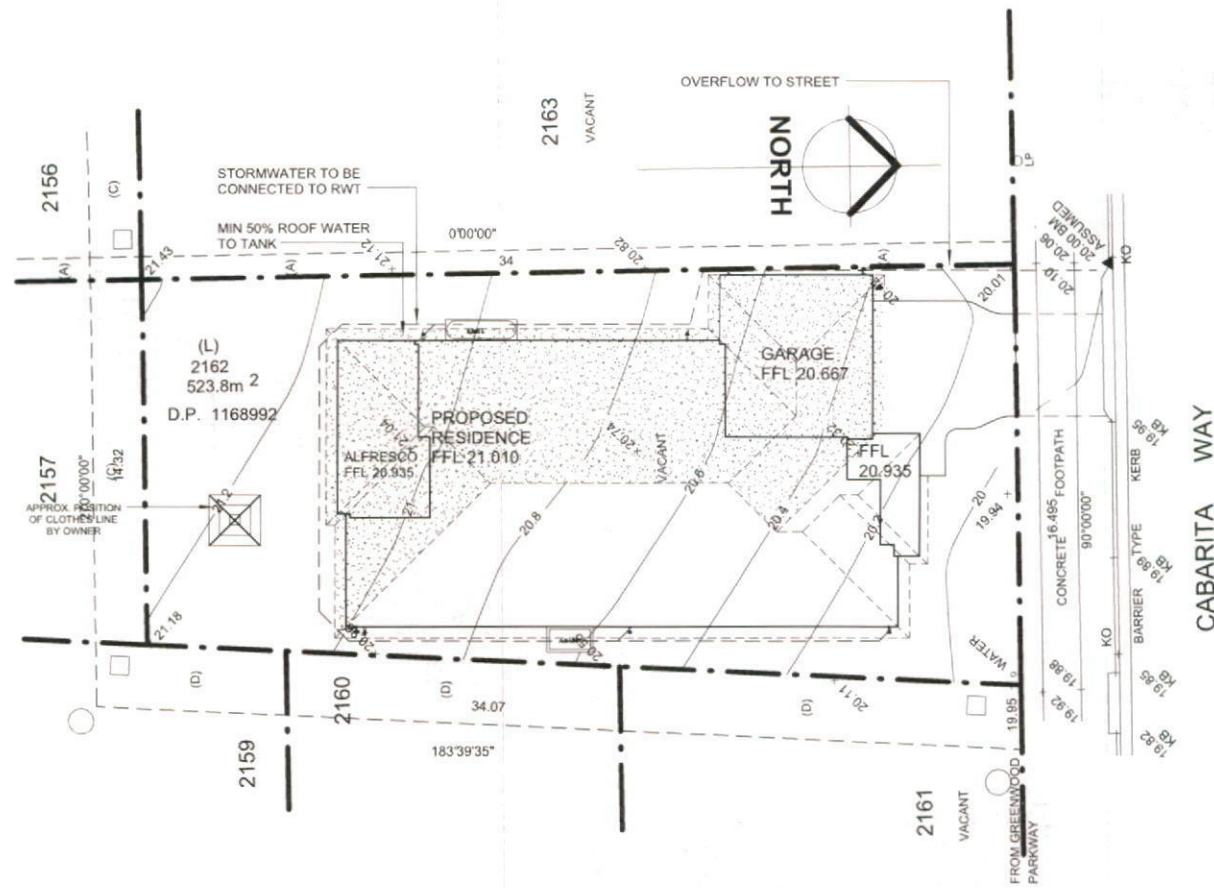
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**Energy Rating** Certificate Number: 14410710

Single-dwelling rating

Multi-unit development (all units being rated)

Recent energy certification:  Rated with  Rated without

Assessor Name/Number: JORDAN GRIEVE/225441

Assessor Signature: [Signature] Date: 23/07/13

**Proposed Residence**  
 For: MR DUFFY, MISS GRIEVE  
 Lot No : LOT 2162, CABARITA WAY  
 Suburb: JORDAN SPRINGS  
 Council: PENRITH  
 LOCATION: SYMPHONY 2 2161-2165-14

Project Details		
Design: SYMPHONY 2 GARAGE RHS	DRAWN BY: DG	DATE: 12.04.13
Facade: IVY	SHEET TITLE: CONCEPT DRAINAGE	JOB NO: 2007214
Edition: DESIGNER	SCALE: 1 : 200	SHEET NO: 07 / 13
PLOT DATE: 17/09/2013 10:12:47 AM	FINAL PLAN ISSUE: -	FINAL PLAN DATE: --/--/--

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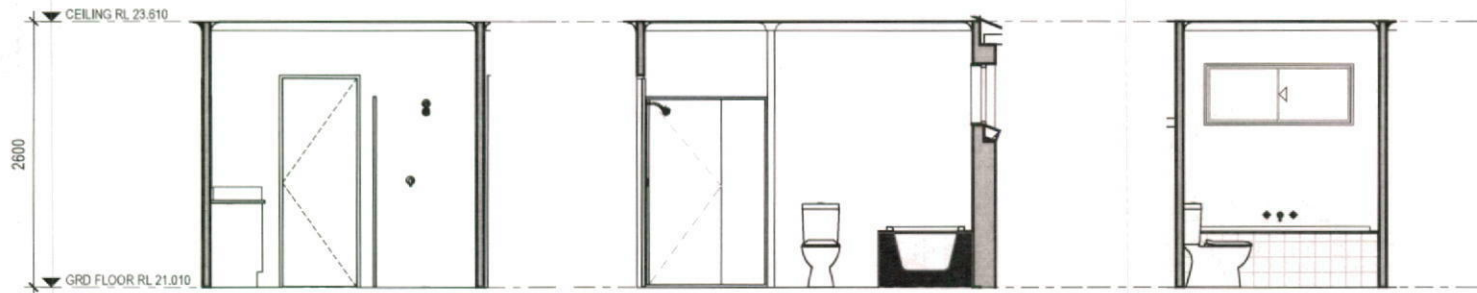
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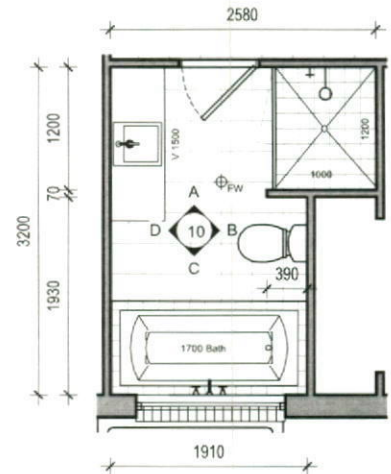




ELEVATION A

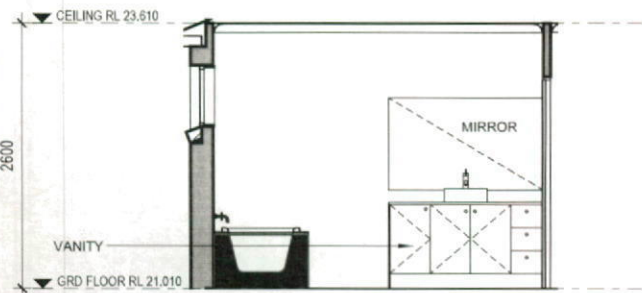
ELEVATION B

ELEVATION C



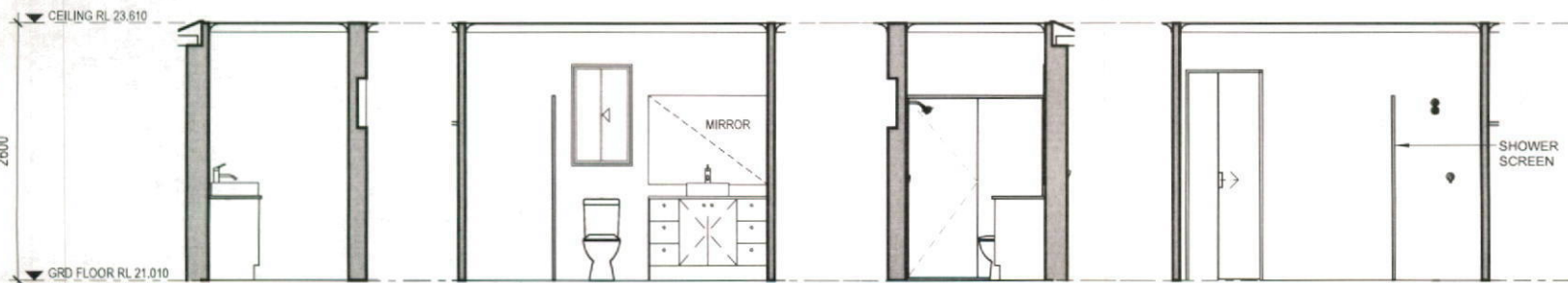
BATH ROOM

**NOTES:**  
 FIXTURES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ALL SIZES DEPICTED MAY VARY DEPENDING ON AVAILABILITY AND PRODUCT SELECTION.  
 HEIGHT OF TILES MAY VARY ACCORDING TO SELECTION OF TILES.  
 F.W. LOCATION IS DIAGRAMATIC ONLY AND POSITION MAY VARY.



ELEVATION D

	<b>Energy Rating</b>	Certificate number: 14410710
<input checked="" type="checkbox"/>	Single dwelling rating	6.5 stars
<input checked="" type="checkbox"/>	MU3-400 development (each being of ratings)	40.0 stars
<input checked="" type="checkbox"/>	Energy Star (each being of ratings)	39.2 stars
<input type="checkbox"/>	Recent daylight modification	Rated with <input checked="" type="checkbox"/> Paint method
Accession Number:	14410710/121641	
Designer Signature:		Date: 23/07/13

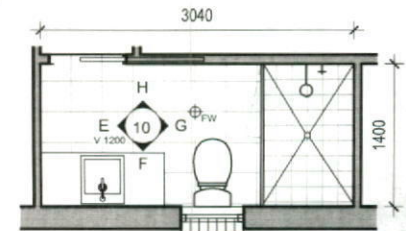


ELEVATION E

ELEVATION F

ELEVATION G

ELEVATION H



ENSUITE

**Proposed Residence**

For: MR DUFFY, MISS GRIEVE  
 Lot No: LOT 2162, CABARITA WAY  
 Suburb: JORDAN SPRINGS  
 Council: PENRITH

**Project Details**

Design: SYMPHONY 2 GARAGE RHS  
 Facade: IVY  
 Edition: DESIGNER

DRAWN BY:	DATE:	JOB NO:
DG	12.04.13	2007214
SHEET TITLE:	SHEET NO:	
DETAIL BATH / ENS	10 / 13	
SCALE:	FINAL PLAN ISSUE:	FINAL PLAN DATE:
1 : 50	-	--/--/--

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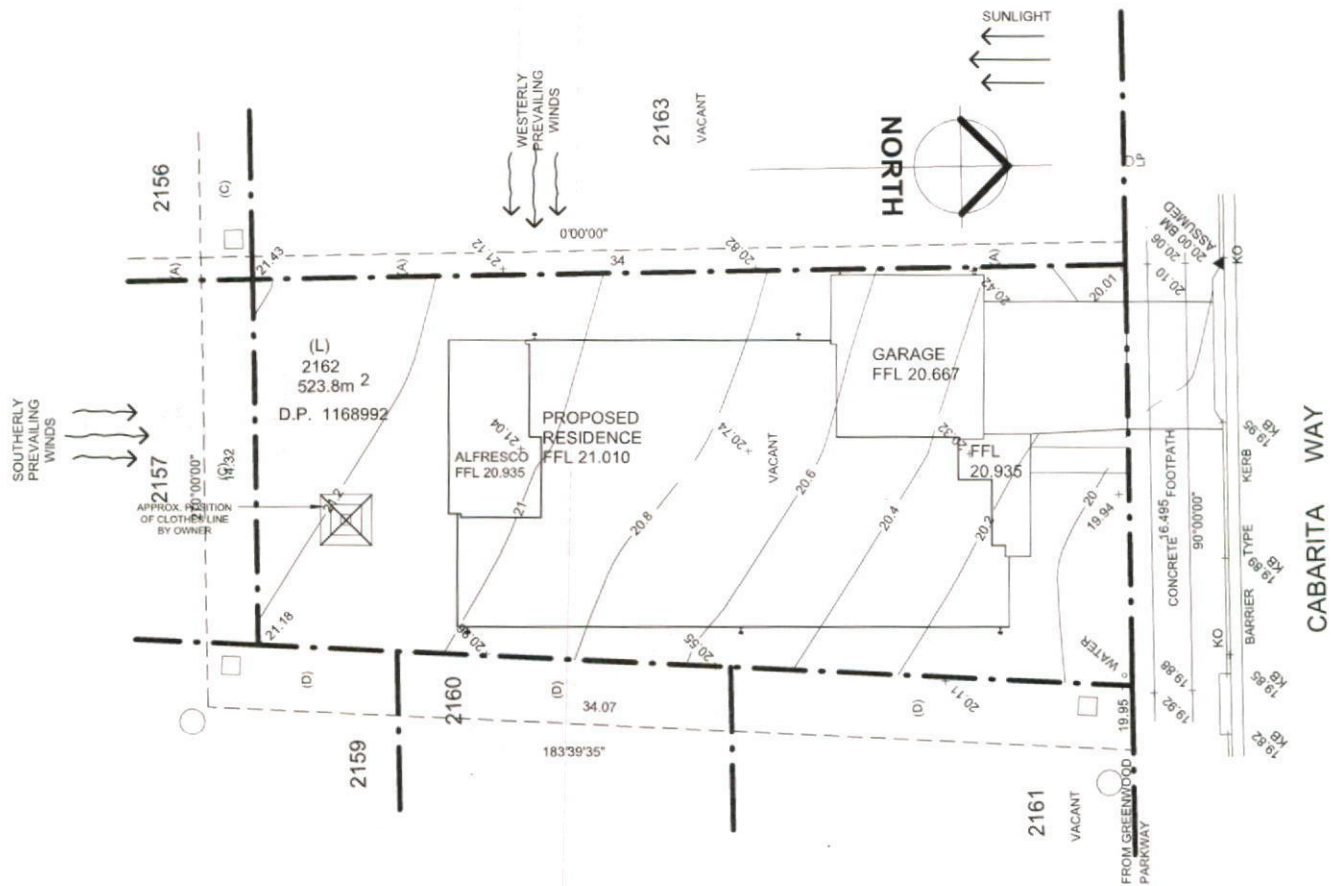
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LOCATION: SYMPHONY 2-IVY-RHS-10

PLOT DATE: 17/07/2013 10:12:00 AM







**Energy Rating** Certificate Number: 14410710

Single-Dwelling Rating

Single and development (each taking of ratings)

Assessor Name: [Signature] Date: 23/07/13

### Proposed Residence

For: MR DUFFY, MISS GRIEVE  
 Lot No : LOT 2162, CABARITA WAY  
 Suburb: JORDAN SPRINGS  
 Council: PENRITH

### Project Details

Design: SYMPHONY 2 GARAGE RHS  
 Facade: IVY  
 Edition: DESIGNER

DRAWN BY:	DATE:	JOB NO.:
DG	12.04.13	2007214
SHEET TITLE:		SHEET NO.:
SITE ANALYSIS		12 / 13
SCALE:	FINAL PLAN ISSUE:	FINAL PLAN DATE:
1 : 200	-	--, --, --

### GENERAL NOTES

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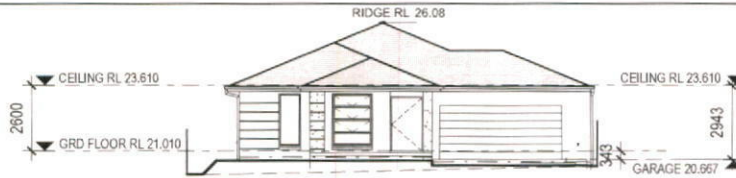
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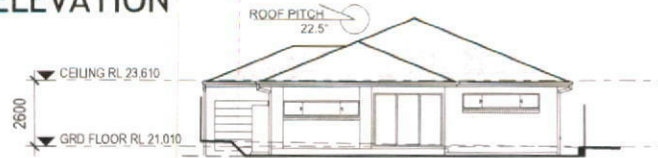
PH: 1300 446637

Licence No: 35558C  
 ABN: 52 002 873 047

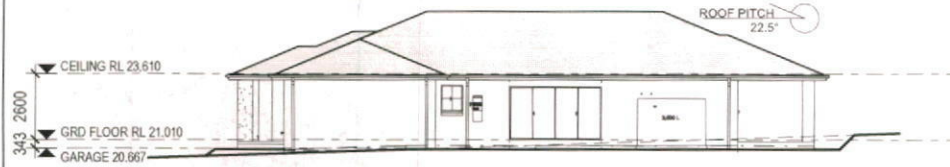
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FRONT ELEVATION



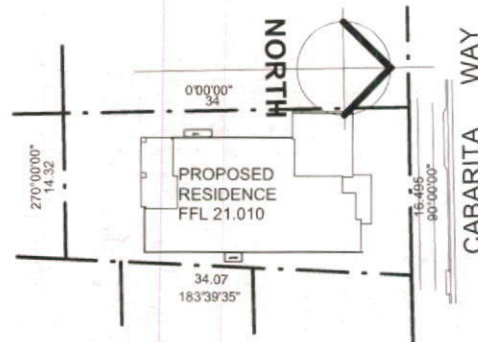
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



SITE PLAN

**Proposed Residence**

For: MR DUFFY, MISS GRIEVE  
 Lot No : LOT 2162, CABARITA WAY  
 Suburb: JORDAN SPRINGS  
 Council: PENRITH

**Project Details**

DRAWN BY: Author DATE: 12.04.13  
 SHEET TITLE: NOTIFICATION  
 SCALE @ A4



PH: 1300 4HOMES Licence. No.: 35558C  
 PH: 1300 446637 ABN: 52 002 873 047  
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LOCATION: L:\0007214 - DUFFY, GRIEVE - SYMPHONY 2\111-010-010-010-010-010-010-010 - DUFFY, GRIEVE - SYMPHONY 2\111-010-010-010-010-010-010-010

	Energy Rating	Certificate Number: 14410710
<input checked="" type="checkbox"/>	Large dwelling rating	6.0 stars
<input checked="" type="checkbox"/>	Multi-unit development (each block of ratings)	40.0 stars
<input checked="" type="checkbox"/>	Residential development (each block of ratings)	38.2 stars
<input type="checkbox"/>	Fluorescent daylight confirmation	Marked with <input checked="" type="checkbox"/> Marked without
Author Name/Signature: <i>[Signature]</i>	Author ID: 123456789	Date: 23/07/13