

CUT & FILL BUILDING AREA TO RL 40.435 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB

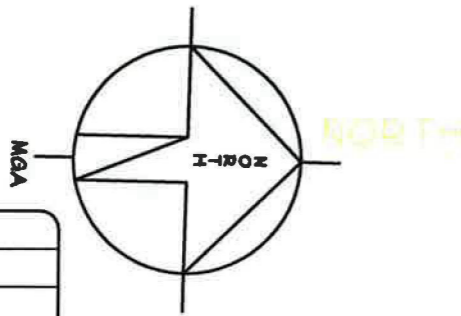
CUT - LINE

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

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- (A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (CI) EASEMENT TO DRAIN WATER 2 WIDE (DPI158660)
- (E) RIGHT OF CARRIAGEWAY 7 WIDE
- (Q) RESTRICTION ON THE USE OF LAND (DPI149528)
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE

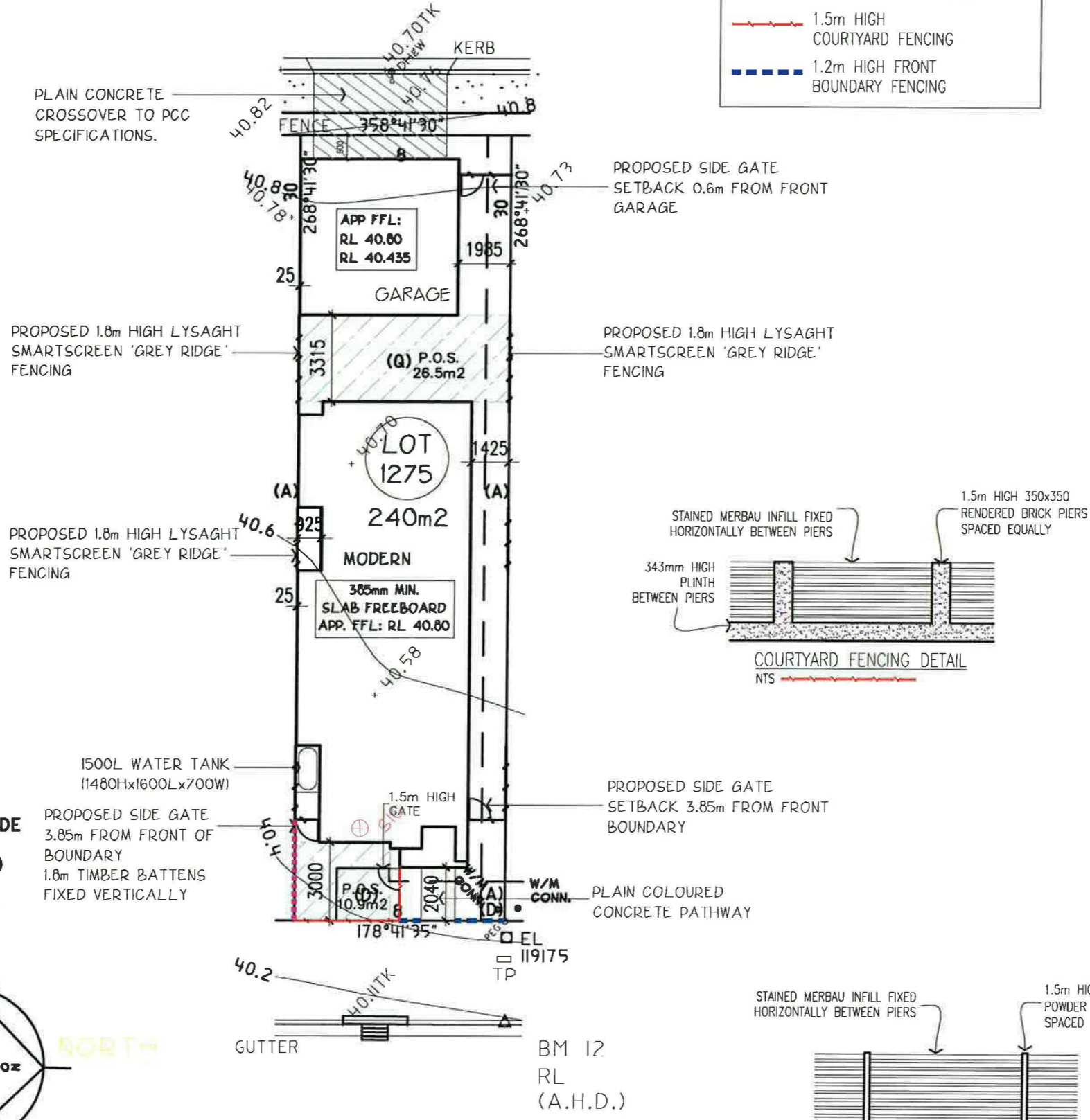


DATE	REVISION	DRAWN

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SITE PLAN		SHEET 1	HAND LH	Townhouse 7 - Stage 3 (7.5m) Modern
DRAWN	BK 28/03/2013			For EDGEWATER HOMES
CHECKED				At LOT 1275 LAKESIDE PARADE JORDAN SPRINGS
SCALE				

PITT STREET



LEGEND:

- PROPOSED 1.8m HIGH LYSAGHT SMARTSCREEN FENCING
- 1.5m HIGH COURTYARD FENCING
- 1.2m HIGH FRONT BOUNDARY FENCING

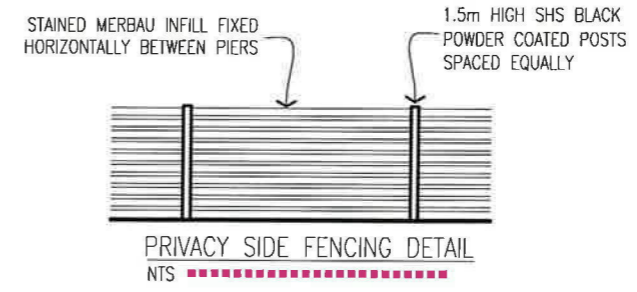
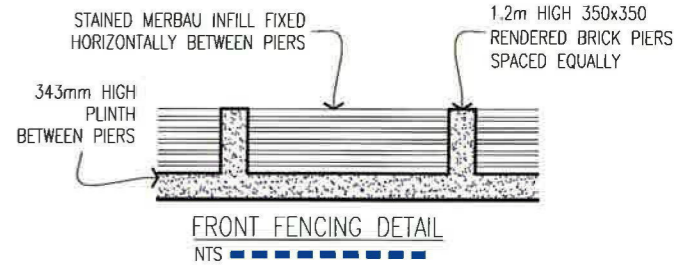
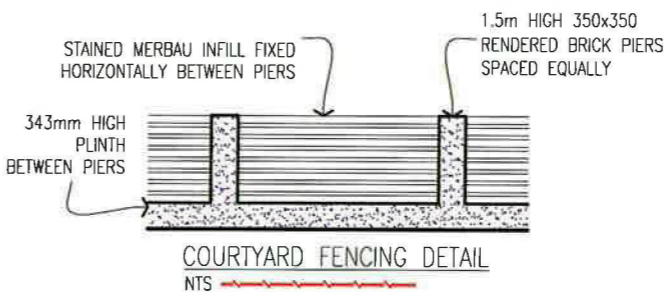


TABLE OF BASIX COMMITMENTS		
PROJECT ADDRESS: LOT 1275 LAKESIDE PARADE JORDAN SPRINGS		
CERTIFICATE NO.: 4776445		
WATER		
- DEVELOPMENT TO BE CONNECTED TO 1500LT RAINWATER TANK.		
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 150.0m2 ROOF RUN OFF.		
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.		
- 3 STAR SHOWER HEADS & KITCHEN TAPS, 4 STAR TOILETS, AND 5 STAR BASIN TAPS.		
THERMAL		
- ROOF INSULATION: NONE.		
- CEILING INSULATION: R3.5		
- WALL INSULATION: R2.0		
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK		
- ROOFING: TILED COLOUR: DARK		
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74		
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73		
ENERGY		
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.		
- AC DUCTING ONLY TO BE INSTALLED.		
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD). OPERATION CONTROL, MANUAL SWITCH.		
- BATHROOM (II): INDIVIDUAL FAN, NOT DUCTED. OPERATION CONTROL, MANUAL SWITCH.		
- LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE..		
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.		
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (I)/TOILET (S) FOR NATURAL LIGHTING.		
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.		
- OUTDOOR CLOTHES LINE.		
- FLUORESCENT LIGHTING TO 4 BEDROOMS, BATHROOMS/TOILETS & LAUNDRY		
- WELL VENTILATED FRIDGE SPACE		

SITE COVERAGE ANALYSIS

Area	sqm	%
Roof Area	159.2	66.3
Ground Floor	103.9	
First Floor	90.8	
Garage	35.8	
Porch	2.1	
Balcony	N/A	
Building	141.8	59.1
Hard Surface	8.7	3.6
Permeable	74.5	37.3
Total Area	240.0	100.0
Overall Block Size	240.0	sqm



EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875
Ph: 9623 7526 Fax:9673 5560

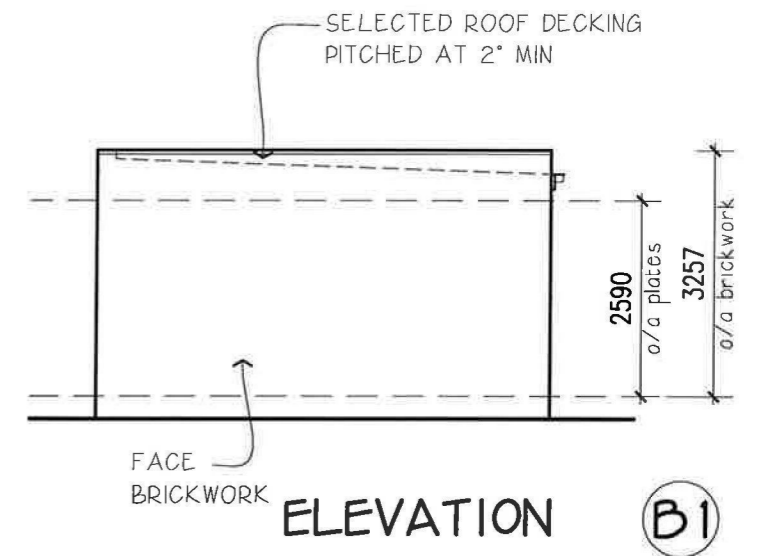
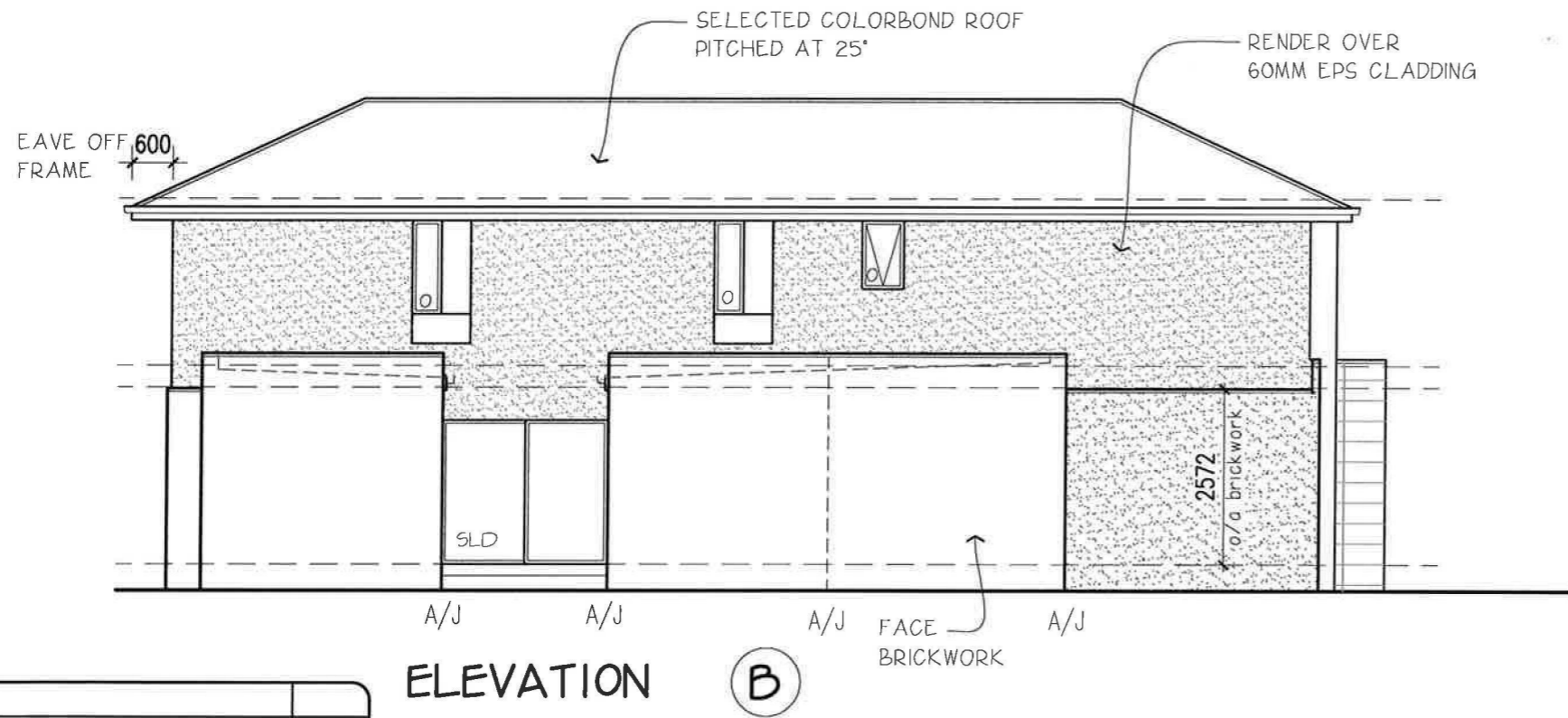
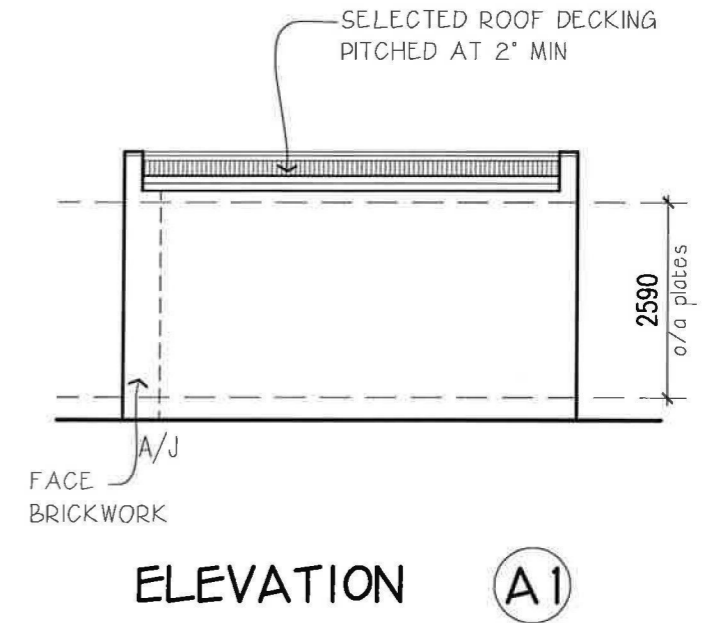
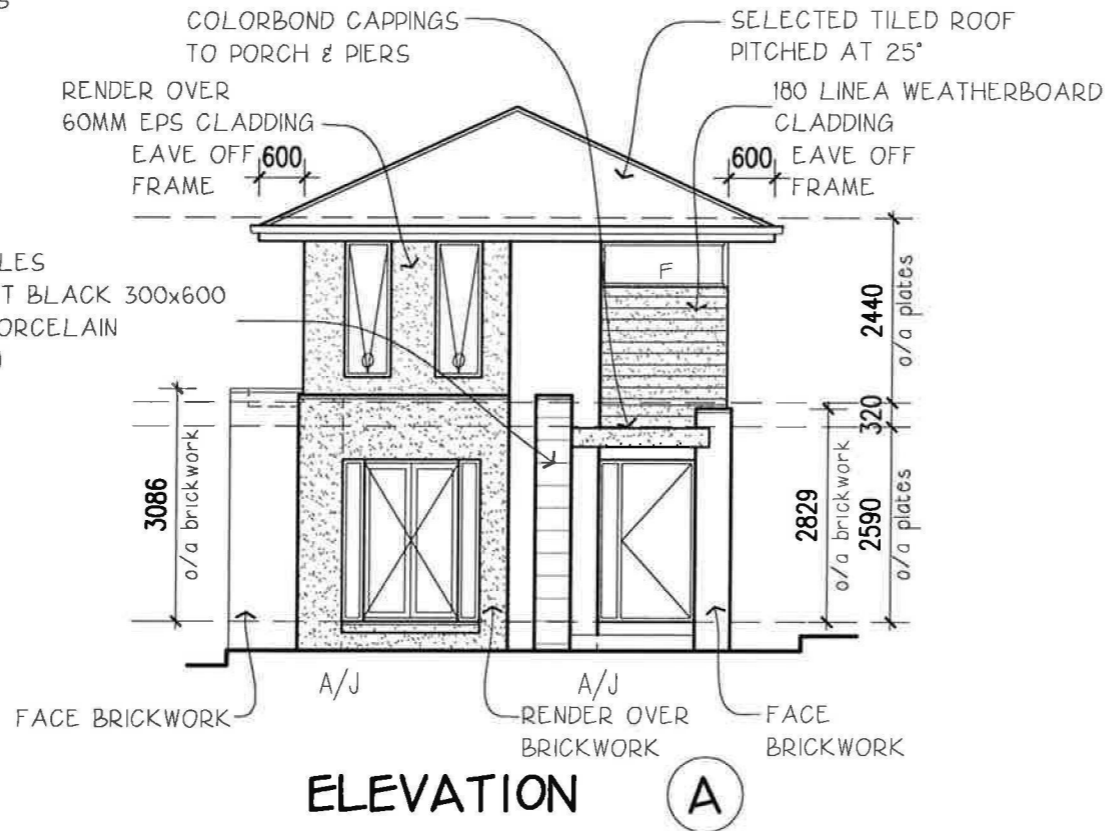
EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SYMMETRY SILVER
- COLORBOND SURFMIST ROOFING, FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN RICH CHOCOLATE
- FRONT DOOR DULUX BOARSKIN P196.N7
- GARAGE PANEL DOOR COLORBOND SURFMIST
- GARAGE ACCESS DOOR BRISTOL OAK FLATS P195.N5

EXTERNAL COLOURS:

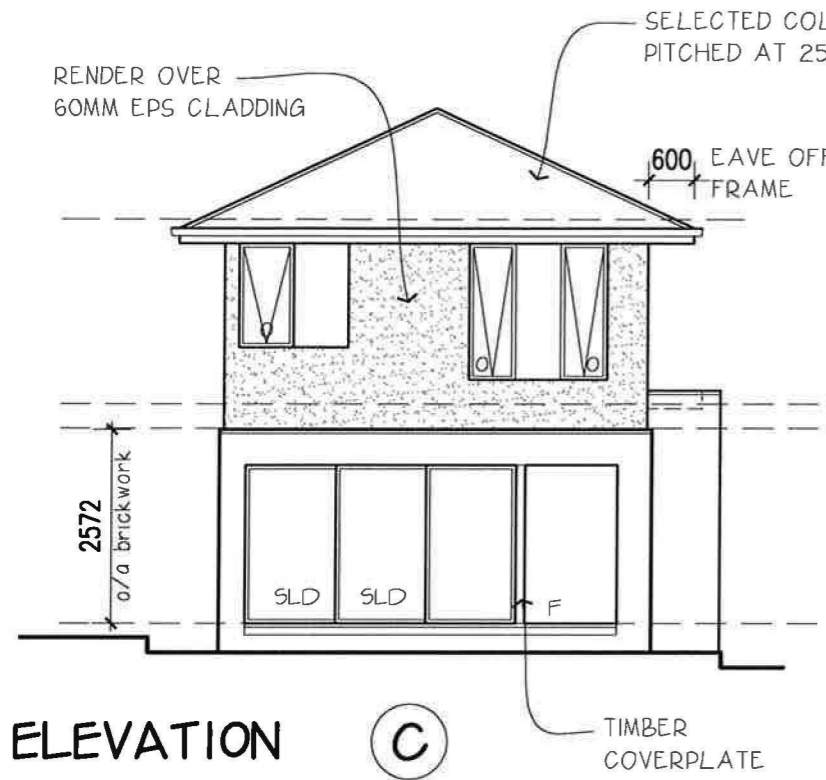
-  BRISTOL BOARSKIN P196.N7
-  DULUX STOWE WHITE PCW.B4

FEATURE TILES TO PIER (JET BLACK 300x600 POLISHED PORCELAIN OVEFK0113A)

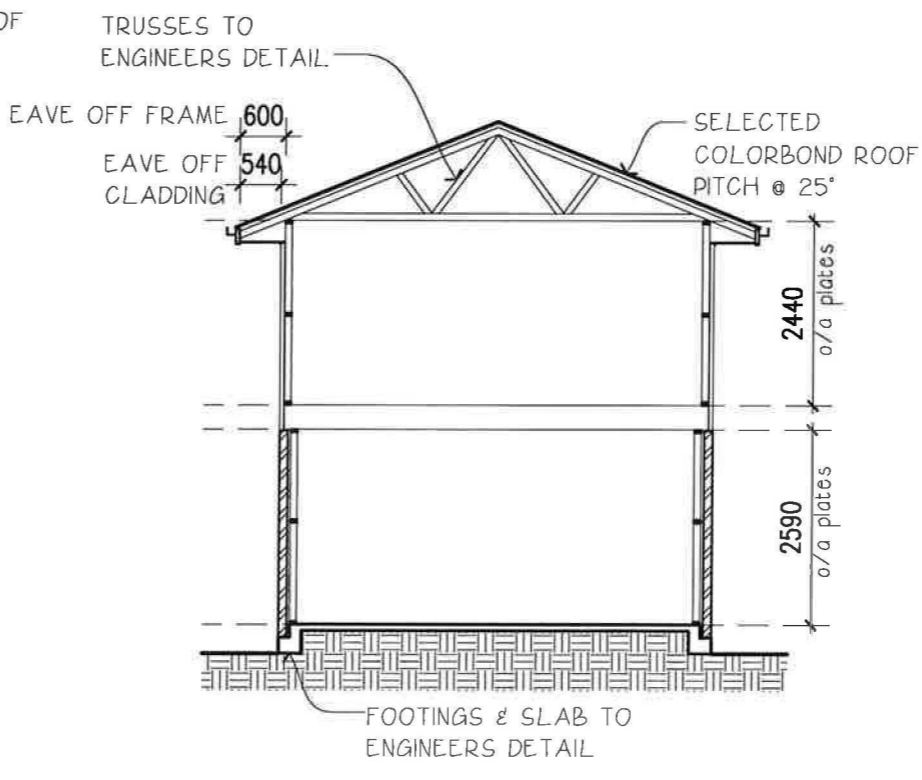


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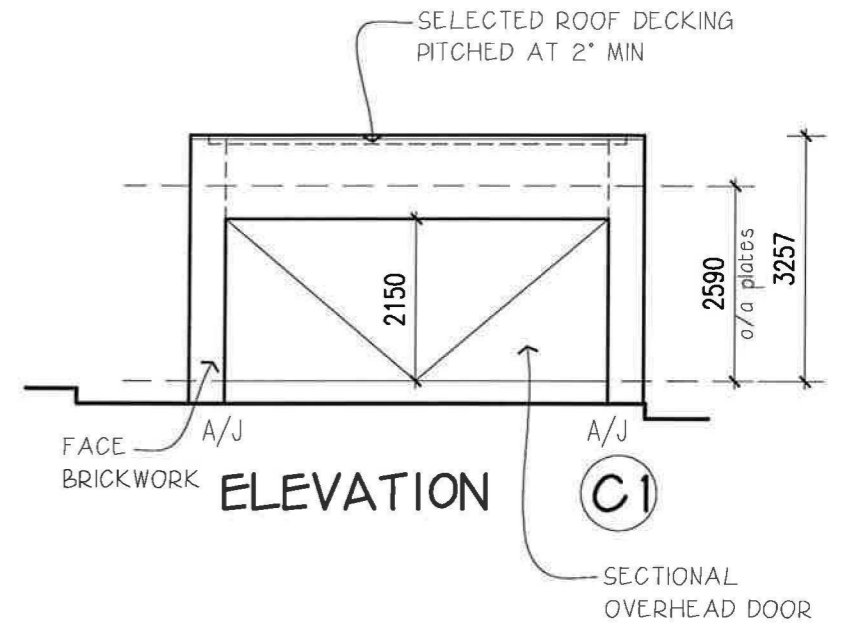
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	DRAWN BK 28/03/2013			For EDGEWATER HOMES	
	CHECKED **			At LOT 1275 LAKESIDE PARADE JORDAN SPRINGS	
	SCALE 1:100				PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560



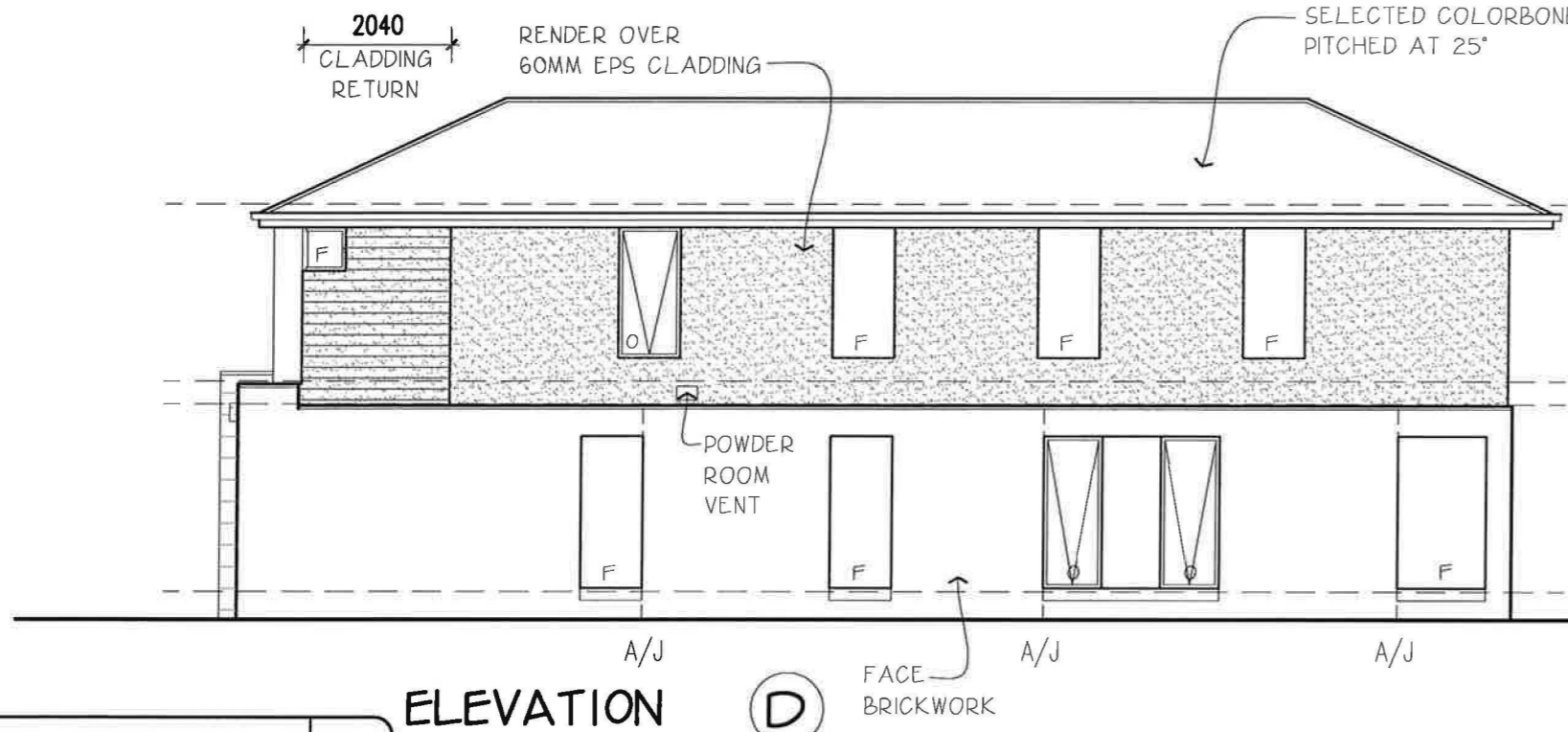
ELEVATION C



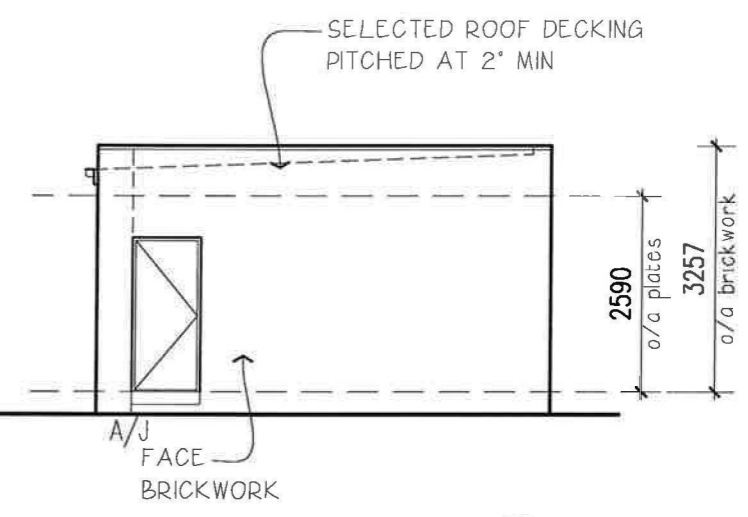
TYPICAL_SECTION



ELEVATION C1



ELEVATION D



ELEVATION D1

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ELEVATIONS		SHEET 3A	HAND LH	Townhouse 7 - Stage 3 (7.5m) Modern
DRAWN	BK 28/03/2013	For		EDGEWATER HOMES
CHECKED	**	At		LOT 1275 LAKESIDE PARADE JORDAN SPRINGS
SCALE	1:100			

EDGEWATER HOMES
 PO Box 550 Moorebank NSW 1875
 Ph: 9623 7526 Fax:9673 5560

CUT & FILL BUILDING AREA TO RL 40.60 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB

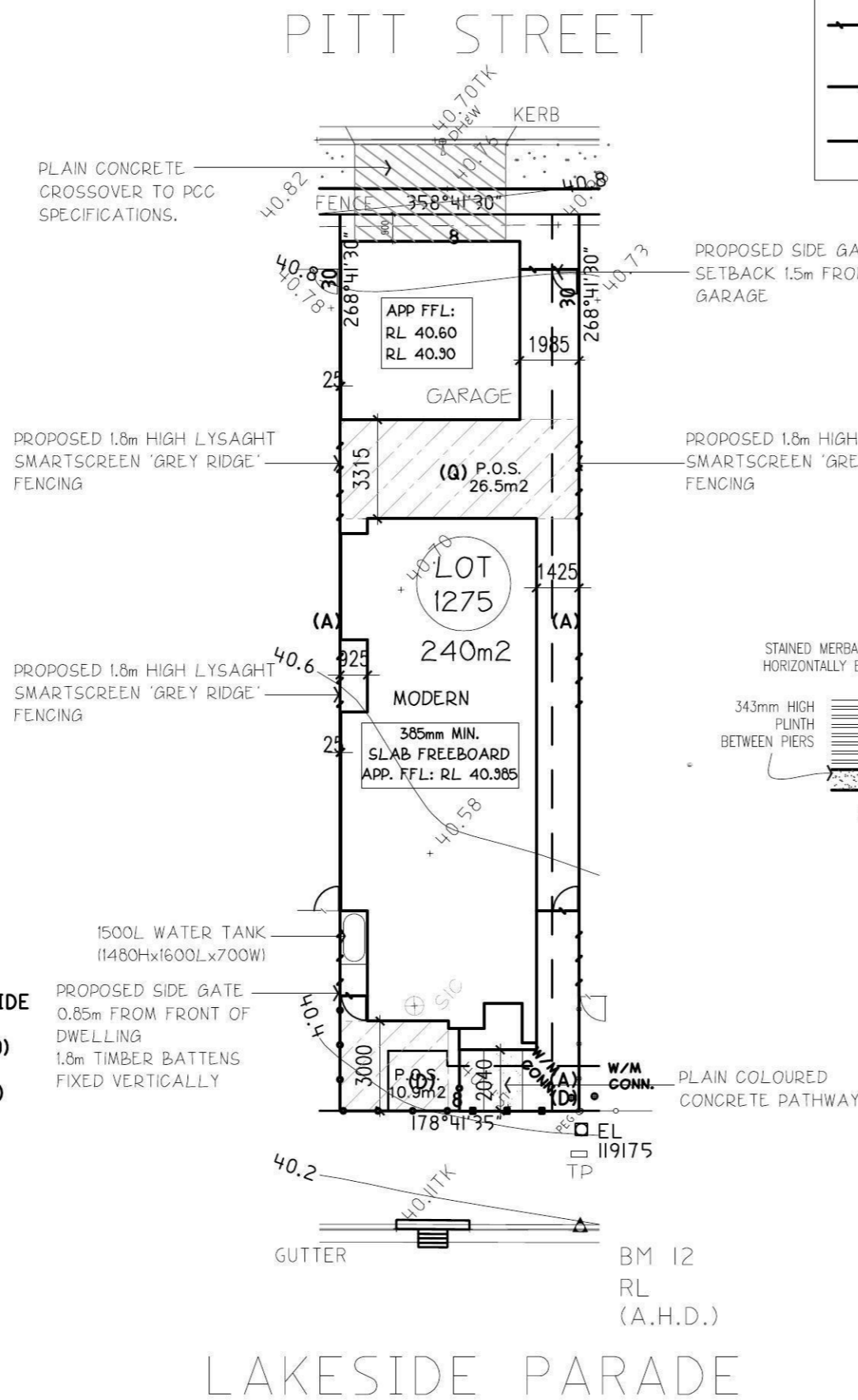
CUT - LINE

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- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (CI) EASEMENT TO DRAIN WATER 2 WIDE (DPII58660)
- (E) RIGHT OF CARRIAGEWAY 7 WIDE
- (Q) RESTRICTION ON THE USE OF LAND (DPII49528)
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE



LEGEND:

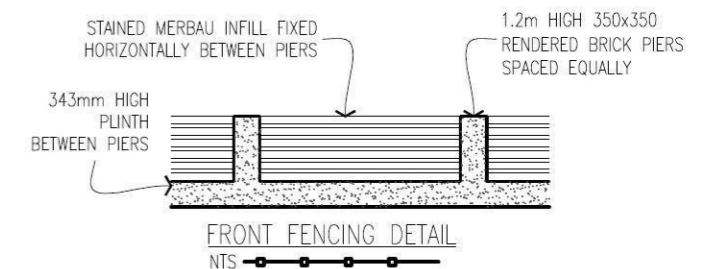
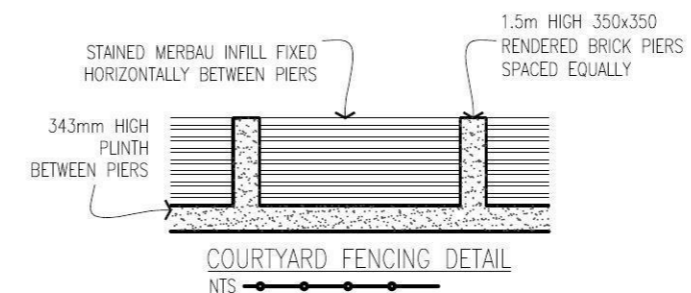
- PROPOSED 1.8m HIGH LYSAGHT SMARTSCREEN FENCING
- 1.5m HIGH COURTYARD FENCING
- 1.2m HIGH FRONT BOUNDARY FENCING

ABSA
Association of Building Sustainability Assessors

Certification Number	1005205636
Certification Date	14/04/2013
Assessor Name	Brad Hoad
Assessor Number	20731
Assessor Signature	

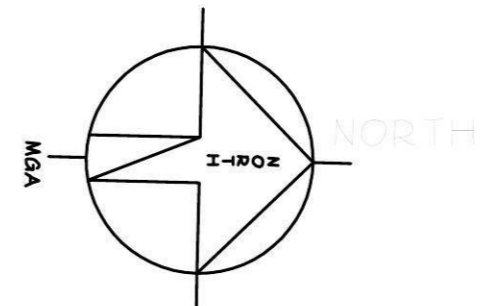
Simulated Energy: HEATING: 71.9 MJ/m² pa
Simulated Energy: COOLING: 57.4 MJ/m² pa
NatHERS Rating 129.3 MJ/m² pa

4.0



SITE COVERAGE ANALYSIS

Roof Area	159.2 sqm	66.3 %
Ground Floor	103.9 sqm	
First Floor	90.8 sqm	
Garage	35.8 sqm	
Porch	2.1 sqm	
Balcony	N/A sqm	
Building	141.8 sqm	59.1 %
Hard Surface	8.7 sqm	3.6 %
Permeable	74.5 sqm	37.3 %
Total Area	240.0 sqm	100.0 %
Overall Block Size	240.0 sqm	



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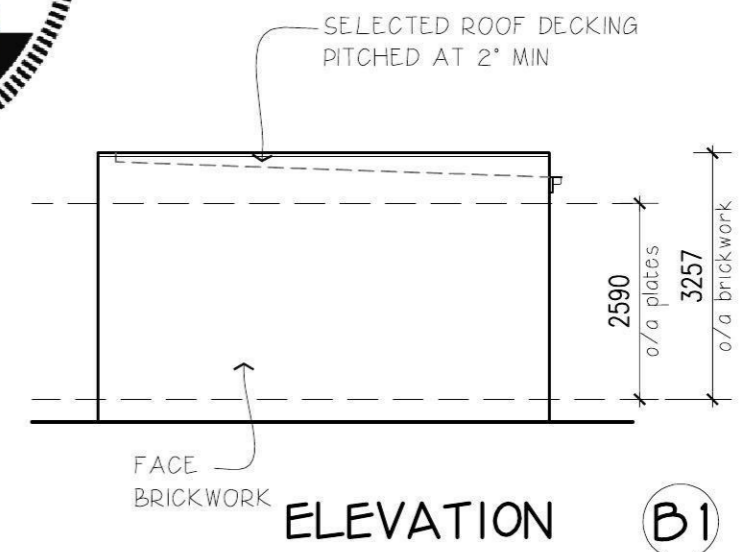
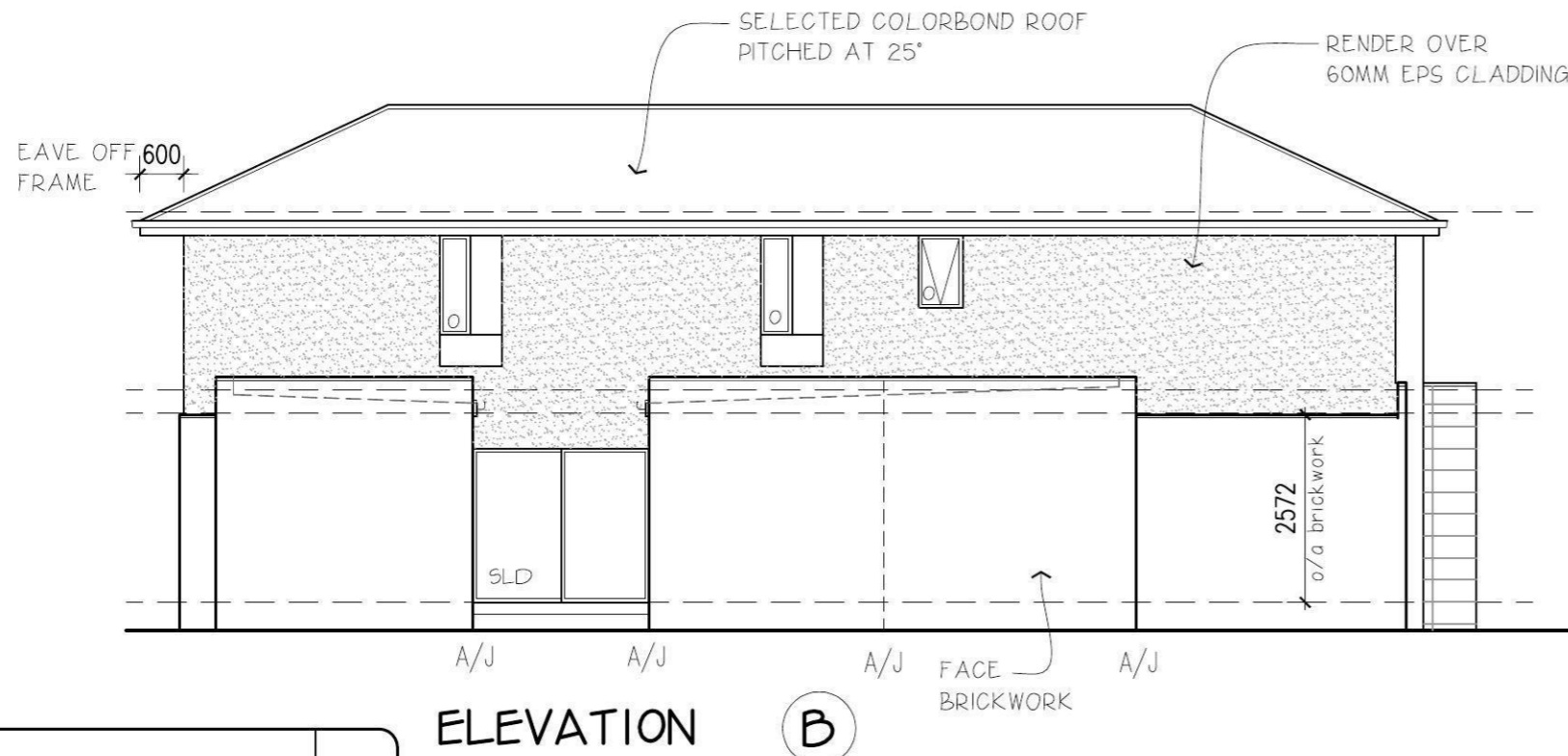
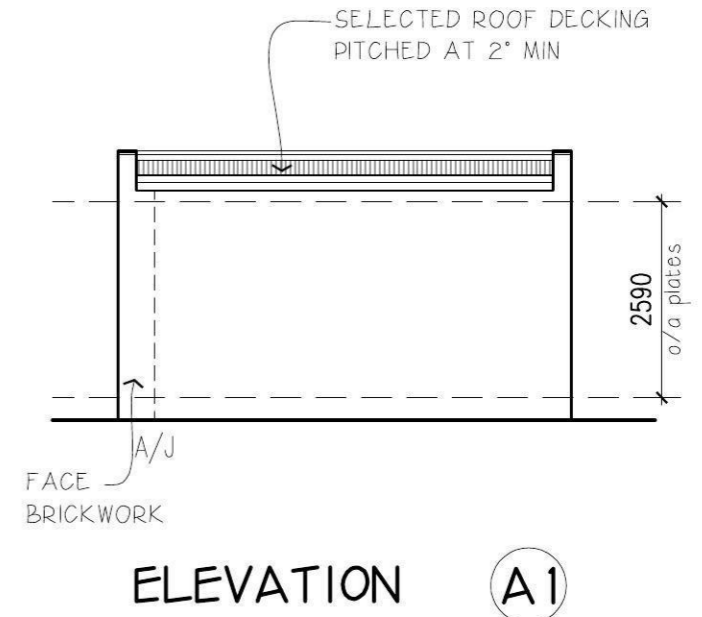
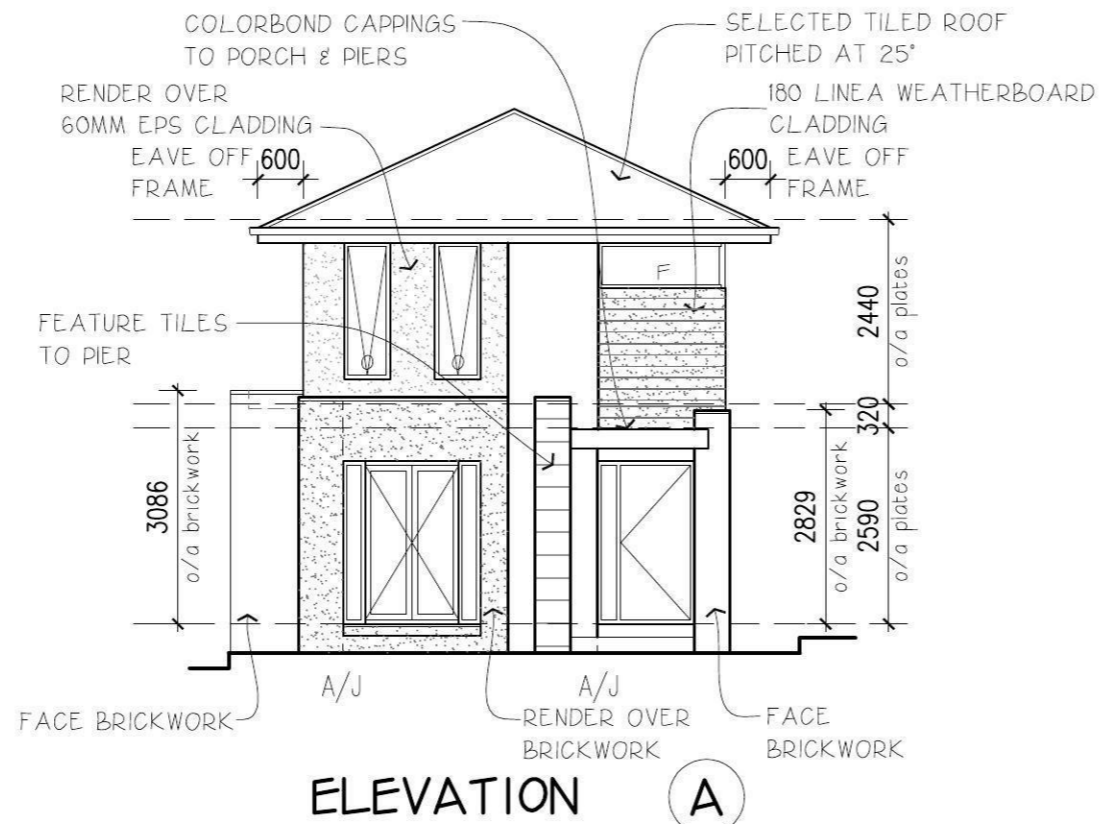
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	DRAWN BK 28/03/2013			For EDGEWATER HOMES	
	CHECKED			At LOT 1275 LAKESIDE PARADE JORDAN SPRINGS	
SCALE 1:200					

EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SYMMERY SILVER
- COLORBOND JASPER ROOFING FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN DARK OAK
- FRONT DOOR DULUX MALI
- GARAGE PANEL DOOR COLORBOND SURFMIST
- GARAGE ACCESS DOOR WINDSTOL OAK FLATS

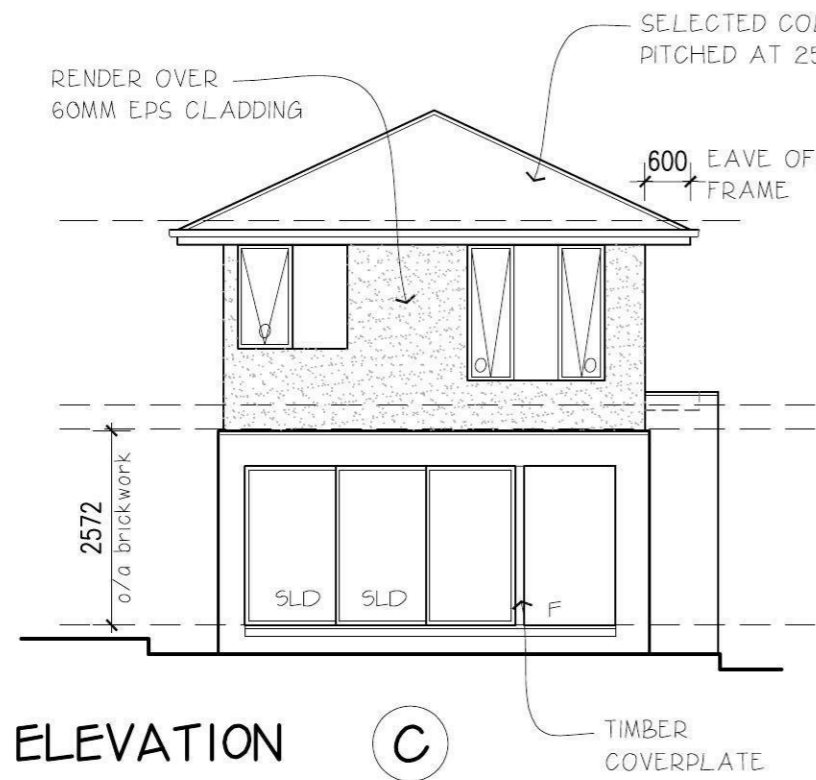
EXTERNAL COLOURS:

- DULUX MALI
- DULUX STOWE WHITE

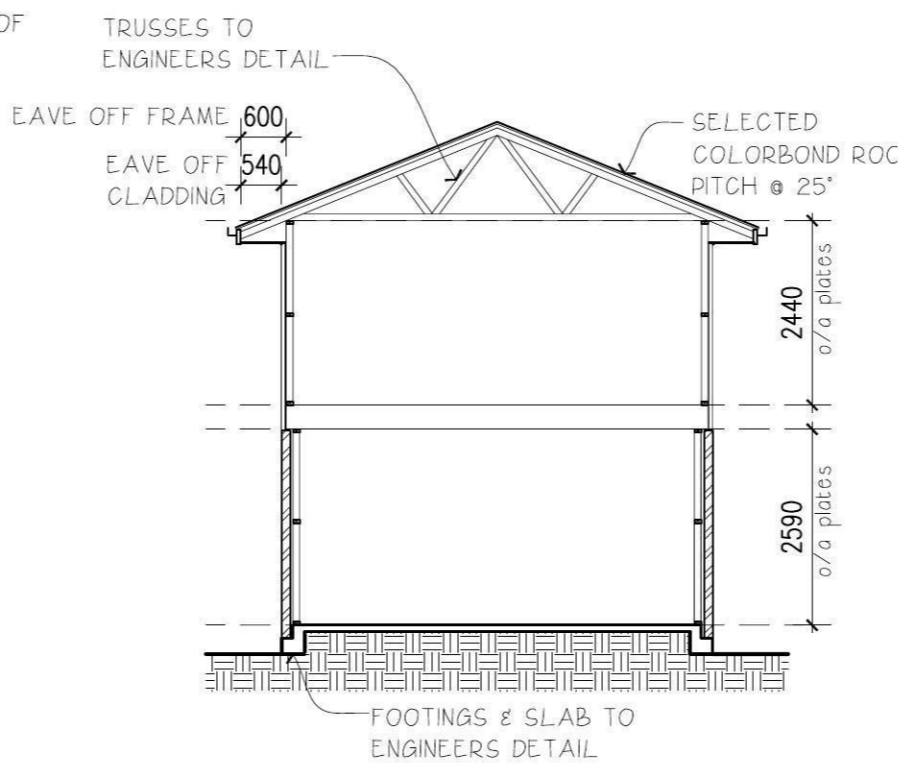


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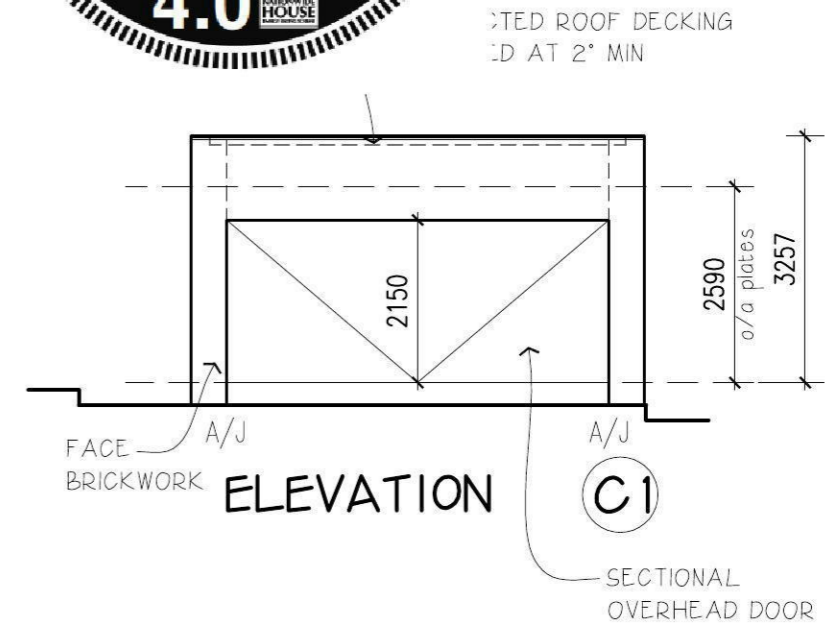
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	DRAWN BK	28/03/2013	For		EDGEWATER HOMES	
	CHECKED **		At		LOT 1275 LAKESIDE PARADE JORDAN SPRINGS	
SCALE	1:100					



ELEVATION C



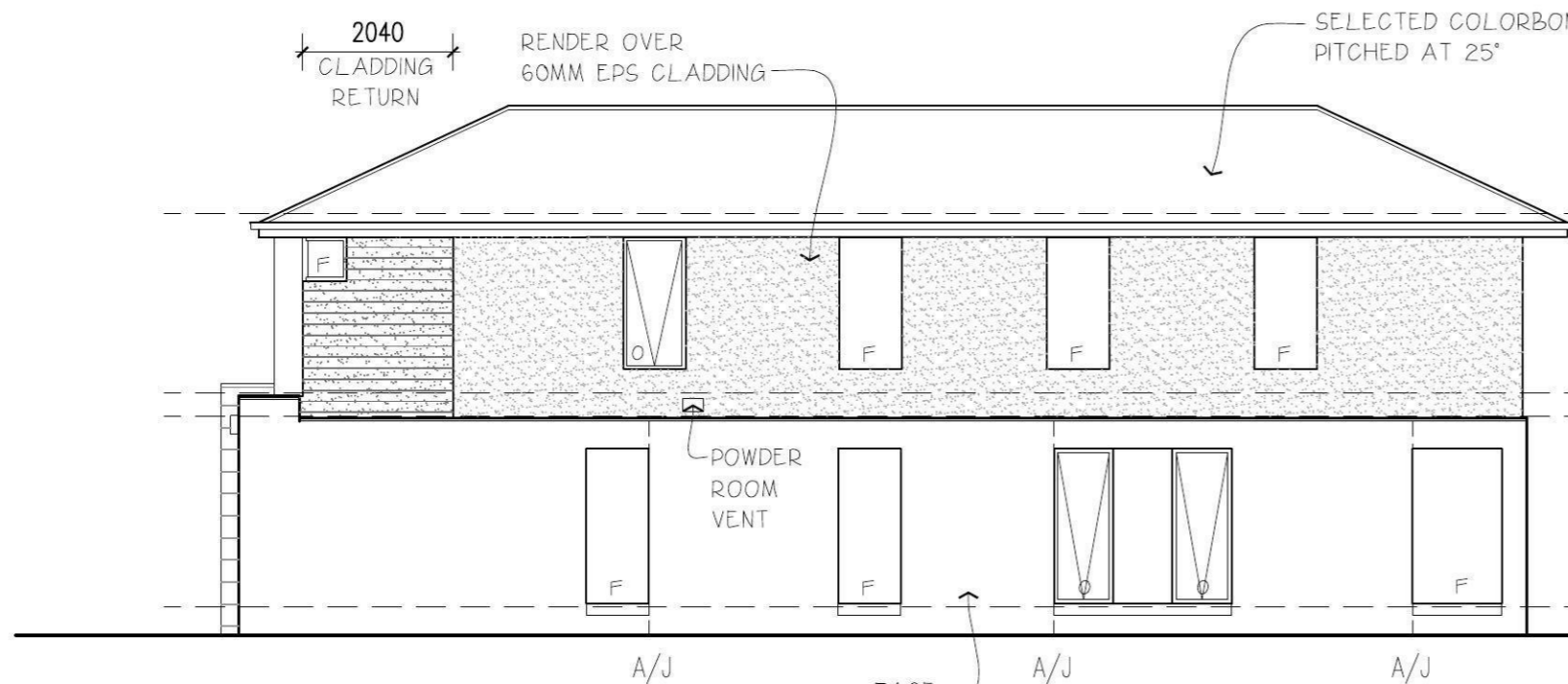
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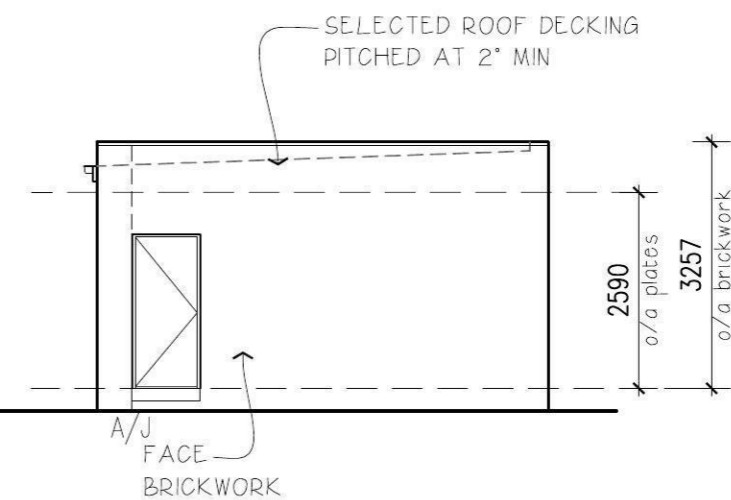
ELEVATION C1

SELECTED ROOF DECKING PITCHED AT 2° MIN

SECTIONAL OVERHEAD DOOR



ELEVATION D



ELEVATION D1

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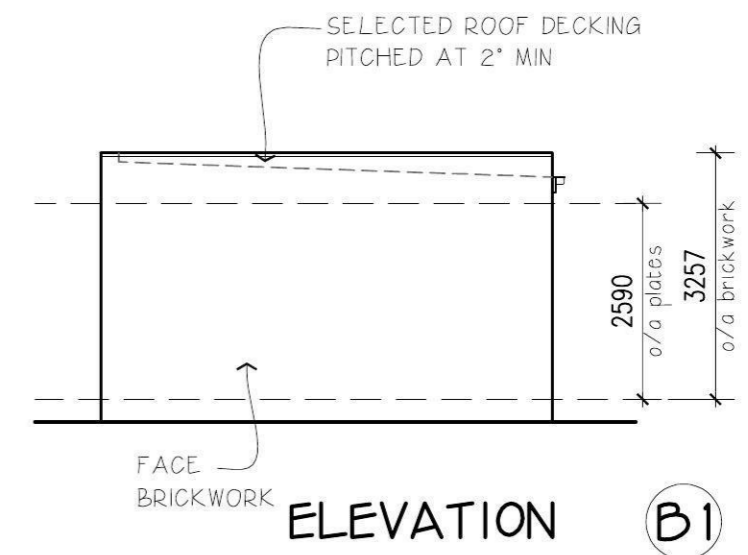
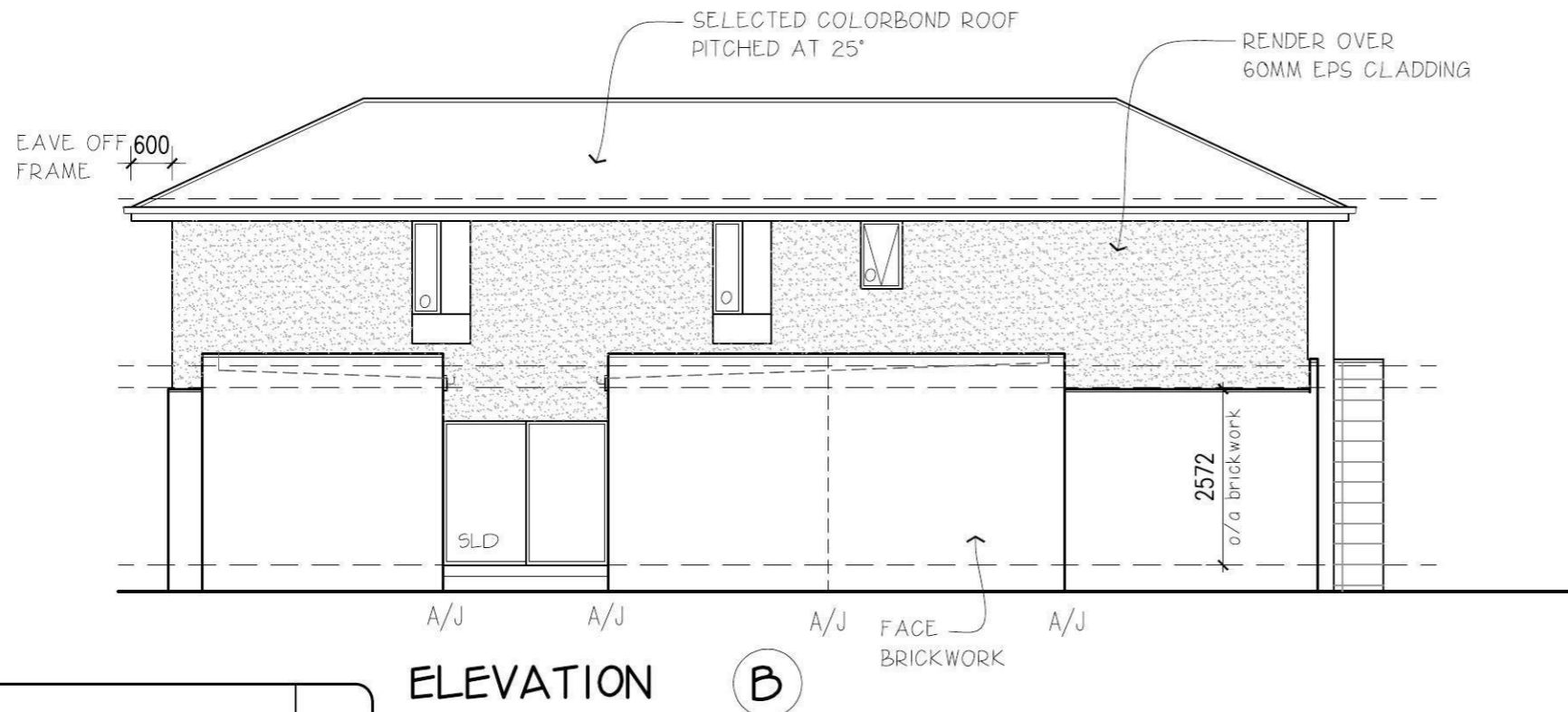
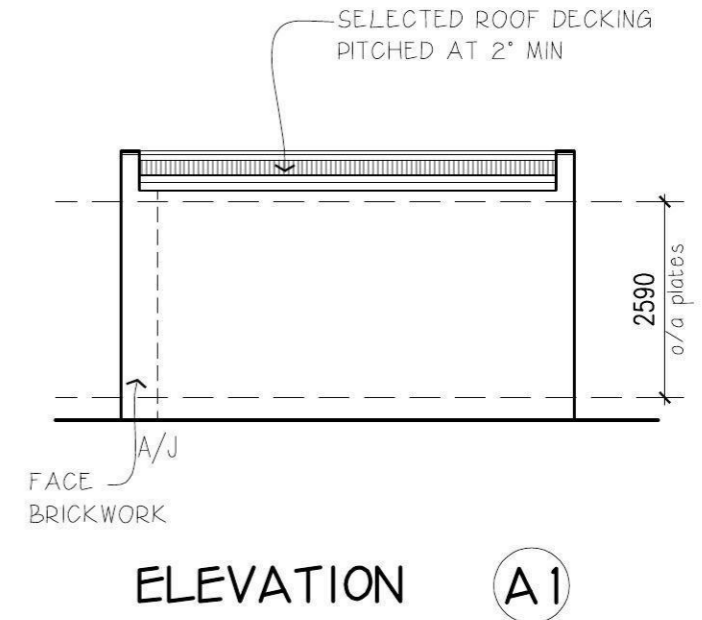
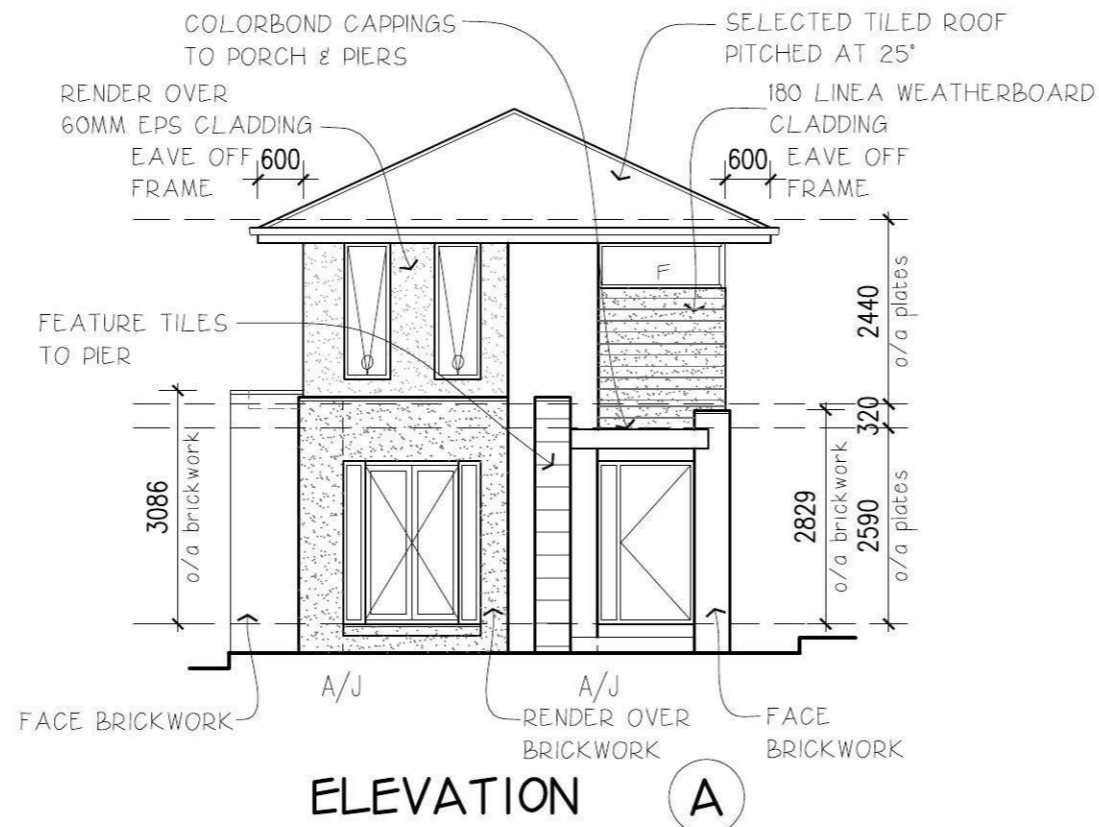
ELEVATIONS		SHEET 3A	HAND LH	Townhouse 7 - Stage 3 (7.5m) Modern	EDGEWATER HOMES PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560
DRAWN BK 28/03/2013		For EDGEWATER HOMES			
CHECKED **		At LOT 1275 LAKESIDE PARADE JORDAN SPRINGS			
SCALE 1:100					

EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SYMMERY SILVER
- COLORBOND JASPER ROOFING FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN DARK OAK
- FRONT DOOR DULUX MALI
- GARAGE PANEL DOOR COLORBOND SURFMIST
- GARAGE ACCESS DOOR WINDSTOL OAK FLATS

EXTERNAL COLOURS:

- DULUX MALI
- DULUX STOWE WHITE

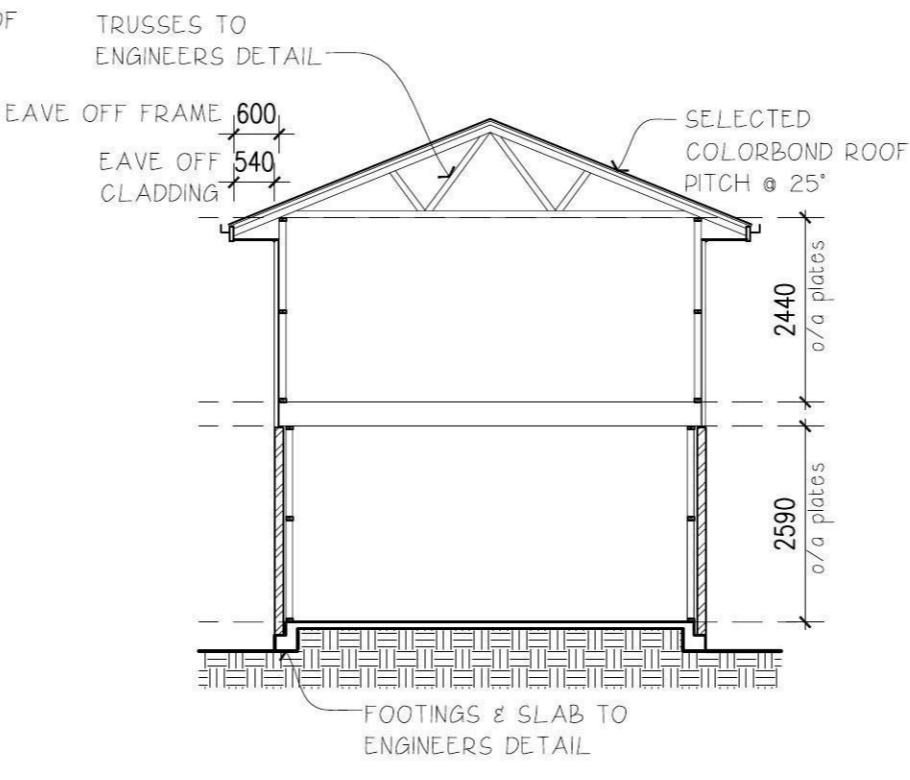


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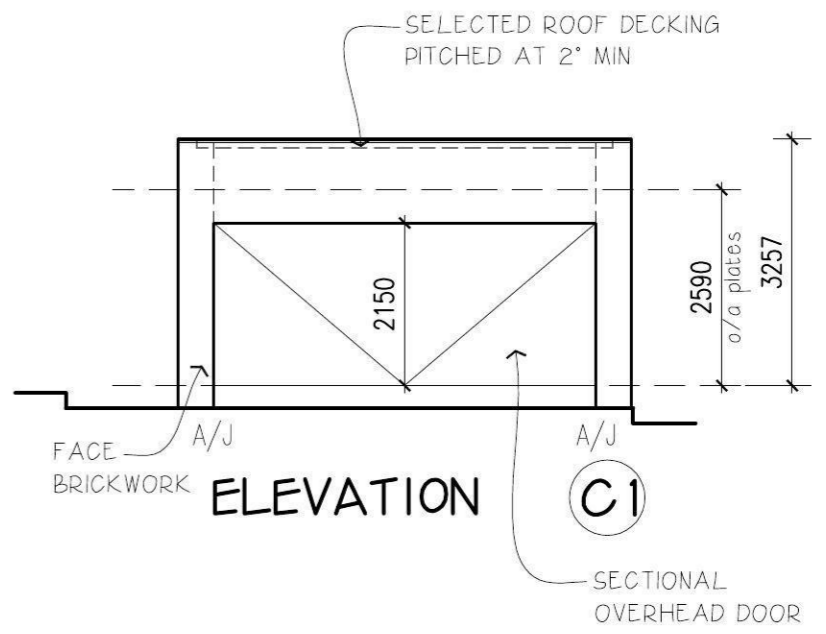
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	DRAWN BK 28/03/2013			For	EDGEWATER HOMES	
	CHECKED **			At	LOT 1275 LAKESIDE PARADE JORDAN SPRINGS	
SCALE 1:100						



ELEVATION C

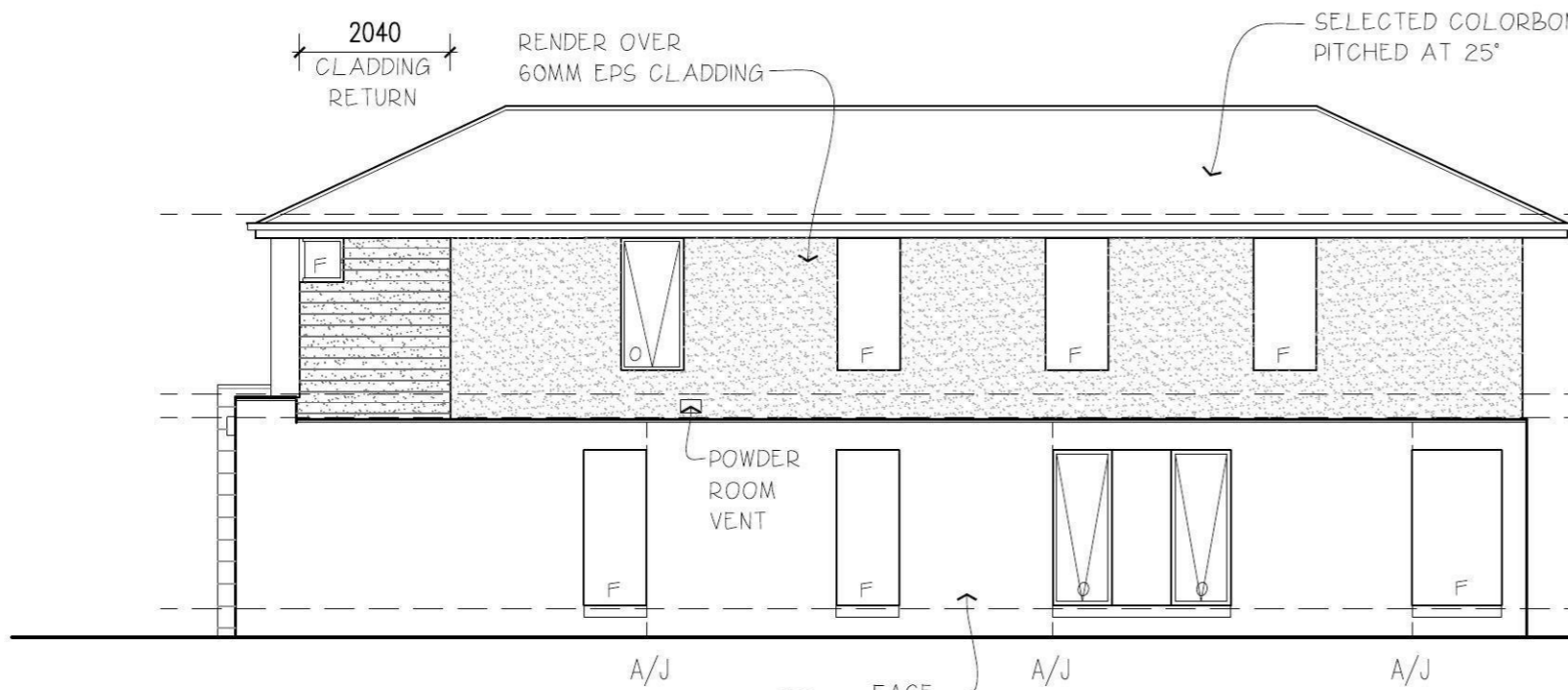


TYPICAL_SECTION



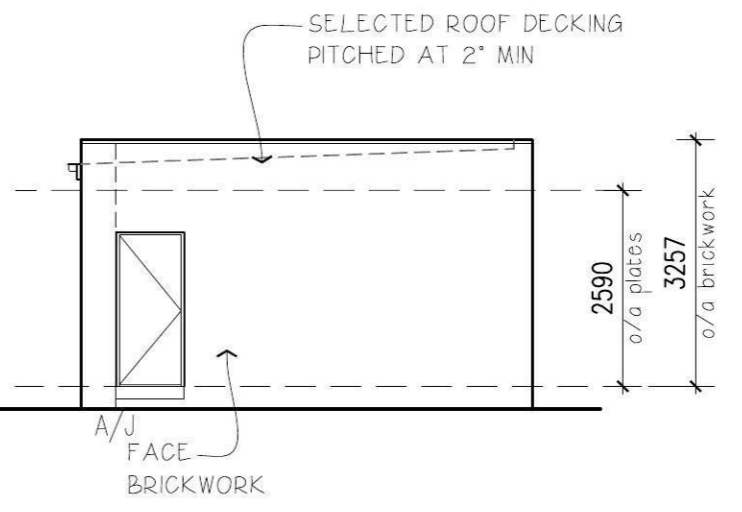
ELEVATION C1

SECTIONAL OVERHEAD DOOR



ELEVATION D

FACE BRICKWORK



ELEVATION D1

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ELEVATIONS	
DRAWN BK 28/03/2013	CHECKED **
SCALE 1:100	

SHEET 3A	HAND LH
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Townhouse 7 - Stage 3 (7.5m) Modern	
For	EDGEWATER HOMES
At	LOT 1275 LAKESIDE PARADE JORDAN SPRINGS

EDGEWATER HOMES
PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560