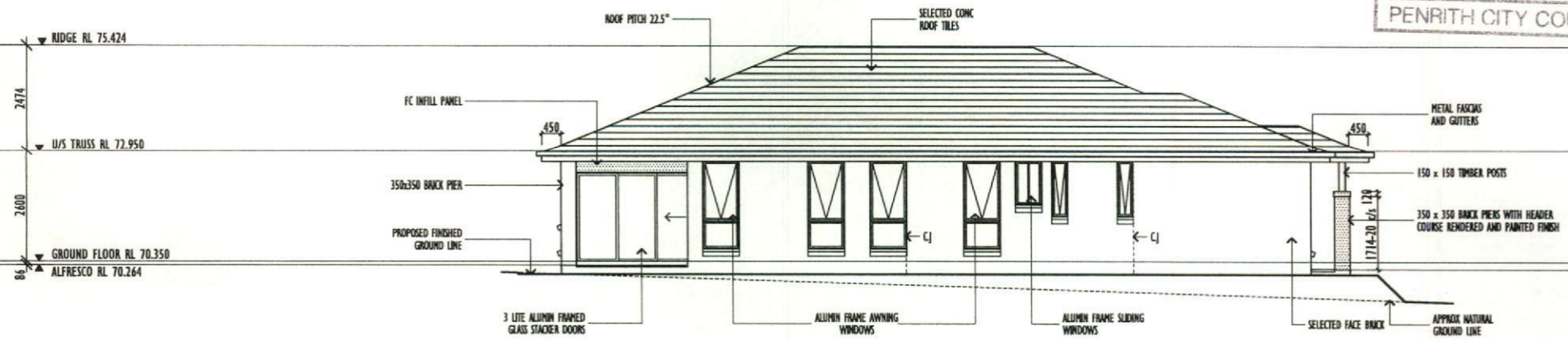


WEST ELEVATION
1:100

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NORTH ELEVATION
1:100

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

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UBD REF.	184 H4	SCALE.	1:100
N.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FAÇADE.	SUBURBAN
REF. No.	13055		

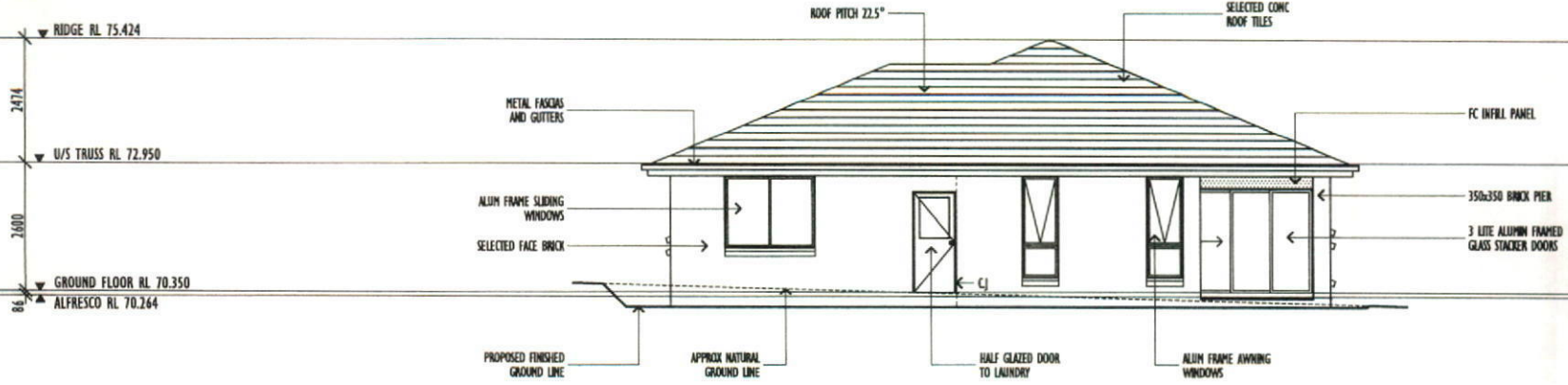
AMENDMENTS		
Issue	date	amendments
C	28.11.13	Reduce sill depth by 400 & increase width by 170
B	05.09.13	Clear span beam sq set open's to FP wall
A	30.08.13	Combined Application

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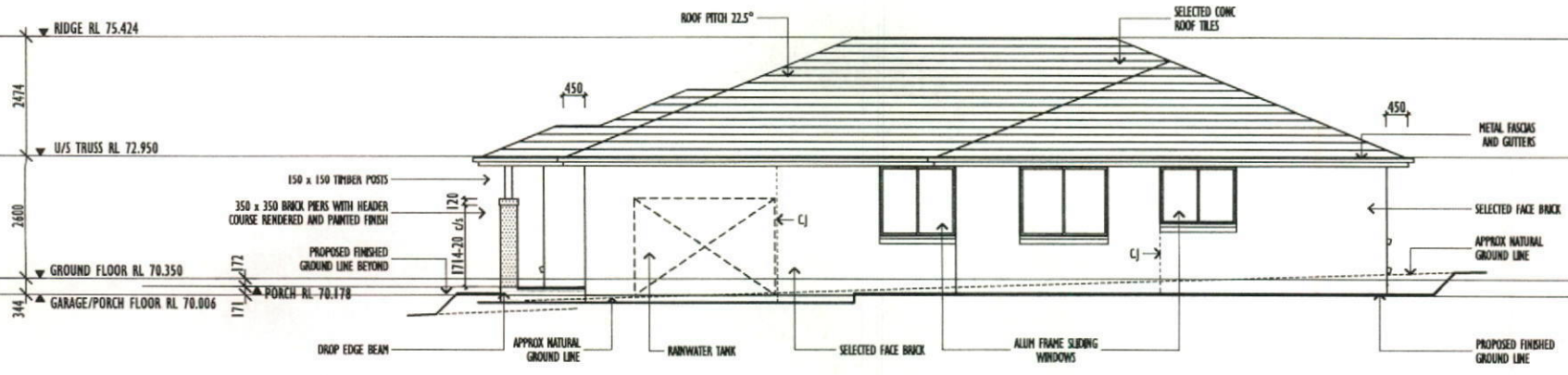
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PROJECT:
PROPOSED DWELLING AT Lot 41, No 5 ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR, Mr Mehmet & Mrs Helen KILIC
TITLE: **ELEVATIONS**

ISSUE.	C
JOB No.	13059
SHEET.	2-7



EAST ELEVATION
1:100



SOUTH ELEVATION
1:100

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UBD REF.	184 H4	SCALE.	1:100
N.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FACADE.	SUBURBAN

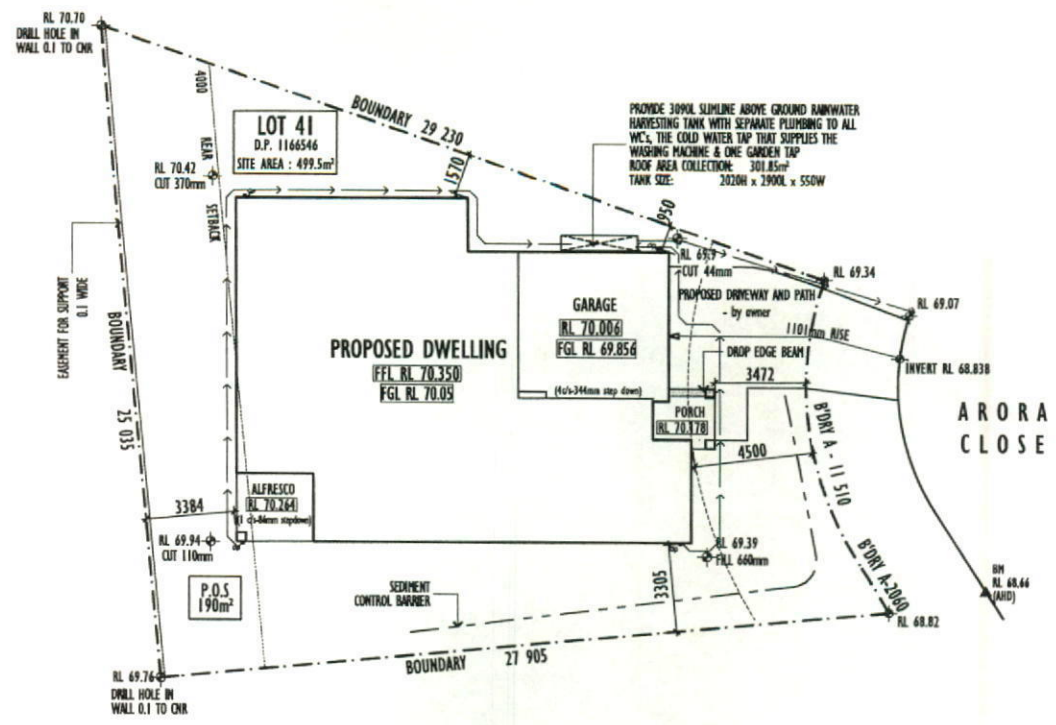
AMENDMENTS		
Issue.	date.	amendments.
C	28.11.13	Reduce sill depth by 400 & increase width by 170
B	05.09.13	Clear span beam sq. set open's to FP wall
A	30.08.13	Combined Application

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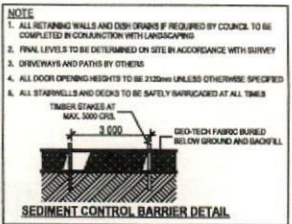


PROJECT.
**PROPOSED DWELLING AT Lot 41, No 5
ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR.**
Mr Mehmet & Mrs Helen KILIC
TITLE. **ELEVATIONS**

ISSUE.	C
JOB No.	13059
SHEET.	3-7



SITE PLAN
1:200



SEDIMENT CONTROL BARRIER DETAIL

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

- NOTE**
1. ALL RETAINING WALLS AND DECK DRAINS IF REQUIRED BY COUNCIL, TO BE COMPLETED IN CONJUNCTION WITH LANDSCAPING
 2. FINAL LEVELS TO BE DETERMINED ON SITE IN ACCORDANCE WITH SURVEY
 3. DRIVEWAYS AND PATHS BY OTHERS
 4. ALL DOOR OPENING HEIGHTS TO BE 2100mm UNLESS OTHERWISE SPECIFIED
 5. ALL STAIRWELLS AND DECKS TO BE SAFELY BARRICADED AT ALL TIMES

SITE CALCULATIONS			
CONTROLS	REQD	PROPOSED	COMPLIES
SITE AREA	NA	499.50m ²	NA
DWELLING HEIGHT, MASSING & SITING			
Maximum number of stories	2	2	YES
BUILDING SETBACKS			
Front setback (12.5m < 15m frontage)	4.5m	4.5m	YES
Side setback (12.5m < 15m frontage)	0.9m	0.95m	YES
Rear setback (12.5m < 15m frontage)	4m	3.384m	NO
Garage setback from front building facade	1m	1.0m	YES
Allowable front setback encroachment for arch feature	1.0max	1.038m	NO
DEVELOPMENT ON SLOPING LANDS			
Max cut to side boundary retaining wall	1.0m	0.448m	YES
Max cut to rear boundary retaining wall (1.0m from rear fence)	1.5m	0.448m	YES
Max grade of driveway	20%	12%	YES
PRIVATE OPEN SPACE			
P.O.S. area (20%) & dimension for lots 10-15m	89m ² & 2m	190m ² & 3m	YES
Principle area & dimension for lots 10-15m	24m ² & 4m	45m ² & 6.2m	YES
SITE COVER AND LANDSCAPED AREAS			
Max 60% site cover (single storey) req'd for lots > 450m ²	299.70m ²	209.83m ²	YES
Min 35% landscaped area required	175m ²	266m ²	YES
GARAGES AND ACCESS			
Minimum front setback for garages and carports	5.5m	6.097m	YES
Minimum setback behind building facade	1.0m	1.0m	YES
Minimum lot frontage required for double garages	12.5m	13.570m	YES
Max width of garage doors to be 50% facade width and 6m	8.0m	4.58m	YES
Max height of garage doors	2.4m	2.1m	YES
Minimum double garage internal width	5.0m	5.52m	YES
Max driveway width at front boundary	4.50m	4.0m	YES

design niche Building Designers	URD REF.	184 H4	SCALE.	1:200	AMENDMENTS		
	N.C.S.		DATE.	19.05.13	Issue	date	amendments
Design niche P/L 2/45 Crosby Street, (T) 02 9631 7844 Greystanes, NSW 2145 (M) 0438 538 118 (E) orhan@designiche.com.au	COUNCIL	PENRITH	DRAWN.	O.K.	C	28.11.13	Reduce s/d depth by 400 & increase width by 110
	DESIGN.	FAÇADE.			B	05.09.13	Clear span beams on set open's to FP wall
REF. No.	13055	PROJECT.	FAIRLIGHT 22	SUBURBAN	A	30.08.13	Combined Application

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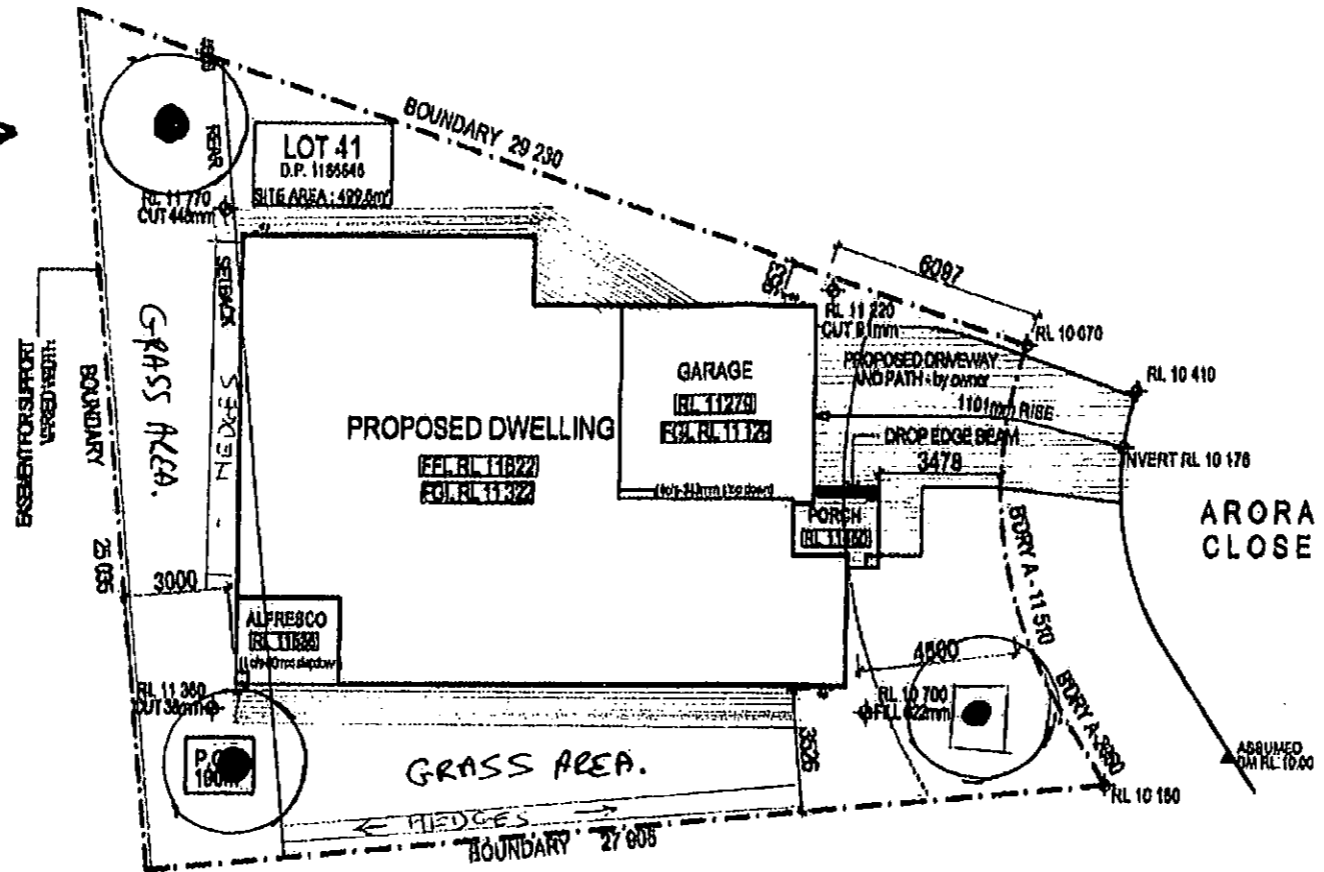
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PROJECT.
PROPOSED DWELLING AT Lot 41, No 5 ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR.
Mr Mehmet & Mrs Helen KILIC
TITLE . SITE PLAN

ISSUE.	C
JOB No.	13059
SHEET.	5-7



TREE - LIME HONEY GOLD.



TREE - LIME HONEY GOLD

SITE PLAN
1:200

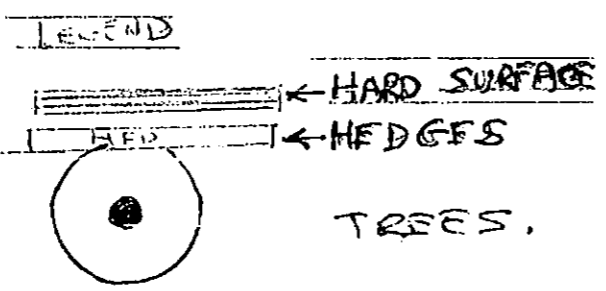
TREE
LIME HONEY GOLD

NOTES

- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED OR AS SHOWN ON THE DRAWING.
- FINAL LEVELS TO BE DETERMINED ON SITE AT CONFORMANCE WITH SURVEY DATA AND LOCAL COUNCIL REQUIREMENTS.
- ALL DOOR OPENING HEIGHTS TO BE 2100mm UNLESS OTHERWISE SPECIFIED.
- ALL FINISHES AND DETAILS TO BE AS SPECIFIED ON THE DRAWING.

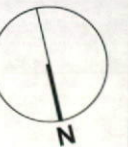
REQUIREMENT CONTROL BARRIER DETAIL

Check all dimensions prior to commencement of work. Figure dimensions to be taken in preference to scaling. Confirm all dimensions on site.



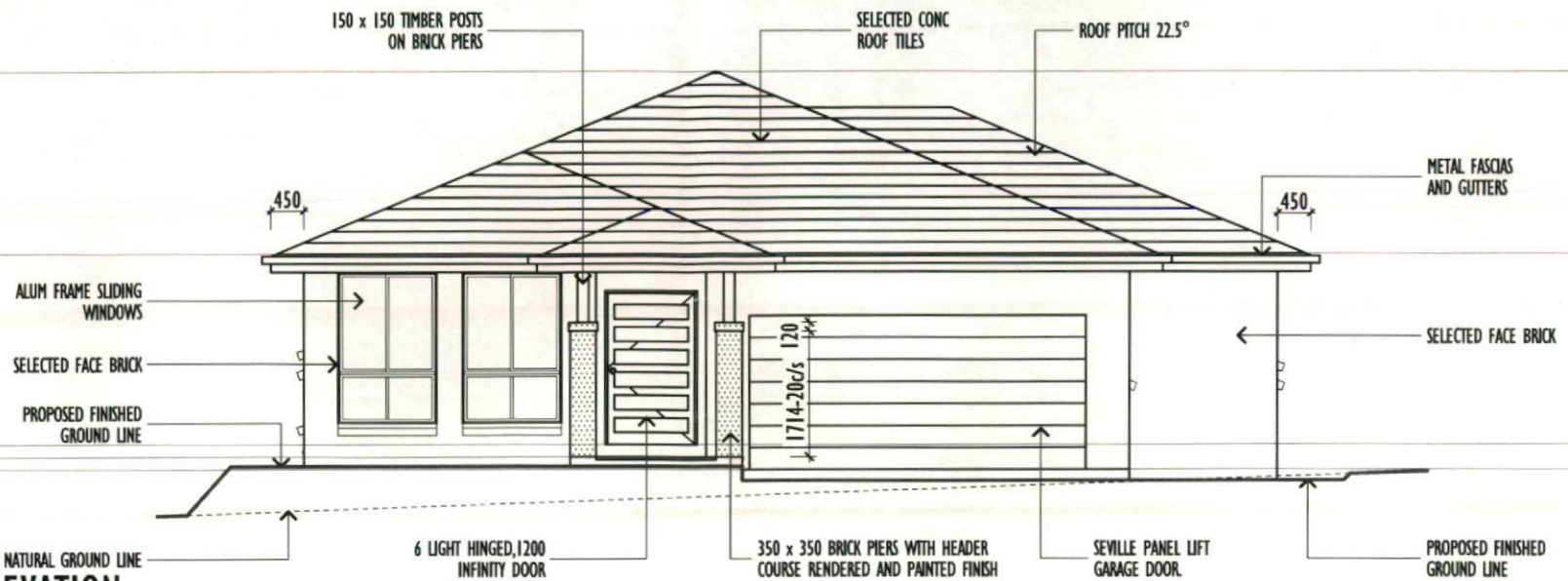
SITE CALCULATIONS			
CONTROL	REQ'D	PROPOSED	COMPLIES
SITE AREA	N/A	499.50m ²	I/A
DWELLING HEIGHT, MASSING & SITING			
Maximum number of stories	2	2	YES
BUILDING SETBACKS			
Front setback (12.0m - < 15m frontage)	4.2m	4.5m	YES
Side setback (12.0m - < 15m frontage)	0.9m	0.963m	YES
Rear setback (12.0m - < 15m frontage)	4m	3.0m	NO
Garage setback from front building facade	1m	1.0m	YES
Allowable front setback encroachment for arch feature	1.0m max	1.022m	NO
DEVELOPMENT ON SLOPING LANDS			
Max cut to side boundary retaining walls	1.0m	0.416m	YES
Max cut to rear boundary retaining walls (1.0m from rear fence)	1.5m	0.448m	YES
Max grade of driveway	20%	12%	YES
PRIVATE OPEN SPACE			
P.O.S. area (20%) & dimension for lots 10-15m	99m ² & 2m	180m ² & 3m	YES
Private area & dimension for lots 10-15m	21m ² & 4m	45m ² & 3.2m	YES
SITE COVER AND LANDSCAPED AREAS			
Max 60% site cover (incl. 6% grey) req'd for lots > 400m ²	399.70m ²	209.05m ²	YES
Min 35% landscaped area required	178m ²	268m ²	YES
GARAGES AND ACCESS			
Minimum front setback for garages and carports	6.5m	6.097m	YES
Minimum setback behind building facade	1.0m	1.0m	YES
Minimum lot frontage required for double garages	12.5m	13.670m	YES
Max width of garage doors to be 60% facade width and 6m	6.0m	4.65m	YES
Max height of garage doors	2.4m	2.1m	YES
Minimum double garage internal width	6.50m	6.50m	YES
Max driveway width at front boundary	4.50m	4.0m	YES

<p>Designiche P/L 2745 Crosby Street Geyraland, NSW 2145 (M) 0438 638 118 (E) orhan@desig niche.com.au</p>	<p>UBD REF. 184 H4</p> <p>N.C.B.</p> <p>COUNCIL PENRITH</p>	<p>SCALE. 1:200</p> <p>DATE. 19.05.13</p> <p>DRAWN. O.K.</p>	<p>AMENDMENTS</p> <table border="1"> <tr> <th>Issue</th> <th>date</th> <th>amendments</th> </tr> <tr> <td>A</td> <td>30.09.13</td> <td>Combined Application</td> </tr> </table>	Issue	date	amendments	A	30.09.13	Combined Application	<p>HEAD OFFICE</p> <p>Unit 35/10 Gladstone Rd Castle Hill NSW 2154 (ph) 02 8894 5200 (f) 02 8894 5728 Ho no: 5685C ABN 31003934058 COPYRIGHT RESERVED</p>	<p>PROJECT.</p> <p>PROPOSED DWELLING AT Lot 41, No 5 ARORA CLOSE, GREY OAKS ESTATE, CADDENS FOR,</p> <p>Mr Mehmet & Mrs Helen KILIC</p> <p>TITLE. SITE PLAN</p>	<p>ISSUE. A</p> <p>JOB No. 13059</p> <p>SHEET. 5-6</p>
	Issue	date	amendments									
A	30.09.13	Combined Application										
<p>REF. No. 13055</p> <p>DESIGN. FAIRLIGHT 22</p> <p>FACADE. SUBURBAN</p>	<p>Proven Professional Provincial Homes</p>											



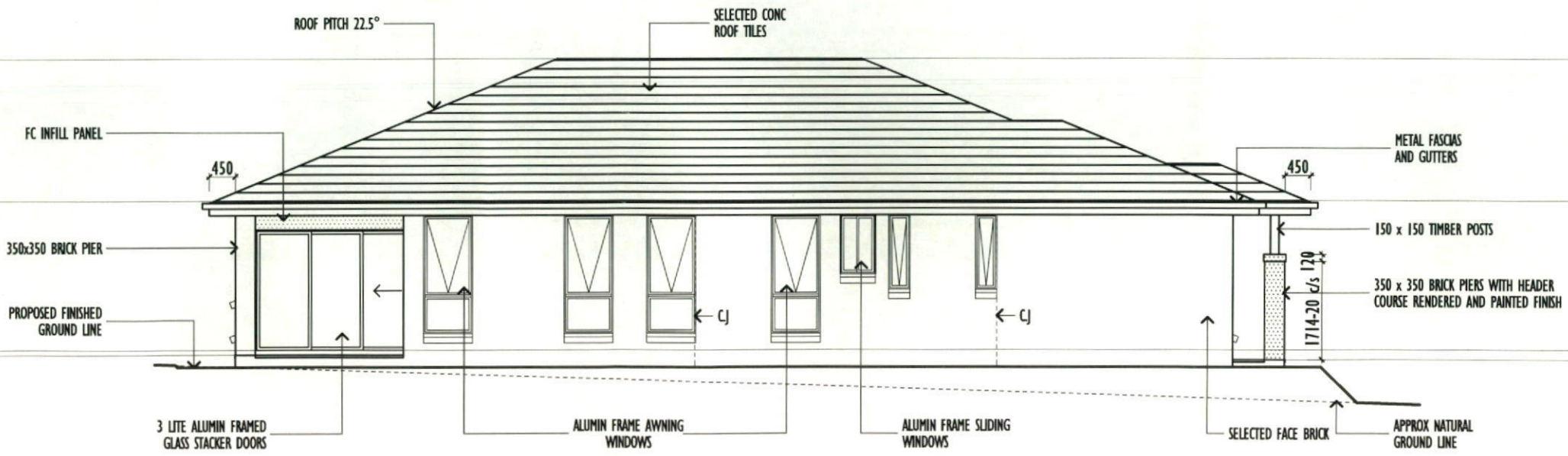
▼ RIDGE RL 75.424
 2474
 ▼ U/S TRUSS RL 72.950
 2600
 ▼ GROUND FLOOR RL 70.350
 344 ▲ GARAGE FLR RL 70.006
 177 ▲ PORCH RL 70.178

WEST ELEVATION
1:100



▼ RIDGE RL 75.424
 2474
 ▼ U/S TRUSS RL 72.950
 2600
 ▼ GROUND FLOOR RL 70.350
 86 ▲ ALFRESCO RL 70.264

NORTH ELEVATION
1:100



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REF. No.
13055

UBD REF.	184 H4	SCALE.	1:100
N.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FACADE.	SUBURBAN

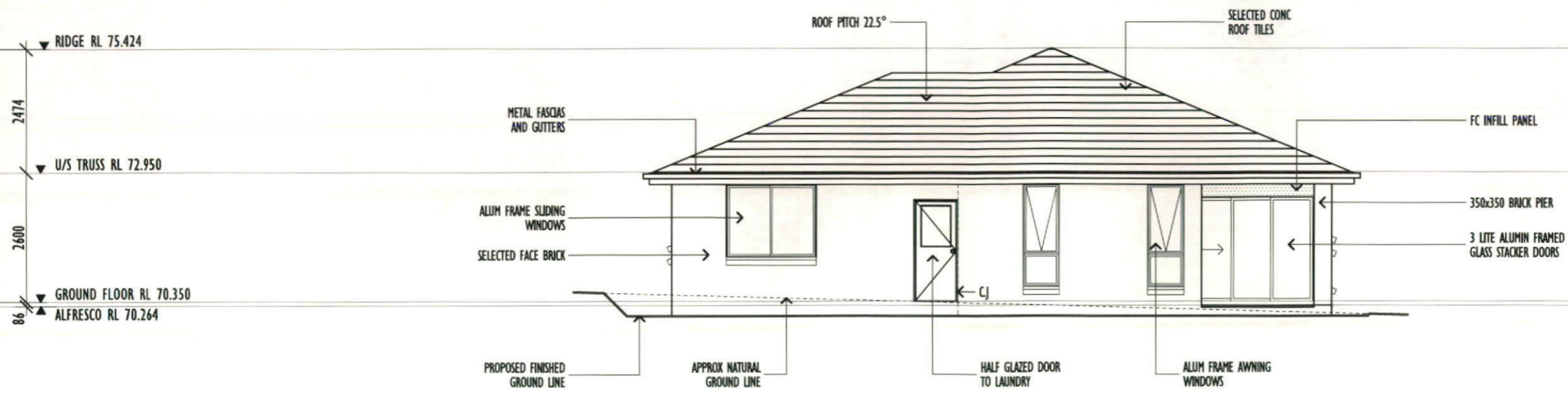
AMENDMENTS		
Issue.	date.	amendments.
C	28.11.13	Reduce e' all depth by 400 & increase width by 170
B	05.09.13	Clear span beam sq set open s to FP wall
A	30.08.13	Combined Application

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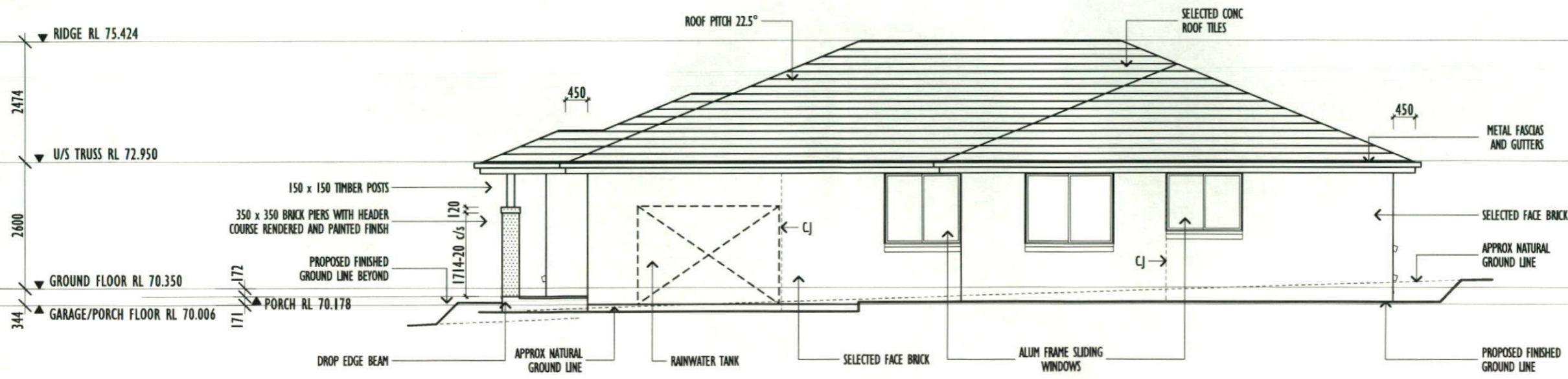


PROJECT.
 PROPOSED DWELLING AT Lot 41, No 5
 ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
 Mr Mehmet & Mrs Helen KILIC
 TITLE. ELEVATIONS

ISSUE. **C**
 JOB No. **13059**
 SHEET. **2-7**



EAST ELEVATION
1:100



SOUTH ELEVATION
1:100

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

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REF. No.
13055

UBD REF.	184 H4	SCALE.	1:100
N.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FAÇADE.	SUBURBAN

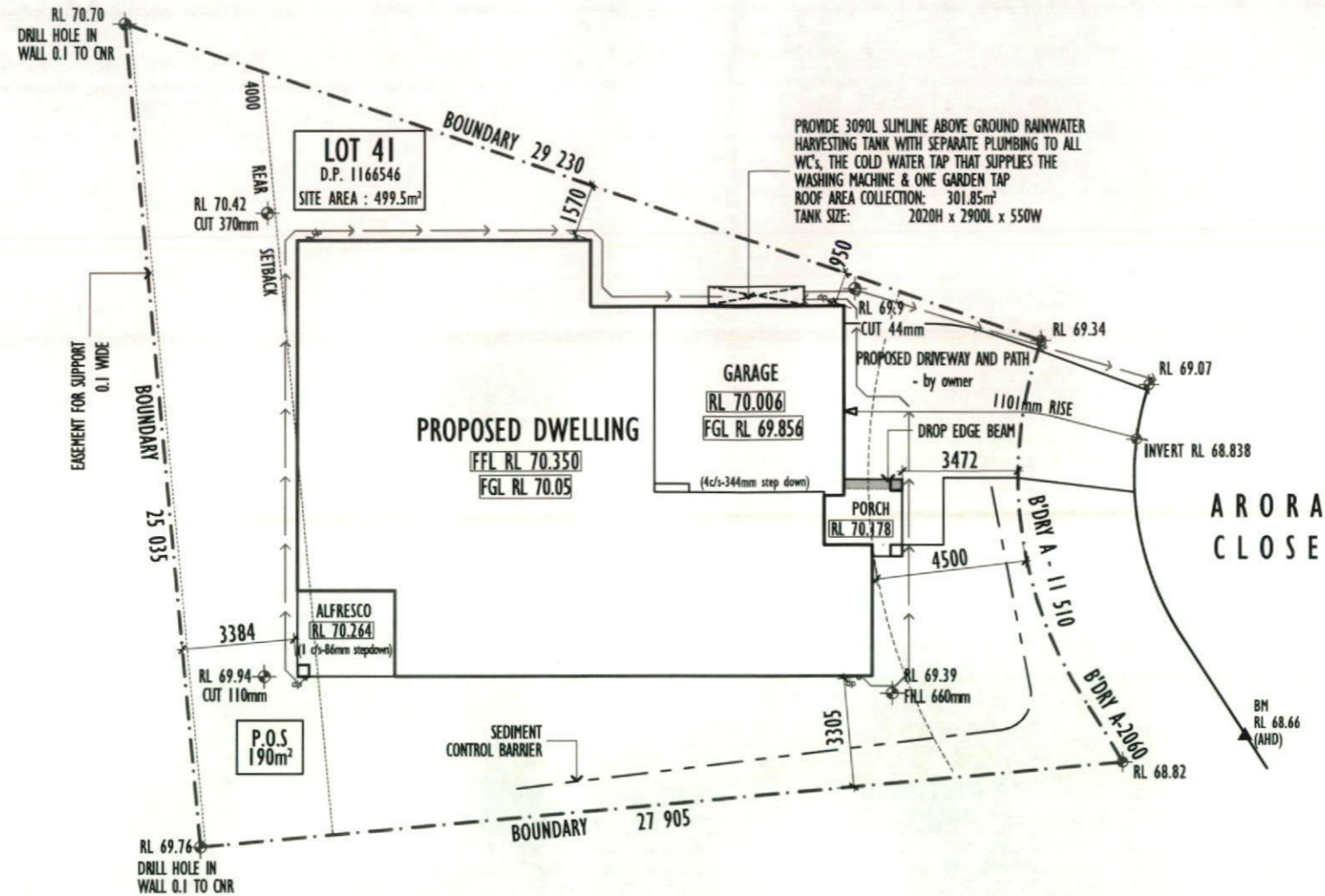
AMENDMENTS		
Issue.	date.	amendments.
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B	05.09.13	Clear span beam, sq set open's to FP wall
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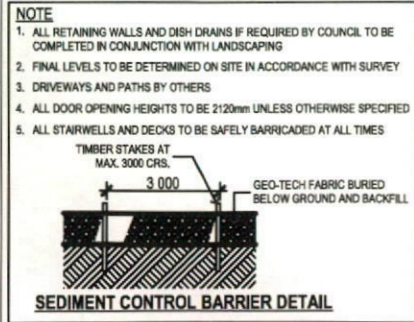
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PROJECT.
PROPOSED DWELLING AT Lot 41, No 5
ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
Mr Mehmet & Mrs Helen KILIC
TITLE . ELEVATIONS

ISSUE. **C**
JOB No. **13059**
SHEET. **3-7**



SITE PLAN
1:200



Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

SITE CALCULATIONS			
CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE AREA	N/A	499.50m ²	N/A
DWELLING HEIGHT, MASSING & SITING			
Maximum number of stories	2	2	YES
BUILDING SETBACKS			
Front setback (12.5m - < 15m frontage)	4.5m	4.5m	YES
Side setback (12.5m - < 15m frontage)	0.9m	0.95m	YES
Rear setback (12.5m - < 15m frontage)	4m	3.384m	NO
Garage setback from front building facade	1m	1.0m	YES
Allowable front setback encroachment for arch feature	1.0max	1.038m	NO
DEVELOPMENT ON SLOPING LANDS			
Max cut to side boundary retaining walls	1.0m	0.448m	YES
Max cut to rear boundary retaining walls (1.0m from rear fence)	1.5m	0.448m	YES
Max grade of driveway	20%	12%	YES
PRIVATE OPEN SPACE			
P.O.S. area (20%) & dimension for lots 10-15m	99m ² & 2m	190m ² & 3m	YES
Principle area & dimension for lots 10-15m	24m ² & 4m	45m ² & 6.2m	YES
SITE COVER AND LANDSCAPED AREAS			
Max 60% site cover (single storey) req'd for lots => 450m ²	299.70m ²	209.63m ²	YES
Min 35% landscaped area required	175m ²	266m ²	YES
GARAGES AND ACCESS			
Minimum front setback for garages and carports	5.5m	6.097m	YES
Minimum setback behind building facade	1.0m	1.0m	YES
Minimum lot frontage required for double garages	12.5m	13.570m	YES
Max width of garage doors to be 50% facade width and 6m	6.0m	4.56m	YES
Max height of garage doors	2.4m	2.1m	YES
Minimum double garage internal width	5.50m	5.52m	YES
Max driveway width at front boundary	4.50m	4.0m	YES

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REF. No.
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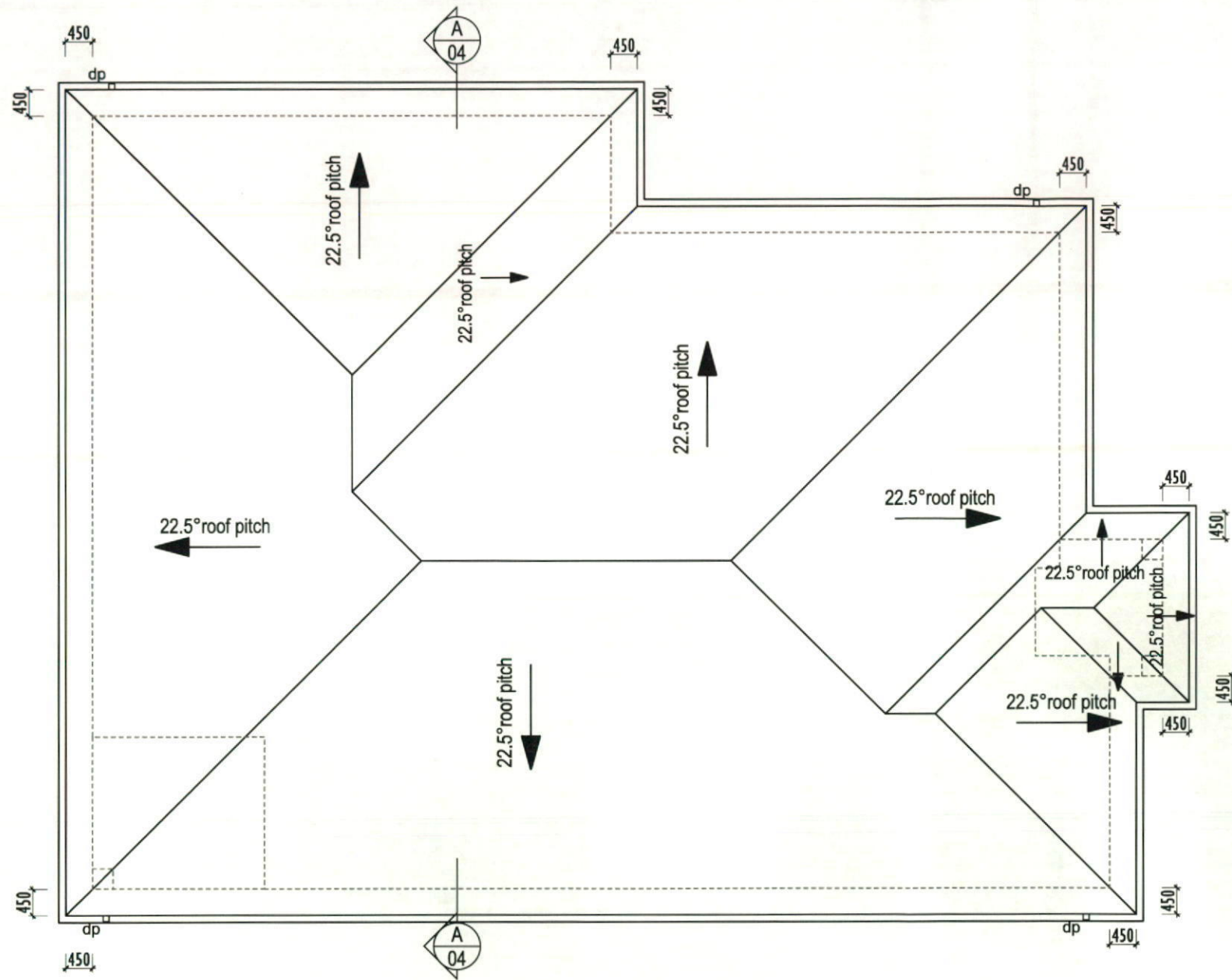
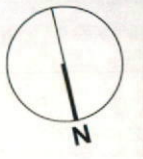
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N.C.S.		DATE.	19.05.13	Issue.	date.	amendments.
COUNCIL	PENRITH	DRAWN.	O.K.			
DESIGN.	FAIRLIGHT 22	DESIGN.	SUBURBAN	C	28.11.13	Reduce overall depth by 400 & increase width by 170
				B	05.09.13	Clear span beam sq set open's to FP wall
				A	30.08.13	Combined Application

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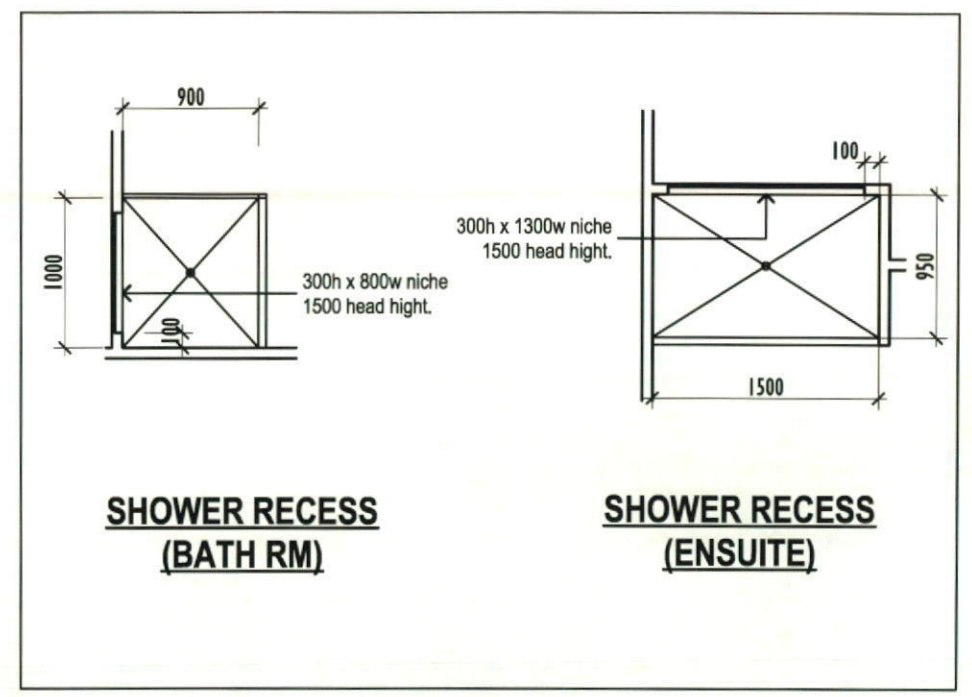
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PROJECT.
PROPOSED DWELLING AT Lot 41, No 5 ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
Mr Mehmet & Mrs Helen KILIC
TITLE . **SITE PLAN**

ISSUE. **C**
JOB No. **13059**
SHEET. **5-7**



ROOF PLAN
1:100



SHOWER DETAILS
1:50

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REF. No.
13055

UBD REF.	184 H4	SCALE.	1:100 & 1:50
N.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FACADE.	SUBURBAN

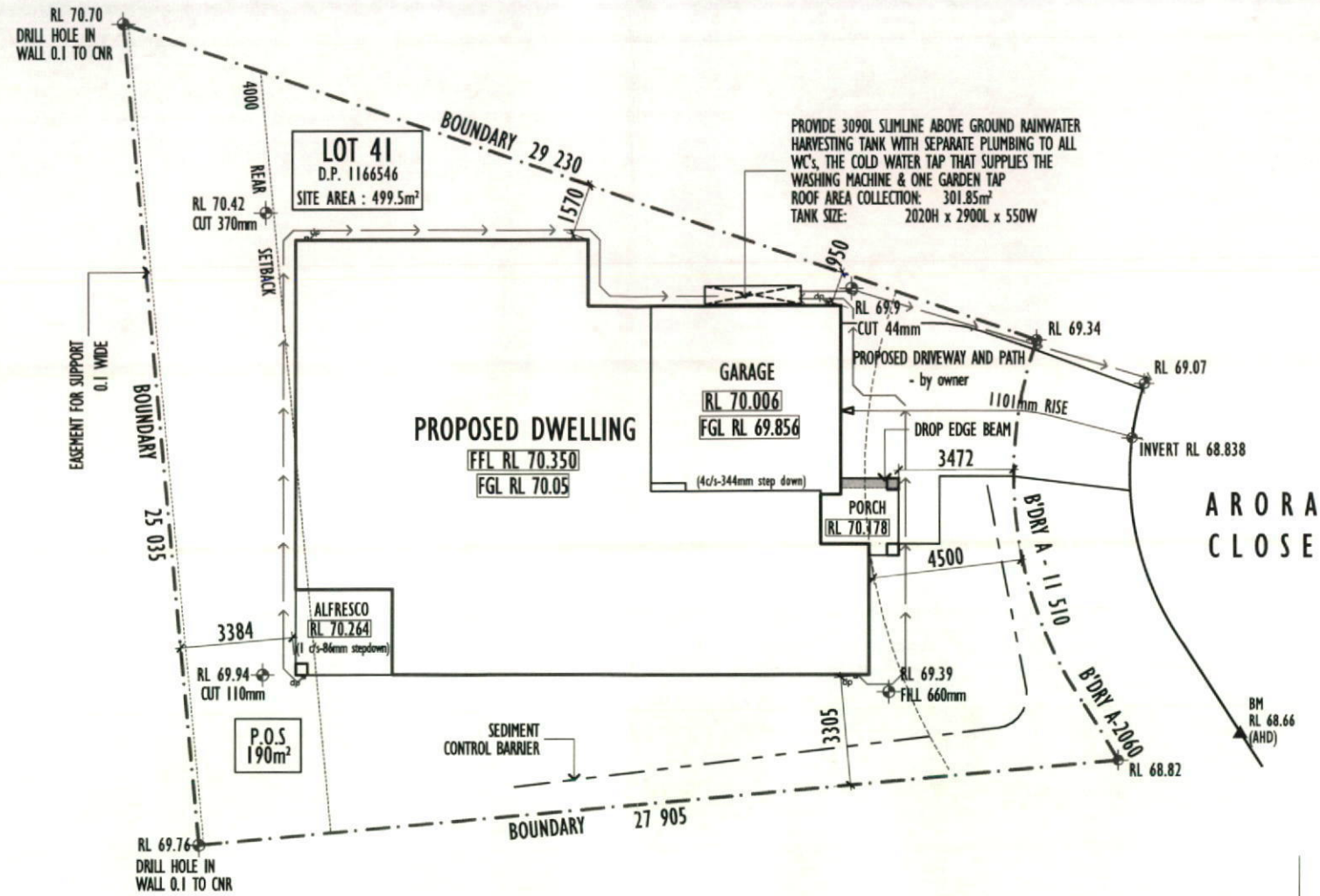
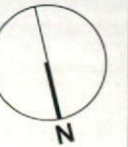
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TITLE.	ROOF PLAN & SHOWER DETAILS

ISSUE.	C
JOB No.	13059
SHEET.	6-7



BASIX COMMITMENTS
1:200

WATER COMMITMENTS

FIXTURES

- PROVIDE SHOWER HEADS WITH A MINIMUM RATING OF 3 STAR IN ALL SHOWERS
- PROVIDE TOILETS CISTERNS WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET
- PROVIDE TAPS WITH A MINIMUM RATING OF 3 STAR IN THE KITCHEN
- PROVIDE BASIN TAPS WITH A MINIMUM RATING OF 3 STAR IN EACH BATHROOM

ALTERNATIVE WATER

- PROVIDE A TALL SLIMLINE ABOVE GROUND RAINWATER TANK OF AT LEAST 3000LITRES
- TANK ON A CONCRETE SLAB
- THE RAINWATER TANK MUST COLLECT RAIN RUNOFF FROM AT LEAST 301.85SQM OF THE ROOF AREA
- THE RAINWATER TANK MUST CONNECT TO ALL TOILETS, THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER AND AT LEAST ONE OUTDOOR TAP

THERMAL COMMITMENTS

- PROVIDE R1.66 RATED BATTS TO EXTERNAL WALLS
- PROVIDE R3.0 RATED BATTS TO CEILING AND ROOF - FLAT CEILING/PITCHED ROOF
- PROVIDE SARKING TO THE UNDERSIDE OF ROOF TILES

ENERGY COMMITMENTS

- PROVIDE A GAS INSTANTANEOUS HOT WATER SYSTEM WITH A PERFORMANCE RATING OF 6 STARS
- PROVIDE 3 PHASE AIR-CONDITIONING SYSTEM WITH A EER BETWEEN 3.0 AND 3.5
- THE AIR-CONDITIONING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS
- PROVIDE AN INDIVIDUAL FAN TO THE KITCHEN DUCTED TO THE FAÇADE WITH MANUAL ON/OFF SWITCH
- PROVIDE FLUORESCENT OR L.E.D LIGHTING TO AT LEAST 4 BEDROOMS/STUDY, AT LEAST 4 OF THE LIVING/DINING ROOMS, THE KITCHEN, ALL BATHROOMS/TOILETS, THE LAUNDRY AND ALL HALLWAYS
- PROVIDE A WINDOW AND/OR SKYLIGHT TO IN 1 BATHROOM(S)/TOILET(S)
- PROVIDE A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN
- PROVIDE A REFRIDGERATOR SPACE THAT IS 'WELL VENTILATED' AS DEFINED IN THE BASIX
- PROVIDE A FIXED OUTDOOR CLOTHES LINE

WINDOWS

- ALUMINIUM CLEAR GLASS
- WALLS CONSTRUCTION
- BRICK VENEER
- INSULATION R1.66 INSULATION RATING
- ROOF COVERING
- TILES
- SARKING
- CEILING R3.0 INSULATION RATING
- FLOOR
- CONCRETE SLAB ON GROUND
- HOT WATER UNIT
- GAS INSTANTANEOUS HWU - 6 STARS

Check all dimensions prior to commencement of works. Figured dimensions to be taken in preference to scaling. Confirm all dimensions on site.

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(E) orhan@designniche.com.au

REF. No.
13055

UBD REF.	184 H4	SCALE.	1:200
N.C.S.		DATE.	19.05.13
COUNCIL	PENRITH	DRAWN.	O.K.
DESIGN.	FAIRLIGHT 22	FAÇADE.	SUBURBAN

AMENDMENTS		
Issue.	date.	amendments.
C	28.11.13	Reduce e' all depth by 400 & increase width by 170
B	05.09.13	Clear span beam sq set open s to FP wall
A	30.08.13	Combined Application

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PROJECT.	PROPOSED DWELLING AT Lot 41, No 5 ARORA CLOSE, GREY OAKS ESTATE, CADDENS. FOR,
	Mr Mehmet & Mrs Helen KILIC
TITLE.	BASIX COMMITMENTS

ISSUE.	C
JOB No.	13059
SHEET.	7-7