

STATEMENT OF ENVIRONMENTAL EFFECTS



Fernleigh

29/10/2020

RE: Proposed Steel Frame Shed (Class 10a) At: Lot 1 (DP545845) 79-87 Mayo Road Llandilo 2747

For: Marita Hanson

The proposal is for the construction of steel frame shed (192m²). Approximate location marked in yellow below.



Image 1: Site Image

1. Current Use

- a. The subject property is currently used as a **Private Property**. The Land Zoning is **RU4 - Primary production Small lots**. The property size is **20,230m²**.

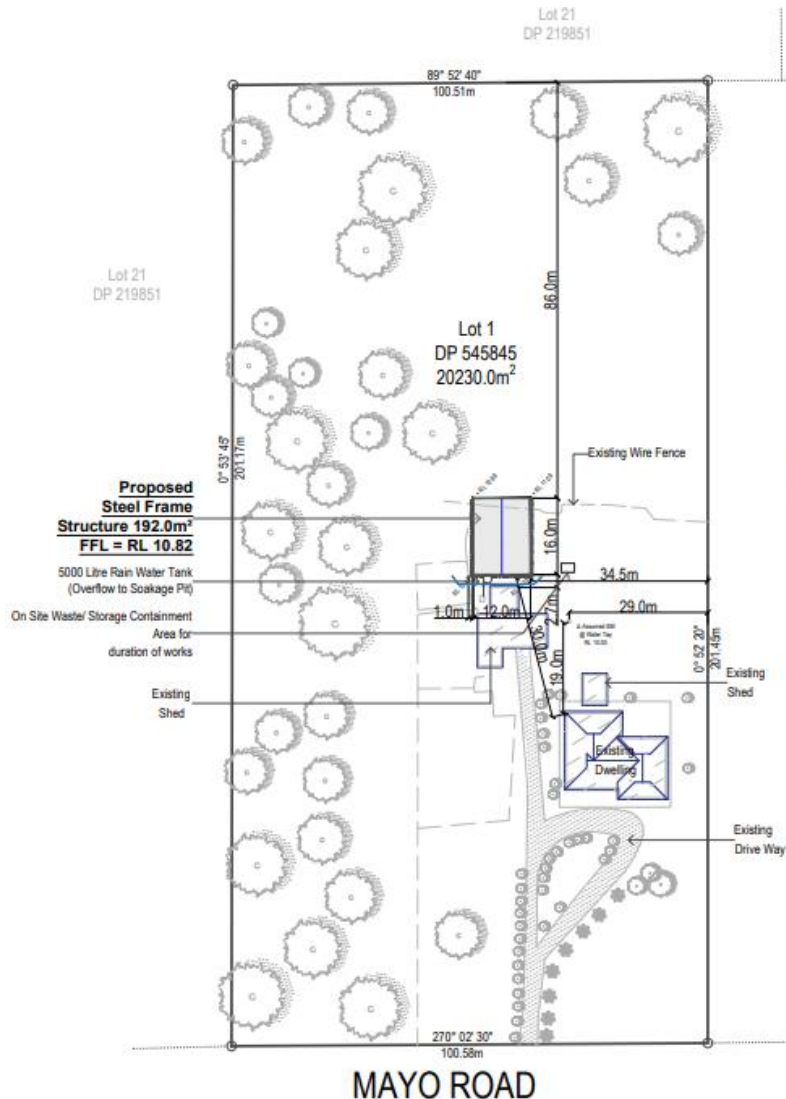


Image 2: Site plan – Location of the Proposed Development.

2. Building details

- a. The development will involve the construction of Steel Portal Frame Shed **192m²** in size (Total Roof).
- b. The floor system will be a **Concrete Slab**.
- c. The design of the Structure will be a standard gable with roof pitch of **11degrees**
- d. Stormwater from the roof will connect to the **New Water tank** via a **5000ltrs Water tank**.
- e. The discharge point being the **Existing OSD (absorption pit)**.
- f. The lowest eave height will be **4.2m** from the finished floor level.
- g. The apex height of the garage building (from finished floor level) will be **5.366m**.
- h. The roof will be cladded in **Corrugated** roof cladding.
- i. The walls will be cladded in **Corrugated** wall cladding.
- j. The building will not be dominant in visual appearance

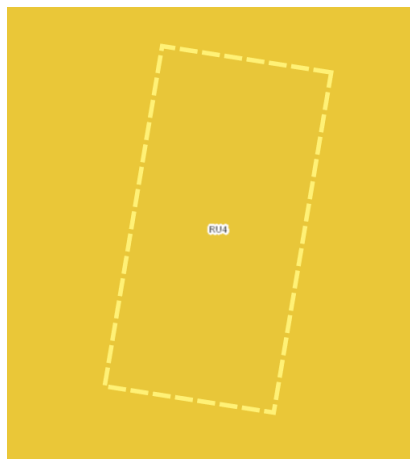
3. Site disturbance

- a. **Minor** Earthworks will be required to cut and fill site.
 - i. A maximum excavation depth of **Less than 0.45m** is required.
 - ii. A maximum fill depth of **Less than 0.5m** will be required.
 - iii. The fill will be battered away from the structure at a maximum of 1 on 2 slope ratio.
 - iv. No Fill will be within 2.0m of the boundary.
 - v. An on site waste storage area will be located on the **Eastern** side of the structure and will remain in place until the construction is completed.
 - vi. A silt/sediment fence will be constructed on the low side of the disturbed earth and maintained for the duration of works.
 - vii. All surfaces disturbed are to be returned to a state that will prevent ongoing erosion and sediment.
- b. No native flora or fauna shall be disturbed.
- c. **(0)** trees are required to be removed.
- d. No Industrial or commercial activities have been conducted on the site in recent years.

4. Planning layers

a. Hazard

- I. **Bushfire** The property **IS** within a **Bush fire** prone zone. *(see below bush fire prone map):*
Bushfire prone land Category - Vegetation Category 2
Guideline - v4B
 - i. The Proposed Building is more than 10.0m away from any habitable dwellings.
 - ii. The Proposed to be built from non-combustible materials.



- II. **Flood.** The proposed development is **NOT** in a **Flood prone** land.

b. Protection

- II. The proposed development is **NOT** within a **Conservation** area.
- III. The proposed development is **NOT** within an **Acid Sulphate soils** affected area.
- IV. The proposed development is **NOT** within **Drinking Water Catchment** area.
- V. The proposed development is **NOT** within **Groundwater Vulnerability** defined area.
- VI. The proposed development is **NOT** within a **Riparian Water coarse**.

- VII. The proposed development is **NOT** affected by **Terrestrial Biodiversity** defined land and is not near a **Terrestrial Biodiversity** defined area.

c. Mines Subsidence

- I. The proposed development is **NOT** within a **Mines Subsidence** affected area.

5. Development Control Plan (DCP) Variation requests

Item:

No item is in breach of code.

How it meets all the other relevant DCP objectives:

- The proposed shed is set back 30.0m behind the existing dwelling.
- Side boundary setback is 34.5m, complying with the minimum 5.0m allowed.
- The overall ground floor footprint is 484², complying with the maximum 500m².
- The quality design of the shed is sympathetic to the rural character and features are complimentary to Existing dwelling and not dominant in appearance.
- Fill does not exceed 1.0m.
- Cut does not exceed 1.0m.

Impact on local amenity:

- The Proposed will not have any impact or effect on the local amenity.

6. Other

- a. No sewer or stormwater will be affected. All sewer and stormwater will be connecting to existing services and all plumbing will be conducted in accordance with AS AS 3500.
- b. The proposed structure is NOT a waterfront property or encroaching on crown land.
- c. The development shall be carried out in accordance with the Building Code of Australia.
- d. The proposed development will in no way have impact regarding special design features.
- e. There will be no disturbance to traffic flow, noise pollution, and historical or archaeological aspects or on soil erosion.
- f. There will be no excessive waste or wastewater created during construction.

Kind Regards

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