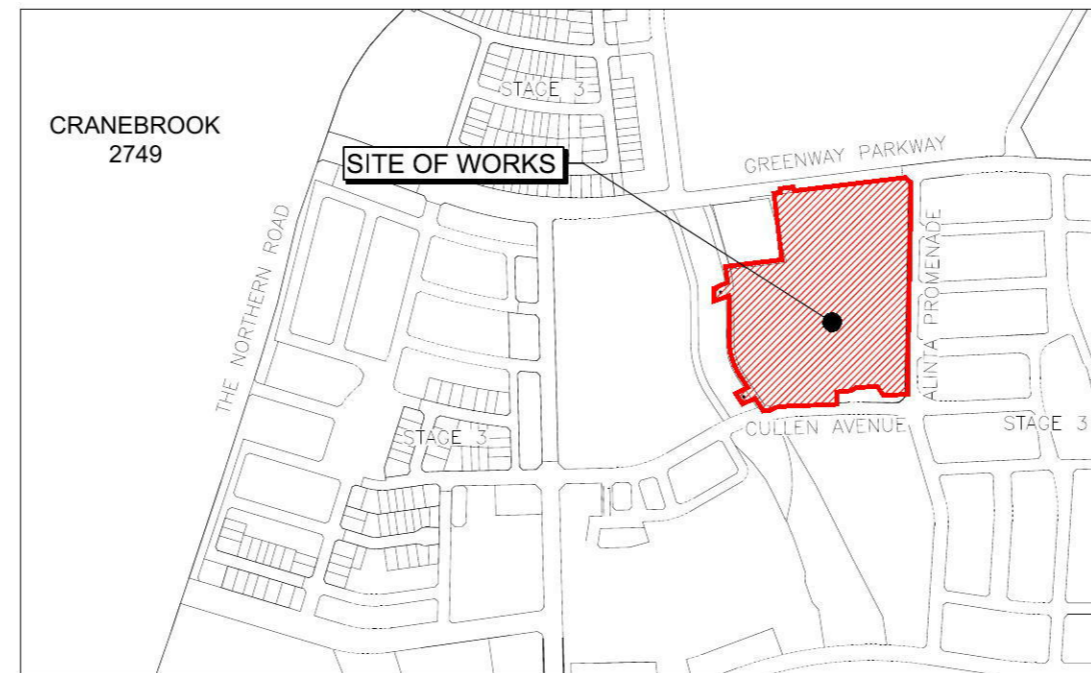


# PENRITH CITY COUNCIL



## JORDAN SPRINGS - VILLAGE OVAL DEVELOPMENT APPLICATION PROPOSED PLAYING FIELD GRADING & DRAINAGE WORKS



CIVIL PLAN INDEX		
PLAN NO.	PLAN NAME	REV
934315/DA00	COVERSHEET & INDEX	B
934315/DA01	ENGINEERING PLAN 1	A
934315/DA02	ENGINEERING PLAN 2	A
934315/DA03	CUT FILL PLAN	B
934315/DA04	SITE SECTIONS	A
934315/DA05	SOIL & WATER MANAGEMENT PLAN & NOTES	B

NOTE:  
1. EXISTING SURFACE INFORMATION IS A COMPILATION OF PREVIOUS DESIGN SURFACES, EXISTING SURFACE INFORMATION TO BE CONFIRMED BY A SURVEYOR  
2. LANDSCAPE DESIGN BY: CLOUSTON ASSOCIATES  
3. IRRIGATION DESIGN BY: XXXXX  
4. LIGHTING DESIGN BY: XXXXX  
5. SERVICES DESIGN BY: XXXXX  
6. SUBSOIL DESIGN BY: XXXXX

### LOCALITY SKETCH

Prepared By:

**J. WYNDHAM PRINCE**  
CONSULTING CIVIL INFRASTRUCTURE ENGINEERS  
& PROJECT MANAGERS

PO Box 4366 PENRITH WESTFIELD NSW 2750

P 02 4720 3300 F 02 4720 3399

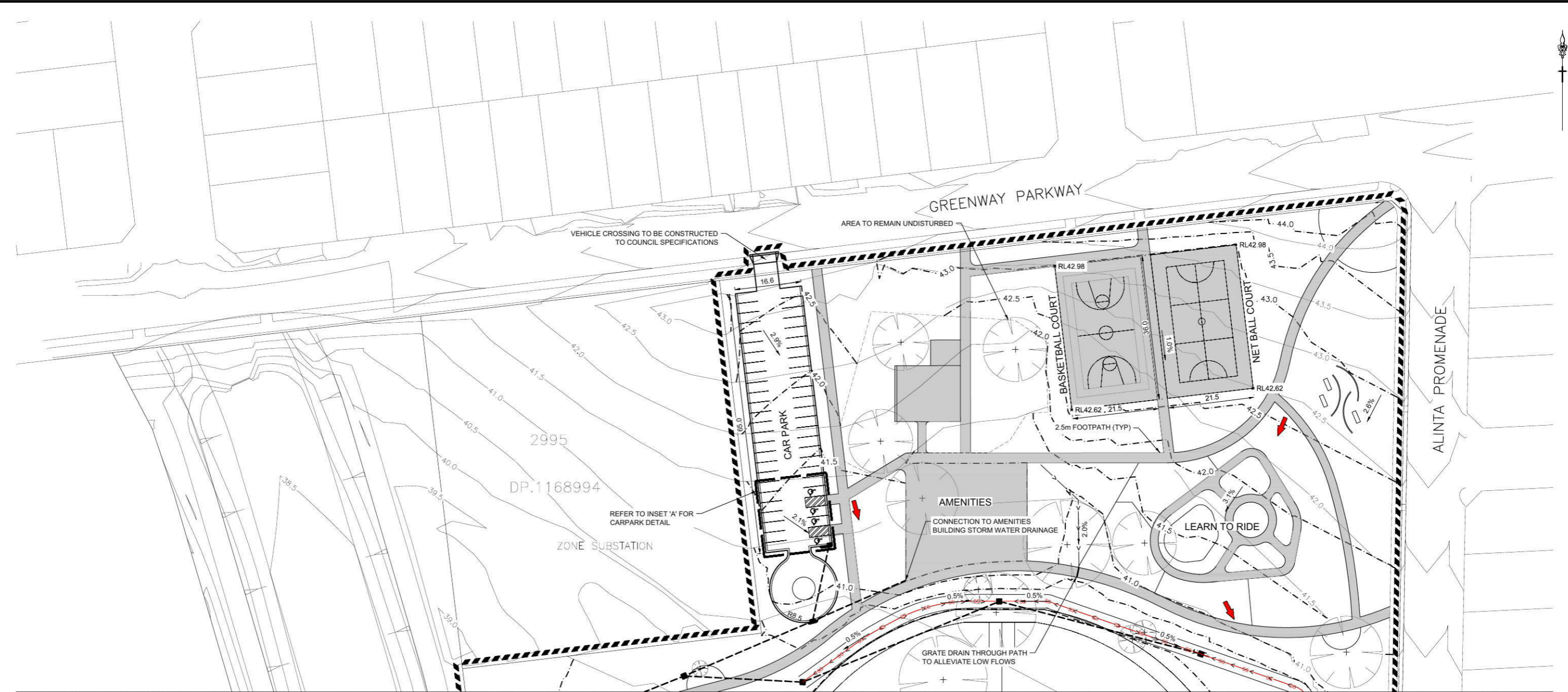
W [www.jwprince.com.au](http://www.jwprince.com.au)

E [jwp@jwprince.com.au](mailto:jwp@jwprince.com.au)

**ISSUED FOR DA APPROVAL**  
NOT FOR CONSTRUCTION

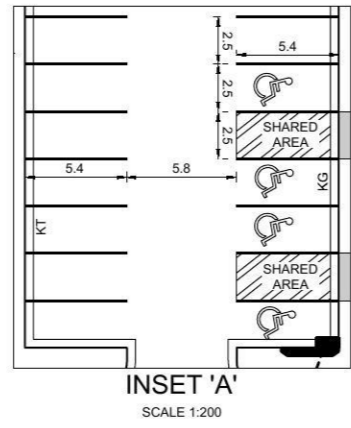
PLAN No.  
934315/DA00 **B**  
FILE No. 934315DA00

Plotted: 20 February, 2014 1:36:08 PM File Name: J:\934315\VILLAGE OVAL PK\15DA - Development\Approval Plans\934315DA01.dwg



REFER TO DRAWING DA02 FOR CONTINUATION

LEGEND	
	DESIGN CONTOURS
	EXISTING CONTOURS
	LIMIT OF WORKS
	SURFACE GRADE
	CATCHDRAIN
	SUBSOIL DRAINAGE REFER TYPICAL DETAIL 934315DA04
	OVERLAND FLOW PATH
	DRAINAGE PIT AND LINE
	PAVED AREA, REFER TO LANDSCAPE ARCHITECTS PLANS FOR DETAILS



NO.	DESCRIPTION	DESIGNED BY	CHECKED BY	DATE
A	ISSUED FOR DA APPROVAL	LVD	MS	19/02/14
	AMENDMENT	DES	CKD	APR

**J. WYNDHAM PRINCE** CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS

PO Box 4366 PENRITH WESTFIELD NSW 2750  
 P 02 4720 3300 F 02 4720 3399 W www.jwprince.com.au E jwp@jwprince.com.au

AZIMUTH: MGA  
 DATUM: AHD  
 ORIGIN:

CLIENT:

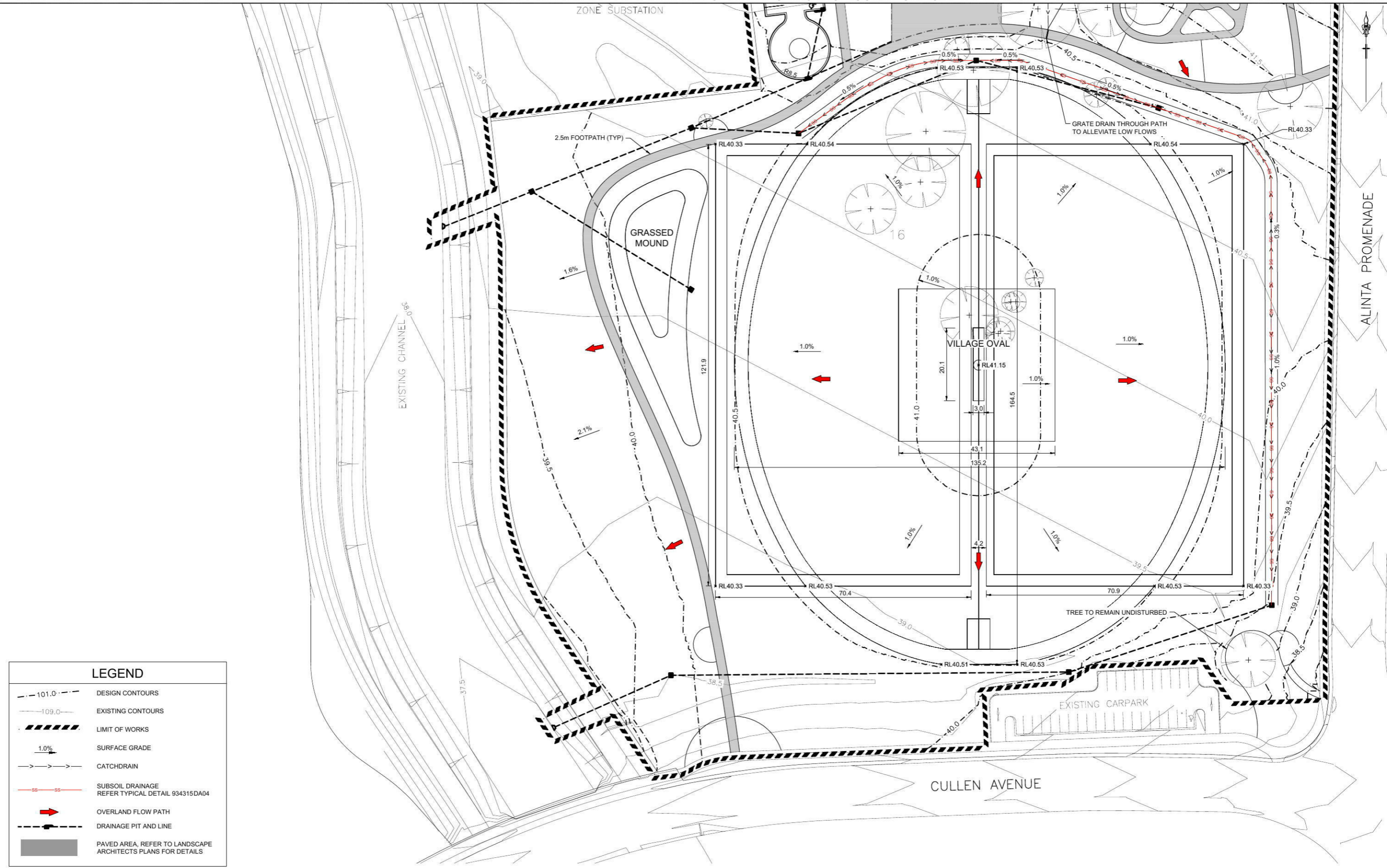
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

**ISSUED FOR DA APPROVAL**  
 NOT FOR CONSTRUCTION

JORDAN SPRINGS VILLAGE OVAL ENGINEERING PLAN 1

PLAN No: 934315/DA01 **A**  
 FILE No: 934315DA01  
 SHEET SIZE: A1 ORIGINAL

REFER TO DRAWING DA01 FOR CONTINUATION



LEGEND	
	DESIGN CONTOURS
	EXISTING CONTOURS
	LIMIT OF WORKS
	SURFACE GRADE
	CATCHDRAIN
	SUBSOIL DRAINAGE REFER TYPICAL DETAIL 934315DA04
	OVERLAND FLOW PATH
	DRAINAGE PIT AND LINE
	PAVED AREA, REFER TO LANDSCAPE ARCHITECTS PLANS FOR DETAILS



Plotted: 20 February, 2014 1:36:22 PM File Name: J:\934315\VILLAGE OVAL PK15DA - Development Application Approval Plans\934315DA02.dwg

**J. WYNDHAM PRINCE** CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS

PO Box 4366 PENRITH WESTFIELD NSW 2750  
 P 02 4720 3300 F 02 4720 3399 W www.jwprince.com.au E jwp@jwprince.com.au

AZIMUTH: MGA  
 DATUM: AHD  
 ORIGIN:

CLIENT:

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

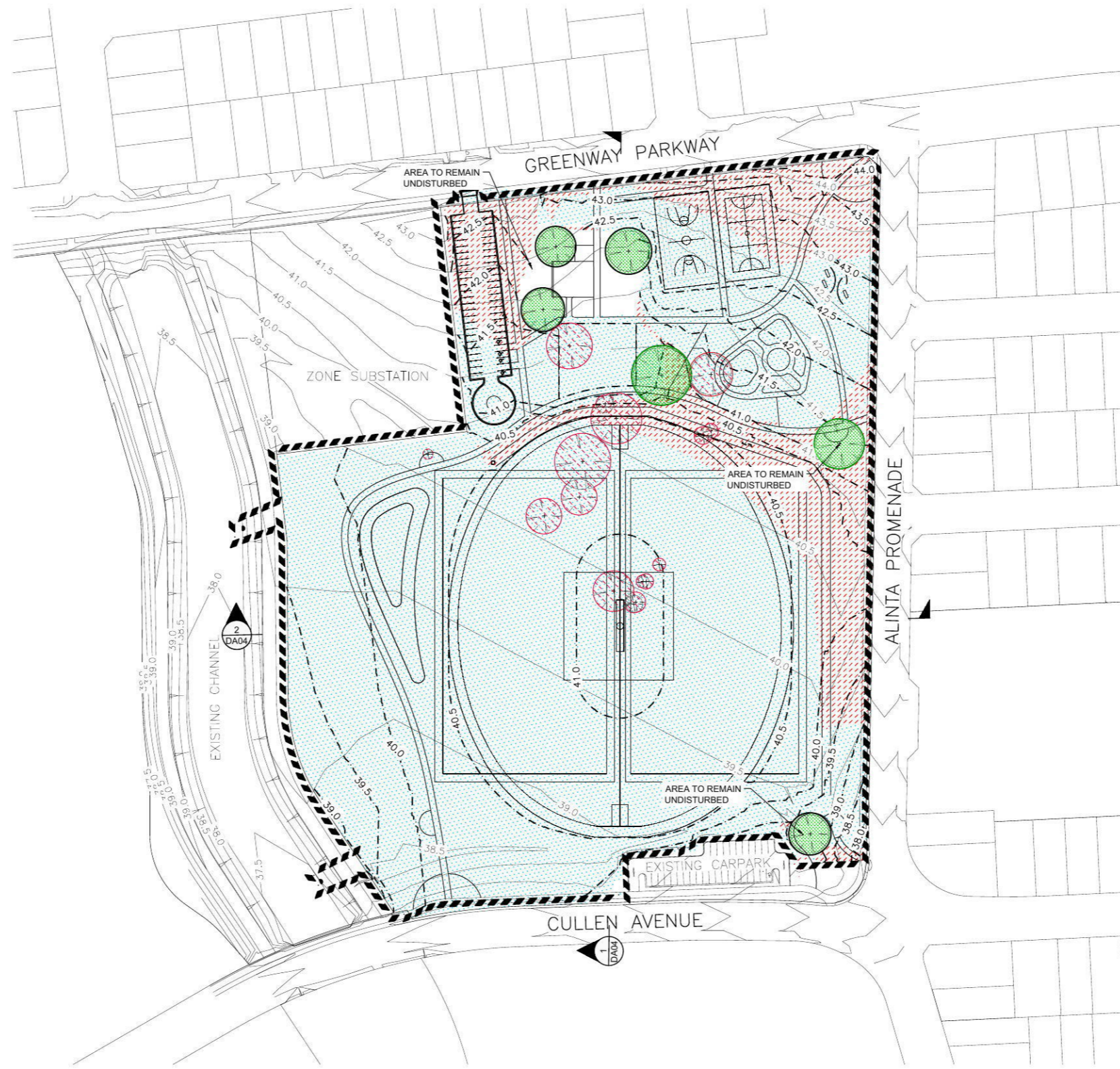
**ISSUED FOR DA APPROVAL**  
 NOT FOR CONSTRUCTION

JORDAN SPRINGS  
 VILLAGE OVAL  
 ENGINEERING  
 PLAN 2

PLAN No: 934315/DA02 **A**  
 FILE No: 934315DA02  
 SHEET SIZE: A1 ORIGINAL

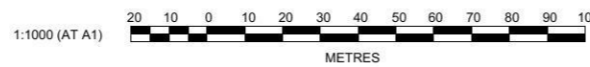
NO.	DESCRIPTION	DESIGNED	CHECKED	DATE
A	ISSUED FOR DA APPROVAL	LVD	MS	19/02/14
	AMENDMENT	DES	CKD	APR

Plotted: 20 February, 2014 1:36:37 PM File Name: J:\934315\VILLAGE OVAL PK15\DA - Development Application Approval Plans\934315DA03.dwg



NOTES: THE EXISTING SURFACE ADOPTED IS A COMPILATION OF PREVIOUS DESIGN SURFACES AND SURVEY DATA, AND DOES NOT REFLECT CURRENT SITE CONDITIONS. UPDATED SURVEY IS REQUIRED DETERMINE BULK EARTHWORKS QUANTITIES

LEGEND	
	101.0 DESIGN CONTOURS
	109.0 EXISTING CONTOURS
	LIMIT OF WORKS
	EXTENTS OF CUT
	EXTENTS OF FILL
	TREES TO BE REMOVED
	TREES TO BE RETAINED



REV	DESCRIPTION	DES	DRN	CKD	APR	DATE
B	TREE REMOVAL AMENDED	LVD	LVD			
A	ISSUED FOR DA APPROVAL	LVD	LVD	MS	KN	19/02/14
	AMENDMENT	DES	DRN	CKD	APR	DATE

**J. WYNDHAM PRINCE** CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS

PO Box 4366 PENRITH WESTFIELD NSW 2750  
 P 02 4720 3300 F 02 4720 3399 W www.jwprince.com.au E jwp@jwprince.com.au

AZIMUTH: MGA  
 DATUM: AHD  
 ORIGIN:

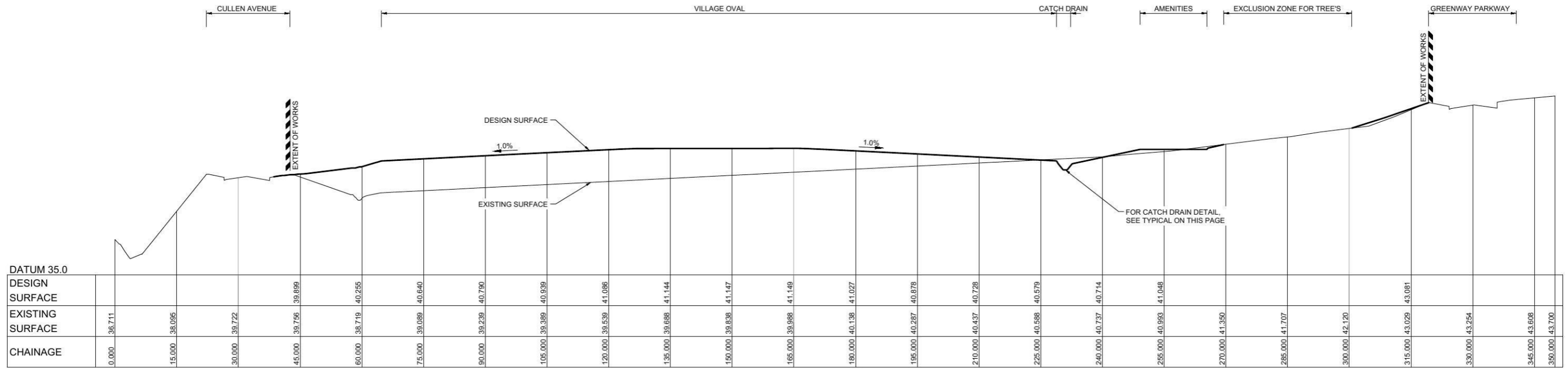
CLIENT:

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

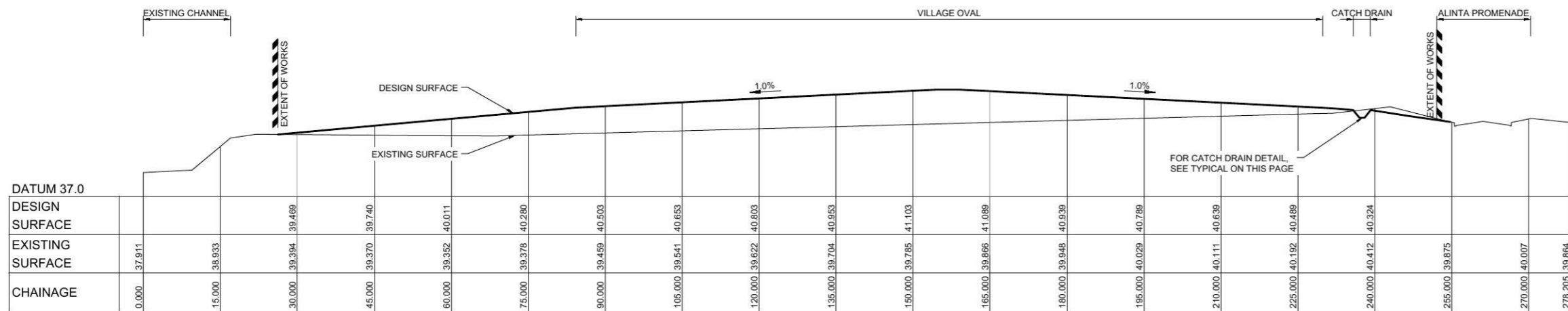
**ISSUED FOR DA APPROVAL**  
 NOT FOR CONSTRUCTION

JORDAN SPRINGS  
 VILLAGE OVAL  
 CUT FILL PLAN

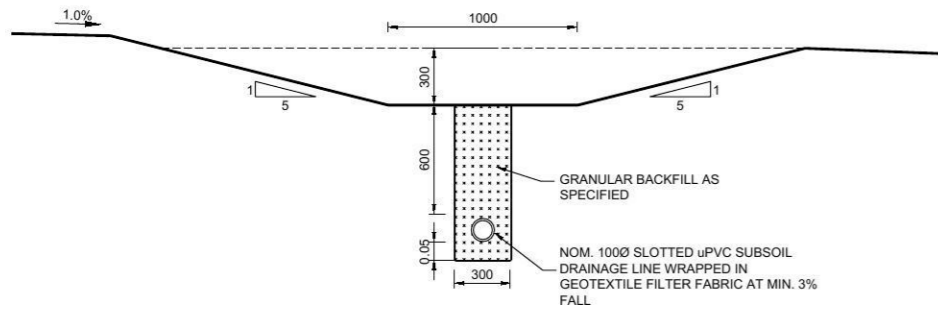
PLAN No: 934315/DA03 **B**  
 FILE No: 934315DA03  
 SHEET SIZE: A1 ORIGINAL



SECTION 1  
SCALE H 1:100  
V 1:500



SECTION 2  
SCALE H 1:100  
V 1:500



CATCH DRAIN TYPICAL  
SCALE 1:20



Plotfile: 20 February 2014 1:36:48 PM File Name: J:\934315\DA04 - Development\Approval Plans\934315DA04.dwg

ISSUED FOR DA APPROVAL	LVD	LVD	MS	KN	19/02/14
AMENDMENT	DES	DRN	CKD	APR	DATE

**J. WYNDHAM PRINCE** CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS

PO Box 4366 PENRITH WESTFIELD NSW 2750  
P 02 4720 3300 F 02 4720 3399 W www.jwprince.com.au E jwp@jwprince.com.au

AZIMUTH: MGA  
DATUM: AHD  
ORIGIN:

CLIENT:

**Lend Lease**

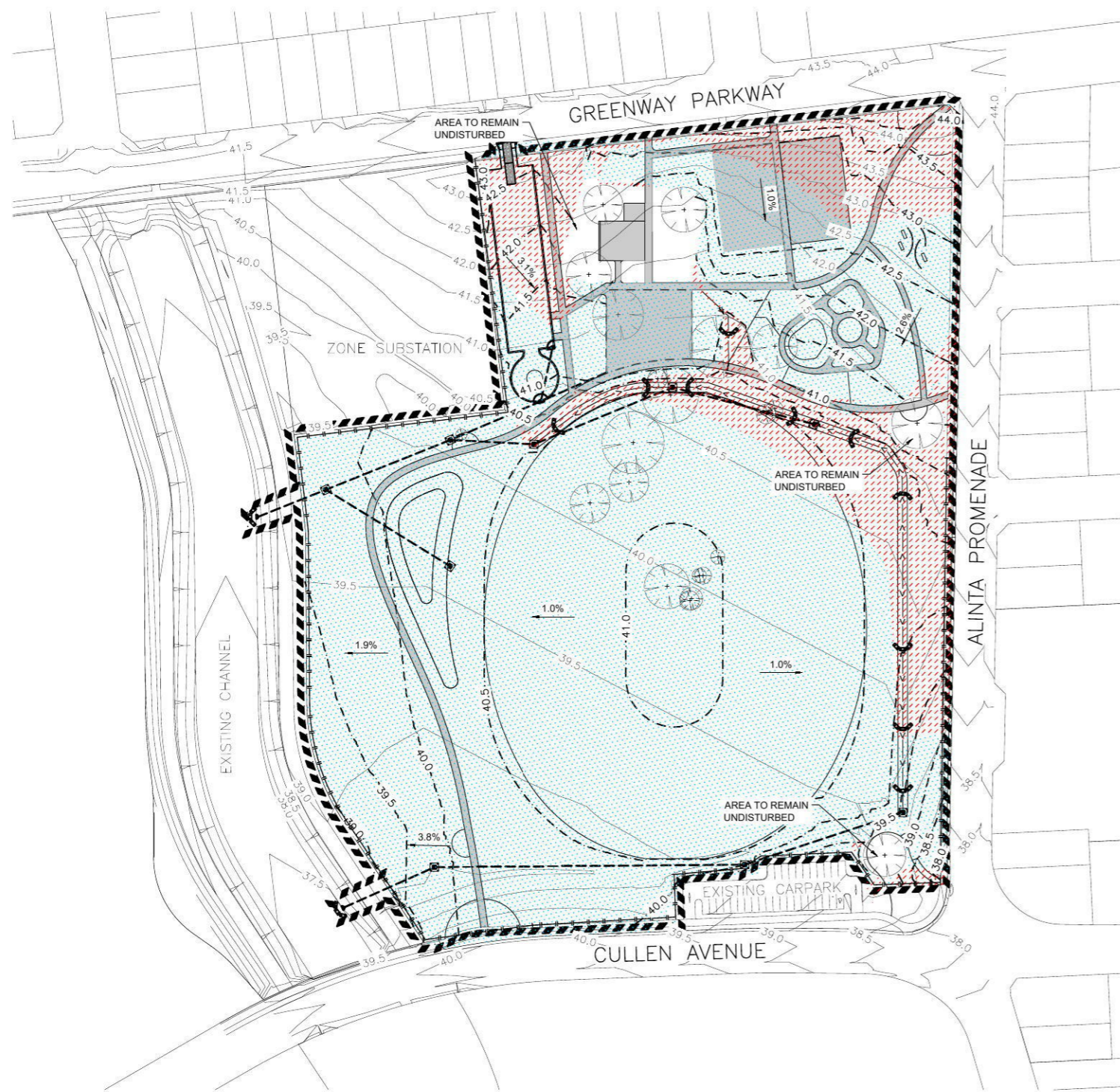
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

**ISSUED FOR DA APPROVAL**  
NOT FOR CONSTRUCTION

JORDAN SPRINGS  
VILLAGE OVAL  
SITE SECTIONS

PLAN No: 934315/DA04 **A**  
FILE No: 934315DA04  
SHEET SIZE: A1 ORIGINAL

Plotted: 20 February, 2014 1:37:03 PM File Name: I:\934315\VILLAGE OVAL PK15DA - Development Application Approval Plans\934315DA05.dwg



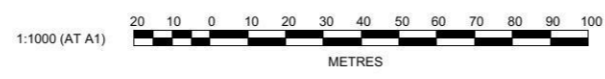
SOIL & WATER MANAGEMENT PLAN  
SCALE: 1:1000

LEGEND	
	DESIGN CONTOURS
	EXISTING CONTOURS
	LIMIT OF WORKS
	SURFACE GRADE
	CATCHDRAN
	DRAINAGE PIT AND LINE
	SEDIMENT FENCE
	STRAW BALE FILTER
	KERB INLET FILTER
	GEOTEXTILE INLET FILTER
	STABILISED SITE ENTRY
	DISTURBED AREA
	PAVED AREA. REFER TO LANDSCAPE ARCHITECTS PLANS FOR DETAILS

- SPECIAL NOTES:**
- LOCATION AND EXTENT OF SOIL AND WATER MANAGEMENT DEVICES IS DIAGRAMMATIC ONLY AND THE ACTUAL REQUIREMENTS SHALL BE CONFIRMED ON SITE.
  - REFER TO "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION" - 4TH EDITION FOR TYPICAL DETAILS OF STANDARD SEDIMENT AND EROSION CONTROL DEVICES.
  - THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE GUIDELINES SET OUT IN "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION" - 4TH EDITION AND THE ACCOMPANYING ROAD AND DRAINAGE PLANS.
  - CONFORMITY WITH THIS PLAN SHALL IN NO WAY REDUCE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AGAINST WATER DAMAGE DURING THE COURSE OF THE CONTRACT.
  - MANAGEMENT DEVICES SHALL BE MAINTAINED ON A REGULAR BASIS. WHERE CLEANING IS REQUIRED, THE SEDIMENT SHALL BE REMOVED TO A POINT NOMINATED BY THE ENGINEER.
  - PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS, AND AFTER THE ROAD CENTRELINES HAVE BEEN PEGGED AND/OR PERMANENTLY MARKED, THE SITE MUST BE INSPECTED BY COUNCIL'S REPRESENTATIVE AND THE APPLICANT'S REPRESENTATIVE TO IDENTIFY AND APPROPRIATELY MARK:-
    - THE TREES TO BE RETAINED.
    - ALL TREES TO BE LEFT UNDISTURBED AND TO BE CORDONED OFF.
  - NO TREES SHALL BE REMOVED WITHOUT COUNCIL'S CLEARANCE.
  - MANAGEMENT DEVICES TO REMAIN UNTIL THE END OF THE MAINTENANCE PERIOD.
  - THE TEMPORARY BASIN IS TO REMAIN BE DECOMMISSIONED ONCE THE SITE IS RE-VEGETATED AND ESTABLISHED.

- GENERAL NOTES:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE REQUIREMENTS OF THE "ENVIRONMENT PROTECTION AUTHORITY" AND "DEPT OF LAND AND WATER CONSERVATION". MEASURES OUTLINED IN THE SOIL & WATER MANAGEMENT PLAN MUST BE IMPLEMENTED PRIOR TO AND MAINTAINED DURING AND AFTER THE CONSTRUCTION WORKS.
  - TOPSOIL FROM ALL AREAS TO BE DISTURBED SHALL BE STOCKPILED AND LATER RESPREAD TO AID REVEGETATION IN THOSE AREAS. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
  - ALL TAIL-OUT DRAINS SHALL BE GRASSED AND TRAPEZOIDAL IN SECTION. STRAW BALES SHALL BE PLACED AS A SEDIMENT CONTROL DEVICE WHERE REQUIRED.
  - VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING DEVELOPMENT CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS. AREAS TO BE LEFT UNDISTURBED SHALL BE MARKED OFF.
  - DISTURBANCE OF VEGETATION SHALL BE LIMITED TO FILL AREAS, ROADWAYS AND DRAINAGE LINES. NO LOT GRADING SHALL BE CARRIED OUT IN UNDISTURBED AREAS WITHOUT CONSULTATION WITH COUNCIL'S ENGINEER.
  - ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITHIN 14 WORKING DAYS FROM THE CONCLUSION OF LAND SHAPING.
  - MINIMISE DUST BY WATERING WHEN REQUIRED.

- SEDIMENTATION CONTROL DEVICES:**
- ALL STRAW BALES SHALL BE BOUND WITH WIRE. STRAW BALES SHALL BE PLACED END TO END IN A SINGLE ROW AND EMBEDDED INTO THE SOIL TO A DEPTH OF 100mm. EACH BALE SHALL BE SECURELY ANCHORED WITH TWO STEEL STAKES DRIVEN 450mm INTO THE GROUND AND LOCATED ON THE BALE CENTRE LINE. SILT FENCES SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR SIMILAR) BETWEEN POSTS AT 2m (3m MAX) CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



**J. WYNDHAM PRINCE** CONSULTING CIVIL INFRASTRUCTURE ENGINEERS & PROJECT MANAGERS

PO Box 4366 PENRITH WESTFIELD NSW 2750  
 P 02 4720 3300 F 02 4720 3399 W www.jwprince.com.au E jwp@jwprince.com.au

AZIMUTH: MGA  
 DATUM: AHD  
 ORIGIN:

CLIENT:

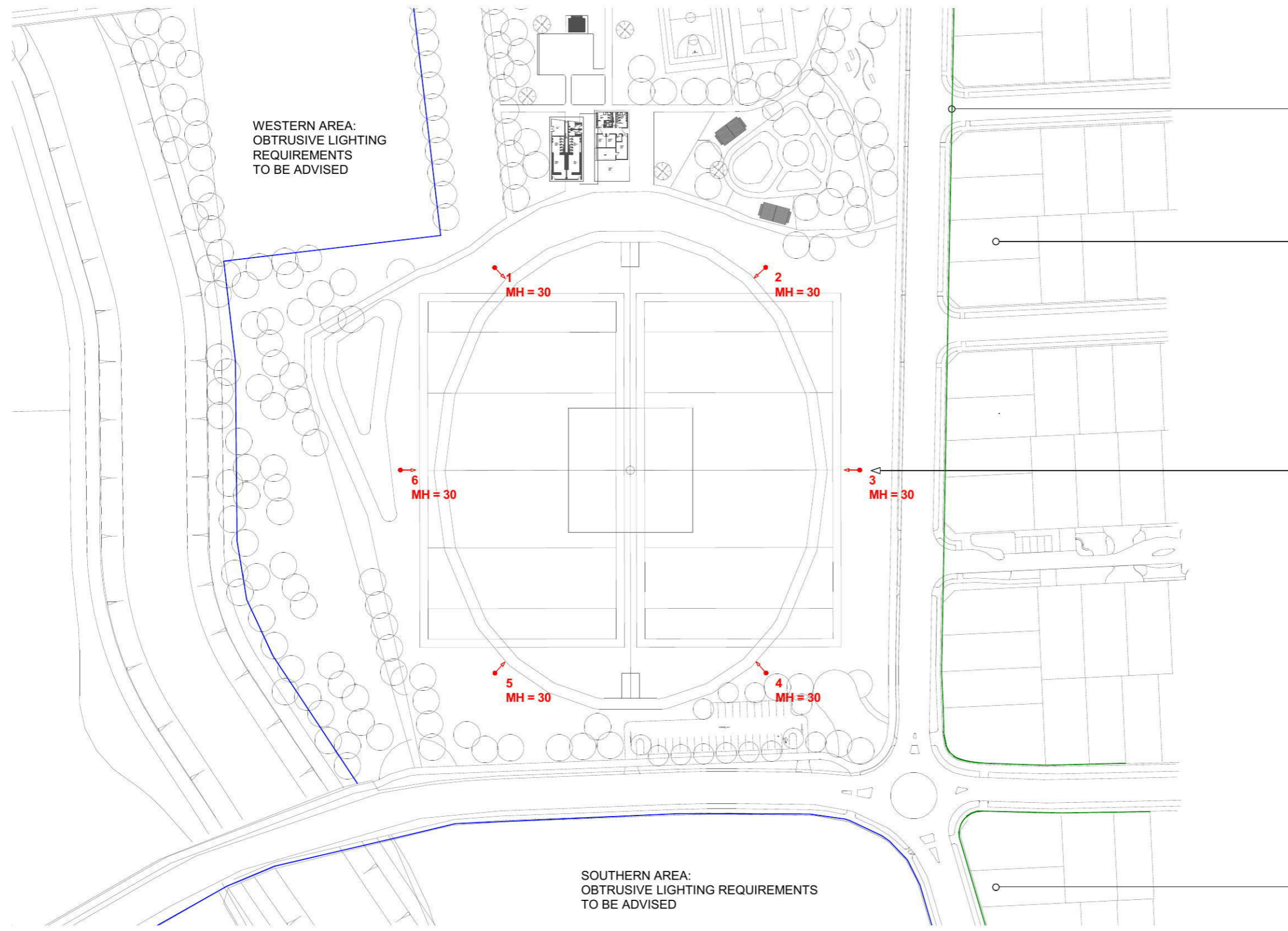
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS PART OF AN APPROVED CONSTRUCTION CERTIFICATE.

**ISSUED FOR DA APPROVAL**  
NOT FOR CONSTRUCTION

JORDAN SPRINGS VILLAGE OVAL  
SOIL & WATER MANAGEMENT PLAN & NOTES

PLAN No: 934315/DA05 **B**  
 FILE No: 934315DA05  
 SHEET SIZE: A1 ORIGINAL

NO.	DESCRIPTION	DESIGNER	CHECKED	DATE
B	TREE REMOVAL AMENDED	LVD	LVD	19/02/14
A	ISSUED FOR DA APPROVAL	LVD	LVD	19/02/14
	AMENDMENT	DES	DRN	CKD



WESTERN AREA:  
OBTRUSIVE LIGHTING  
REQUIREMENTS  
TO BE ADVISED

OBTRUSIVE LIGHTING COMPLIANCE REQUIRED ALONG  
BOUNDARY LINE. PRE-CURFEW, RESIDENTIAL SURROUND:

EASTERN AREA:  
OBTRUSIVE LIGHTING REQUIREMENTS TO AS4282.  
PRE-CURFEW, RESIDENTIAL SURROUNDS

APPROXIMATE POLE LOCATIONS AND QUANTITIES:  
FINAL LOCATIONS AND QUANTITIES TO BE CONFIRMED.  
APPROXIMATE POLE HEIGHT = 30m

SOUTHERN AREA:  
OBTRUSIVE LIGHTING REQUIREMENTS  
TO BE ADVISED

OBTRUSIVE LIGHTING REQUIREMENTS TO AS4282.  
PRE-CURFEW, RESIDENTIAL SURROUNDS

Scale= 1: 1500



TYPICAL SPORTS LIGHTING LUMINAIRES. INDICATIVE ONLY. FINAL LUMINAIRE SELECTION TO BE CONFIRMED



TYPICAL SPORTS LIGHTING LUMINAIRE ARRANGEMENT.  
INDICATIVE ONLY. FINAL LUMINAIRE TYPES AND  
QUANTITIES PER POLE TO BE CONFIRMED

REVISION:	Rev: 1 - PRELIMINARY LIGHTING LAYOUT	
PROJECT NAME:	VILLAGE OVAL, JORDAN SPRINGS - FIELD LIGHTING	
PROJECT NUMBER:	13657	
SCALE:	1:1500 @ A3	ORIGINAL PRINT SIZE: A3
SKETCH NUMBER:	SK04	PRINT DATE: 18/02/2014

HARON ROBSON  
LIGHTMATTERS  
181 First Avenue  
Five Dock NSW 2046  
t: +61 2 9712 5544



NOT FOR CONSTRUCTION  
Preliminary lighting layout only. Do not scale from drawing.  
Refer to final lighting design drawings for final installation details.  
Filename: DA Sketch.AGI