

DRAFT
NOTES:
1. ALL BOUNDARY DIMENSIONS, LOT AREAS AND PROPOSED EASEMENTS

ARE APPROXIMATE ONLY AND ARE SUBJECT TO APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION OF PLAN AT THE LAND REGISTRY SERVICES OFFICE, NSW.

2. THIS PROPOSED SUBDIVISION IS PART OF A NEIGHBOURHOOD SCHEME. AS SUCH, ALL FUTURE LOT NUMBERS AS A RESULT OF FURTHER DEVELOPMENT, MUST REMAIN CONSECUTIVE. IF A PLAN OF SUBDIVISION OF ANOTHER LOT IN THE SCHEME IS LODGED AND REGISTERED AT THE LAND REGISTRY SERVICES OFFICE, NSW, PRIOR TO THE LODGEMENT OF THIS PLAN, ALL LOTS NUMBERS WILL NEED TO BE AMENDED/UPDATED & THUS ARE SUBJECT TO CHANGE.

DETAIL PLAN

(SHEET 1 OF 4) (ADDITIONAL SHEET 7)
THIS IS SHEET 7 OF DP 286568 AND IT REPIACES SHEET 7

THIS IS SHEET 7 OF BP 286568 AND IT REPLACES SHEET 6
AS REGARDS TO LOT 14 AND IS AN ADDITIONAL SHEET

DRIVE

LAKEVIEW DP 270488 50
REFER TO

DRIVE

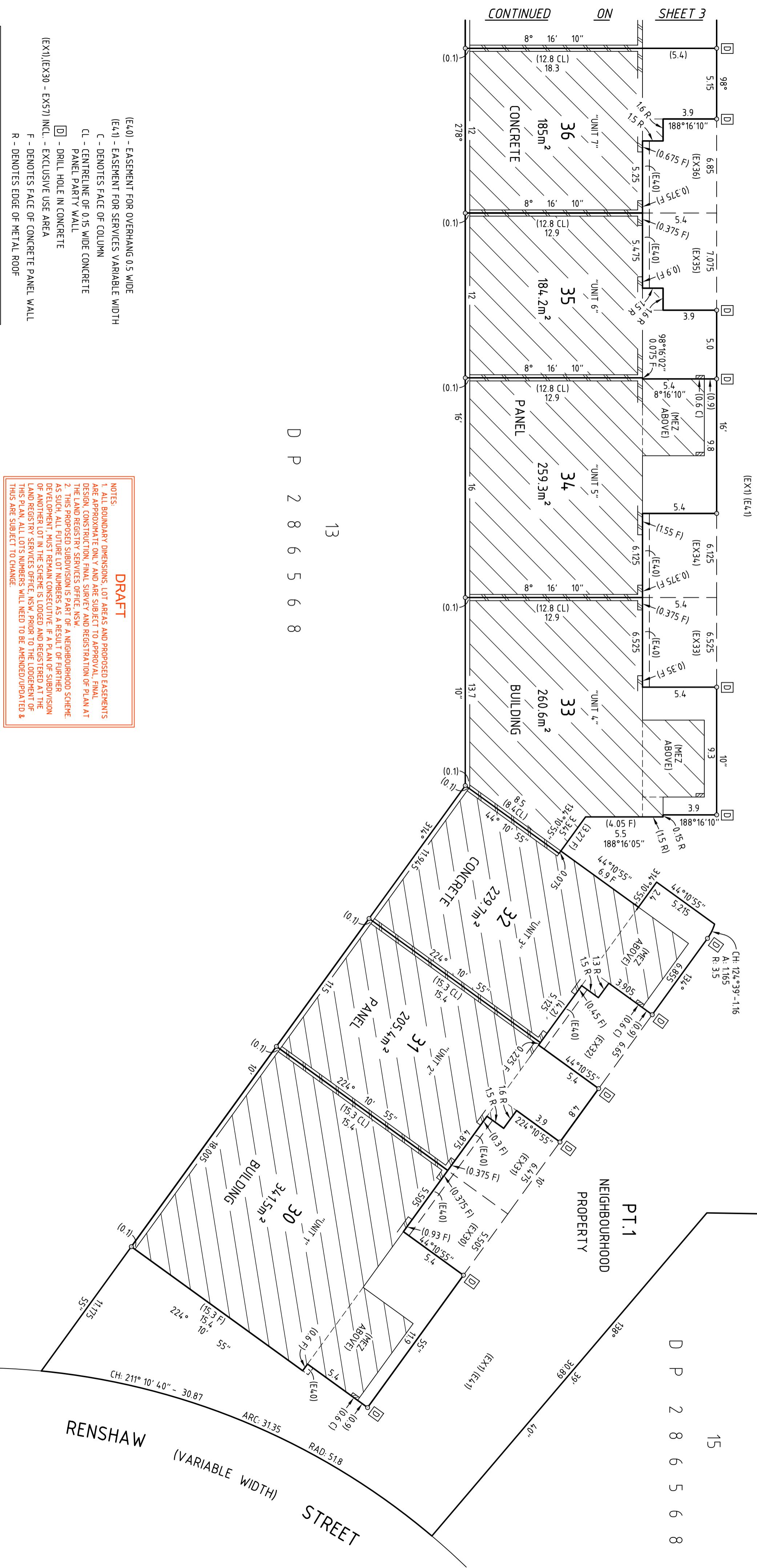
SCHEDULE OF CURVED LINES				
LINE	READING	DISTANCE	ADP	RADIUS
MGA ZONE : 56	MGA DATUM : GDA94			
COMBINED SCALE FACTOR : 1.000152.				

PLAN OF SUBDIVISION OF LOT 14 DP 286568	
SURVEYOR	
Name:	Jeremy MacCue
Date Of Survey:	-
Reference:	17709_DP_1
LGA: PENRITH	
Locality: CRANE BROOK	
Reduction Ratio: 1:800	
Lengths are in metres.	
Registered	

DETAIL PLAN**(SHEET 2 OF 4) (ADDITIONAL SHEET 8)**

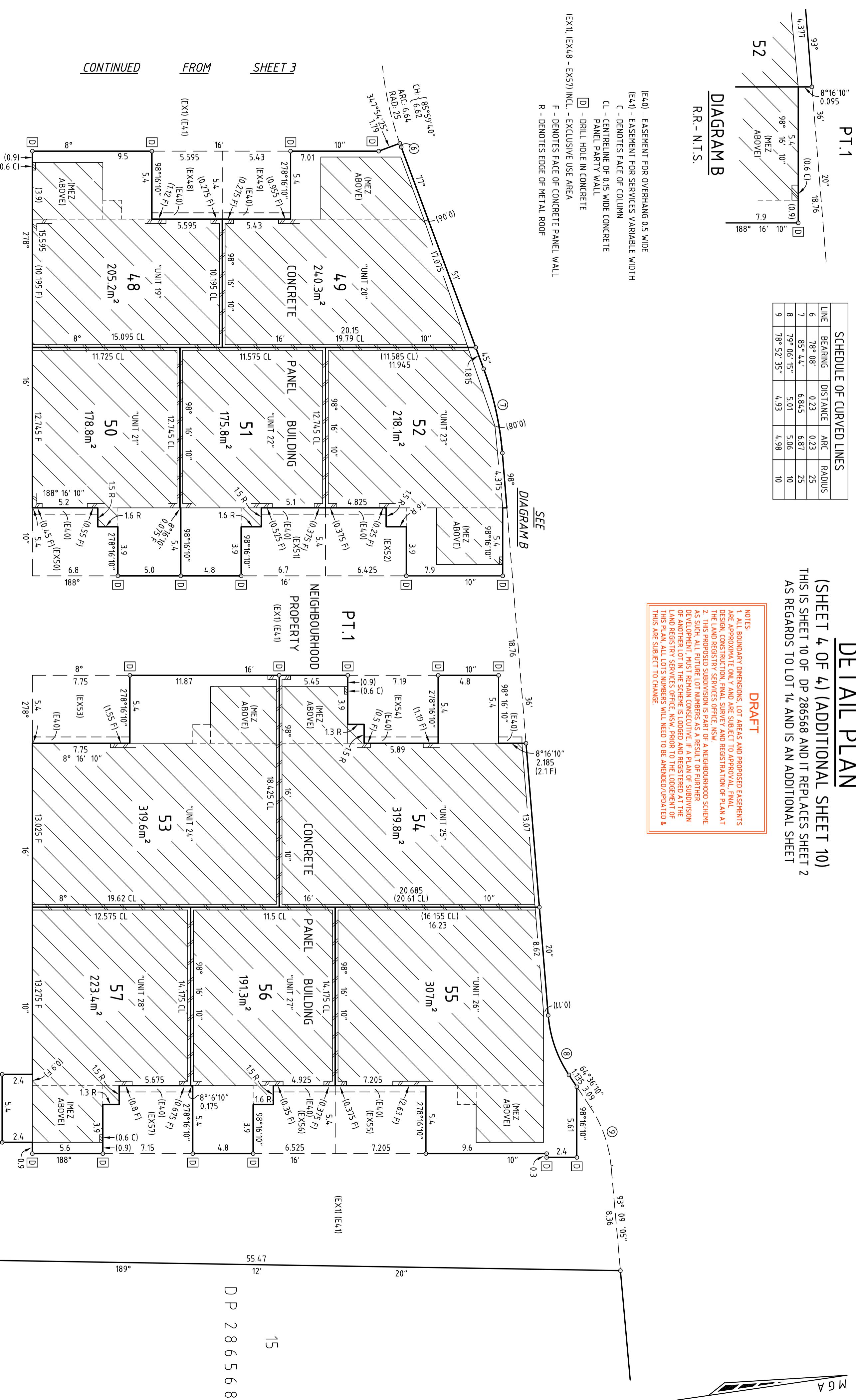
THIS IS SHEET 8 OF DP 286568 AND IT REPLACES SHEET 2

AS REGARDS TO LOT 14 AND IS AN ADDITIONAL SHEET

CONTINUED ON SHEET 3CONTINUED ON SHEET 4

NOTES	
1. ALL BEARINGS FOR LOTS 30 - 32 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 134° 10' 55". UNLESS STATED OTHERWISE.	
2. ALL BEARINGS FOR LOTS 33 - 36 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 98° 16' 10" UNLESS STATED OTHERWISE.	
(EX1),(EX30 - EX57) INCL. - EXCLUSIVE USE AREA	
F - DENOTES FACE OF CONCRETE PANEL WALL	
R - DENOTES EDGE OF METAL ROOF	

SURVEYOR	PLAN OF SUBDIVISION OF LOT 14 DP 286568	Registered
Name: Jeremy MacCue Date Of Survey: - Reference: 17709_DP_1	LGA: PENRITH Locality: CRANEBROOK Reduction Ratio: 1:200 Lengths are in metres.	

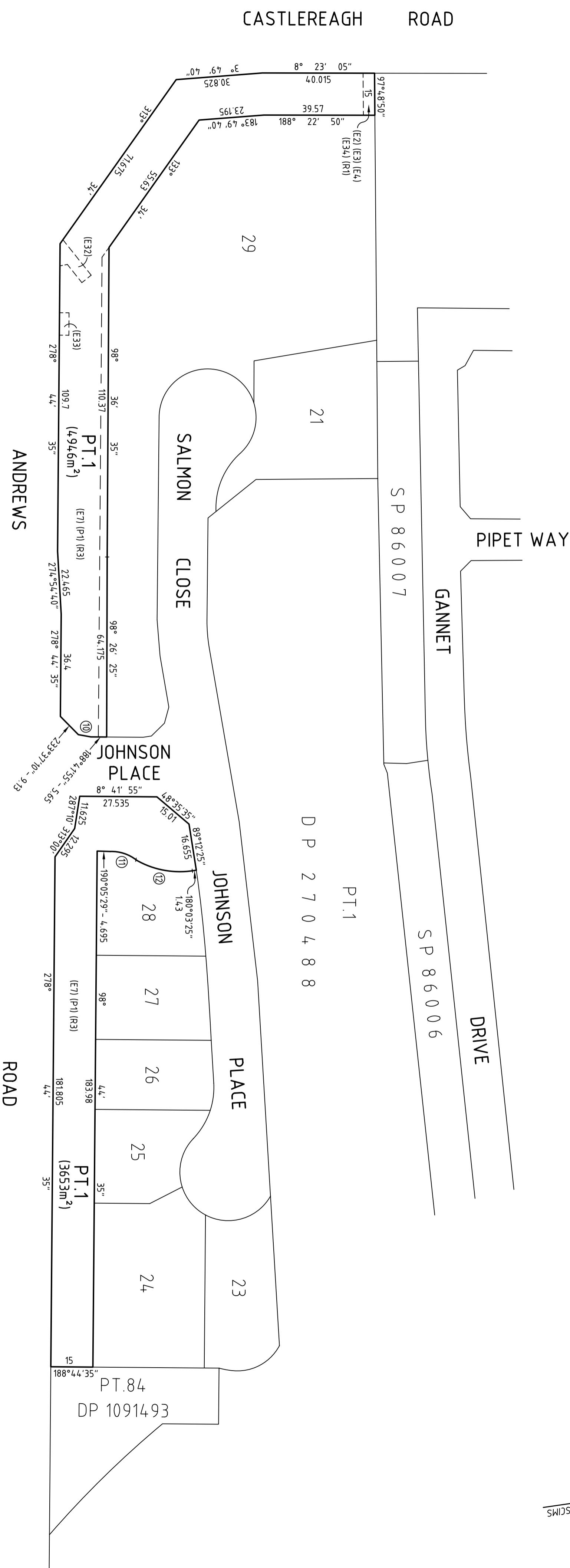


NEIGHBOURHOOD PROPERTY PLAN

NEIGHBOURHOOD PROPERTY LOT ONLY

(SHEET 1 OF 3) (REPLACEMENT SHEET 5A)

THIS IS SHEET 11 OF DP 286568 AND IT REPLACES SHEET 5 AS REGARDS TO LOT 1 AND IS AN ADDITIONAL SHEET. THIS SHEET CONTAINS UPDATED DETAILS OF LOT 1 AS DEFINED IN THE DETAIL PLAN.



SCHEDULE OF CURVED LINES			
LINE	BEARING	DISTANCE	ARC RADIIUS
10	198° 30' 55"	4.5	4,525 13.2
11	199° 15' 40"	20.225	20.6 31.23
12	206.04.20"	9.9	10.06 16.325

100	20	30	40	50	Table of mm	90	100	110	120	130	140	150
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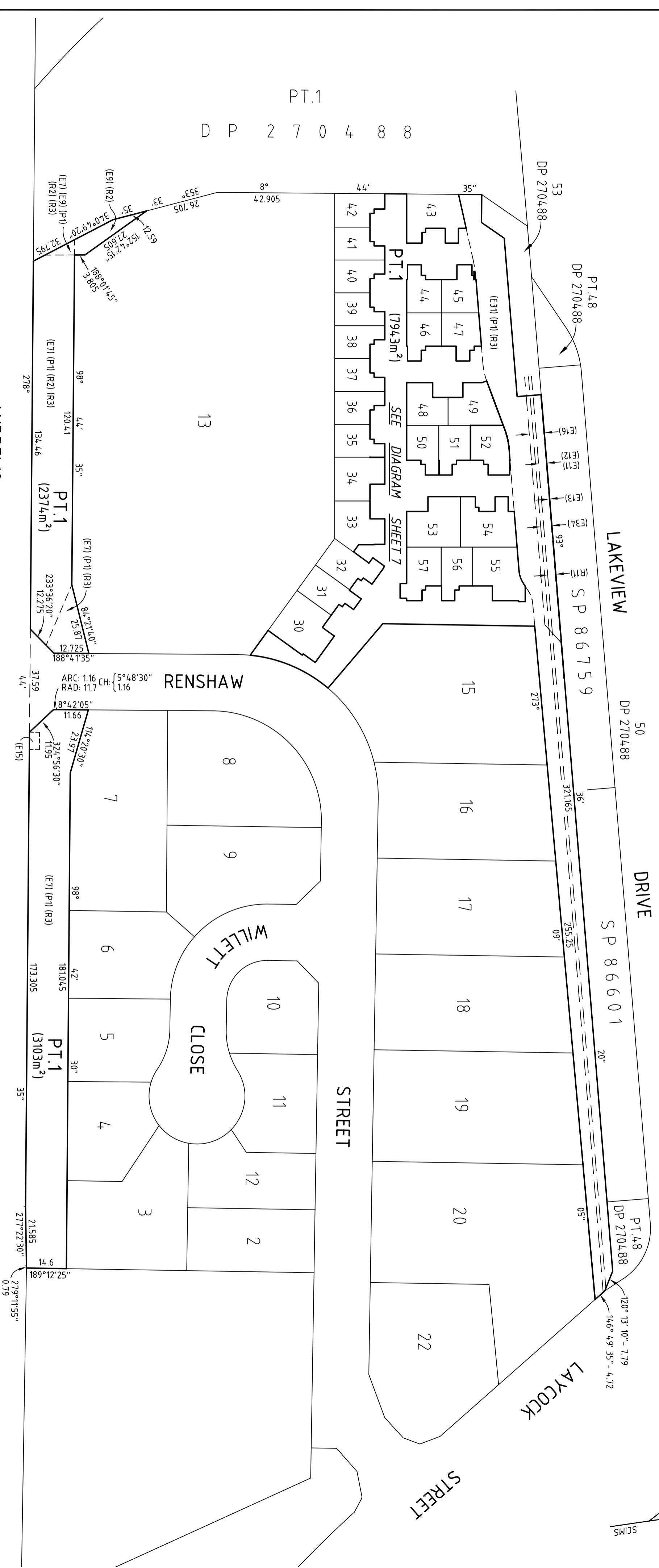
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NEIGHBOURHOOD PROPERTY PLAN

NEIGHBOURHOOD PROPERTY LOT ONLY

(SHEET 2 OF 3) (REPLACEMENT SHEET 6A)

THIS IS SHEET 12 OF DP 286568 AND IT REPLACES SHEET 6 AS REGARDS TO LOT 1 AND IS AN ADDITIONAL SHEET. THIS SHEET CONTAINS UPDATED DETAILS OF LOT 1 AS DEFINED IN THE DETAIL PLAN.



ANDREWS

ROAD

(E7) - EASEMENT TO DRAIN WATER 15' WIDE & VARIABLE (DP 270488) DOC. 9

(E9) - RIGHT OF FOOTWAY VARIABLE WIDTH (DP 270488) DOC. 9

(E11) - EASEMENT FOR ACCESS AND MAINTENANCE 3' WIDE (DP 270488) DOC. 7

(E12) - EASEMENT FOR FOOTINGS AND SUPPORT 3' WIDE (DP 270488) DOC. 7

(E13) - EASEMENT TO PERMIT ENROACHING STRUCTURE TO REMAIN 0.2' WIDE (DP 270488) DOC. 7

(E15) - RIGHT OF WAY 3.66' WIDE (IC 20584)

(E16) - EASEMENT FOR SEWERAGE PURPOSES 7' & 5.5' WIDE (DP 270488) DOC. 1

(E31) - EASEMENT TO DRAIN WATER VARIABLE WIDTH (DP 270488) DOC. 9

(E34) - EASEMENT FOR ACCESS AND MAINTENANCE 4.1' WIDE (DP 270488) DOC. 6

(P1) - POSITIVE COVENANT (DP 270488) DOC. 9

(R2) - RESTRICTION ON THE USE OF LAND (DP 270488) DOC. 9

(R3) - RESTRICTION ON THE USE OF LAND 4.1' WIDE (DP 270488) DOC. 7

(R11) - RESTRICTION ON THE USE OF LAND 4.1' WIDE (DP 270488) DOC. 7

SURVEYOR	PLAN OF SUBDIVISION OF LOT 14 DP 286568	I.G.A.: PENRITH Locality: CRANEBROOK Reduction Ratio: 1:1000 Lengths are in metres.	Registered
Name: Jeremy MacCue	Date Of Survey: -	Reference: 17709_DP_1	

