



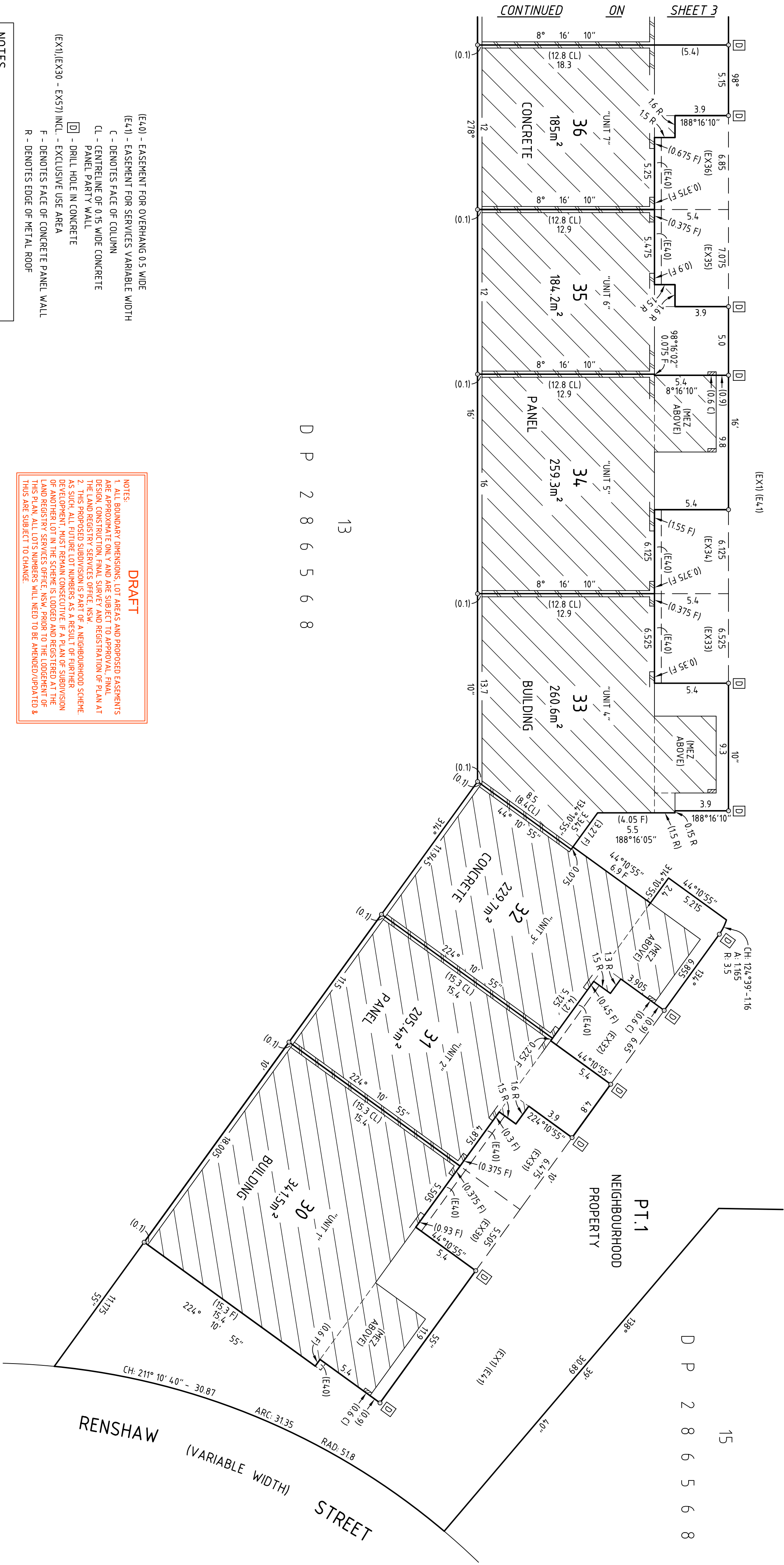
DETAIL PLAN

(SHEET 2 OF 4) (ADDITIONAL SHEET 8)  
THIS IS SHEET 8 OF DP 286568 AND IT REPLACES SHEET 2  
AS REGARDS TO LOT 14 AND IS AN ADDITIONAL SHEET



CONTINUED ON SHEET 3

CONTINUED ON SHEET 4



**DRAFT**

NOTES:

1. ALL BOUNDARY DIMENSIONS, LOT AREAS AND PROPOSED EASEMENTS ARE APPROXIMATE ONLY AND ARE SUBJECT TO APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION OF PLAN AT THE LAND REGISTRY SERVICES OFFICE, NSW.

2. THIS PROPOSED SUBDIVISION IS PART OF A NEIGHBOURHOOD SCHEME. AS SUCH, ALL FUTURE LOT NUMBERS AS A RESULT OF FURTHER DEVELOPMENT, MUST REMAIN CONSECUTIVE. IF A PLAN OF SUBDIVISION OF ANOTHER LOT IN THE SCHEME IS LODGED AND REGISTERED AT THE LAND REGISTRY SERVICES OFFICE, NSW, PRIOR TO THE LODGEMENT OF THIS PLAN, ALL LOTS NUMBERS WILL NEED TO BE AMENDED/UPDATED & THUS ARE SUBJECT TO CHANGE.

(E4.0) - EASEMENT FOR OVERHANG 0.5 WIDE  
(E4.1) - EASEMENT FOR SERVICES VARIABLE WIDTH  
C - DENOTES FACE OF COLUMN  
CL - CENTRELINE OF 0.15 WIDE CONCRETE PANEL, PARTY WALL  
D - DRILL HOLE IN CONCRETE  
(EX1),(EX30 - EX57) INCL. - EXCLUSIVE USE AREA  
F - DENOTES FACE OF CONCRETE PANEL WALL  
R - DENOTES EDGE OF METAL ROOF

NOTES

1. ALL BEARINGS FOR LOTS 30 - 32 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 134° 10' 55" UNLESS STATED OTHERWISE.  
2. ALL BEARINGS FOR LOTS 33 - 36 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 98° 16' 10" UNLESS STATED OTHERWISE.

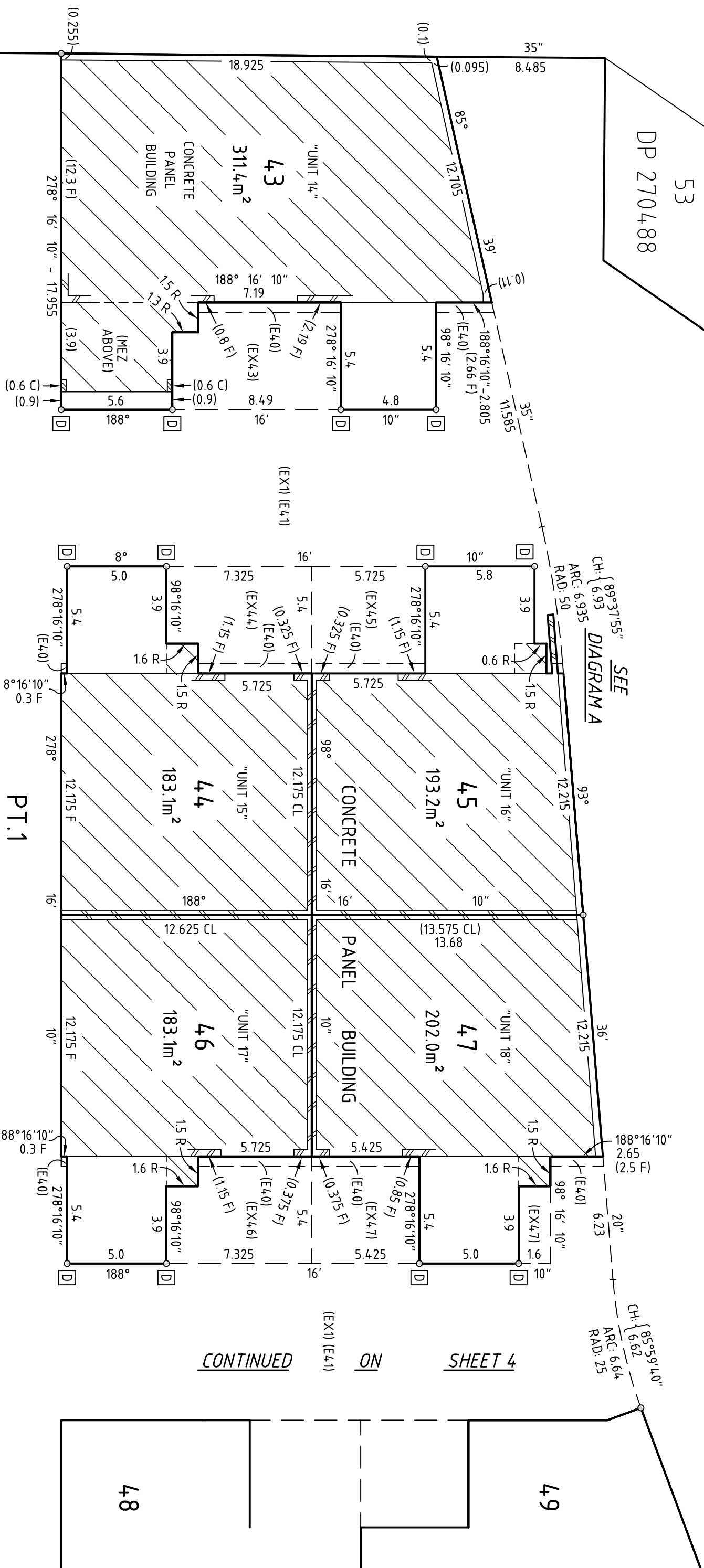
SURVEYOR	PLAN OF SUBDIVISION OF LOT 14 DP 286568	LGA:	PENRITH	Registered
Name:	Jeremy MacCue	Locality:	CRANE BROOK	
Date Of Survey:	-	Reduction Ratio:	1:200	
Reference:	17709_DP_1	Lengths are in metres.		



## DETAIL PLAN

(SHEET 3 OF 4) (ADDITIONAL SHEET 9)

THIS IS SHEET 9 OF DP 286568 AND IT REPLACES SHEET Z  
AS REGARDS TO LOT 14, AND IS AN ADDITIONAL SHEET

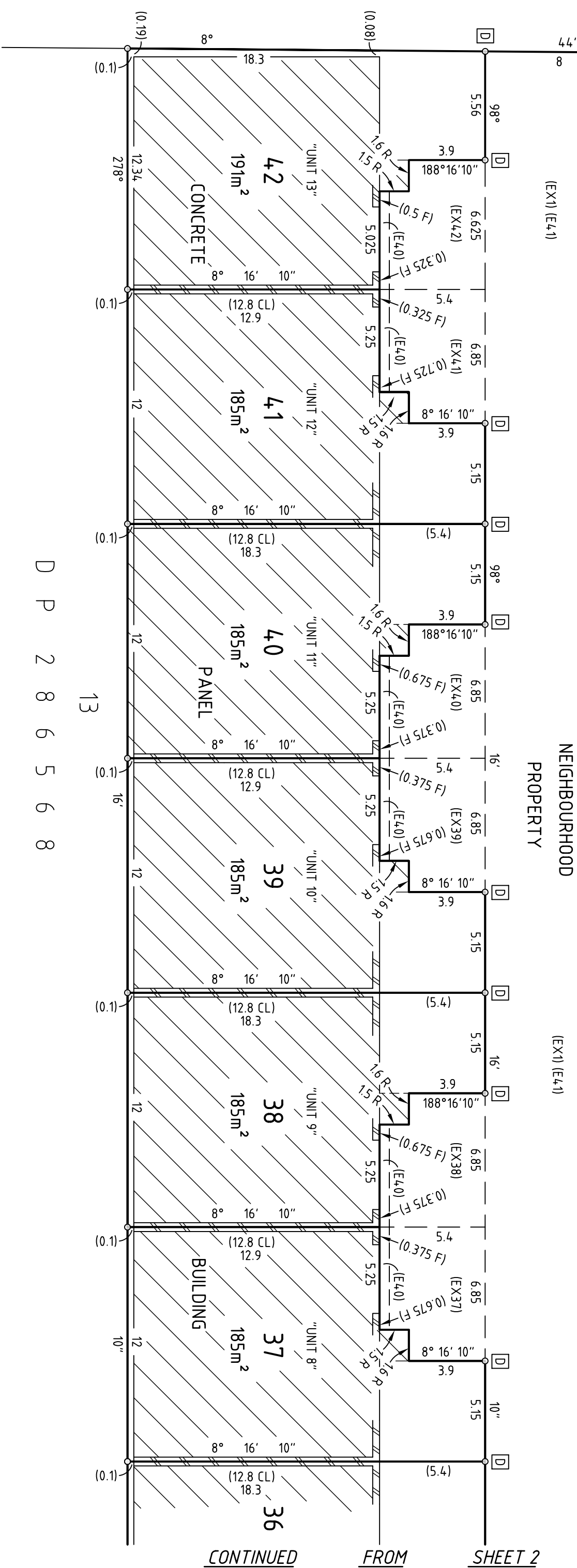


DRAFT

1. ALL APPROPRIATE DIMENSIONS, LOT AREAS AND PROPOSED ASSESSMENTS ARE APPROXIMATIVE ONLY, AND ARE SUBJECT TO APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION OF PLAN AT THE LAND REGISTRY SERVICES OFFICE, NSW.
2. THIS PROPOSED SUBDIVISION IS PART OF A NEIGHBOURHOOD SCHEME, AS SUCH, ALL FUTURE LOT NUMBERS AS A RESULT OF FURTHER DEVELOPMENT, MUST REMAIN CONSECUTIVE. IF A PLAN OF SUBDIVISION OF ANOTHER LOT IN THE SCHEME IS LOADED AND REGISTERED AT THE LAND REGISTRY SERVICES OFFICE, NSW, PRIOR TO THE LOADING OF THIS PLAN, ALL LOT'S NUMBERS WILL NEED TO BE AMENDED/UPDATED & MUST BE SUBJECT TO CHANGE.

PT.1

D P 2 7 0 4 8 8



(E40) - EASEMENT FOR OVERHANG 0.5 WIDE  
(E41) - EASEMENT FOR SERVICES VARIABLE WIDTH

C - DENOTES FACE OF COLUMN

CL - CENTRELINE OF 0.15 WIDE CONCRETE

PANEL PARTY WALL

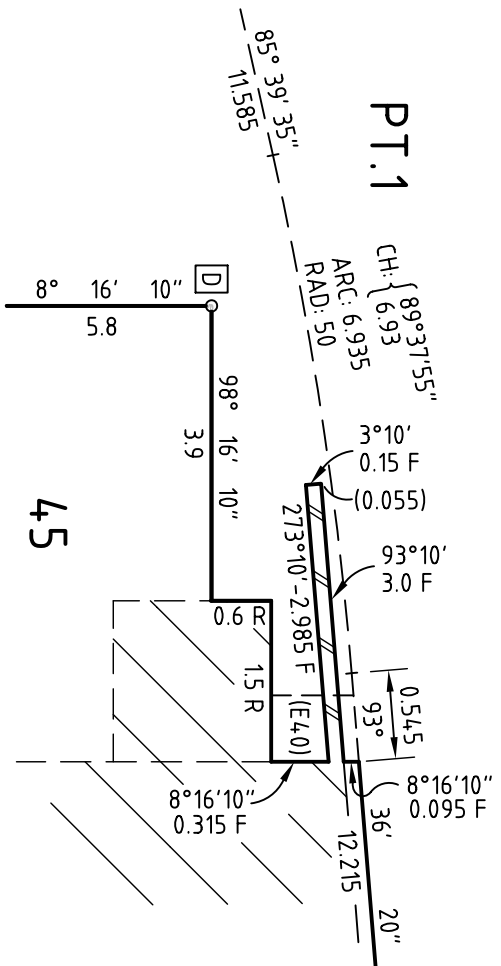
**D** - DRILL HOLE IN CONCRETE

INCL. - EXCLUSIVE USE AREA

E - DENOTES FACE OF CONCRETE PANEL WALL

D DENOTES EDGE OF METAL DOME

# THE PRINCIPLES OF JILIAL KOOI



## DIAGRAM A

R.R.-N.T.S

NOTE

1. ALL BEARINGS FOR LOTS 37 - 47 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 98° 16' 10" UNLESS STATED OTHERWISE.

SURVEYOR

Name: Jeremy Maccue

Date Of Survey:

Reference: 17709\_DP\_1

PLAN OF SUBDIVISION OF LOT 14 DP 2865668

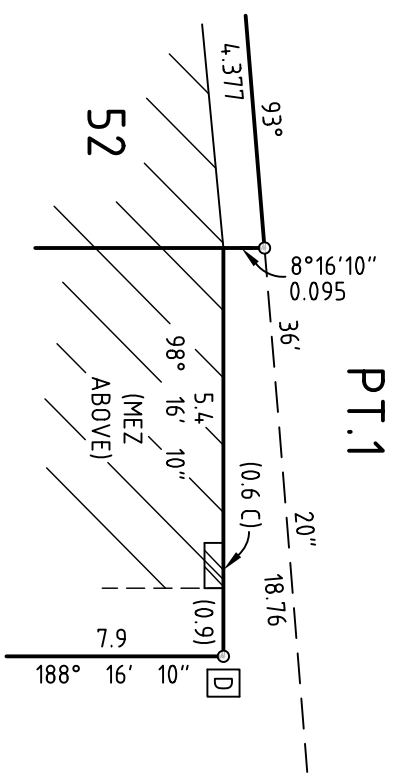
LGA: PENRITH

Locality: CRANE BROOK

Reduction Ratio: 1:200

Lengths are in metres.

Registered



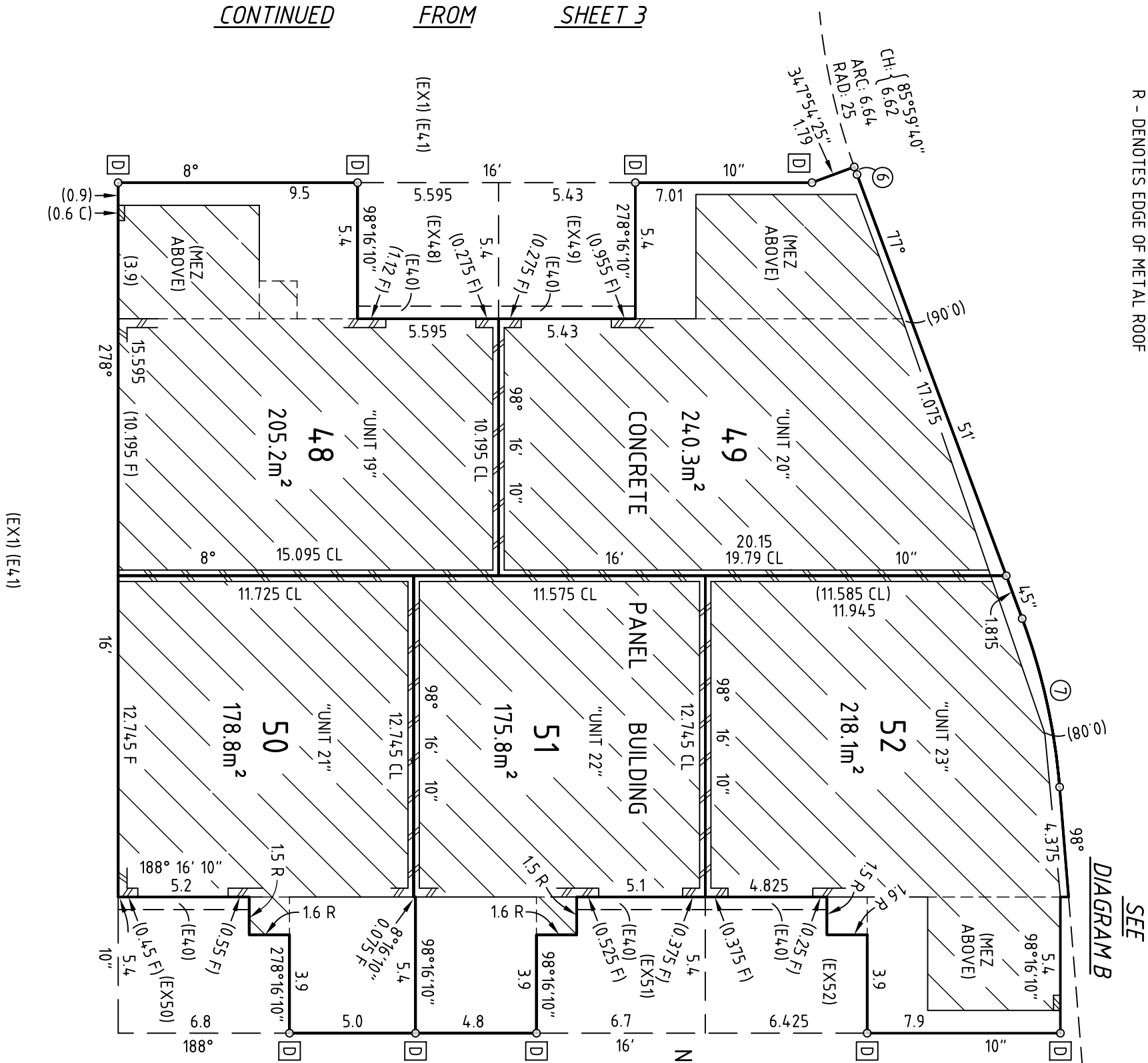
SCHEDULE OF CURVED LINES				
LINE	BEARING	DISTANCE	ARC RADIUS	
6	78° 08'	0.23	0.23	25
7	85° 44'	6.845	6.87	25
8	79° 06' 15"	5.01	5.06	10
9	78° 52' 35"	4.93	4.98	10

DIAGRAM B

R.R. - N.T.S.

- (E4.0) - EASEMENT FOR OVERHANG 0.5 WIDE
- (E4.1) - EASEMENT FOR SERVICES VARIABLE WIDTH
- C - DENOTES FACE OF COLUMN
- CL - CENTRELINE OF 0.15 WIDE CONCRETE PANEL PARTY WALL
- D - DRILL HOLE IN CONCRETE
- F - DENOTES FACE OF CONCRETE PANEL WALL
- R - DENOTES EDGE OF METAL ROOF

CONTINUED FROM SHEET 3



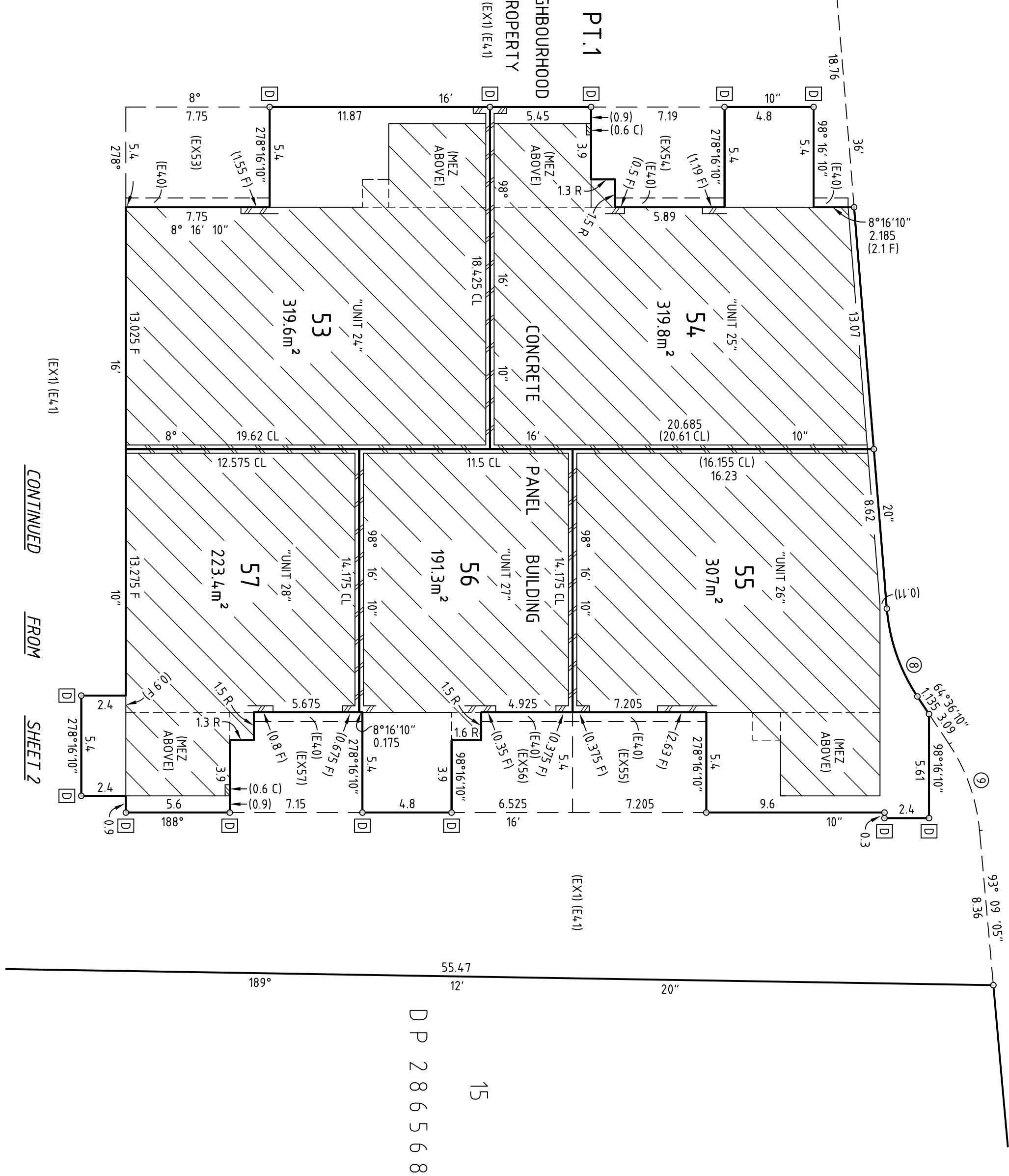
DRAFT

NOTES:

1. ALL BOUNDARY DIMENSIONS, LOT AREAS AND PROPOSED EASEMENTS ARE APPROXIMATE ONLY AND ARE SUBJECT TO APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION OF PLAN AT THE LAND REGISTRY SERVICES OFFICE, NSW.
2. THIS PROPOSED SUBDIVISION IS PART OF A NEIGHBOURHOOD SCHEME. AS SUCH, ALL FUTURE LOT NUMBERS AS A RESULT OF FURTHER DEVELOPMENT, MUST REMAIN CONSECUTIVE. IF A PLAN OF SUBDIVISION OF ANOTHER LOT IN THE SCHEME IS LODGED AND REGISTERED AT THE LAND REGISTRY SERVICES OFFICE, NSW, PRIOR TO THE LODGEMENT OF THIS PLAN, ALL LOT'S NUMBERS WILL NEED TO BE AMENDED/UPDATED & THIS ARE SUBJECT TO CHANGE.

DETAIL PLAN

(SHEET 4 OF 4) (ADDITIONAL SHEET 10)  
THIS IS SHEET 10 OF DP 286568 AND IT REPLACES SHEET 2  
AS REGARDS TO LOT 14 AND IS AN ADDITIONAL SHEET



NOTE

1. ALL BEARINGS FOR LOTS 48 - 57 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 98° 16' 10" UNLESS STATED OTHERWISE.

SURVEYOR  
Name: Jeremy MacCue  
Date Of Survey: -  
Reference: 17709\_DP\_1

PLAN OF SUBDIVISION OF LOT 14 DP 286568

LGA: PENRITH  
Locality: CRANEBROOK  
Reduction Ratio: 1:200  
Lengths are in metres.

Registered

DP 286568

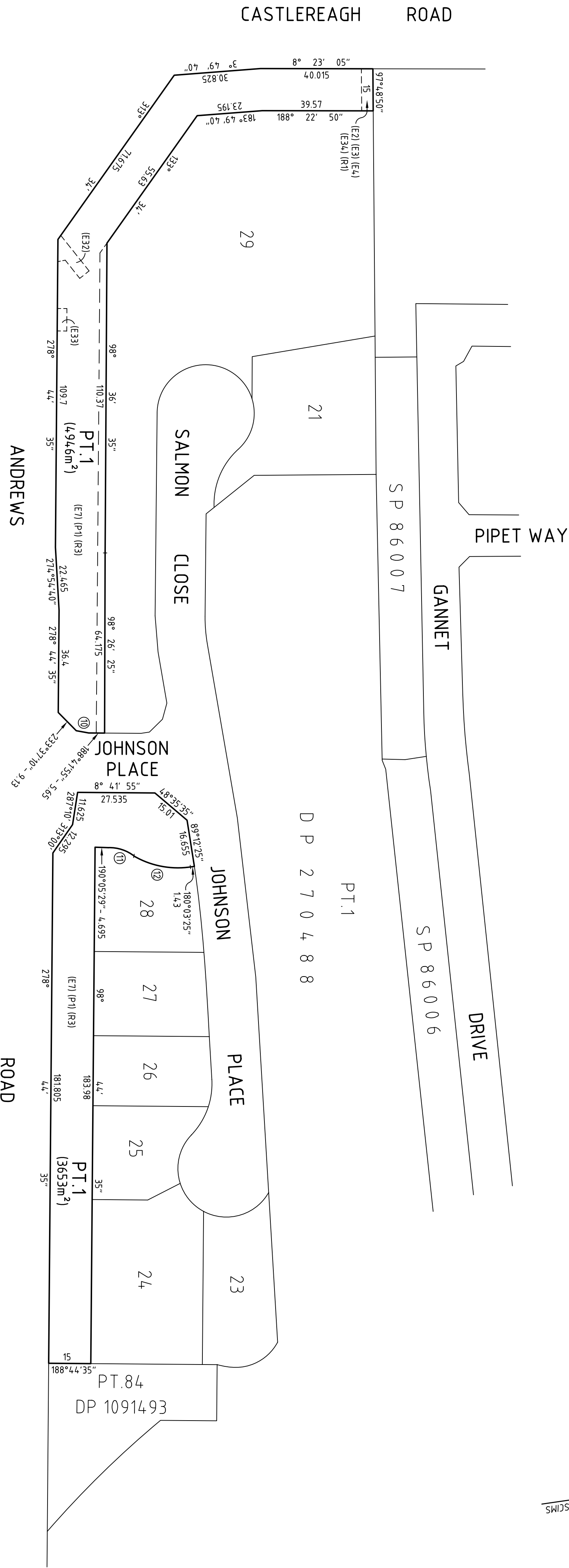


NEIGHBOURHOOD PROPERTY PLAN

NEIGHBOURHOOD PROPERTY LOT ONLY

(SHEET 1 OF 3) (REPLACEMENT SHEET 5A)

THIS IS SHEET 11 OF DP 286568 AND IT REPLACES SHEET 5 AS REGARDS TO LOT 1 AND IS AN ADDITIONAL SHEET. THIS SHEET CONTAINS UPDATED DETAILS OF LOT 1 AS DEFINED IN THE DETAIL PLAN.



DRAFT

NOTES:  
1. ALL BOUNDARY DIMENSIONS, LOT AREAS AND PROPOSED EASEMENTS ARE APPROXIMATE ONLY AND ARE SUBJECT TO APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION OF PLAN AT THE LAND REGISTRY SERVICES OFFICE, NSW.  
2. THIS PROPOSED SUBDIVISION IS PART OF A NEIGHBOURHOOD SCHEME. AS SUCH, ALL FUTURE LOT NUMBERS AS A RESULT OF FURTHER DEVELOPMENT, MUST REMAIN CONSECUTIVE. IF A PLAN OF SUBDIVISION OF ANOTHER LOT IN THE SCHEME IS LODGED AND REGISTERED AT THE LAND REGISTRY SERVICES OFFICE, NSW, PRIOR TO THE LODGEMENT OF THIS PLAN, ALL LOTS NUMBERS WILL NEED TO BE AMENDED/UPDATED & THUS ARE SUBJECT TO CHANGE.

- (E2) - EASEMENT FOR FOOTINGS AND SUPPORT 4.1 WIDE & VARIABLE WIDTH (DP 270488) DOC. 9
- (E3) - EASEMENT FOR ACCESS AND MAINTENANCE 4.1 WIDE & VARIABLE WIDTH (DP 270488) DOC. 9
- (E4) - EASEMENT TO PERMIT ENCROACHING STRUCTURE TO REMAIN 0.2 WIDE (DP 270488) DOC. 9
- (E7) - EASEMENT TO DRAIN WATER 15 WIDE & VARIABLE (DP 270488) DOC. 9
- (E32) - EASEMENT TO DRAIN WATER 4.25 WIDE AND VARIABLE WIDTH (DP 270488) DOC. 9
- (E33) - EASEMENT FOR SWITCHING STATION 3.4 WIDE (DP 270488) DOC. 9
- (E34) - EASEMENT FOR ACCESS AND MAINTENANCE 4.1 WIDE (DP 270488) DOC. 9
- (P1) - POSITIVE COVENANT (DP 270488) DOC. 9
- (R1) - RESTRICTION ON THE USE OF LAND 4.1 WIDE & VARIABLE WIDTH (DP 270488)
- (R3) - RESTRICTION ON THE USE OF LAND (DP 270488) DOC. 9

SURVEYOR	PLAN OF SUBDIVISION OF LOT 14 DP 286568	LGA:	PENRITH	Registered	
Name:	Jeremy MacCue	Locality:	CRANE BROOK		
Date Of Survey:	-	Reduction Ratio:	1:1000		
Reference:	17709_DP_1	Lengths are in metres.			

SCHEDULE OF CURVED LINES				
LINE	BEARING	DISTANCE	ARC	RADIUS
10	198° 30' 55"	4.5	4.525	13.2
11	199° 15' 4.0"	20.225	20.6	31.23
12	206° 04' 20"	9.9	10.06	16.325

DRAFT

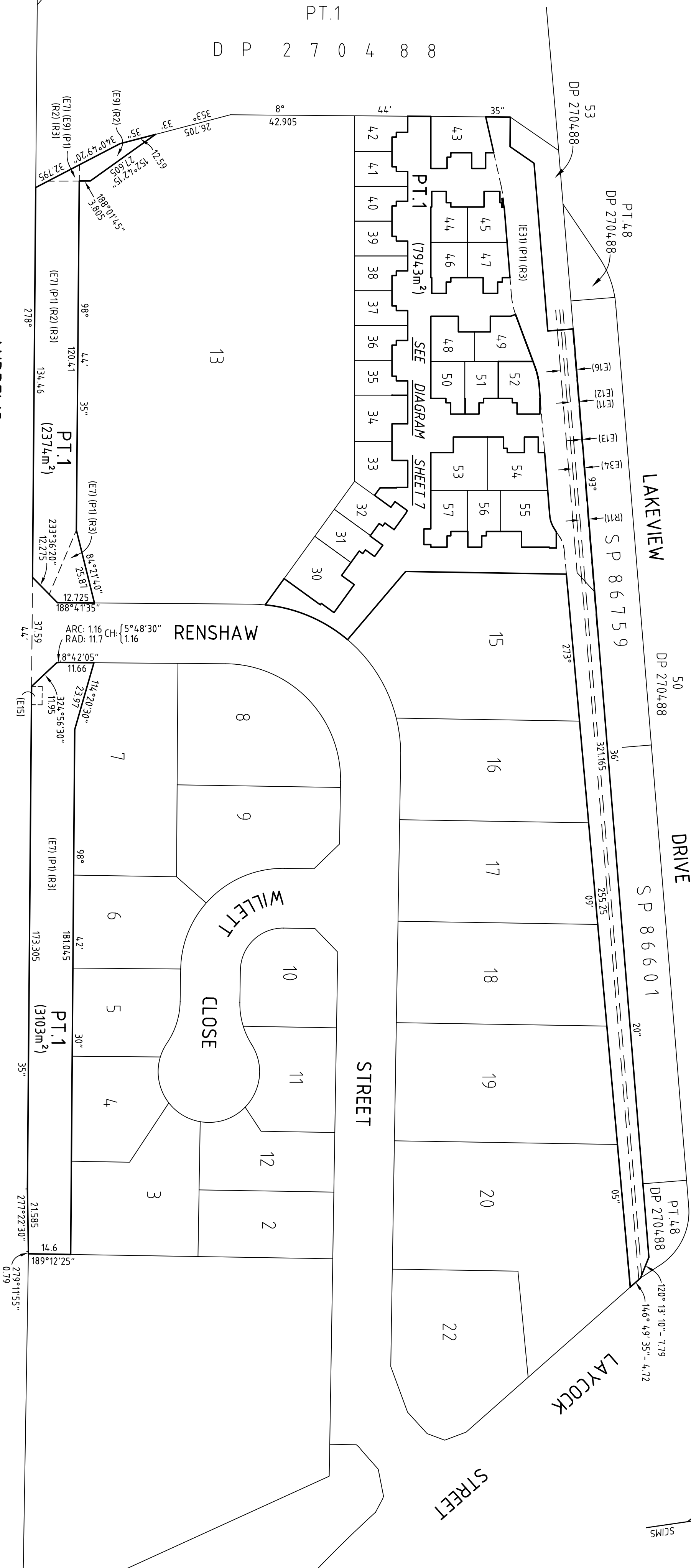
1. ALL BOUNDARY DIMENSIONS, LOT AREAS AND PROPOSED EASEMENTS SHALL BE APPROXIMATE ONLY, AND ARE SUBJECT TO APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REISTRATION OF PLAN AT THE LAND REGISTRY SERVICES OFFICE, NSW.
2. THIS PROPOSED SUBDIVISION IS PART OF A NEIGHBOURHOOD SCHEME- AS SUCH, ALL FUTURE LOT NUMBERS AS A RESULT OF FURTHER DEVELOPMENT, MUST REMAIN CONSECUTIVE IF A PLAN OF SUBDIVISION OF ANOTHER LOT IN THE SCHEME IS LODGED AND REGISTERED AT THE LAND REGISTRY SERVICES OFFICE, NSW, PRIOR TO THE LODGEMENT OF THIS PLAN. ALL LOT'S NUMBERS WILL NEED TO BE AMENDED/UPDATED & THIS ARE SUBJECT TO CHANGE.

# NEIGHBOURHOOD PROPERTY PLAN

**NEIGHBOURHOOD PROPERTY LOT ONLY**

(SHEET 2 OF 3) (REPLACEMENT SHEET 6A)

THIS IS SHEET 12 OF DP 285568 AND IT REPLACES SHEET 6 AS REGARDS TO LOT 1 AND IS AN ADDITIONAL SHEET. THIS SHEET CONTAINS UPDATED DETAILS OF LOT 1 AS DEFINED IN THE DETAIL PLAN.



ANDREWS

ROAD

- [E7] - EASEMENT TO DRAIN WATER 15 WIDE & VARIABLE (DP 2704.88) DOC. 9  
[E9] - RIGHT OF FOOTWALL VARIABLE WIDTH (DP 2704.88) DOC. 9  
[E11] - EASEMENT FOR ACCESS AND MAINTENANCE 3 WIDE (DP 2704.88) DOC. 7  
[E12] - EASEMENT FOR FOOTINGS AND SUPPORT 3 WIDE (DP 2704.88) DOC. 7  
[E13] - EASEMENT TO PERMIT ENCRoACHING STRUCTURE TO REMAIN 0.2 WIDE (DP 2704.88) DOC. 7  
[E15] - RIGHT OF WAY 3.66 WIDE (C210584)  
[E16] - EASEMENT FOR SEWERAGE PURPOSES 7 & 5.5 WIDE (DP 2704.88) DOC. 1  
[E31] - EASEMENT TO DRAIN WATER VARIABLE WIDTH (DP 2704.88) DOC. 9  
[E34] - EASEMENT FOR ACCESS AND MAINTENANCE 4.1 WIDE (DP 2704.88) DOC. 6  
[P1] - POSITIVE COVENANT (DP 2704.88) DOC. 9  
[R2] - RESTRICTION ON THE USE OF LAND (DP 2704.88) DOC. 9  
[R3] - RESTRICTION ON THE USE OF LAND (DP 2704.88) DOC. 9  
[R11] - RESTRICTION ON THE USE OF LAND 4.1 WIDE (DP 2704.88) DOC. 7

SURVEYOR Name: Jeremy MacCue Date Of Survey: - Reference: 17709_DP_1	PLAN OF SUBDIVISION OF LOT 14 DP 286568	LGA: PENRITH Locality: CRANE BROOK Reduction Ratio: 1:1000 Lengths are in metres.	Registered	
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## NEIGHBOURHOOD PROPERTY PLAN

NEIGHBOURHOOD PROPERTY LOT ONLY

(SHEET 3 OF 3) (REPLACEMENT SHEET 6B)

THIS IS SHEET 13 OF DP 286568 AND IT REPLACES SHEET 6 AS REGARDS TO LOT 1 AND IS AN ADDITIONAL SHEET. THIS SHEET CONTAINS UPDATED DETAILS OF LOT 1 AS DEFINED IN THE DETAIL PLAN.

SCHEDULE OF CURVED LINES				
LINE	BEARING	DISTANCE	ARC	RADIUS
6	78° 08'	0.23	0.23	25
7	85° 44'	6.845	6.87	25
8	79° 06.15"	5.01	5.06	10
9	78° 52.35"	4.93	4.98	10

- NOTES**
1. ALL BEARINGS ADJOINING LOTS 30 - 32 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 134° - 10° 55' UNLESS STATED OTHERWISE.
2. ALL BEARINGS ADJOINING LOTS 33 - 57 INCLUSIVE ARE EITHER PARALLEL OR PERPENDICULAR TO 98° 16' 10" UNLESS STATED OTHERWISE.

