

Suppliers must Refer to Stamped Construction Plans

Penrith  
City Council

Lot No 1 St No 150 Church Lane Cranebrook 2750 NSW

New 2 Storey Dwelling



Proposed Front Elevation

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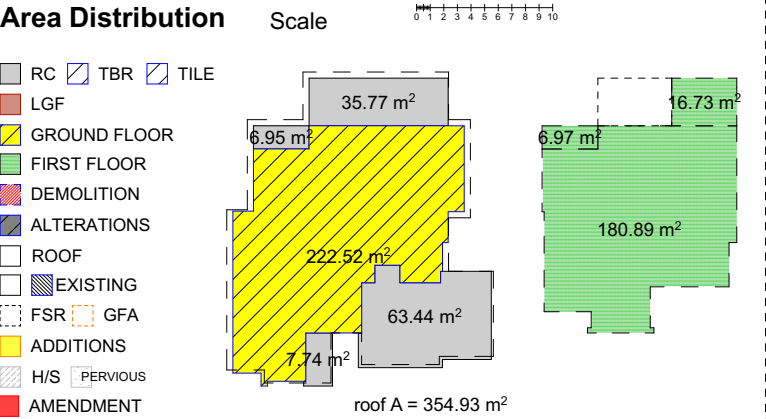
NOTE:

**Frame Dimensions** - Dimensions on drawings are nominal dimensions to the structural timber frames and DO NOT indicate the finished room sizes or ceiling heights.

**Room Dimensions** - Allowances of up to, and at times greater than 40mm, must be made for finished room sizes measured between wall linings, with allowances of up to, and at times greater than 80mm, when measured between skirtings

**Ceiling Heights** - Are nominal dimensions from concrete slab/ timber flooring to underside of roof trusses and/ or first floor joists. Allowances of up to, and at times greater than 80mm, must be made for the finished ceiling height.

**Brickwork Dimensions** - Dimensions on drawings are dimensioned to bricks only and do not include the thicknesses of any applied finishes. Allowances of up to, and at times greater or less than 40mm must be made when measuring overall brickwork.



<b>Project Details</b>	
DATE OF ISSUE	02.06.21
PROJECT No	199820 GJG
LOCATION	Lot No 1 St No 150 Church Lane Cranebrook 2750 NSW
ZONING	Lot Zone
SITE AREA	Total Site Area 3.288 ha
STREET No	Street No 150
LOT-s No	Lot No 1
DP No	DP No 1231299
CONTOURS	Contour Intervals .
SURVEY BY	Survey AHD BM xxxx
BASIX CERT No	Basix Cert No
NatHERS CERT No	NatHERS Cert No

Gross Floor Areas:		m <sup>2</sup>	Actual Bldg Site Cover
Building Area			
New Ground Floor Area	**222.52		
New Garage	**63.44		
New Portico/Porch	7.74		
New Alfresco	*35.77		
Rear Patio	*6.95		
		<hr/>	
		**336.42	
New First Floor Area	180.89		
New Front Balcony 1	deleted		
New Rear Balcony 2	6.97		
New Rear Balcony 3	16.73		
		<hr/>	
		**204.59	
		<hr/>	
		**541.01	

<b>New Total Bldg 541.01m2</b>	
Total Building Areas on Site:	Total Bldg/s 541.01m2
<b>Site Areas:</b>	
Total Site Area 3.288 ha	
*Actual Bldg Site Cover 336.42m2	
<b>Building Site Cover 1.02%</b>	
Additional Hardsurface Area 277.00m2	
Total Hardsurface & Total Bldg Site Cover 614.35 - 1.8%	
<b>Remaining Pervious Area - 98.2%</b>	
W/T - Roofwater Retention 100,000 L	
Total Roof House Area 354.93m2	

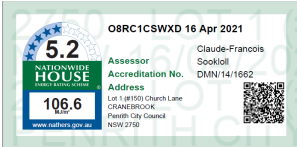


WASTEWATER REPORT



building area  
Subject Site

Lot No 1 St No 150 Church Lane Cranebrook 2750 NSW



Total Site Area 3.288 ha Contour Intervals . Level of Construction: AS 3959 BAL 29 Survey AHD BM xxxx Basix Cert No NatHERS Cert No 02.06.21	Preliminaries	x
	Office Plans	x
	Revision	x
	DA	✓
	CDC	x
	CC	✓
	Amendment	x
	Const Draw's	x
	Other	x

<b>Level of Construction: AS 3959 BAL 29</b>		
<b>Issue:</b>	<b>Details &amp; Date:</b>	
1	*Preliminary Drawings	08.11.2020
2	*Preliminary Drawings	25.11.2020
3	*Preliminary Drawings	09.12.2020
A	*Office Review	28.01.2021
B	*DA plans for Basix	12.02.2021
C	*DA plans for submission	17.03.2021
D	*for basix. with balcony 1 deleted	13.04.21
	windows 15- 16 change	
E	*for basix.	14.04.2021
F	*DA Submission	16.04.21
G	*Construction	25.05.21
H	*add screen to bed Balc	31.05.21
I	*add south - rear IPZ 31.0m	02.06.21
*		
*		
<b>*199820 01 of 25</b>		

<b>FLOOR AREAS:</b>	Ground Floor 222.52 m <sup>2</sup>
	Garage 63.44 m <sup>2</sup>
	Porch 7.74 m <sup>2</sup>
	Alfresco 35.77 m <sup>2</sup>
	Rear Patio 6.95 m <sup>2</sup>
	First Floor 180.89 m <sup>2</sup>
	Balc 1 deleted m <sup>2</sup>
	Balc 2 6.97 m <sup>2</sup>
	Balc 3 16.73 m <sup>2</sup>
	<b>541.01 m<sup>2</sup></b>
<b>TOTAL:</b>	



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NCC - Aus Standards & Regulations

Ventilation bca part 3.8.5

where an exhaust fan is required for ventilation the exhaust contaminated air must be extracted directly to outside the building by way of ducts.

a roof spaced may be used provided the roof space is ventilated

light bca part 3.8.41

artificial light per 16m2 of floor area

light bca part 3.8.4

skylights must provide at least 3% of floor area (if no other light source is provided)

Condensation Management

3.8.7.2 Pliable building membrane

(a)

Where a pliable building membrane is installed in an external wall, it must—

(i)

comply with AS/NZS 4200.1; and

(ii)

be installed in accordance with AS 4200.2; and

(iii)

be a vapour permeable membrane for climate zones 6, 7 and 8; and

(iv)

be located on the exterior side of the primary insulation layer of wall assemblies that form the external envelope of a building.

(b)

Except for single skin masonry or single skin concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

installation of wall cladding

in accordance with the NCC vol 2

3.8.7.2 Pliable building membranes

Slow Combustion Fires

3.10.7.5 Installation of free standing heating appliances

The installation of a free standing heating appliance must comply with the following:

(a)The appliance must—

(i)be installed with safety clearances determined by testing in accordance with AS/NZS 2918; or

(ii)

be located not less than 1.2 m from adjoining walls (other than a masonry wall); or

(iii)

have a heat shield between the adjoining wall (other than a masonry wall)

Insert Fire Unit

The insert fireplace must be tested and passed the tests required by AS/NZS 2918.

AS 3959  
BLD IN BUSHFIRE  
PRONE AREAS

AS 2870  
RESIDENTIAL SLABS  
& FOOTINGS

AS 1684  
RESIDENTIAL TIMBER  
FRAMING  
CONSTRUCTION- CODE

STANDARDS  
AS/NZS

Construction to AUS Standards & NCC

AS 1860 Install Particleboard

AS 4060 Wind Loads

AS 2780 Residential Slabs & Footings

AS 3959 Building in Bushfire Prone Areas

AS/NZS 4357 AS 1684 Laminated Veneer Lumber

AS 3600 Termite Management NCC 3.1.3.3., 3.1.3.4.

AS 2049-AS 2050 Installation of Roof Tiles

AS 1562 Installation of Sheet Roof & Wall Cladding

NCC Part 3.8.7.2 Condensation management

AS 3700 Masonry

AS 3500 National Plumbing Code

AS 3786 Smoke Alarms

AS 1273 UPVC

AS/NZ 2179 Spec for Rain Goods

AS 2780 Residential Slabs & Footings

AS 3740 Water Proofing

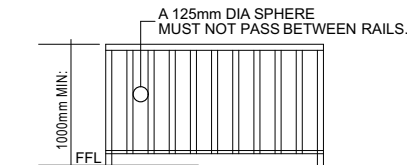
SITING OF WATER TANKS

POSITION OF WATER TANKS-INCL FIRE FIGHTING STORAGE TANKS ARE TO BE ASSESSED ON SITE.

ALL WATER TANKS ARE TO BE A MIN: OF 1.0m FROM SITE BDRYS AND CLEAR OF ALL SERVICES ABOVE AND OR BELOW GROUND.

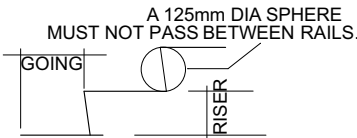
WATER TANKS ARE TO BE LOCATED BEHIND THE FRONT BLDG SETBACK.-UNO.

ALL WATER TANKS ARE TO BE CONNECTED TO A SUITABLY LOCATED DISPOSAL SYSTEM TO COUNCIL REQUIREMENTS AS PROPOSED.



A CONTINUOUS BALUSTRADE MUST BE PROVIDED ALONG THE SIDE OF ANY ROOF TO WHICH ACCESS IS PROVIDED, OR ANY STAIRWAY OR RAMP, ANY FLOOR CORRIDOR, HALLWAY, BALCONY, VERANDAH, MEZZANINE, ACCESS BRIDGE OR THE LIKE AND ALONG THE SIDE OF ANY PATH OF ACCESS TO A BUILDING IF IT IS NOT BOUNDED BY A WALL AND ANY LEVEL IS MORE THAN ONE METRE ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.

BALUSTRADES



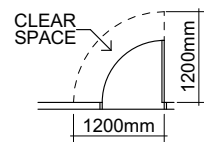
RISER		GOING	
MAX	MIN	MAX	MIN
190	115	355	240
SLOPE RELATIONSHIP			
2 x RISER + GOING			
MAX	MIN		
700	550		

STAIR SETOUT BCA Part 3.9.1

STAIRS

3.8.3.3 CONSTRUCTION OF SANITARY COMPARTMENTS

THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST-  
(A) OPEN OUTWARDS; OR  
(B) SLIDE; OR  
(C) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2 M, MEASURED IN ACCORDANCE WITH FIGURE 3.8.3.3, BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.



NOTE: TOILET DOORS TO BE PROVIDED WITH REMOVABLE HINGES - ON ALL WC WITH A INTERNAL LENGTH OF 1900mm OR LESS.

A HANDRAIL MUST BE LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRWAY FLIGHT



HANDRAILS

HANDRAILS WHERE INSTALLED MUST BE A MIN: OF 1.0m ABOVE A FLOOR OR LANDING AND A MIN: OF 865mm ABOVE THE NOSINGS OF A STAIR OR RAMP.

A HANDRAIL MUST BE LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRWAY FLIGHT OR RAMP AND BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP EXCEPT IN THE CASE OF A WIDER AND A NEWEL POST IS PROVIDED AND OR WHERE THE HANDRAIL IS ASSOCIATED WITH A BALUSTRADE.

A HANDRAIL WOULD BE NOT REQUIRED WHERE THE FLIGHT CONSIST OF 5 RISERS OR LESS AS THE CHANGE IN ELEVATION IS LESS THAN 1.0m IN Ht.

Important Note - Reference should also be made to the NCC regarding condensation in buildings



NCC 2019 Volume Two

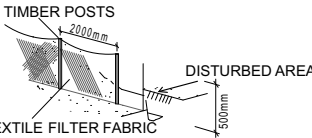


NCC 2019 Guide to Volume One



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

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*		
*		
*199820 02 of 25		



1. USE BARRIERS AT ALL POINTS WHERE STORMWATER LEAVES THE SITE, TO PREVENT WASHING INTO GUTTERS.
2. INSTALL SEDIMENT BARRIER DOWN SLOPE OF DISTURBED AREA AND RETURN UP HILL.
3. REGULARLY MAINTAIN THESE CONTROLS AT NO LESS THAN 70% CAPACITY.
4. CUT BRICK, TILE OR MASONRY ON PERVIOUS AREA, GRASS OR LOOSENEED SOIL WITHIN THE BOUNDARIES.
5. REMOVE CONTROLS ONLY WHEN CONSTRUCTION IS COMPLETE.
6. DISPOSE OF SEDIMENT IN A SUITABLE LOCATION.
7. USE STABILIZED ENTRY CONTROL WHERE REQU: BY COUNCIL.

SEDIMENT CONTROL BARRIER

FOR BUILDING SETOUT AND IN GENERAL ALWAYS USE STAMPED APPROVAL PLANS

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G.J. Gardner. HOMES

Builders Details

Sydney West NSW Lic No. 309650c

Blue Water  
Manor Facade

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TO G.J. GARDNER HOMES

Prepared by 199820 GJG  
Office 02 4758-6200  
Building Designers  
Contact: Greg McTavish  
McTavish Design  
Accredited NatHERS Assessor

CLIENT:

Miranda and Mauro Steffan

DRAWING TITLE:

STANDARDS AND REGULATIONS

SCALE

PROJECT: New 2 Storey Dwelling

Lot

Lot No 1

DP No 1231299

Street

150 Church Lane

Suburb

Cranebrook NSW

SHEET SIZE:

A3

JOB NO:

xxxxxx

DRAWN:

GM

DATE:

02.06.21

FLOOR  
AREAS:

Ground Floor 222.52 m<sup>2</sup>  
Garage 63.44 m<sup>2</sup>  
Porch 7.74 m<sup>2</sup>  
Alfresco 35.77 m<sup>2</sup>  
Rear Patio 6.95 m<sup>2</sup>  
First Floor 180.89 m<sup>2</sup>  
Balc 1 deleted m<sup>2</sup>  
Balc 2 6.97 m<sup>2</sup>  
Balc 3 16.73 m<sup>2</sup>

TOTAL:

541.01 m<sup>2</sup>





65.120 to alfresco

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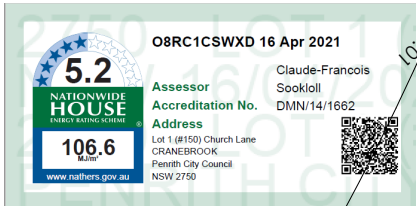
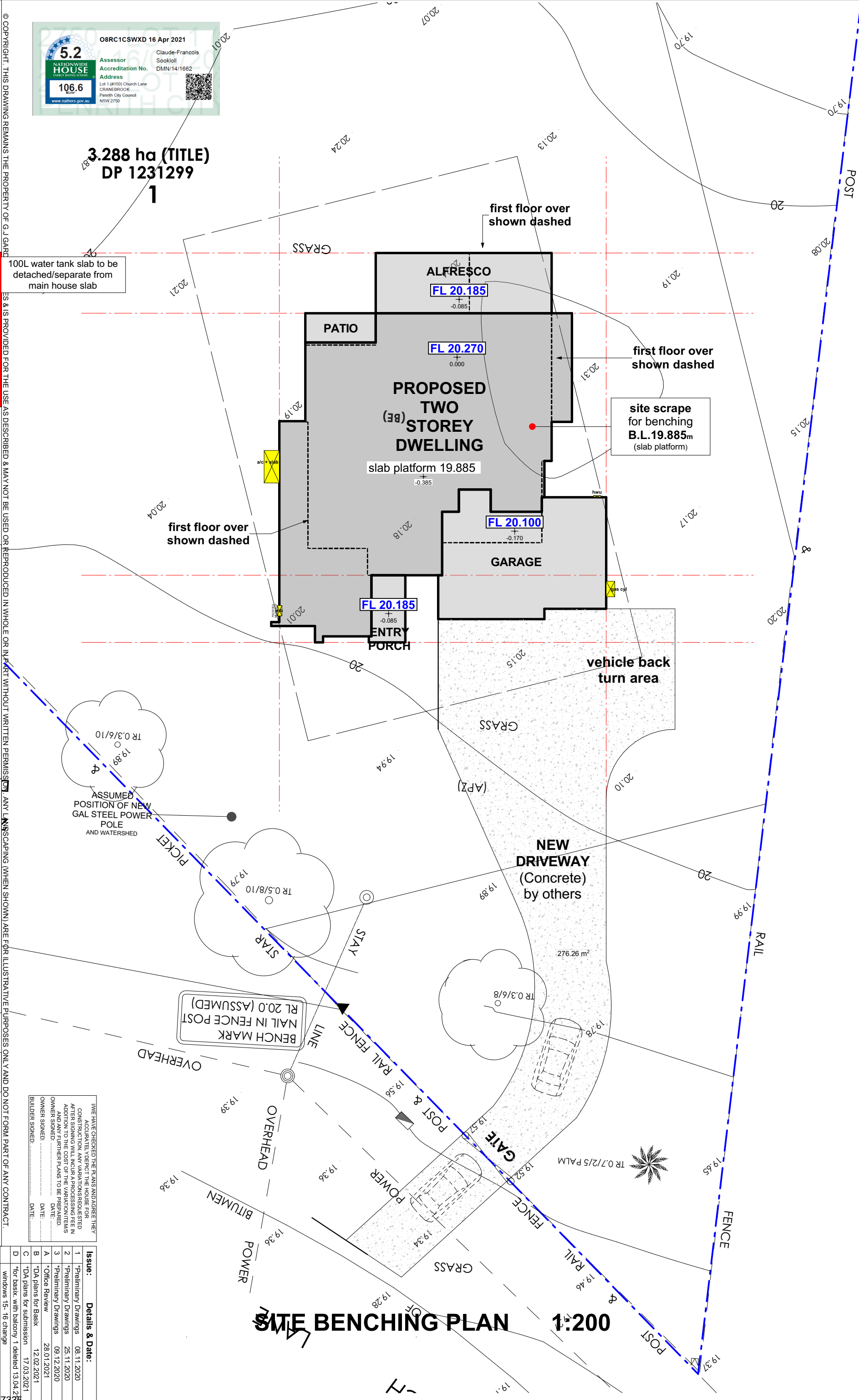
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3.288 ha (TITLE)  
DP 1231299  
1

100L water tank slab to be detached/separate from main house slab

**G.J. Gardner.** HOMES  
Builders Details  
Sydney West NSW Lic No. 309650C

**Blue Water**  
**Manor Facade**  
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TO G.J. GARDNER HOMES

Prepared by  
Office 02 4738 6200  
199820 G.J.G  
**M c t a v i s h D e s i g n**  
Contact: Gred McTavish  
Accredited NATHERS Assessor

CLIENT:  
**Miranda and Mauro Steffan**  
DRAWING TITLE:  
SITE BENCHING PLAN  
SCALE 1:200

PROJECT: New 2 Storey Dwelling  
Lot  
Street  
Suburb  
Lot No 1  
150 Church Lane  
Cranebrook NSW  
DP No 1231299

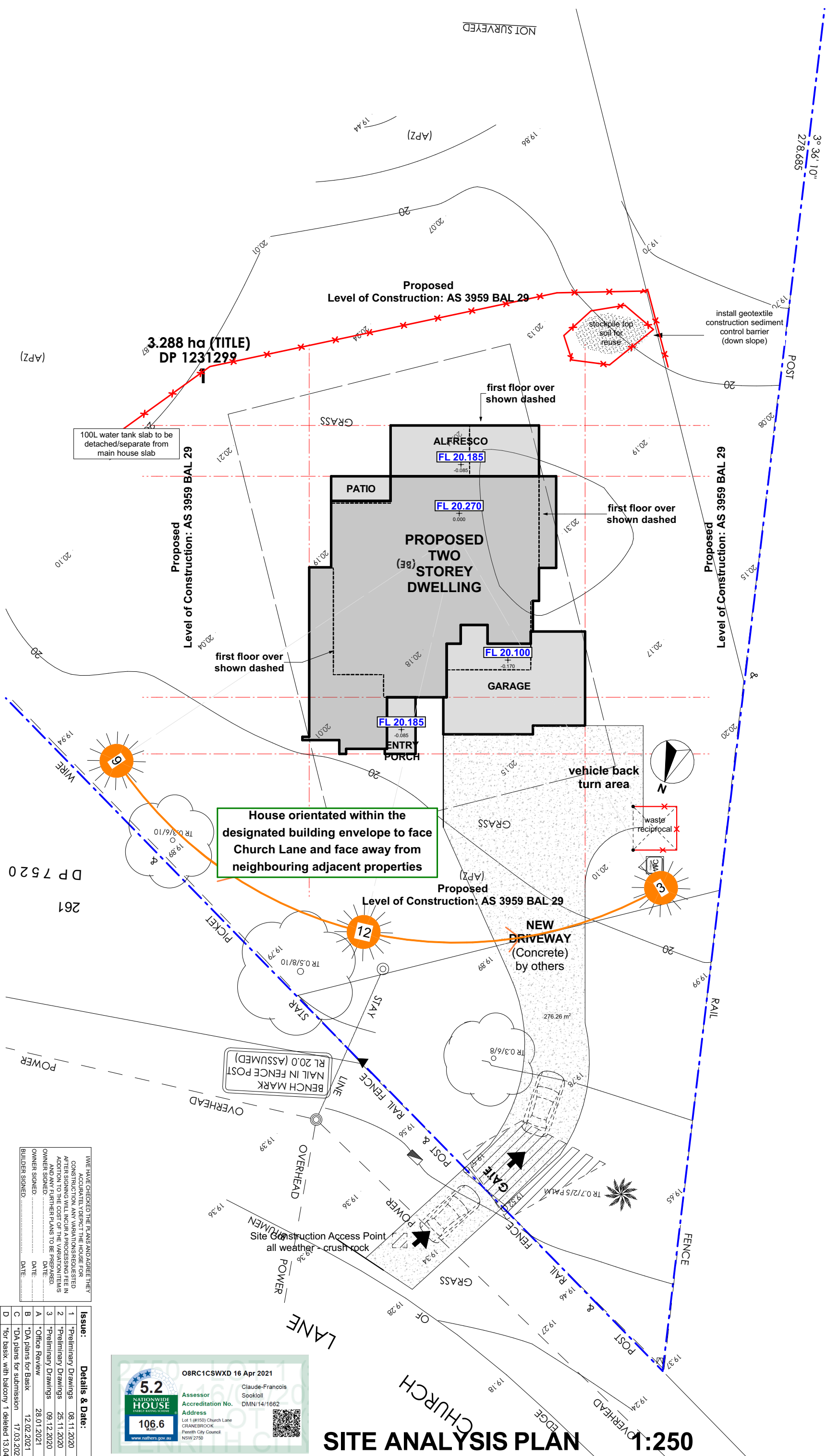
SHEET SIZE:  
**A3**  
JOB NO: xxxxxx  
DRAWN: GJM  
DATE: 02.06.21


**FLOOR AREAS:**  
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Garage 63.44 m<sup>2</sup>  
Porch 7.74 m<sup>2</sup>  
Alfresco 35.77 m<sup>2</sup>  
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Balc 3 16.73 m<sup>2</sup>  
**TOTAL: 541.01 m<sup>2</sup>**

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CONFORM TO THE REQUIREMENTS OF THE  
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ADDITION TO THE COST OF THE VARIATION ITEMS  
AND ANY FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BLUNDER SIGNED: ..... DATE: .....

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<b>*199820 06 of 25</b>	





<p><b>G.J. Gardner.</b> HOMIES</p> <p><b>Builders Details</b></p> <p>Sydney West NSW Lic No. 309650C</p>	<p><b>Blue Water Manor Facade</b></p> <p>@ COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMIES</p>						
	<p>Prepared by Office 199820 GJG 06 4738-6200</p>  <p><b>Building Designers</b></p> <p>Contact Greg McFarish <b>M c t a r i s h D e s i g n</b></p> <p>Accredited NAITHERS Assessor</p>						
	<p>CLIENT:</p> <p><b>Miranda and Mauro Steffan</b></p>						
	<p>PROJECT: New 2 Storey Dwelling</p>						
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	<p>DRAWING TITLE: SITE ANALYSIS SCALE 1:250</p>						
		<p>SHEET SIZE: <b>A3</b></p>		<p>FLOOR AREAS:</p>			
		<p>JOB NO.: xxxxxx</p>		<p>Ground Floor 222.52 m<sup>2</sup> Garage 63.44 m<sup>2</sup> Porch 7.74 m<sup>2</sup> Alfresco 35.77 m<sup>2</sup> Rear Patio 6.95 m<sup>2</sup> First Floor 180.89 m<sup>2</sup> Balc 1 deleted m<sup>2</sup> Balc 2 6.97 m<sup>2</sup> Balc 3 16.73 m<sup>2</sup> <b>541.01 m<sup>2</sup></b></p>			
		<p>DRAWN: GJM</p>		<p>* "add screen to bed Balc * "add south - rear IPZ 31.0m * "</p>			
		<p>DATE: 02.06.21</p>		<p>E 14.04.2021 F *DA Submission 16.04.21 G *Construction 25.05.21 H *add screen to bed Balc 31.05 I *add south - rear IPZ 31.0m 02.06 * " <b>*199820 07 of 2</b></p>			
		<p>TOTAL:</p>					

<p>WE HAVE CHECKED THE PLANS AND AGREE THAT THE CONTRACTS, SPECIFICATIONS, AND CONDITIONS OF THE PROJECTS HAVE BEEN PREPARED AND CORRECTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.</p> <p>OWNER SIGNED _____ DATE _____</p> <p>OWNER SIGNED _____ DATE _____</p> <p>OWNER SIGNED _____ DATE _____</p>	
<b>Issue:</b>	<b>Details &amp; Date:</b>
1 Preliminary Drawings	08.11.2020
2 Preliminary Drawings	25.11.2020
3 Preliminary Drawings	09.12.2020
A Office Review	28.01.2021
B IDA plans for Bank	12.02.2021

SHEET SIZE:		FLOOR	Ground Floor 222.52 m²
A3		Garage 63.44 m²	
JOB NO.: xxxxxx		Porch 7.74 m²	
DRAWN:		AREAS:	
C/M		Atrisco 35.77 m²	
DATE: 02.06.21		Rear Patio 6.95 m²	
		First Floor 180.89 m²	
		Balc 1 deleted m²	
		Balc 2 6.97 m²	
		Balc 3 16.73 m²	
		<b>541.01 m²</b>	
		<b>TOTAL:</b>	

PROJECT: New 2 Storey Dwelling			
Lot	Lot No 1	DP No 1231299	
Street	150 Church Lane		
Suburb	Cranebrook NSW		

CLIENT:  
Miranda and Mauro Steffan

---

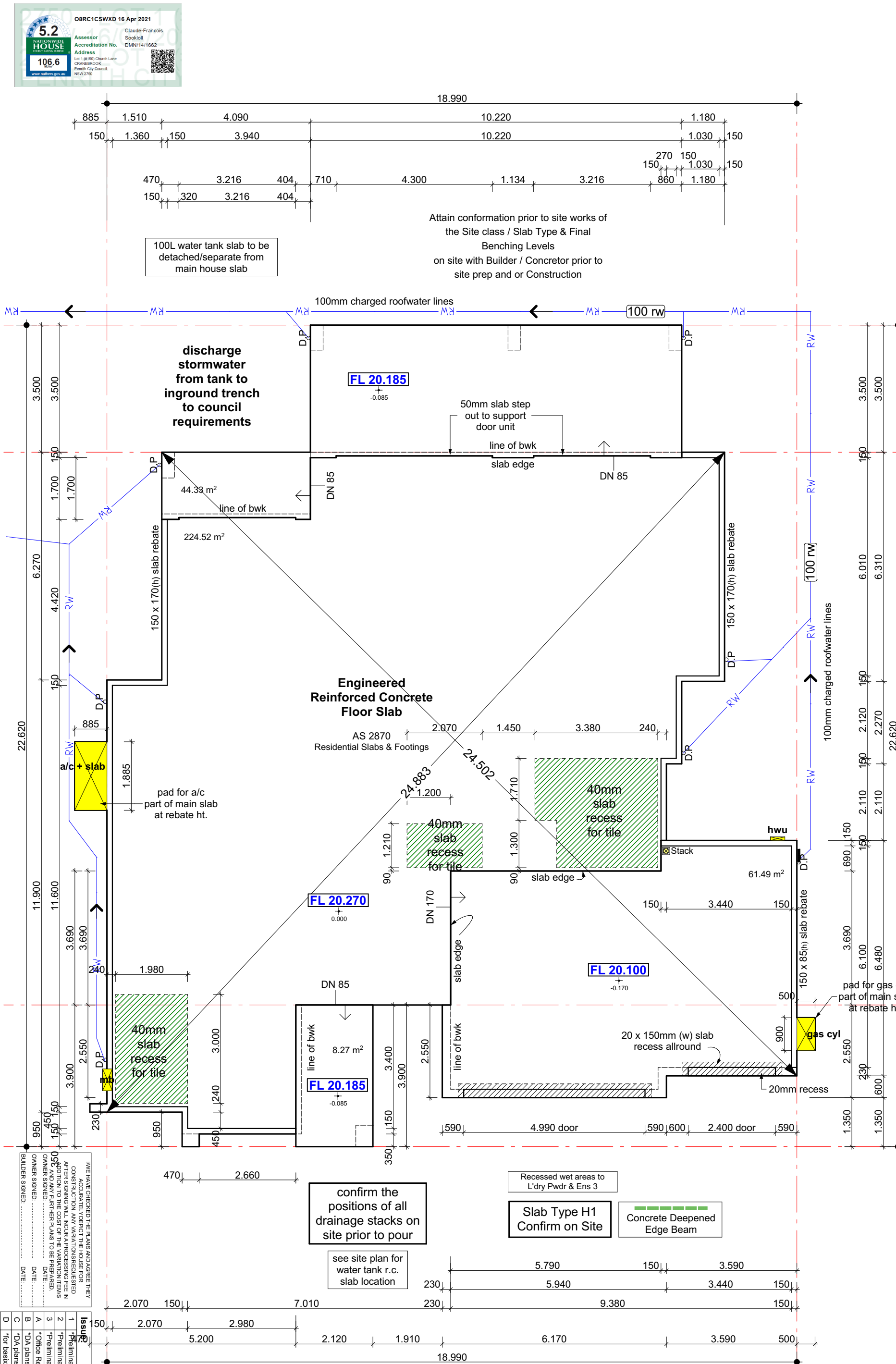
DRAWING TITLE:  
SITE ANALYSIS

SCALE 1:250

Prepared by 199820 GJ  
Office (02) 4758-6200  
**Building Designers**  
Contact: Greg McTavish  
**McTavish Design**  
Accredited NAITHERS Assessor







**1:100**

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY REFLECT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS.

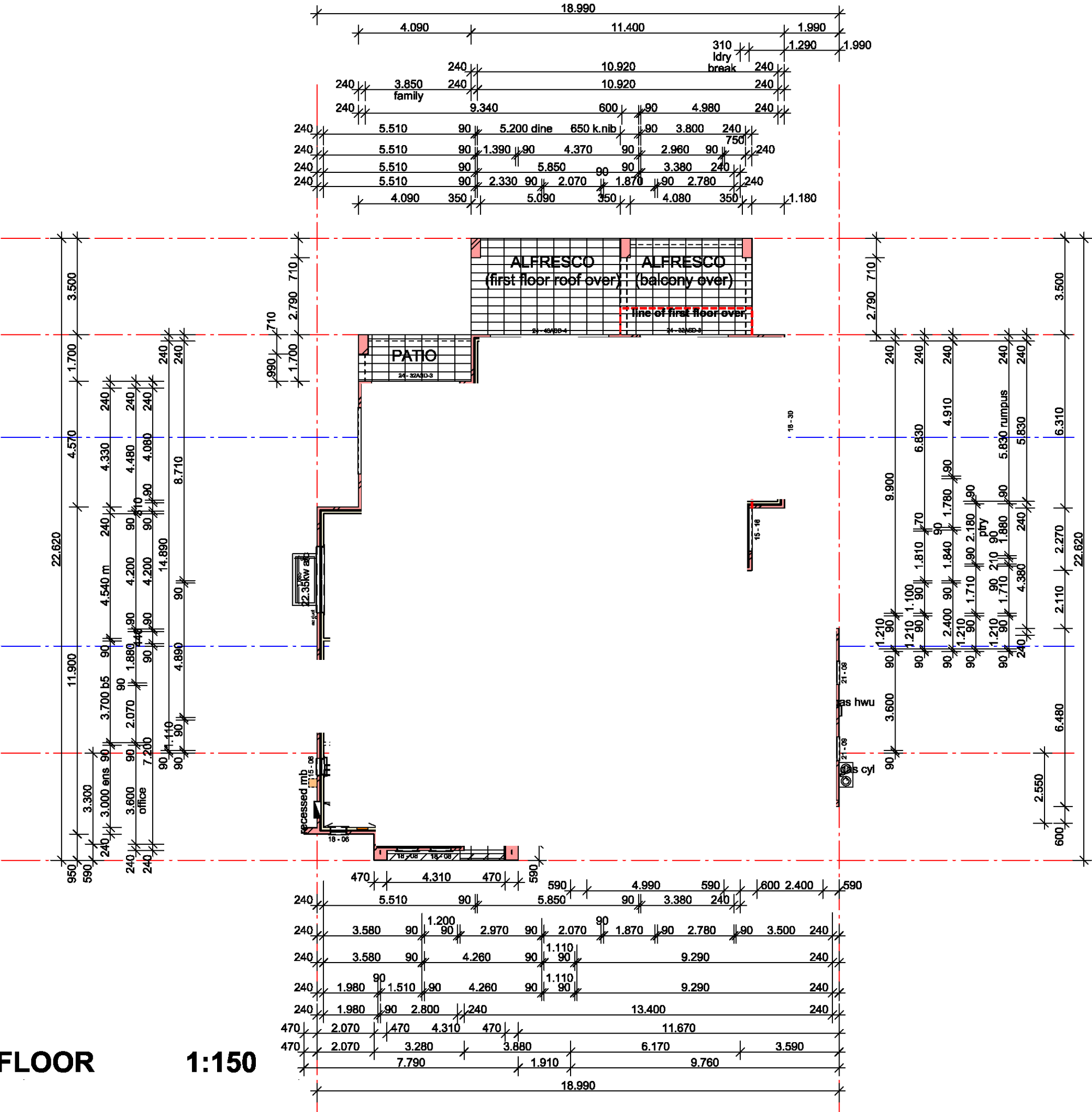
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 OWNER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 BUILDER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

Issue Details & Date:	
1. Preliminary Drawings	08.11.2020
2. Preliminary Drawings	25.11.2020
3. Preliminary Drawings	09.12.2020
A. Office Review	28.01.2021
A. 'Office Review	12.02.2021
C. 'DA plans for submission	17.03.2021

JOB NO.:	xxxxxx	SHEET SIZE:	
		A3	
DRAWN:		FLOOR:	
GM		Ground Floor 222.52 m <sup>2</sup>	
DATE:	02.06.21	Garage 63.44 m <sup>2</sup>	
		Porch 7.74 m <sup>2</sup>	
		Alfresco 35.77 m <sup>2</sup>	
		Rear Patio 6.55 m <sup>2</sup>	
		First Floor 180.89 m <sup>2</sup>	
		Balc 1 deleted m <sup>2</sup>	
		Balc 2 6.97 m <sup>2</sup>	
		Balc 3 16.73 m <sup>2</sup>	
		TOTAL: 341.01 m <sup>2</sup>	
		*199820 09 of 255	

document ID: 969733E

Version: 1, Version Date: 05/08/2021



GROUND FLOOR 1:150

5.2  
NATHERS  
ENERGY RATING SCHEME

O8RC1CSWXD 16 Apr 2021

Assessor  
Accreditation No.  
Address  
Lot 1 (R150) Church Lane  
CRANESBROOK  
Parramatta City Council  
NSW 2750

106.6

www.nathers.gov.au

OWNER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

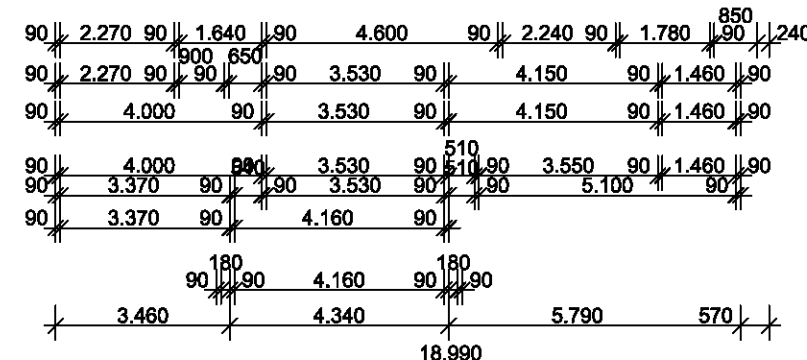
BUILDER SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.



FIRST FLOOR

1:150



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**G.J. Gardner. HOMES**

Builders Details

Sydney West NSW Lic No. 309650c

**Blue Water  
Manor Facade**© COPYRIGHT EXCLUSIVE  
TO G.J. GARDNER HOMESPrepared by  
Office 02 4758-6200  
**Building Designers**  
Contact: Greg McTavish  
**McTavish Design**  
Accredited NatHERS AssessorCLIENT:  
Miranda and Mauro SteffanDRAWING TITLE:  
FIRST FLOOR 150  
SCALE 1:150

PROJECT: New 2 Storey Dwelling

Lot Lot No 1 DP No 1231299  
Street 150 Church Lane  
Suburb Cranebrook NSWSHEET SIZE:  
**A3**

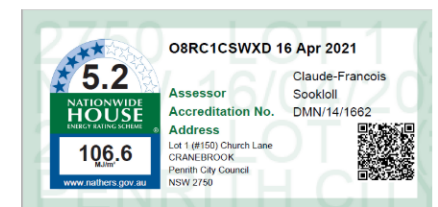
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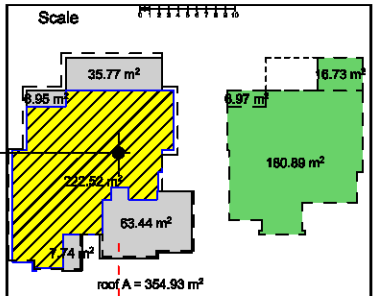
DRAWN:  
GM

DATE: 02.06.21

**FLOOR  
AREAS:**Ground Floor 222.52 m²  
Garage 63.44 m²  
Porch 7.74 m²  
Alfresco 35.77 m²  
Rear Patio 6.95 m²  
First Floor 180.89 m²  
Balc 1 deleted m²  
Balc 2 6.97 m²  
Balc 3 16.73 m²  
**541.01 m²****TOTAL:**

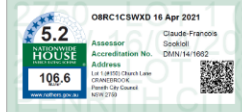
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2	*Preliminary Drawings	25.11.2020
3	*Preliminary Drawings	09.12.2020
A	*Office Review	28.01.2021
B	*DA plans for Basix	12.02.2021
C	*DA plans for submission	17.03.2021
D	*for basix. with balcony 1 deleted	13.04.21
E	windows 15- 16 change	
F	*for basix.	14.04.2021
G	*DA Submission	16.04.21
H	*Construction	25.05.21
I	*add screen to bed Balc	31.05.21
J	*add south - rear IPZ 31.0m	02.06.21
*199820 11 of 25		



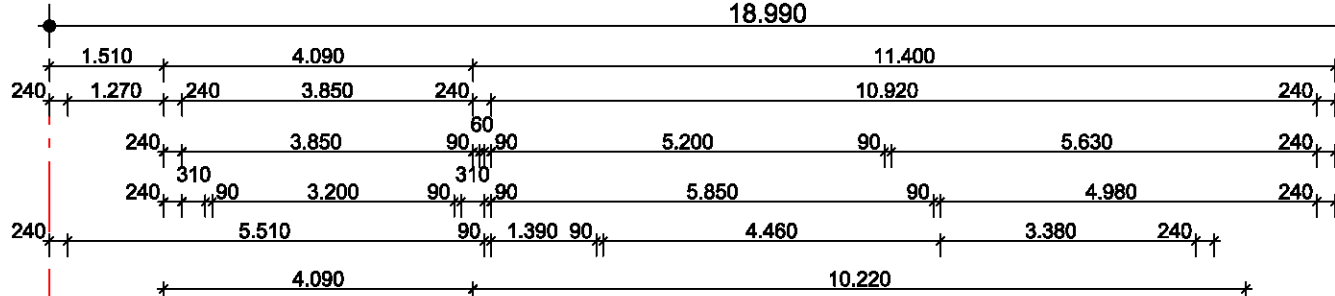


Slab Type H1  
Confirm on Site

A: = New Total Bldg  
541.01m2  
Incl Alfresco  
Incl Entry Porch  
Incl Rear Patio  
Incl Balconys



03 - 100



T2 Timber Frames throughout  
Standard skirting tile  
PWD, Ensuite WC. Was Area  
outside Bathroom & Separate WC  
Recessed wet areas to  
L'dry Pwdr & Ens 3

Provide 140mm Skirting Boards  
throughout dwelling  
full ht steel post  
Provide Square set wall/ceiling  
Junction to entire home  
Provide 2430 (H) Corinthian Motive  
Internal doors throughout  
ground floor of dwelling. First floor  
Bedroom entry doors  
& linen (Excludes Media)

ALFRESCO  
(first floor roof over)  
FL 20.185

ALFRESCO  
(balcony over)  
FL 20.185

\*h&c & gas provisions in  
alfresco are located in the  
external wall not through  
the slab  
capped gas point

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
tank tap  
w6  
2.05 m x 2.41 m

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
w6  
2.05 m x 2.41 m

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
w6  
2.05 m x 2.41 m

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
w6  
2.05 m x 2.41 m

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
w6  
2.05 m x 2.41 m

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
w6  
2.05 m x 2.41 m

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
w6  
2.05 m x 2.41 m

full ht steel post  
p.710x350  
tile  
by G/JG  
230 bwk over  
dg 2  
2.41 m x 3.22 m  
24 - 32ASD-3  
w6  
2.05 m x 2.41 m

G.J. Gardner. HOMES  
Builders Details  
Sydney West NSW Lic No. 309650C

Blue Water  
Manor Facade  
© COPYRIGHT EXCLUSIVE  
TO G.J. GARDNER HOMES

Prepared by  
Office 199820 GJG  
Building Designers  
Contact: GJG  
M c t o v i s h Design  
Accredited Nethers Assessor

CLIENT:  
Miranda and Mauro Steffan  
PROJECT: New 2 Storey Dwelling  
Lot  
Street  
Suburb  
Lot No 1  
150 Church Lane  
Cranebrook NSW  
DP No 1231299

JOB NO.: xxxxxx  
DRAWN: GJM  
DATE: 02.06.21

SHEET SIZE:  
A3  
FLOOR AREAS:  
Ground Floor 222.52 m²  
Gange 63.44 m²  
Porch 7.77 m²  
Alfresco 35.77 m²  
Rear Patio 8.96 m²  
First Floor 180.89 m²  
Balc 2 6.87 m²  
Balc 3 16.73 m²  
TOTAL: 541.01 m²

Issues:  
1 Preliminary Drawings 08.11.2020  
2 Preliminary Drawings 25.11.2020  
3 Preliminary Drawings 09.12.2020  
A Office Review 28.01.2021  
B DA plans for Basix 12.02.2021  
C DA plans for submission 17.03.2021  
D For basix with balcony 1 deleted 13.04.2021  
E For basix 14.04.2021  
F DA Submission 16.04.21  
G Construction 25.05.21  
H Field screen to bed Balc 31.05.21  
I Field south - rear IPZ 31.0m 02.06.21  
\*199820 12 of 25

GROUND FLOOR PLAN 01 - 100

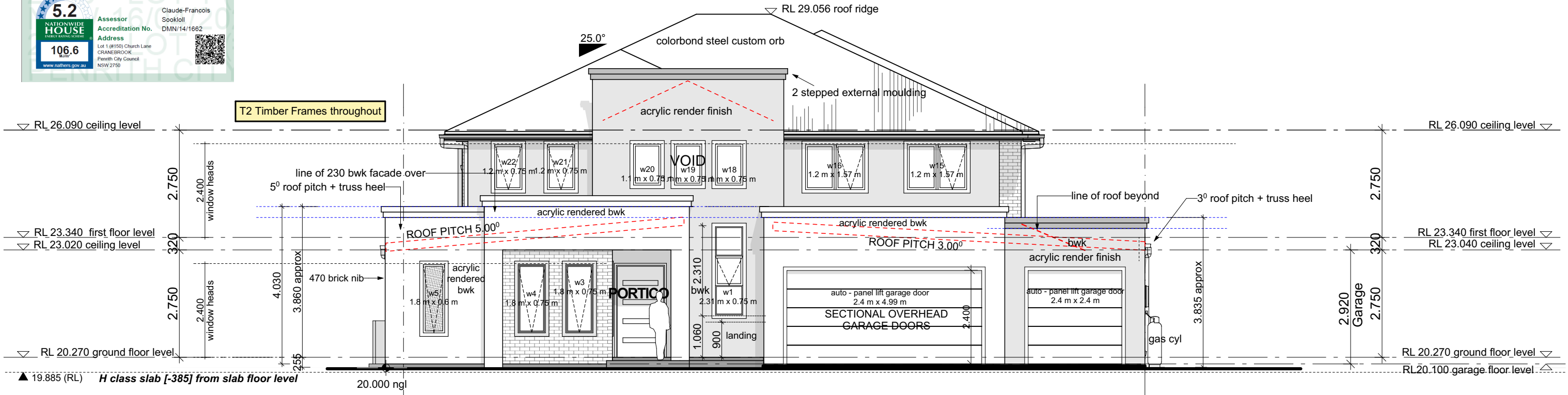
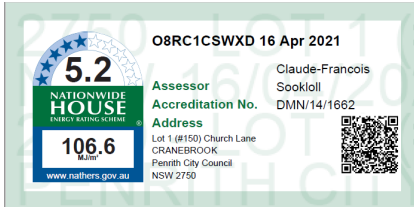
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04 - 100

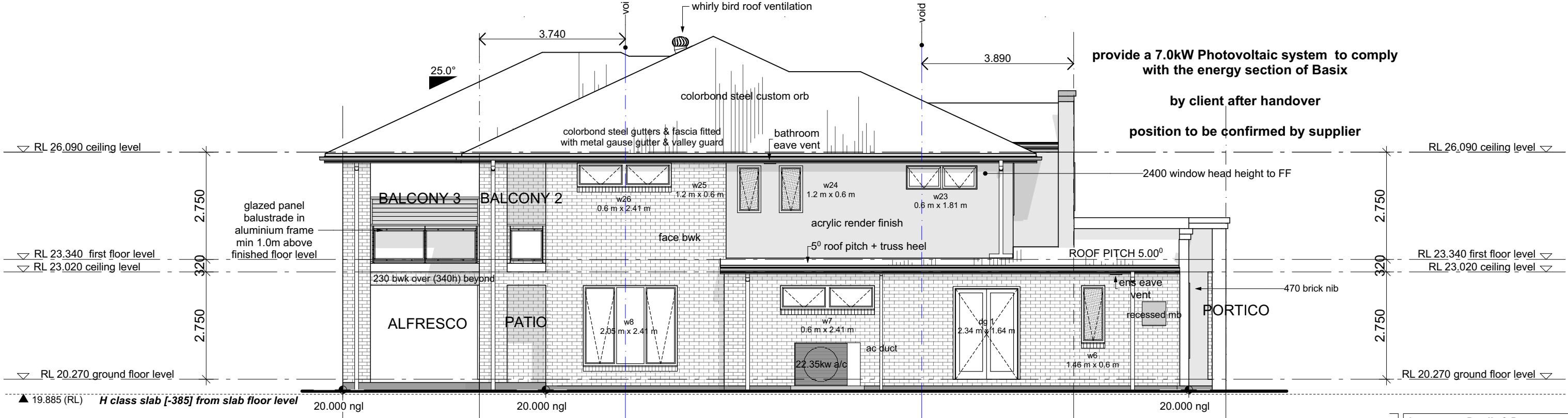
02 - 100





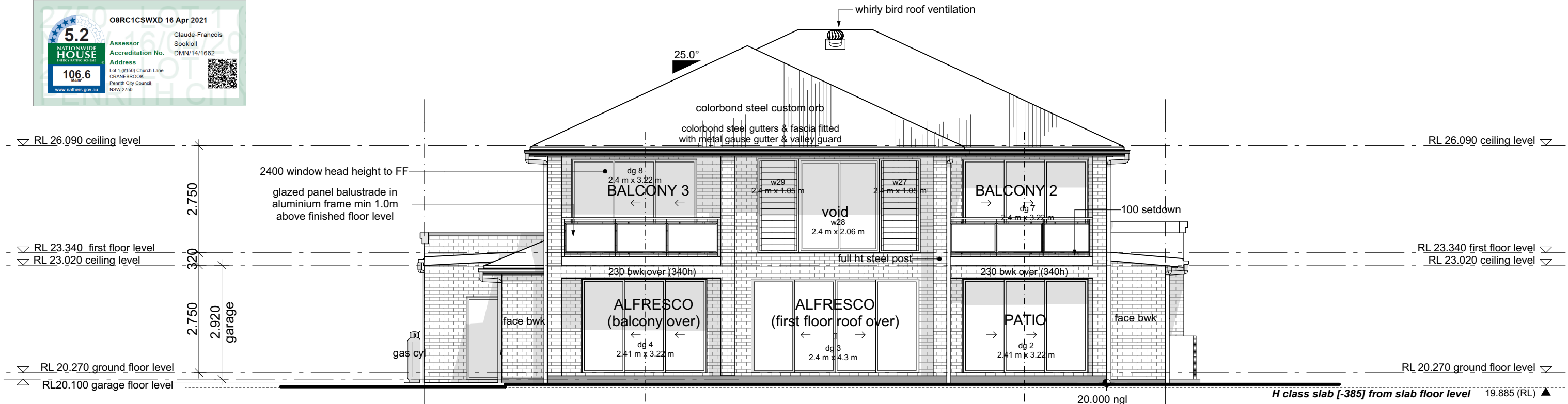


FRONT ELEVATION north 1:100

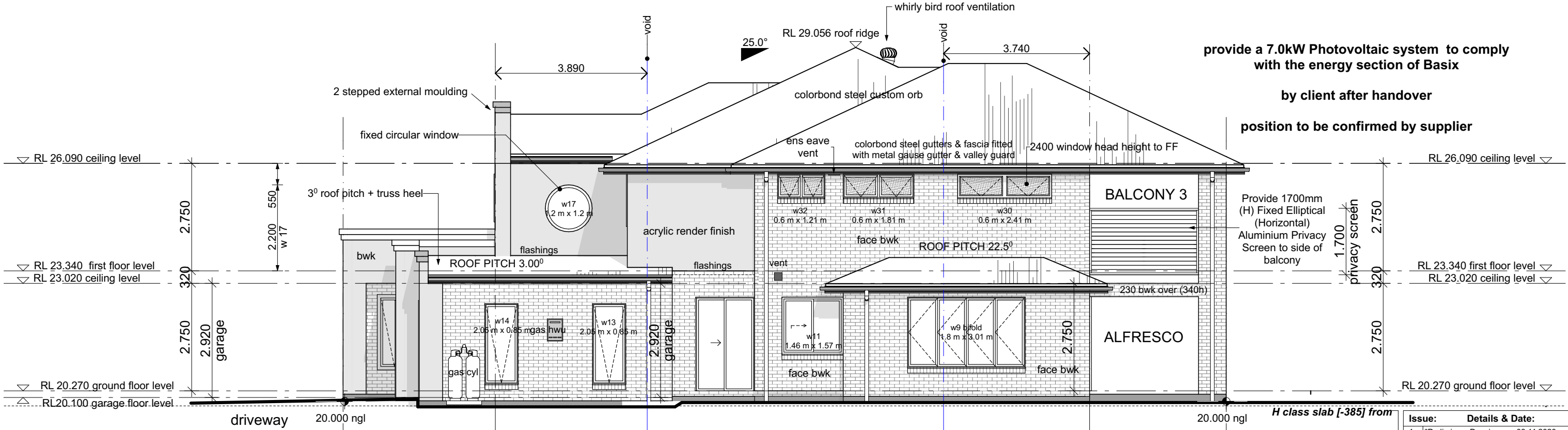


SIDE ELEVATION east 1:100





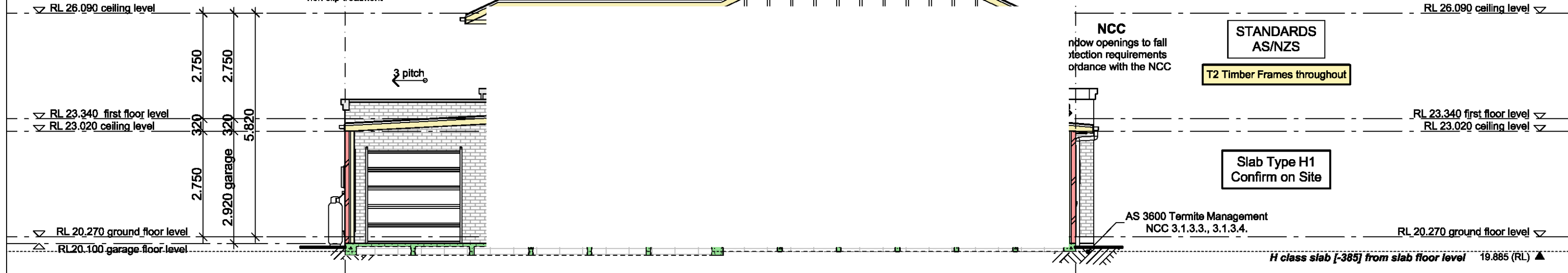
REAR ELEVATION south 1:100



SIDE ELEVATION west 1:100

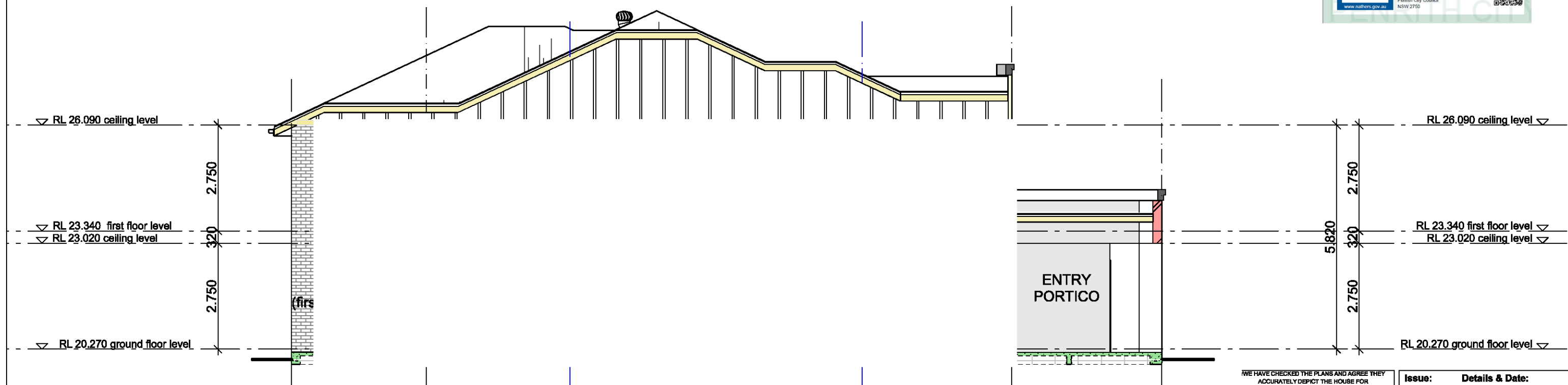
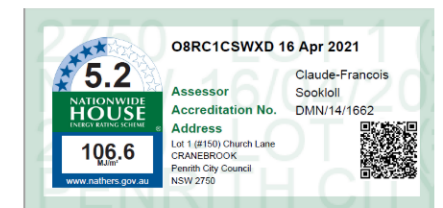
Suppliers must Refer to Stamped Construction Plans

a stair => 1.0m in rise must be provided with a continuous handrail support & all stair treads provided with non slip treatment



## SECTION A

1:100



## SECTION B

1:100

Important Note - Reference should also be made to the NCC regarding condensation in buildings

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G.J. Gardner. HOMES

Builders Details

Sydney West NSW Lic No. 309650c

Blue Water  
Manor Facade© COPYRIGHT EXCLUSIVE  
TO G.J. GARDNER HOMES

Prepared by 199820 GJG  
Office 02 4758-6200  
**Building Designers**  
Contact: Greg McTavish  
**McTavish Design**  
Accredited NatHERS Assessor

CLIENT:  
Miranda and Mauro SteffanDRAWING TITLE:  
SECTIONS A & B  
SCALE 1:100

PROJECT: New 2 Storey Dwelling

Lot Lot No 1 DP No 1231299  
Street 150 Church Lane  
Suburb Cranebrook NSW

SHEET SIZE:  
**A3**

JOB NO: xxxxxx

DRAWN:  
GM

DATE: 02.06.21

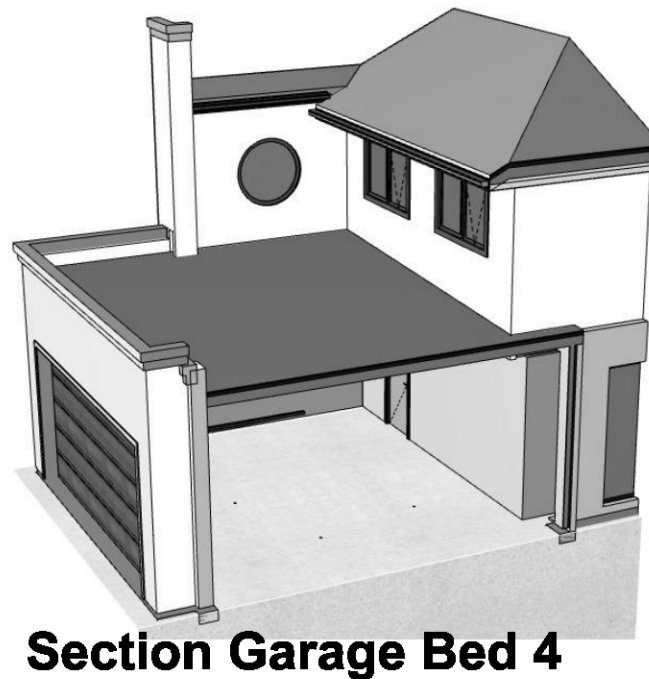
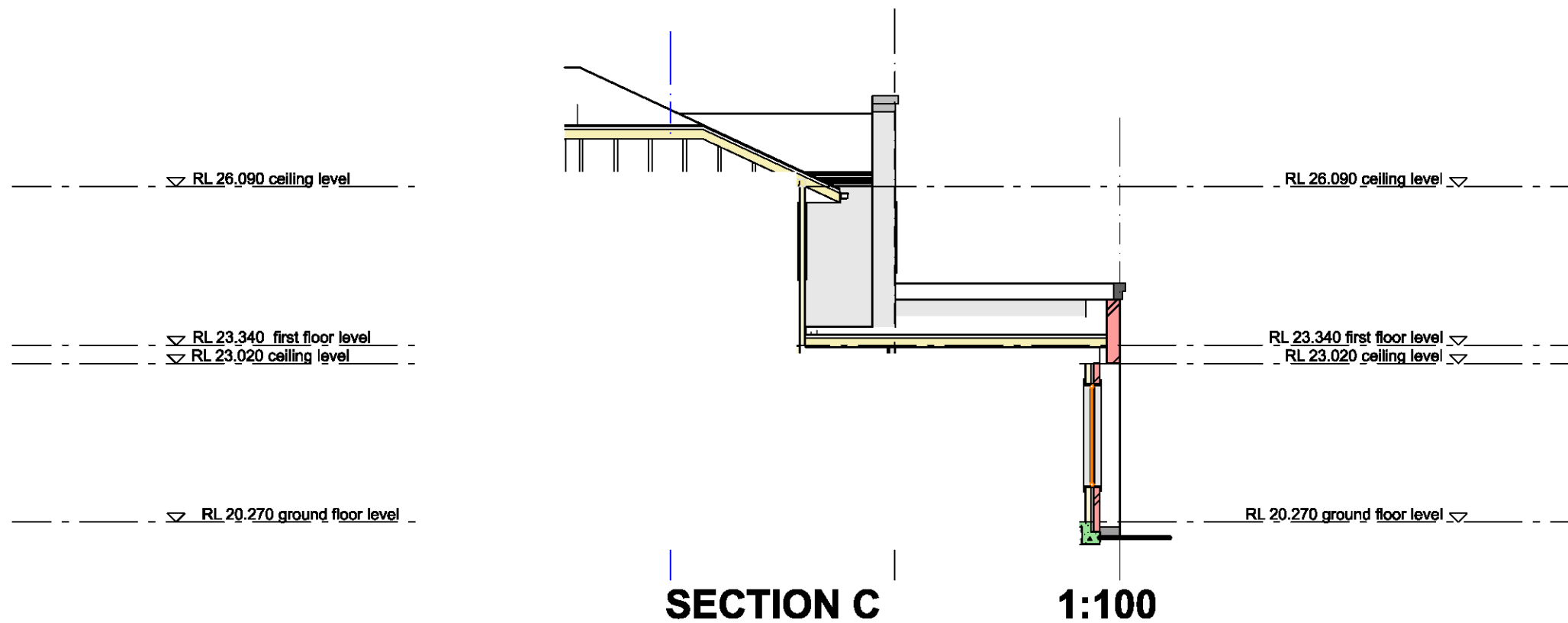
FLOOR  
AREAS:

Ground Floor 222.52 m²  
Garage 63.44 m²  
Porch 7.74 m²  
Alfresco 35.77 m²  
Rear Patio 6.95 m²  
First Floor 180.89 m²  
Balc 1 deleted m²  
Balc 2 6.97 m²  
Balc 3 16.73 m²  
**541.01 m²**

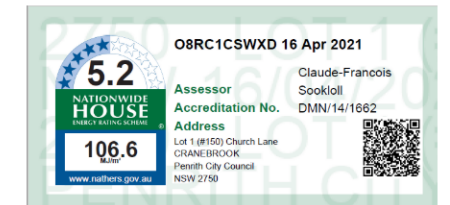
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Issue:	Details & Date:
1	*Preliminary Drawings 08.11.2020
2	*Preliminary Drawings 25.11.2020
3	*Preliminary Drawings 09.12.2020
A	*Office Review 28.01.2021
B	*DA plans for Basix 12.02.2021
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E	windows 15- 16 change
F	*for basix. 14.04.2021
F	*DA Submission 16.04.21
G	*Construction 25.05.21
H	*add screen to bed Balc 31.05.21
I	*add south - rear IPZ 31.0m 02.06.21
*	
*	
<b>*199820 16 of 25</b>	





Section Garage Bed 4



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

Issue:		Details & Date:
1	*Preliminary Drawings	08.11.2020
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3	*Preliminary Drawings	09.12.2020
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C	*DA plans for submission	17.03.2021
D	*for basix, with balcony 1 deleted	13.04.21
	windows 15- 16 change	
E	*for basix,	14.04.2021
F	*DA Submission	16.04.21
G	*Construction	25.05.21
H	*add screen to bed Balc	31.05.21
I	*add south - rear IPZ 31.0m	02.06.21
	*	
	*	
		<b>*199820 17 of 25</b>

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**G.J. Gardner. HOMES**

**Builders Details**

Sydney West NSW Lic No. 309650c

**Blue Water  
Manor Facade**

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TO G.J. GARDNER HOMES

Prepared by 199820 GJG  
Office 02 4758-6200  
**Building Designers**  
Contact: Greg McTavish  
**McTavish Design**  
Accredited NatHERS Assessor

CLIENT:  
Miranda and Mauro Steffan

DRAWING TITLE:  
SECTIONS C & D & BED 4 BALCONY  
SCALE 1:100

PROJECT: New 2 Storey Dwelling

Lot Lot No 1 DP No 1231299  
Street 150 Church Lane  
Suburb Cranebrook NSW

SHEET SIZE:  
**A3**

JOB NO: xxxxxx

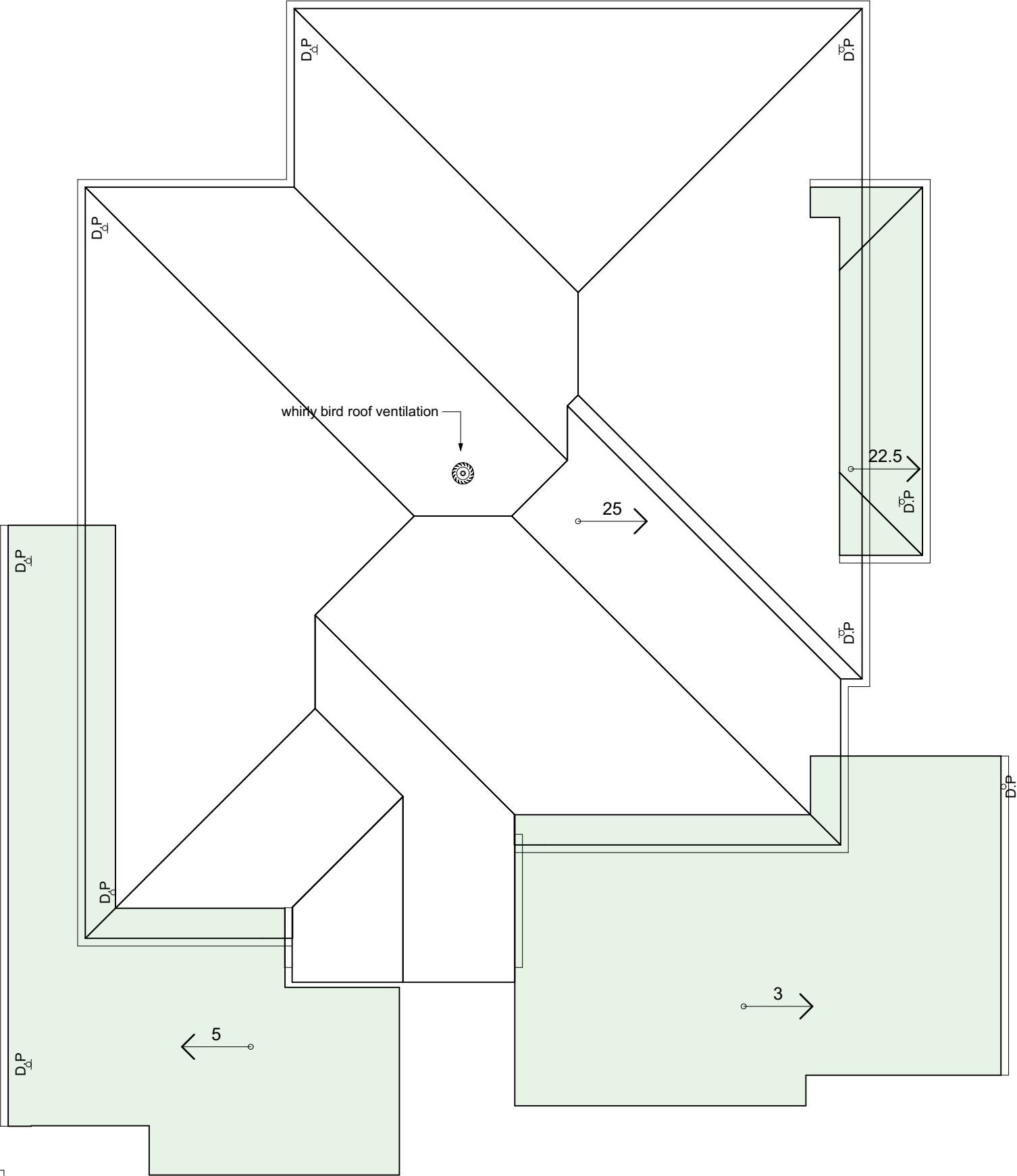
DRAWN:  
GM

DATE: 02.06.21

**FLOOR  
AREAS:**

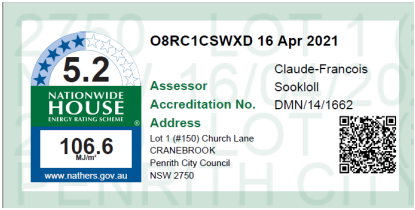
Ground Floor 222.52 m<sup>2</sup>  
Garage 63.44 m<sup>2</sup>  
Porch 7.74 m<sup>2</sup>  
Alfresco 35.77 m<sup>2</sup>  
Rear Patio 6.95 m<sup>2</sup>  
First Floor 180.89 m<sup>2</sup>  
Balc 1 deleted m<sup>2</sup>  
Balc 2 6.97 m<sup>2</sup>  
Balc 3 16.73 m<sup>2</sup>  
**541.01 m<sup>2</sup>**

**TOTAL:**



ROOF PLAN

1:100



O8RC1CSWXD 16 Apr 2021  
Assessor: Claude-Francois Sookloll  
Accreditation No.: DMN/14/1662  
Address: Lot 1 (8150) Church Lane CRANE BROOK, Penrith City Council, NSW 2750

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**G.J. Gardner. HOMES**  
Builders Details  
Sydney West NSW Lic No. 309650C

**Blue Water Manor Facade**  
© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

Prepared by  
Office: 02 4738-6200  
199820 G.J.G  
**Building Designers**  
Contact: Greg McTavish  
**McTavish Design**  
Accredited Nathers Assessor

CLIENT:  
**Miranda and Mauro Steffan**  
DRAWING TITLE:  
ROOF PLAN  
SCALE 1:100

PROJECT: New 2 Storey Dwelling  
Lot: Lot No 1  
Street: 150 Church Lane  
Suburb: Cranebrook NSW  
DP No 1231299

SHEET SIZE:  
**A3**  
JOB NO.: xxxxxx  
DRAWN: GJM  
DATE: 02.06.21

**FLOOR AREAS:**  
Ground Floor 222.52 m²  
Garage 63.44 m²  
Porch 7.74 m²  
Alfresco 35.77 m²  
Rear Patio 6.95 m²  
First Floor 180.89 m²  
Balc 1 deleted m²  
Balc 2 6.97 m²  
Balc 3 16.73 m²  
**TOTAL: 541.01 m²**

I/WE HAVE CHECKED THE PLANS AND AGREE THEY  
CONSTRUCTED TO THE SPECIFICATIONS  
AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEMS  
AND ANY FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

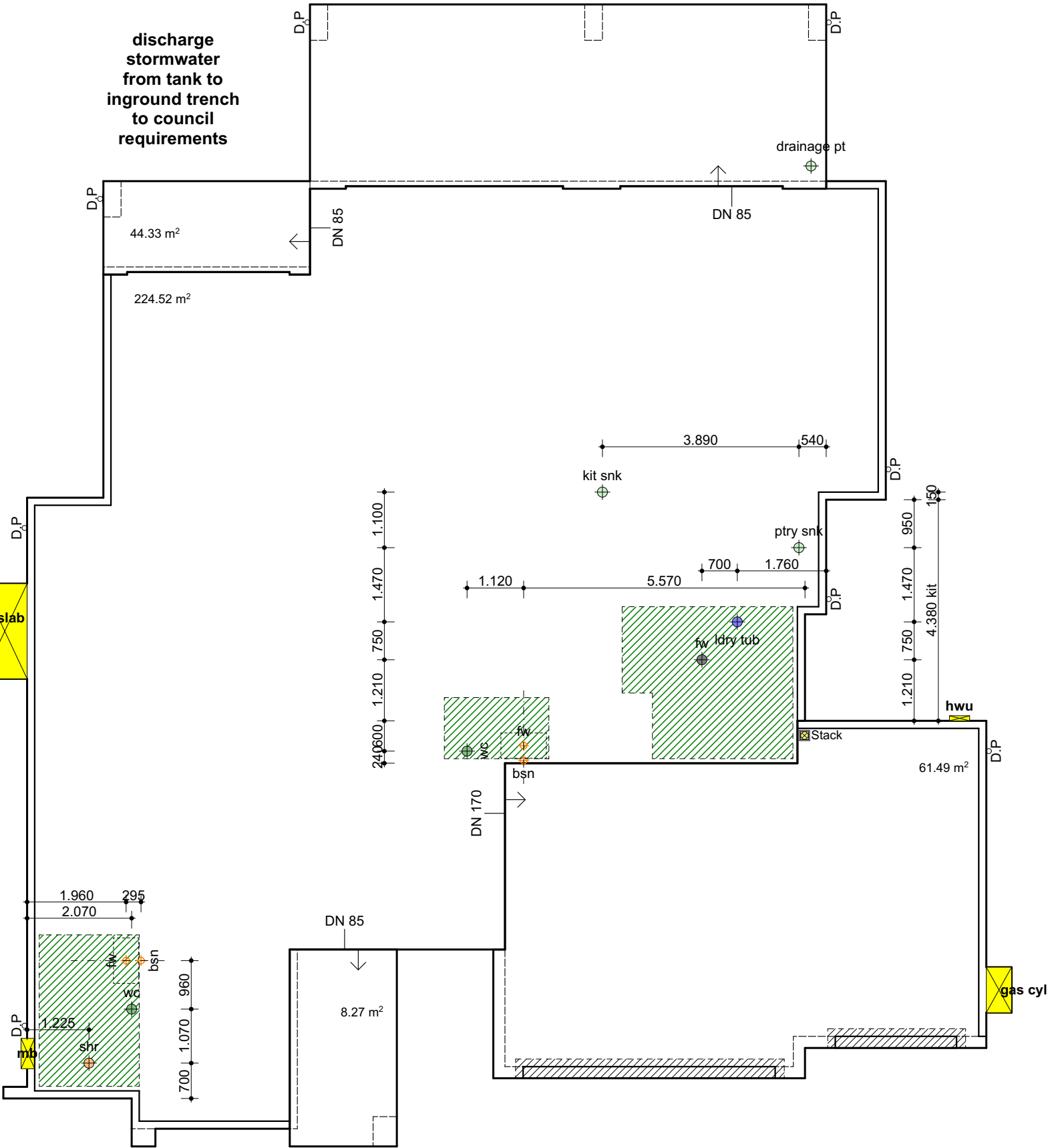
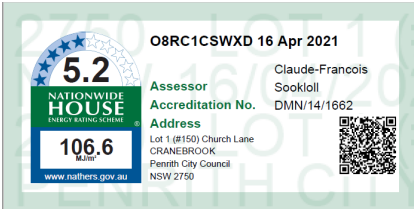
Issue:	Details & Date:
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F	*DA Submission 16.04.21
G	*Construction 25.05.21
H	*add screen to bed Balc 31.05.21
I	*add south - rear 1PZ 31.0m 02.06.21
*	
<b>*199820 18 of 25</b>	





\* IMPORTANT NOTE \*

Positions of Walls where required have been provided and Drainage point offsets to assist in the drainage setout  
It remains the responsibilty of Contractors to confirm & verify drainage points on site during the floor slab preparation



SLAB PENENTRATION PLAN 1:100

G.J. Gardner. HOMES  
Builders Details  
Sydney West NSW Lic No. 309650C

Blue Water  
Manor Facade  
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TO G.J. GARDNER HOMES

Prepared by  
Office 02 4738 6200  
Building Designers  
Contact: Greg McTavish  
McTavish Design  
Accredited NaHERS Assessor

CLIENT:  
Miranda and Mauro Steffan  
DRAWING TITLE:  
SLAB PENETRATION PLAN  
SCALE 1:100

PROJECT: New 2 Storey Dwelling  
Lot  
Street  
Suburb  
Lot No 1  
150 Church Lane  
Cranebrook NSW  
DP No 1231299

SHEET SIZE:  
A3  
JOB NO.: xxxxxx  
DRAWN:  
GJM  
DATE: 02.06.21

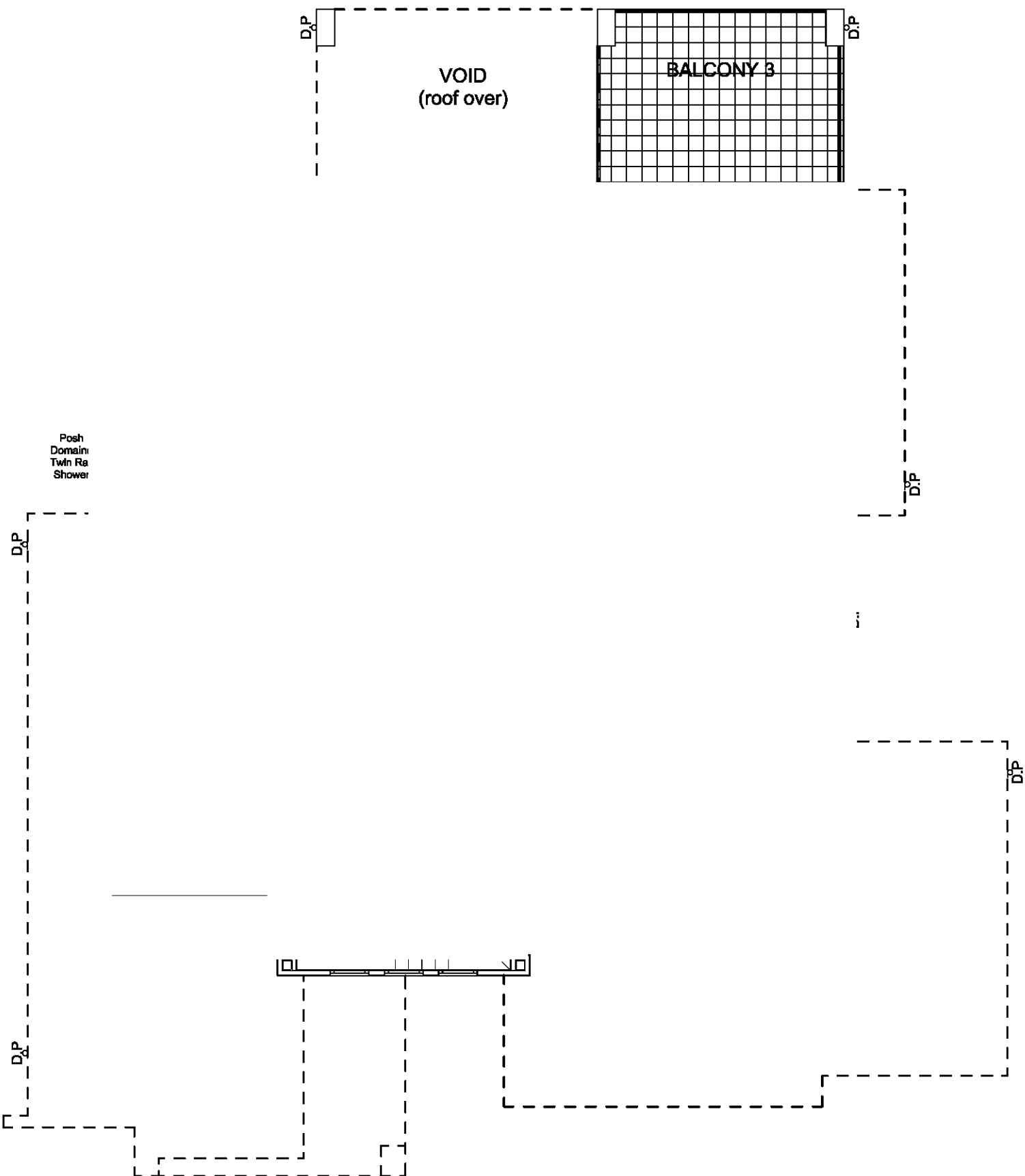
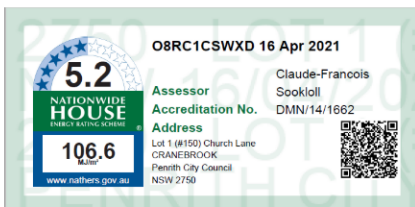
FLOOR AREAS:  
Ground Floor 222.52 m²  
Garage 63.44 m²  
Porch 7.74 m²  
Alfresco 35.77 m²  
Rear Patio 6.95 m²  
First Floor 180.89 m²  
Balc 1 deleted m²  
Balc 2 6.97 m²  
Balc 3 16.73 m²  
TOTAL: 541.01 m²

I/WE HAVE CHECKED THE PLANS AND AGREE THEY  
CONSTRUCTED TO THE SPECIFICATIONS  
AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEMS  
AND ANY FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

Issue:	Details & Date:
1	*Preliminary Drawings 08.11.2020
2	*Preliminary Drawings 25.11.2020
3	*Preliminary Drawings 09.12.2020
A	*Office Review 28.01.2021
B	*DA plans for Basix 12.02.2021
C	*DA plans for submission 17.03.2021
D	*for basix, with balcony 1 deleted 13.04.2021
E	*for basix, 14.04.2021
F	*DA Submission 16.04.21
G	*Construction 25.05.21
H	*add screen to bed balc 31.05.21
I	*add south - rear 1PZ 31.0m 02.06.21
*	
*199820 20 of 25	





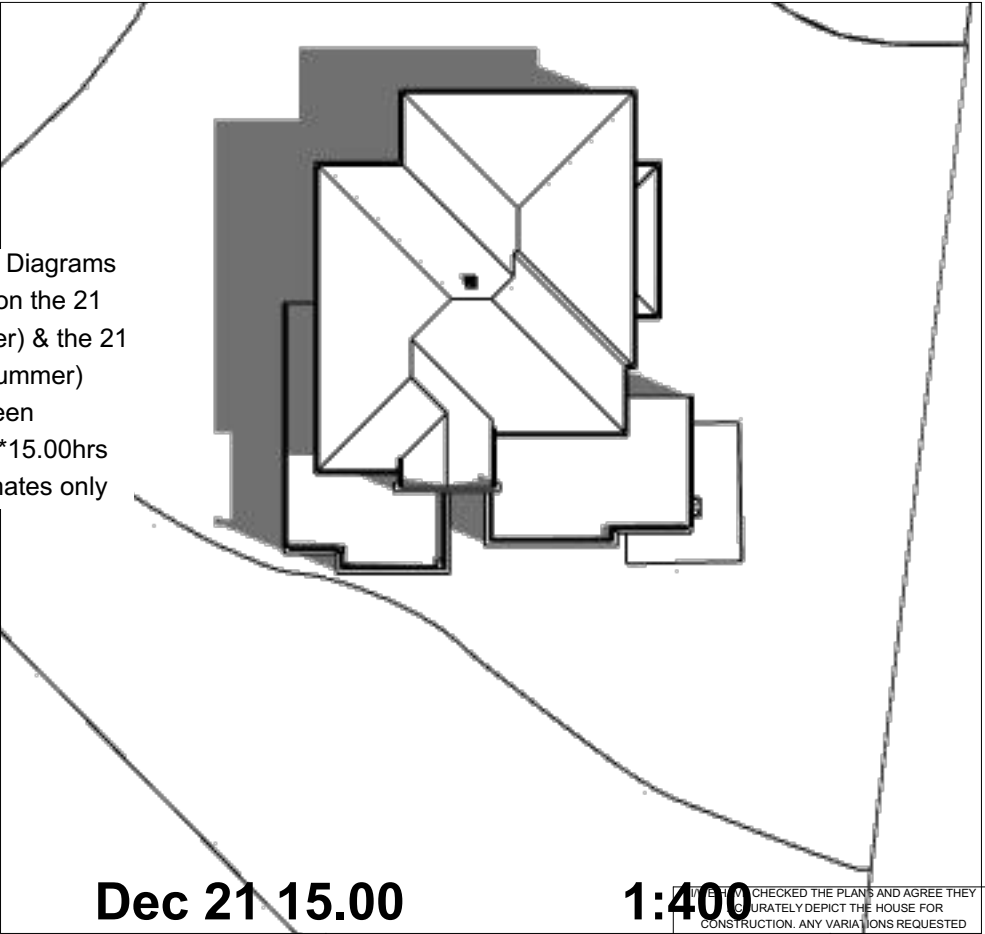
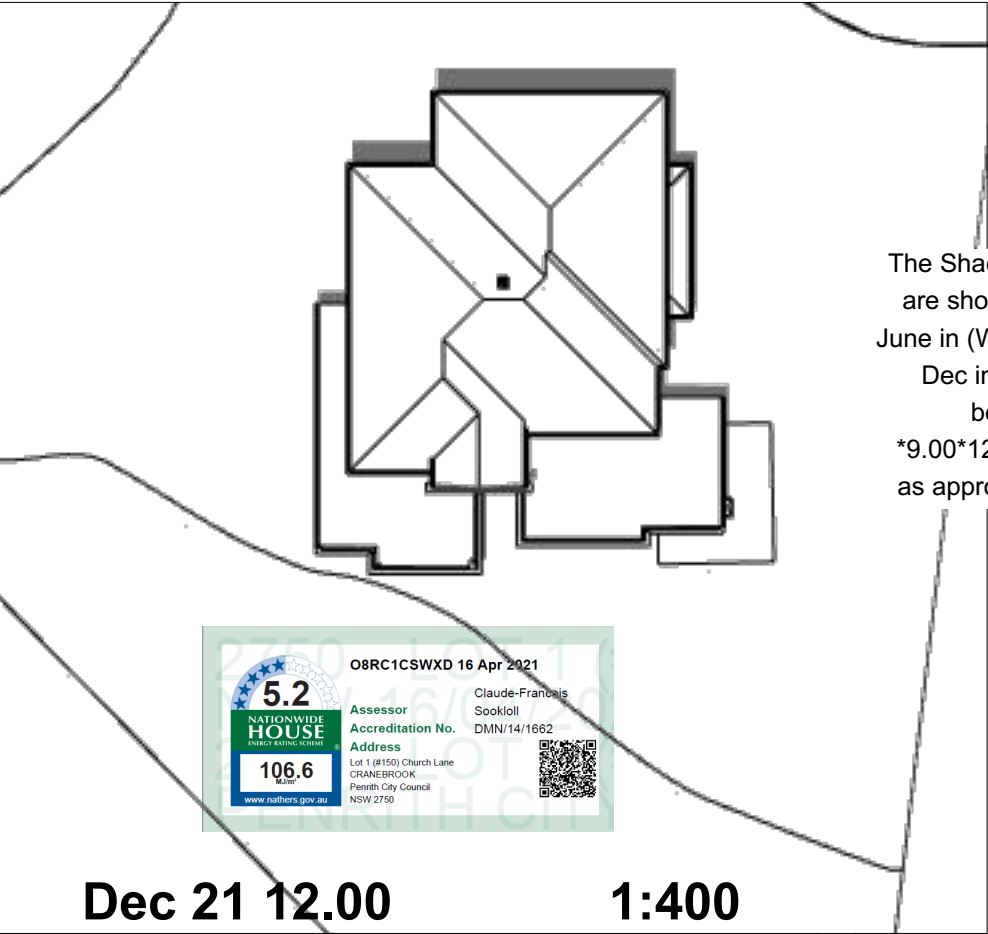
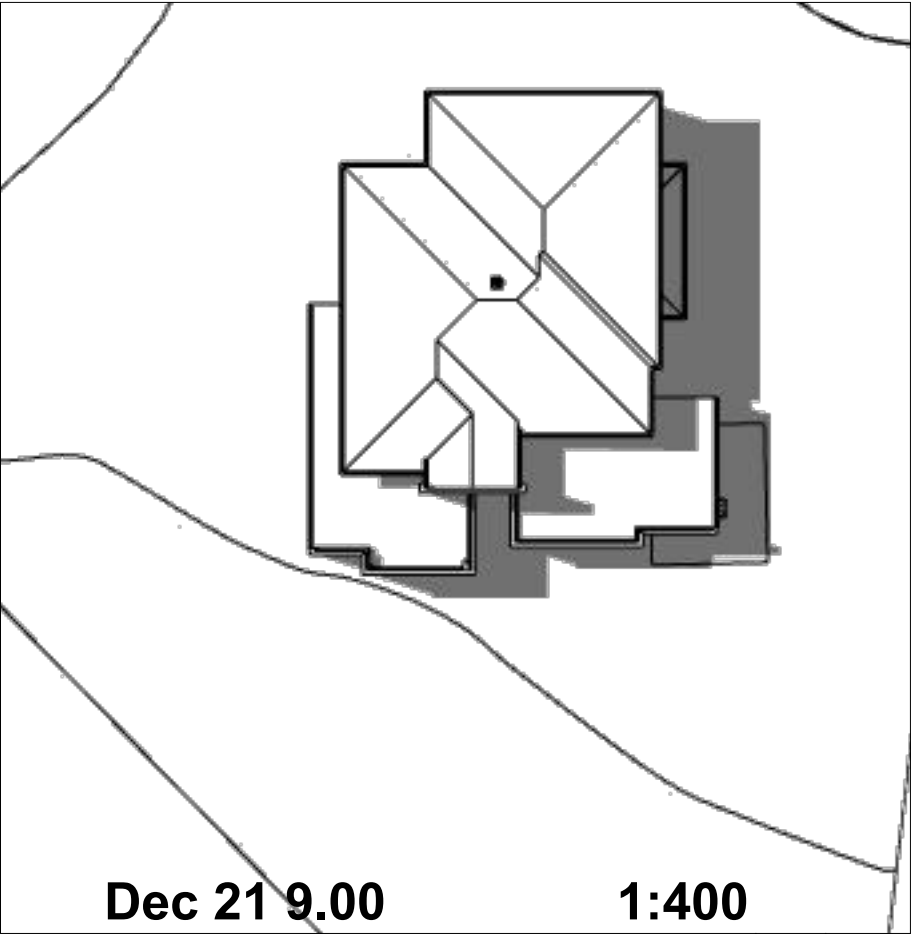
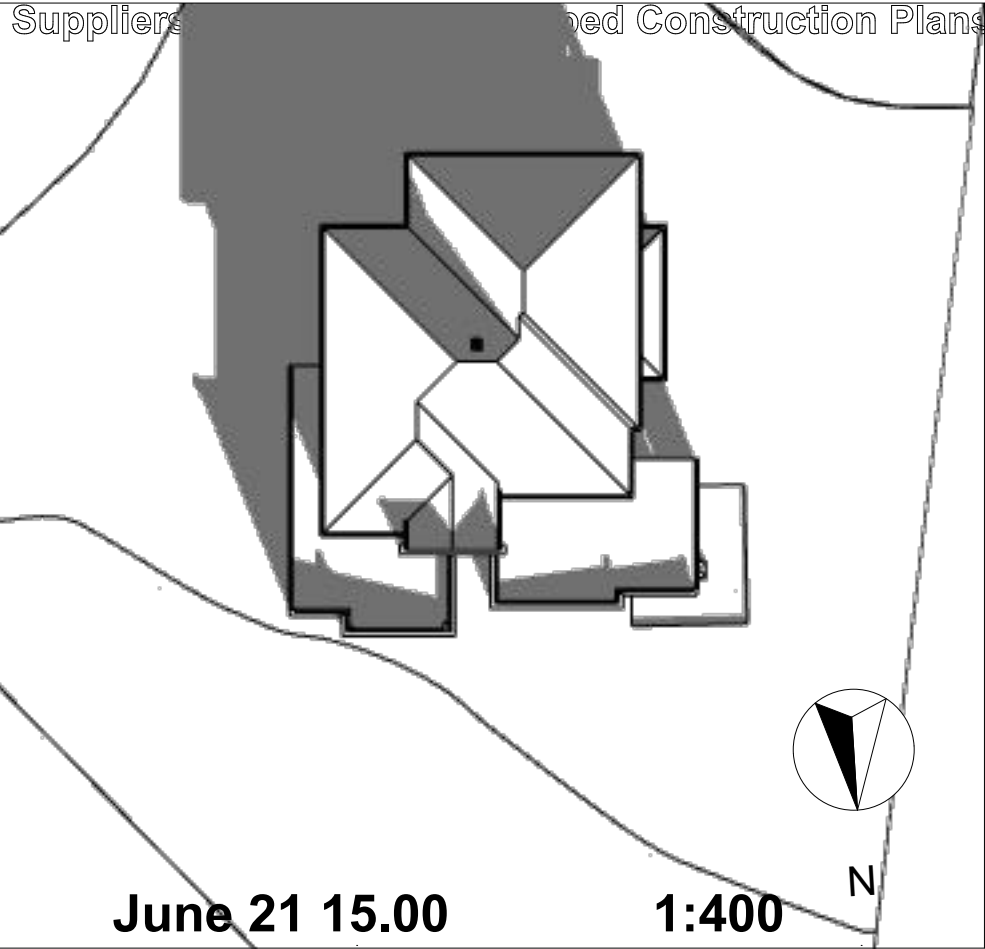
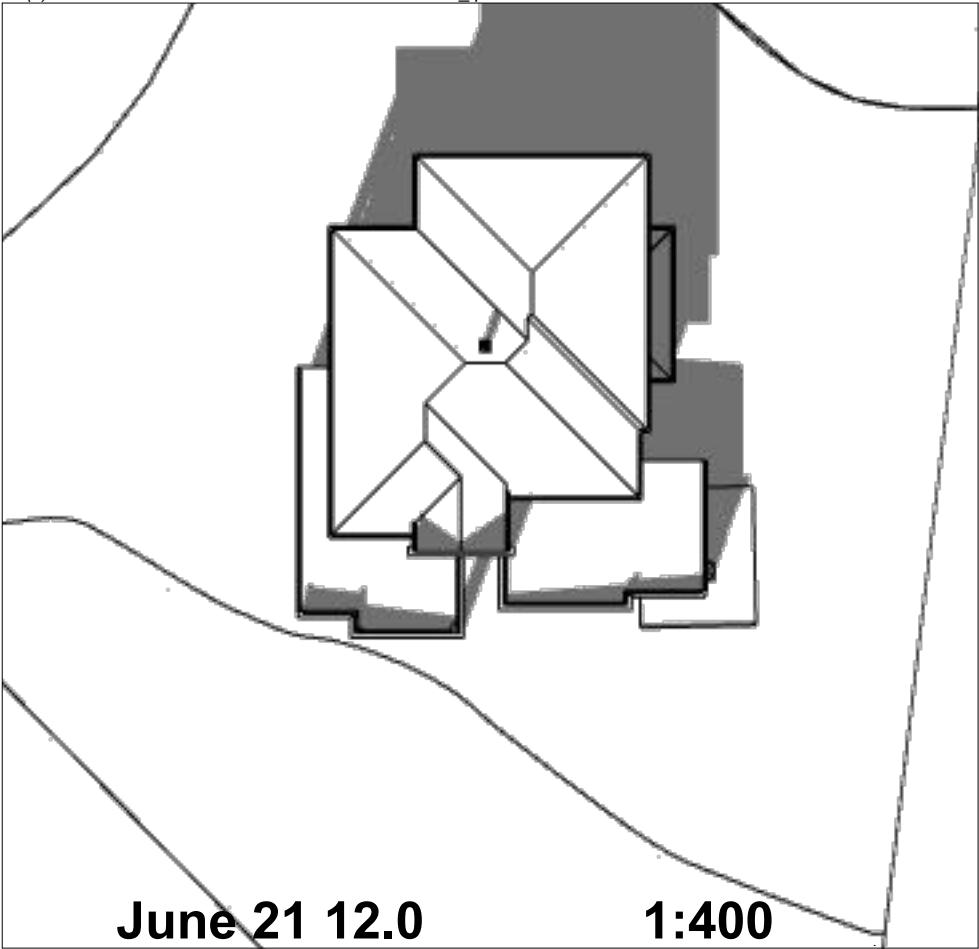
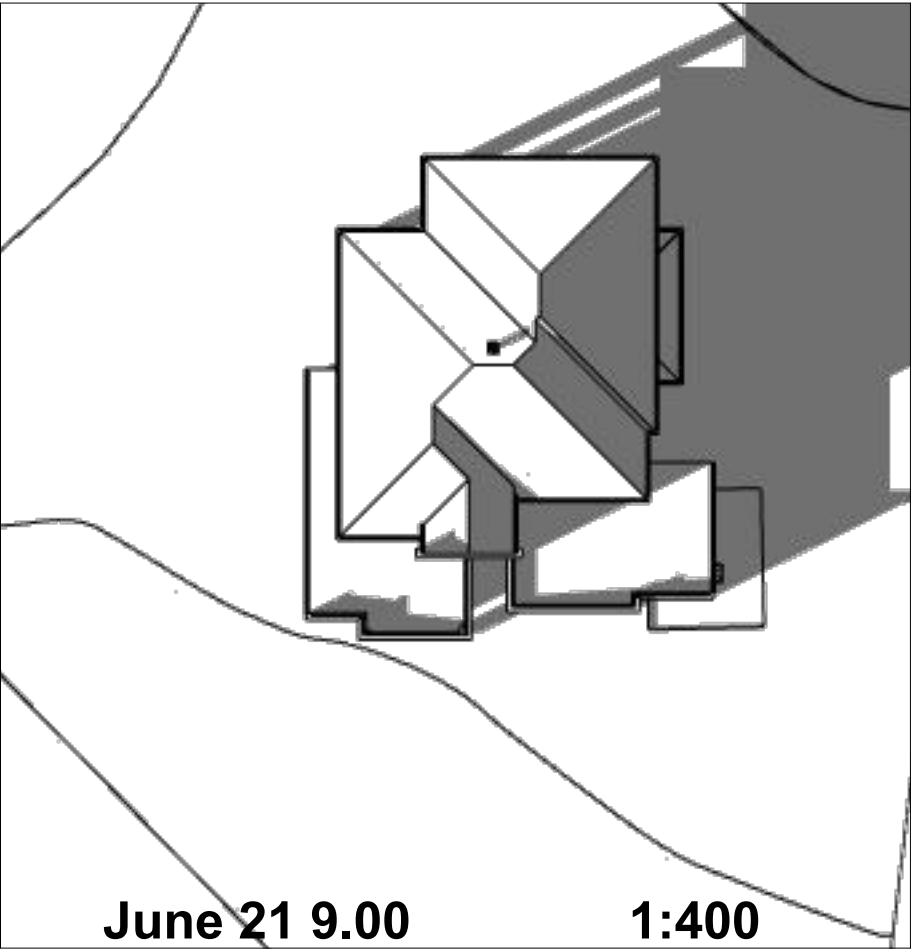


## TAP & GAS FIRST FLOOR PLAN 1:100

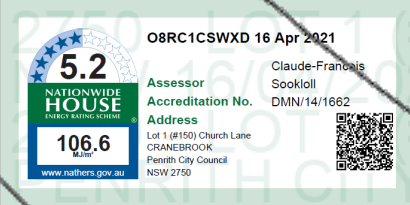
<p>OWNER HAS CHECKED THE PLANS AND AGREES THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. THE OWNER AGREES TO SIGN AFTER SIGNING WILL INSTITUTE A PROCESS FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.</p> <p>OWNER SIGNED: _____ DATE: _____</p> <p>OWNER SIGNED: _____ DATE: _____</p>	
<b>Issue:</b>	<b>Details &amp; Date:</b>
1	Preliminary Drawings 08-11-2020
2	Preliminary Drawings 25-11-2020
3	Preliminary Drawings 08-12-2020
4	Officio Review 28-01-2021
B	IDA plans for Block 72-02-2021

G.J. Gardner. HOMES					
Builders Details					
Sydney West NSW Lic No. 309650C					
Blue Water					
Manor Facade					
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Prepared by 199820 GJG					
Office 4738-6200					
Building Designers					
Contact: Greg McTavish					
McTavish design					
Accredited NATEERS Assessor					
CLIENT:					
Miranda and Mauro Steffan					
DRAWING TITLE:					
FF TAP GAS AND BATH LAYOUT					
SCALE 1:100					
PROJECT: New 2 Storey Dwelling					
SHEET SIZE: A3					
FLOOR AREAS:					
Ground Floor 222.52 m²					
E	*for balc.	14.04.2021	18.04.21	25.05.21	31.05.21
F	*OA Submission				
G	Porch 7.74 m²				
H	Alfresco 35.77 m²				
I	Rear Patio 6.95 m²				
J	First Floor 180.89 m²				
K	Balc 1 deleted m²				
L	Balc 2 6.87 m²				
M	Balc 3 16.73 m²				
N	TOTAL:				
O	541.01 m²				
P	*199820 22 of 25				





The Shadow Diagrams  
are shown on the 21  
June in (Winter) & the 21  
Dec in (Summer)  
between  
\*9.00\*12.00\*15.00hrs  
as approximates only



IMPORTANT NOTE REGARDING SHADOW DIAGRAMS

THESE COMPUTER GENERATED SHADOW DIAGRAMS INDICATE THE ASSUMED ADJACENT TOPOGRAPHY, APPROXIMATE POSITION OF ADJACENT HOUSES / STRUCTURES AND EXCLUDE ANY VEGETATION AND EXISTING TREES.....  
UNLESS SPECIFICALLY NOTED OTHERWISE FURTHER DETAILS WILL REQUIRE ADDITIONAL SURVEYING OF ADJACENT PROPERTIES

I HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: .....	DATE: .....
OWNER SIGNED: .....	DATE: .....
BUILDER SIGNED: .....	DATE: .....

FULL WINDOW LIST

ID / ORIENT	AREA	TYPE	H	W	View from Side Opposite to Opening	Glazing Type	Note
w1	1.73		2.310	0.750			
w2	1.35		1.800	0.750			
w3	1.35		1.800	0.750			
w4	1.35		1.800	0.750			
w5	1.08		1.800	0.600			
w6	0.88		1.460	0.600			
w7	1.45		0.600	2.410			
w8	4.94		2.050	2.410			
w9 bifold	5.42		1.800	3.010			
w11	2.29		1.460	1.570			
w13	1.74		2.050	0.850			
w14	1.74		2.050	0.850			
w15	1.88		1.200	1.570			
w16	1.88		1.200	1.570			
w17	1.44		1.200	1.200			
w18	0.83		1.100	0.750			
w19	0.83		1.100	0.750			
w20	0.83		1.100	0.750			
w21	0.90		1.200	0.750			
w22	0.90		1.200	0.750			
w23	1.09		0.600	1.810			
w24	0.72		1.200	0.600			
w25	0.72		1.200	0.600			
w26	1.45		0.600	2.410			
w27	2.52		2.400	1.050			
w28	4.94		2.400	2.060			
w29	2.52		2.400	1.050			
w30	1.45		0.600	2.410			
w31	1.09		0.600	1.810			
w32	0.73		0.600	1.210			
w33 int	5.78		2.400	2.410			

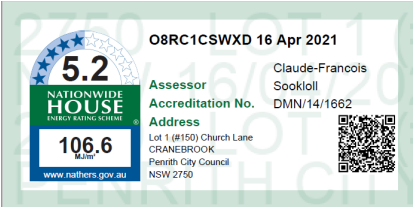
Window Glazing Schedule

dg 1	3.84		2.340	1.640	
dg 2	7.75	ASD-3	2.410	3.216	
dg 3	10.32	ASD-4	2.400	4.300	
dg 4	7.75	ASD-3	2.410	3.216	
dg 5	3.62	ASD-2	2.400	1.510	
dg 6	3.82	ASD-2	2.110	1.810	
dg 7	7.72	ASD-3	2.400	3.216	
dg 8	7.72	ASD-3	2.400	3.216	

Door Glazing Schedule

LDRY WINDOW 12 REMOVED  
replaced with ASD dg5  
Date 17.03.21

WINDOW 9 REPLACED WITH BIFOLD WINDOW  
WINDOW 10 REMOVED  
DG9 TO BED 4 BALCONY REMOVED  
Date 07.04.21



Issue:	Details & Date:
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*	

G.J. Gardner

HOMES

Builders Details

Sydney West NSW Lic No. 309650C

Blue Water

Manor Facade

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Prepared by

Office 02 4738 6200

199820 G.J.G

Building Designers

Contact: Greg McTavish

M c T a v i s h D e s i g n

Accredited NatHERS Assessor

CLIENT:

Miranda and Mauro Steffan

DRAWING TITLE:

Window Schedule - Selections

SCALE

PROJECT: New 2 Storey Dwelling

Lot

Street

Suburb

Lot No 1

150 Church Lane

Cranebrook NSW

DP No 1231299

SHEET SIZE:

A3

JOB NO:

xxxxxx

DRAWN:

GM

DATE:

02.06.21

FLOOR AREAS:

Ground Floor 222.52 m²

Garage 63.44 m²

Porch 7.74 m²

Attic 35.77 m²

Rear Patio 6.95 m²

First floor 180.89 m²

Balc 1 deleted m²

Balc 2 6.97 m²

Balc 3 16.73 m²

TOTAL: 541.01 m²

\*199820 24 of 25



