## Area Distribution Scale 35.77 m<sup>2</sup> 16.73 m 180.89 m<sup>2</sup>

## Penrith City Council

Lot No 1 St No 150 Church Lane Cranebrook 2750 NSW

### **Project Details**

C Plot File & Date

🔲 RC 🖊 TBR 🆊 TILE

GROUND FLOOR

FSR GFA ADDITIONS H/S PERVIOUS

FIRST FLOOR DEMOLITION **ALTERATIONS** 

LGF

ROOF EXISTING 2/06/2021

DATE OF ISSUE PROJECT No LOCATION

AMENDMENT

ZONING SITE AREA STREET No LOT-s No **CONTOURS** SURVEY BY **BASIX CERT No** 

NatHERS CERT No

02.06.21 199820 GJG Lot No 1 St No 150 Church Lane Cranebrook 2750 NSW

roof A =  $354.93 \text{ m}^2$ 

Total Site Area 3.288 ha Street No 150 Lot No 1 DP No 1231299 Contour Intervals Survey AHD BM xxxx Basix Cert No NatHERS Cert No

Lot Zone

# **Building Area**

**Gross Floor Areas:** 

New Garage \*\*63.44 ew Portico/Porch 7 74 New Alfresco \*35.77 \*6.95 Rear Patio

New First Floor Area New Front Balcony 1

180.89 New Rear Balcony 3

deleted 16.73

\*\*541.01

\*\*336.42

\*\*204.59

#### New Total Bldg 541.01m2

Total Building Areas on Site:

Total Bldg/s 541.01m2

#### Site Areas:

Total Site Area 3.288 ha

\*Actual Bldg Site Cover 336.42m2 **Building Site Cover 1.02%** 

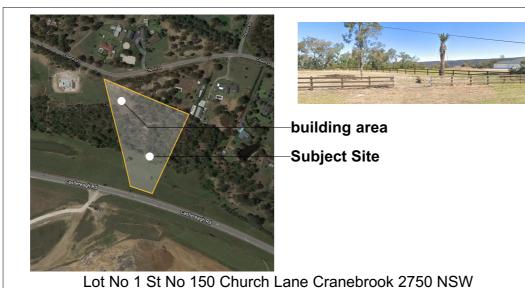
Additional Hardsurface Area 277.00m2 Total Hardsurface & Total Bldg Site Cover 614.35 - 1.8%

Remaining Pervious Area - 98.2% Total Roof House Area 354.93m2

## New 2 Storey Dwelling



## **Proposed Front Elevation**







	Preliminaries	×
	Office Plans	×
	Revision	x
Total Site Area 3.288 ha	DA	$\checkmark$
Contour Intervals .	CDC	×
Level of Construction: AS 3959 BAL 29	CC	$\checkmark$
Survey AHD BM xxxx		
Basix Cert No	Amendment	×
NatHERS Cert No	Const Draw's	×
02.06.21	Other	×

LAYOUT .		LAYOUT NAME
*199820 0	01	COVER - AREA DISTRIBUTION & SHEET INDEX
*199820 0	)2	STANDARDS AND REGULATIONS
*199820 0	03	SET OUT PLAN
*199820 0	04	SITE PLAN & STORMWATER DISPOSAL
*199820 0	)5	SITE PLAN 300 & IPZ 31.0m
*199820 0	06	SITE BENCHING PLAN
*199820 0	)7	SITE ANALYSIS
*199820 0	80	SITE CONCEPT LANDSCAPE PLAN
*199820 0	09	FLOOR SLAB PLAN & STORMWATER DRAINAGE
*199820 1	10	GF PLAN 150
*199820 1	11	FIRST FLOOR 150
*199820 1	12	GROUND FLOOR PLAN
*199820 1	13	FIRST FLOOR PLAN
*199820 1	14	ELEVATIONS 01
*199820 1	15	ELEVATIONS 02
*199820 1	16	SECTIONS A & B
*199820 1	17	SECTIONS C & D & BED 4 BALCONY
*199820 1	18	ROOF PLAN
*199820 1	19	WET AREAS 1:50
*199820 2	20	SLAB PENETRATION PLAN
*199820 2	21	GF TAP GAS AND BATH LAYOUT
*199820 2	22	FF TAP GAS AND BATH LAYOUT
*199820 2	23	Shadow Diagrams June & Dec 21
*199820 2	24	Window Schedule - Selections
*199820 2	25	Basix Details

LAYOUT INDEX

#### NOTE:

Frame Dimensions - Dimensions on drawings are nominal dimensions to the structural

timber frames and DO NOT indicate the finished room sizes or ceiling heights

Room Dimensions - Allowances of up to, and at times greater than 40mm, must be

made for finished room sizes measured between wall linings, with allowances of up

to, and at times greater than 80mm, when measured between skirtings Ceiling Heights - Are nominal dimensions from concrete slab/ timber flooring to underside

of roof trusses and/ or first floor joists. Allowances of up to, and at times greater than

80mm, must be made for the finished ceiling height.

Brickwork Dimensions - Dimensions on drawings are dimensioned to bricks only and

do not include the thicknesses of any applied finishes. Allowances of up to, and at

times greater or less than 40mm must be made when measuring overall brickwork

CONSTRUCTION.  AFTER SIGNING WIL  ADDITION TO THE C  AND ANY FURTH  OWNER SIGNED:	DEPICT THE HOU ANY VARIATIONS LL INCUR A PROCE COST OF THE VAR ER PLANS TO BE	JSE FOR REQUESTED ESSING FEE IN HATION ITEM/S PREPARED.			Level o struction 159 BAL	n: AS
OWNER SIGNED: BUILDER SIGNED:		DATE:	Iss	ue:	Details &	Date:
			1	*Drolimir	nary Drawings	08 11 2020
				Freiimi	iary Drawings	06.11.2020

Blue Water Manor Facade Classic Inclusions

G.J. Gardner. HOMES

**Builders Details** 

Sydney West NSW Lic No. 309650c

**Blue Water Manor Facade** 

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TO G.J. GARDNER HOMES

7.58-6200 Building / Designers McTavishDesign Accredited NatHERS Assessor

199820 GJG CLIENT: DRAWING TITLE:

Miranda and Mauro Steffan COVER - AREA DISTRIBUTION & SHEET INDEX

DP No 1231299 Lot Lot No 1 Street 150 Church Lane

Cranebrook NSW

PROJECT: New 2 Storey Dwelling

Suburb

**FLOOR** AREAS: 02.06.21 TOTAL:

**A3** 

XXXXXX

JOB NO:

DRAWN:

DATE:

Lot Zone © COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT Ground Floor 222.52 m<sup>2</sup> Garage 63.44 m<sup>2</sup> Porch 7.74 m<sup>2</sup> Alfresco 35.77 m<sup>2</sup> 25.05.21 \*Construction 31.05.2 \*add screen to bed Balc Rear Patio 6.95 m<sup>2</sup> First Floor 180.89 m<sup>2</sup> Balc 1 deleted m<sup>2</sup> \*add south - rear IPZ 31.0m 02.06.21 Balc 2 6.97 m<sup>2</sup> \*199820 01 of 25 541.01 m<sup>2</sup>

Document Set ID: 9687335

NOTES:

**FALL PROTECTION REQUIREMENTS** 

A WINDOW OPENING MUST BE PROVIDED

WITH PROTECTION, IF THE FLOOR BELOW

THE WINDOW IN A BEDROOM IS 2 M OR

MORE ABOVE THE SURFACE BENEATH.

WHERE THE LOWEST LEVEL OF THE

WINDOW OPENING IS LESS THAN 1.7 M

ABOVE THE FLOOR.

**ADDITIONALLY** 

A FALL PROTECTION TO A WINDOW MUST

BE PROVIDED WHERE A FLOOR LEVEL

ABOVE THE SURFACE BENEATH IS MORE

THAN 4.0m WHERE A PERSON CAN FALL

THROUGH AN OPENABLE WINDOW.

Where supplied & or installed

**ACCESS TO SWIMMING POOLS** 

WHERE A SWIMMING POOL IS PROPOSED

A CHILD-RESISTANT DOORSET MUST NOT

BE USED IN A BARRIER FOR AN OUTDOOR

SWIMMING POOL

STORMWATER-DISPOSAL TO EXISTING SERVICES, GRAVEL PITS OR STREET DRAINAGE TO COUNCIL

REQUIREMENTS

AREAS DESIGNATED AS BEING BUSHFIRE PRONE

BY COUNCIL, MAY REQUIRE A BUSHFIRE ASSESSMENT REPORT TO DETERMINE THE LEVEL

OF RISK, BEING SO, WORK IS TO COMPLY WITH (AS

3959) 'CONSTRUCTION OF BUILDINGS IN BUSHFIRE

PRONE AREAS' IN RELATION TO LEVEL OF

CONSTRUCTION REQUIRED.

ALL WORK TO AUSTRALIAN STANDARDS:-TIMBER AS

1684 AS 4055 NSW TIMBER FRAMING MANUAL.-

STEELWORK AS 4100-FOUNDATIONS AS 2780-

CONCRETE AS 3600-MASONRY AS 3700-HANDRAILS

TO (BCA)-SMOKE ALARM TO (BCA 3.7.2. AS 3786-

WATERPROOFING AS 3740 AS4854 AS 4855-DAMP

COURSE + FLASHINGS AS 2904-STAIRS AS 1657-

PLUMBING + DRAINAGE AS 3500 AS 1273-GLASS AS

1288-SWIMMING POOLS ACCESS TO SWIMMING

POOLS ACT 1992 AS 1926.1

SERVICES: THE BUILDER IS TO VERIFY LOCATIONS

OF EXISTING SERVICES PRIOR TO CONSTRUCTION

#### **NCC - Aus Standards & Regulations**

2/06/2021

#### Ventilation bca part 3.8.5

where an exhaust fan is required for ventilation the exhaust contaminated air must be extracted directly to outside the building by way of ducts. a roof spaced may be used provided the roof space is ventilated

#### light bca part 3.8.41

artificial light per 16m2 of floor area

#### light bca part 3.8.4

skylights must provide at least 3% of floor area (if no other light source is provided)

#### Condensation Management

3.8.7.2 Pliable building membrane

(a)

Where a pliable building membrane is installed in an external wall, it must-

comply with AS/NZS 4200.1; and

be installed in accordance with AS 4200.2; and (iii)

be a vapour permeable membrane for climate zones 6, 7 and 8; and

be located on the exterior side of the primary insulation layer of wall assemblies that form the external envelope of a building (b)

Except for single skin masonry or single skin concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

> installation of wall cladding in accordance with the NCC vol 2 3.8.7.2 Pliable building membranes

#### Slow Combustion Fires

3.10.7.5 Installation of free standing heating appliances The installation of a free standing heating appliance must comply with the following:

(a)The appliance must-

(i)be installed with safety clearances determined by testing in accordance with AS/NZS 2918: or

be located not less than 1.2 m from adjoining walls (other than a masonry wall); or

have a heat shield between the adjoining wall (other than a masonry wall)

Insert Fire Unit The insert fireplace must be tested and passed the tests required by AS/NZS 2918.

AS 3959 BLD IN BUSHFIRE PRONE AREAS

AS 2870 RESIDENTIAL SLARS & FOOTINGS

AS 1684 RESIDENTIAL TIMBER FRAMING CONSTRUCTION- CODE

**STANDARDS** AS/NZS

Construction to AUS Standards & NCC

AS 1860 Install Particleboard

AS 2780 Residential Slabs & Footings

AS 3959 Building in Bushfire Prone Areas

AS/NZS 4357 AS 1684 Laminated Veneer Lumber

AS 3600 Termite Management NCC 3.1.3.3., 3.1.3.4. AS 2049-AS 2050 Installation of Roof Tiles

AS 1562 Installation of Sheet Roof & Wall Cladding

NCC Part 3.8.7.2 Condensation management

AS 3700 Masonry

AS 3500 National Plumbing Code

AS 1273 UPVC

AS 2780 Residential Slabs & Footings

AS 3786 Smoke Alarms AS/NZ 2179 Spec for Rain Goods AS 3740 Water Proofing

AS 4060 Wind Loads

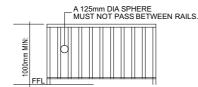
#### SITING OF WATER TANKS

POSITION OF WATER TANKS-INCL FIRE FIGHTING STORAGE TANKS ARE TO BE ASSESSED ON SITE.

ALL WATER TANKS ARE TO BE A MIN: OF 1.0m FROM SITE BDRYS AND CLEAR OF ALL SERVICES ABOVE AND OR BELOW GROUND

WATER TANKS ARE TO BE LOCATED BEHIND THE FRONT BLDG SETBACK.-UNO.

ALL WATER TANKS ARE TO BE CONNECTED TO A SUITABLY LOCATED DISPOSAL SYSTEM TO COUNCIL REQUIREMENTS AS PROPOSED.



A CONTINUOUS BALUSTRADE MUST BE PROVIDED ALONG THE SIDE OF ANY ROOF TO WHICH ACCESS IS PROVIDED, OR ANY STAIRWAY OR RAMP ANY FLOOR CORRIDOR, HALLWAY BALCONY, VERANDAH, MEZZANINE, ACCESS BRIDGE OR THE LIKE AND ALONG THE SIDE OF ANY PATHOF ACCESS TO A BUILDING IF IT IS NOT BOUNDED BY A WALL AND ANY LEVEL IS MORE THAN ONE METRE ABOVE THE ADJOINING FLOOR OR FININSHED GROUND LEVEL.

#### BALUSTRADES

A 125mm DIA SPHERE MUST NOT PASS BETWEEN RAILS



2 x RISER + GOING 700 550

STAIR SETOUT BCA Part 3.9.1

**STAIRS** 

3.8.3.3
CONSTRUCTION OF SANITARY COMPARTMENTS
THE DOOR TO A FULLY ENCLOSED SANITARY
COMPARTMENT MUST(A) OPEN OUTWARDS; OR
(B) SLIDE; OR
(C) BE READILY REMOVABLE FROM THE OUTSIDE
OF THE COMPARTMENT, UNLESS THERE IS A
CLEAR SPACE OF
AT LEAST 1.2 M, MEASURED IN ACCORDANCE WITH
FIGURE 3.8.3.3, BETWEEN THE CLOSET PAN WITHIN
THE SANITARY COMPARTMENT AND THE DOORWAY.



NOTE: TOILET DOORS TO BE PROVIDED WITH REMOVABLE HINGES ON ALL WC WITH A INTERNAL LENGTH OF 1900mm OR LESS.

A HANDRAIL MUST BE LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRWAY FLIGHT



#### HANDRAILS

HANDRAILS WHERE INSTALLED MUST BE A MIN: OF 1.0m ABOVE A FLOOR OR LANDING AND A MIN: OF 865mm ABOVE THE NOSINGS OF A STAIR OR RAMP

A HANDRAIL <u>MUST BE</u> LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRWAY FLIGHT OR RAMP AND BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP EXCEPT IN THE CASE OF A WIDER AND A NEWEL POST IS PROVIDED AND OR WHERE THE HANDRAIL IS ASSOCIATED WITH A BALUSTRADE.

A HANDRAIL WOULD BE NOT REQUIRED WHERE THE FLIGHT CONSIST OF 5 RISERS OR LESS AS THE CHANGE IN ELEVATION IS LESS THAN 1.0m IN Ht.

Important Note - Reference should also be made to the NCC regarding condensation in buildings



NCC 2019 Guide to Volume One

# safe work australia

NCC 2019 Volume Two







I/WE	HAVE CH	ECKED THE I	PLANS AND	AGREE THEY
	ACCUR/	ATELY DEPIC	T THE HOUS	SE FOR
CC	NSTRUCT	ION. ANY VA	RIATIONS R	EQUESTED
AFT	ER SIGNIN	G WILL INCU	R A PROCES	SSING FEE IN
ADD	ITION TO	THE COST O	THE VARIA	ATION ITEM/S
A	ND ANY FU	JRTHER PLA	NS TO BE P	REPARED.
OWNE	R SIGNED	:		DATE:
OWNE	R SIGNED			DATE:
BI III DE	R SIGNED	):		DATE:

GEOTEXTILE FILTER FABRIC . USE BARRIERS AT ALL POINTS WHERE STORMWATER LEAVES THE SITE, TO PREVENT WASHING INTO GUTTERS. 2. INSTALL SEDIMENT BARRIER DOWN SLOPE OF DISTURBED AREA AND RETURN UP HILL. 3. REGULARLY MAINTAIN THESE CONTROLS AT NO LESS THAN 70% CAPACITY.

TIMBER POSTS

4. CUT BRICK, TILE OR MASONRY ON PERVIOUS AREA, GRASS OR LOOSENED SOIL WITHIN THE BOUNDARIES.

5. REMOVE CONTROLS ONLY WHEN CONSTRUCTION IS COMPLETE.

6. DISPOSE OF SEDIMENT IN A SUITABLE LOCATION.

7. USE STABILIZED ENTRY CONTROL WHERE REQU: BY COUNCIL

#### SEDIMENT CONTROL **BARRIER**

FOR BUILDING **SETOUT AND** IN GENERAL ALWAYS USE **STAMPED APPROVAL PLANS** 

DISTURBED AREA

#### NOTE:

Frame Dimensions -

Dimensions on drawings are nominal dimensions to the structural

timber frames and DO NOT indicate the finished room sizes or ceiling heights.

Room Dimensions - Allowances of up to, and at times greater than 40mm, must be

made for finished room sizes measured between wall linings, with allowances of up to, and at times greater than 80mm, when measured between

skirtings Ceiling Heights - Are nominal dimensions from concrete slab/ timber flooring to underside of roof trusses and/ or first floor joists. Allowances of up to, and at

times greater than 80mm, must be made for the finished ceiling height.

#### **Brickwork Dimensions** -

Dimensions on drawings are dimensioned to bricks only and do not include the thicknesses of any applied finishes. Allowances of up to, and at

times greater or less than 40mm must be made when measuring

overall brickwork. Details & Date: Issue:

#### 1 \*Preliminary Drawings 08.11.2020 2 \*Preliminary Drawings 25.11.2020 \*Preliminary Drawings 09.12.2020 A \*Office Review 28.01.2021

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G.I. Gardner. HOMES

**Builders Details** 

Sydney West NSW Lic No. 309650c

Blue Water **Manor Facade** 

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199820 GJG CLIENT: Accredited NatHERS Assessor

Miranda and Mauro Steffan

DRAWING TITLE STANDARDS AND REGULATIONS SCALE

Lot Lot No 1 DP No 1231299 Street 150 Church Lane Suburb Cranebrook NSW

PROJECT: New 2 Storey Dwelling

JOB NO: DRAWN: DATE:

**A3** 

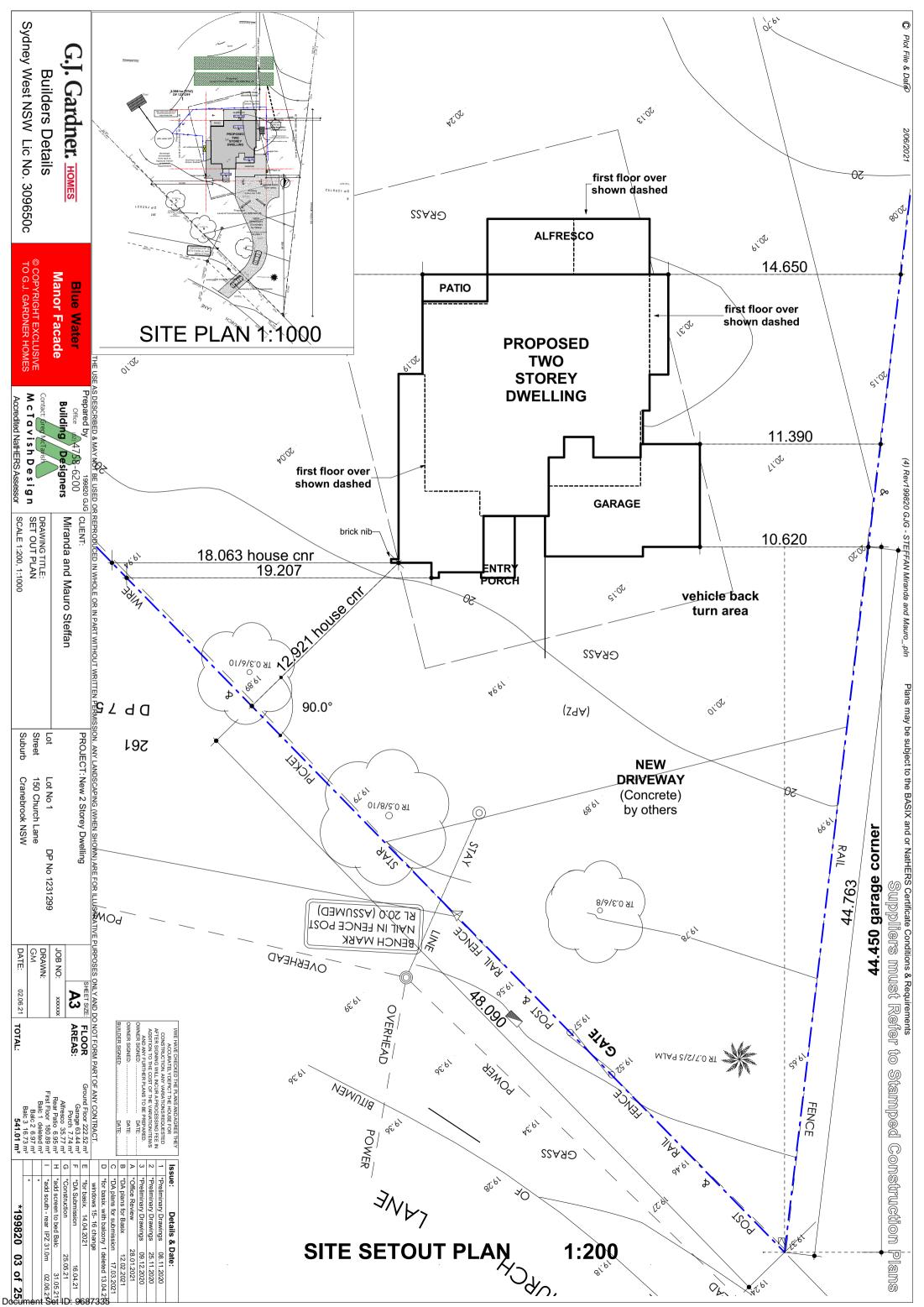
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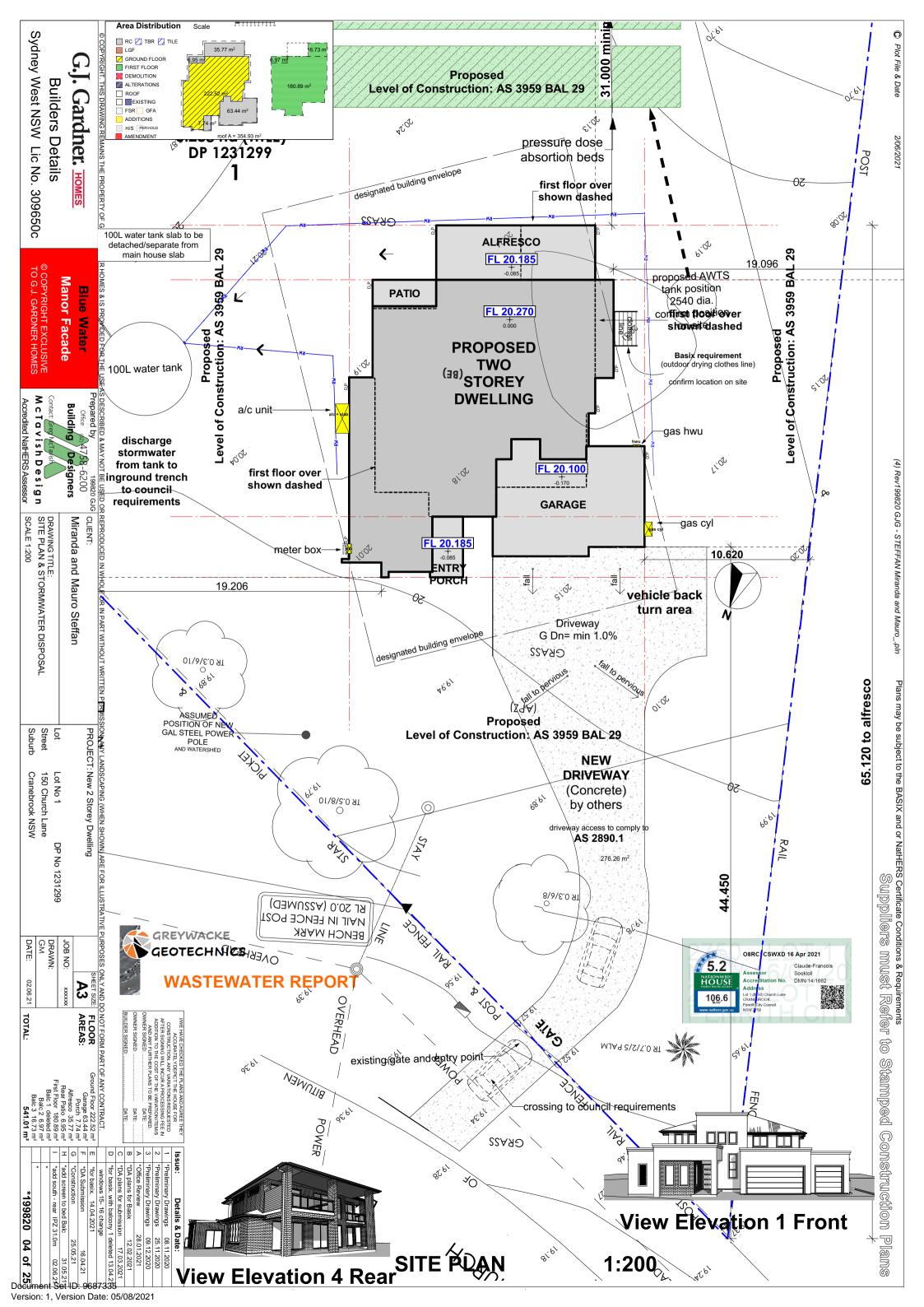
**FLOOR** AREAS: 02.06.21 | TOTAL:

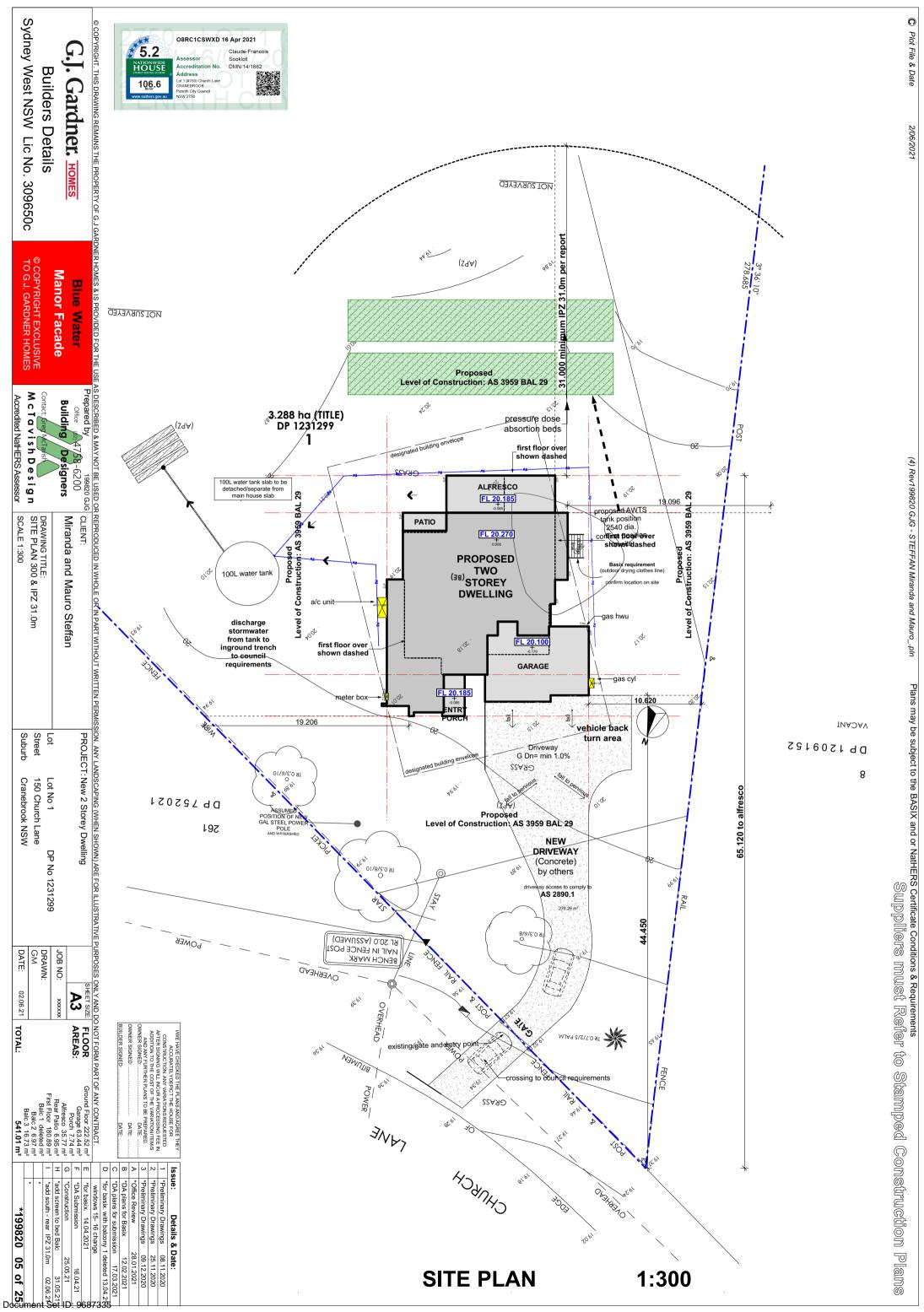
Ground Floor 222.52 m² Garage 63.44 m<sup>2</sup> Porch 7.74 m<sup>2</sup> Alfresco 35.77 m<sup>2</sup> Rear Patio 6.95 m<sup>2</sup> First Floor 180.89 m<sup>2</sup> Balc 1 deleted m<sup>2</sup>

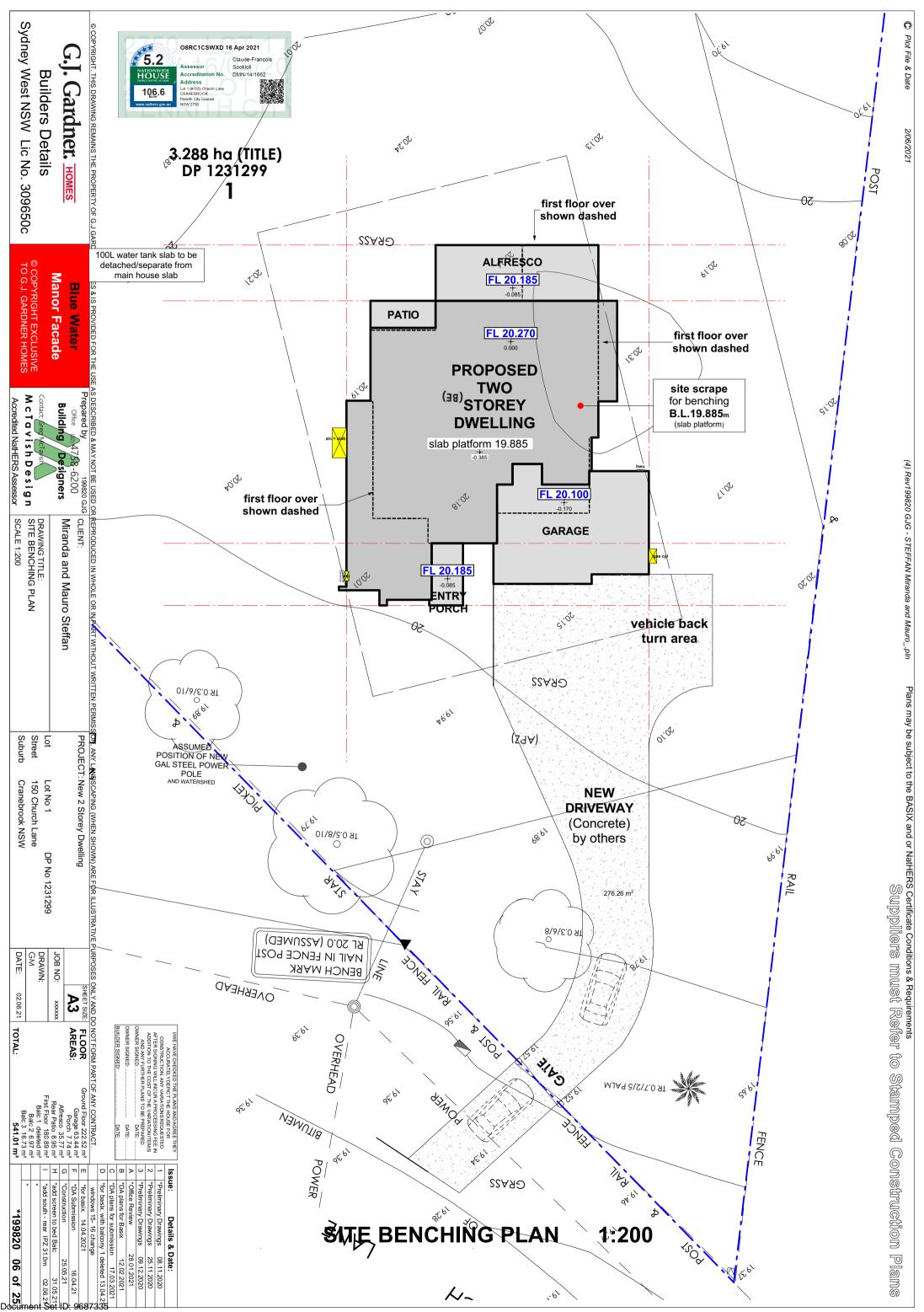
B \*DA plans for Basix 12.02.202 \*DA plans for submission 17.03.202 windows 15- 16 change \*for basix. 14.04.2021 \*DA Submission 25.05.21 \*Construction \*add screen to bed Balc 31.05.2 \*add south - rear IPZ 31.0m 02.06.2 Balc 2 6.97 m<sup>2</sup> \*199820 02 of 25 541.01 m<sup>2</sup>

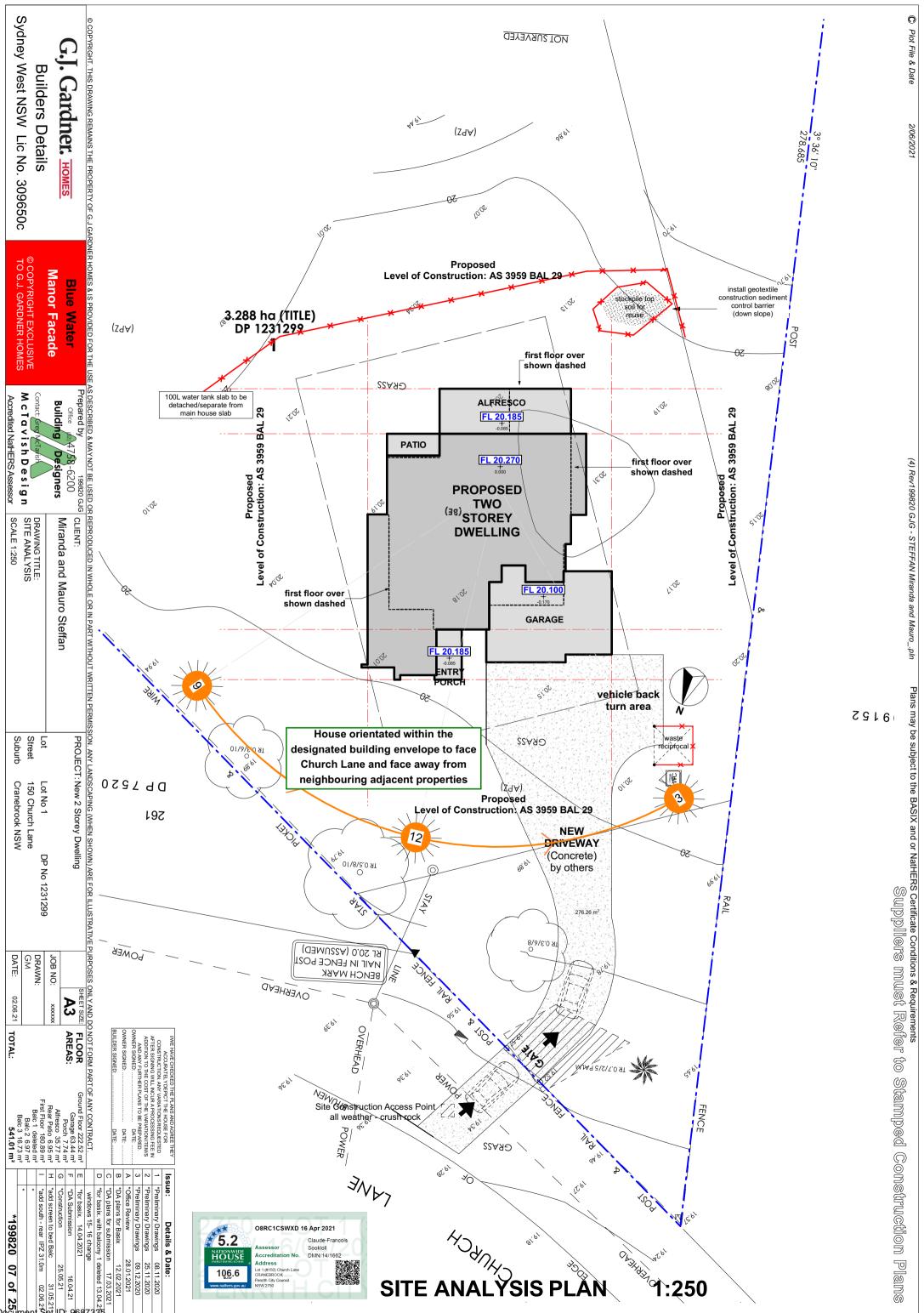
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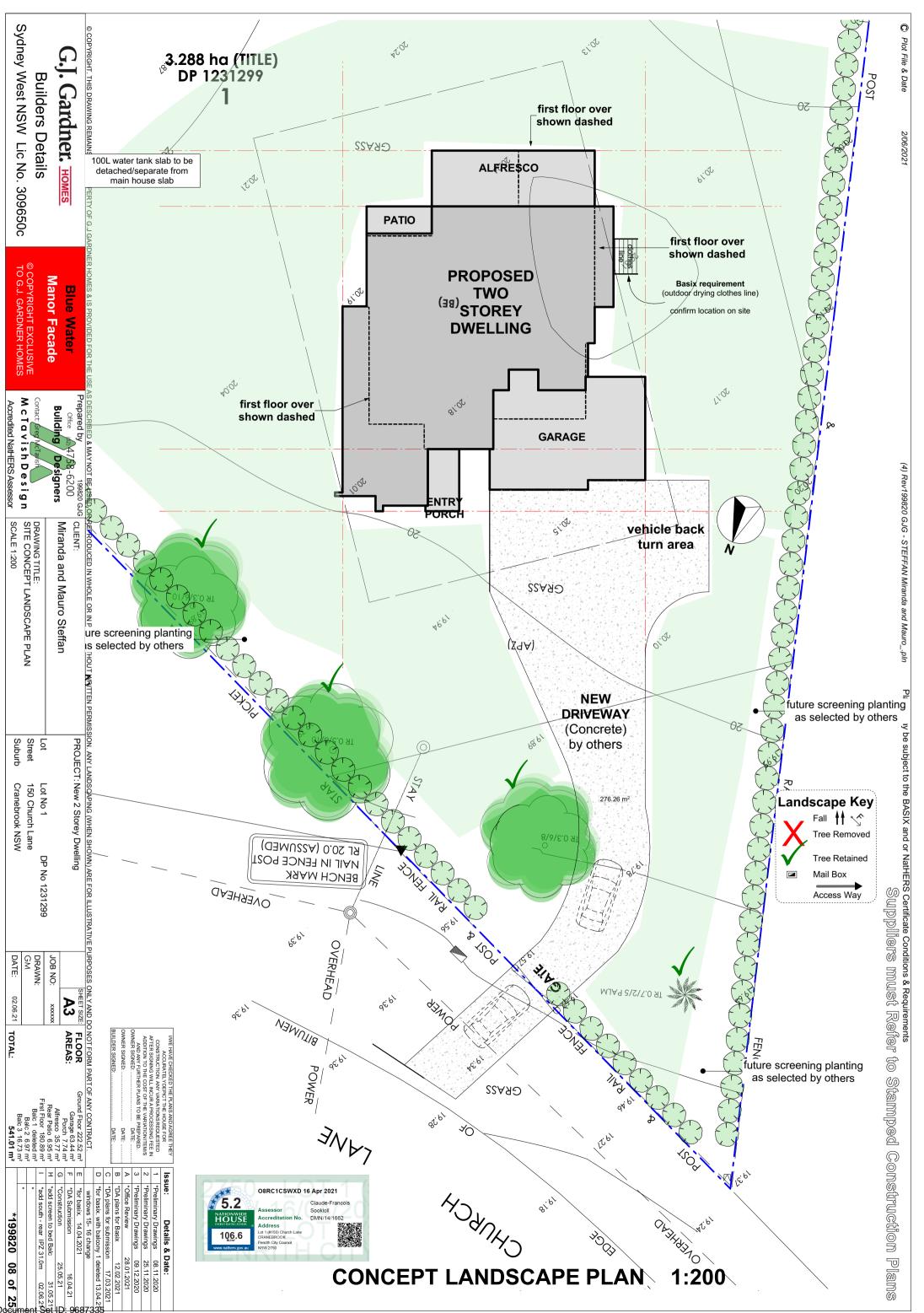


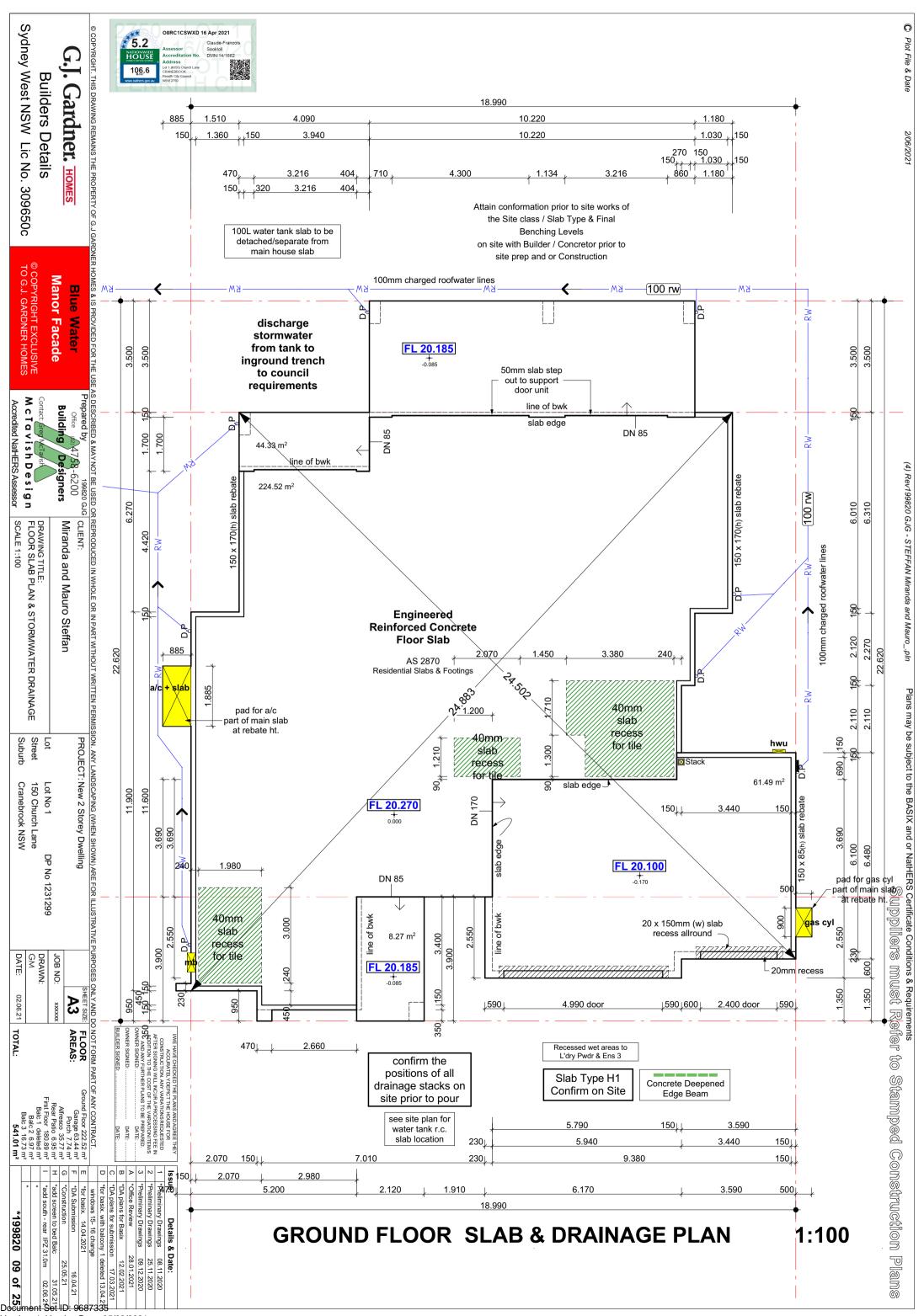


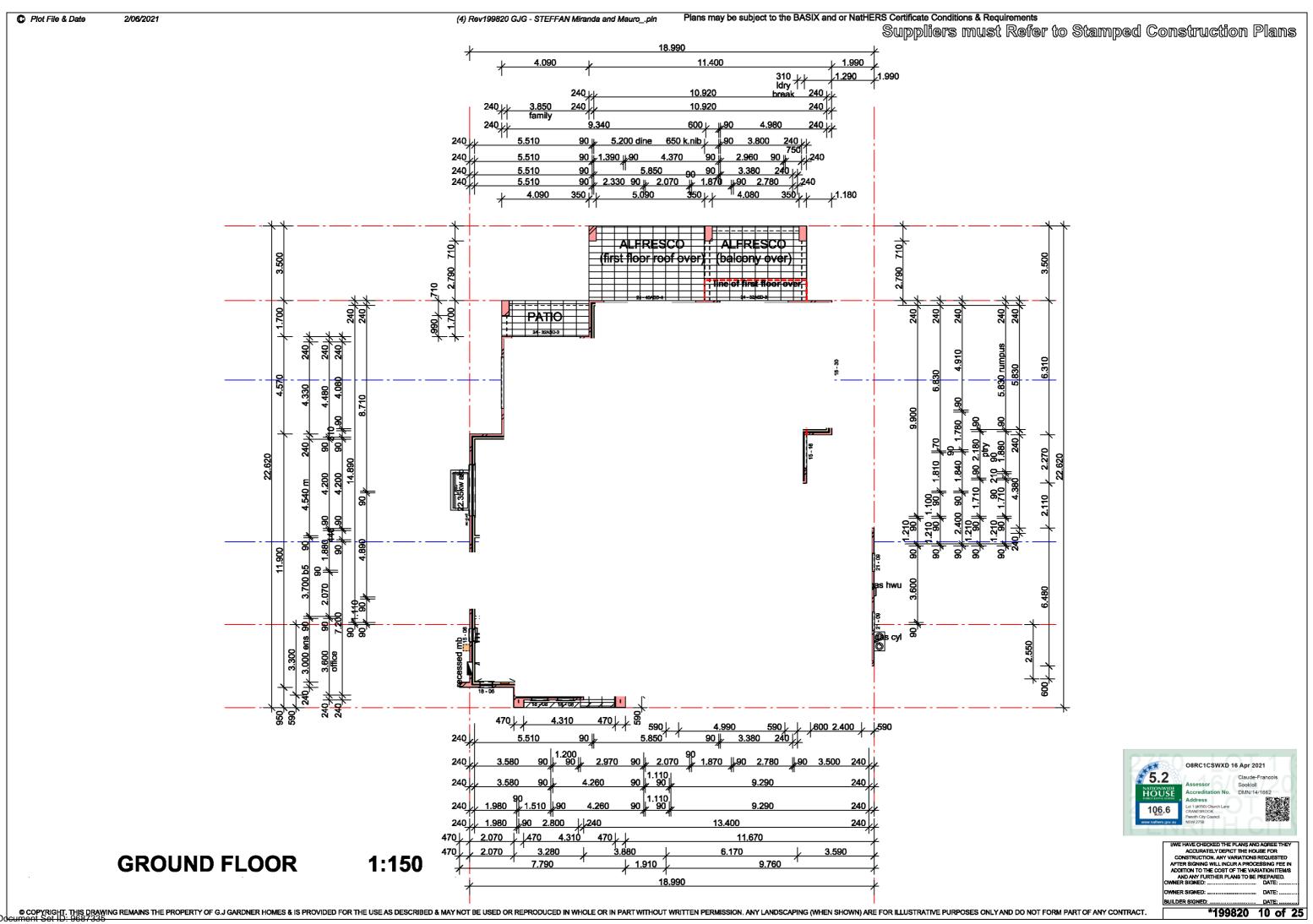


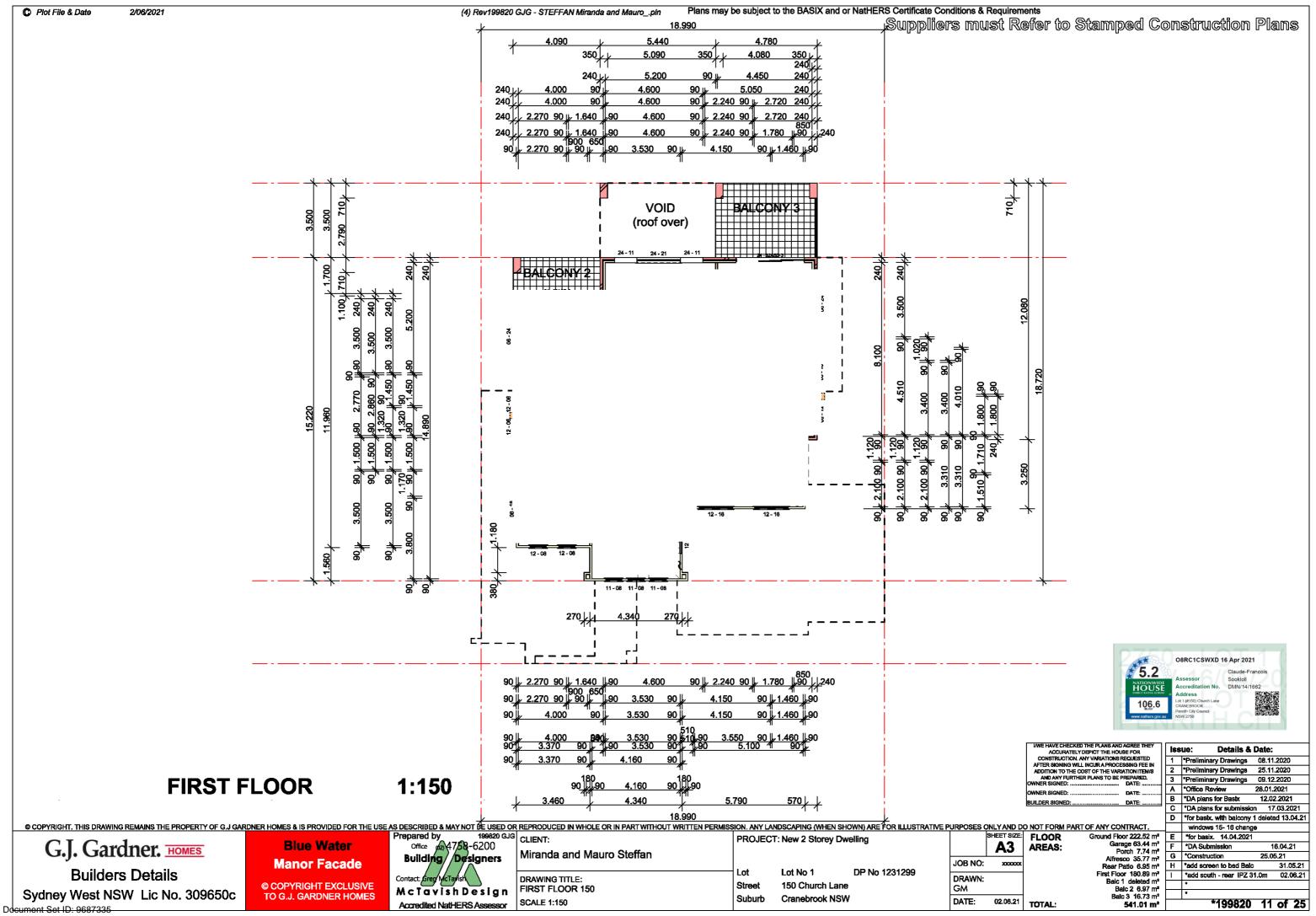


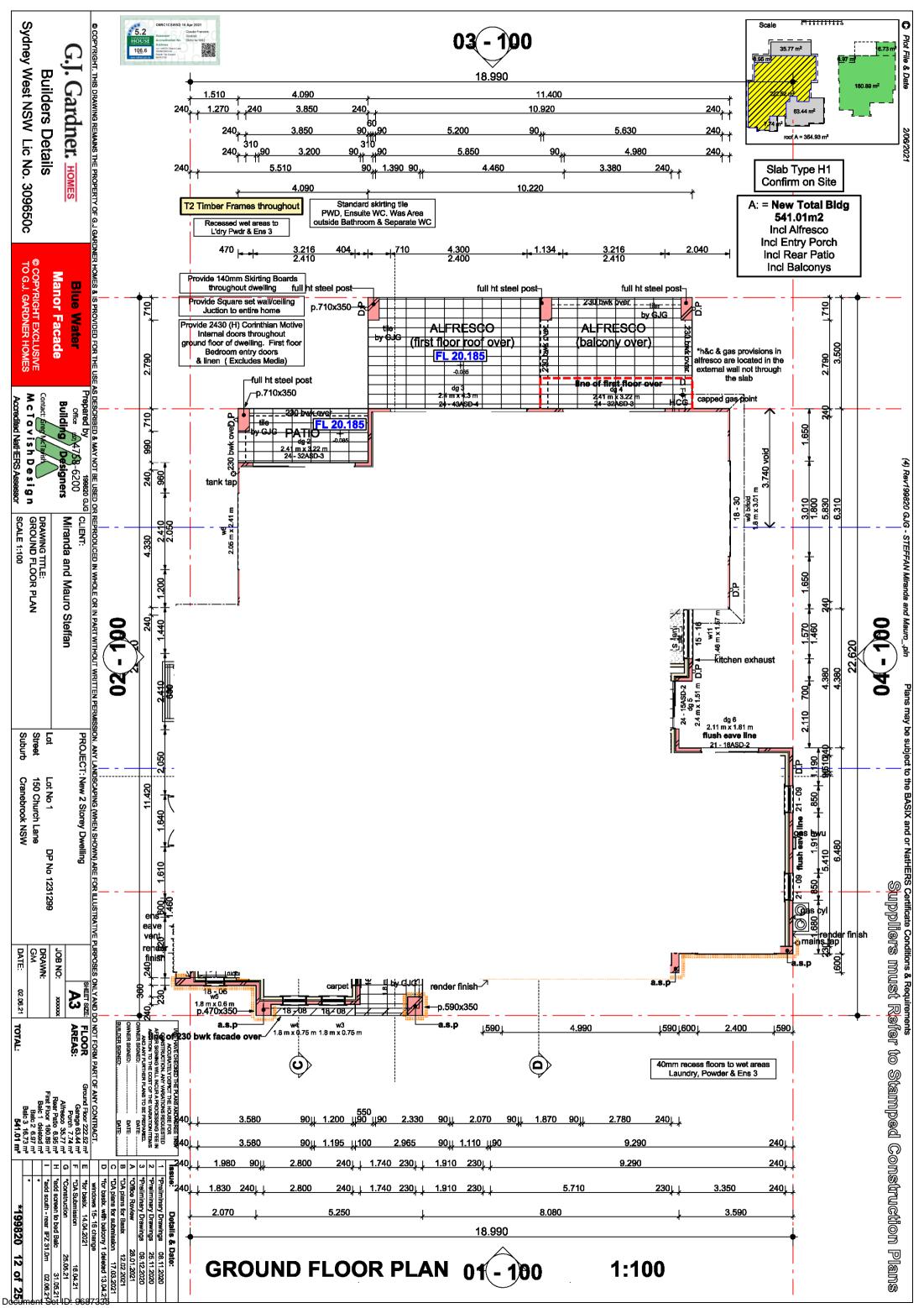


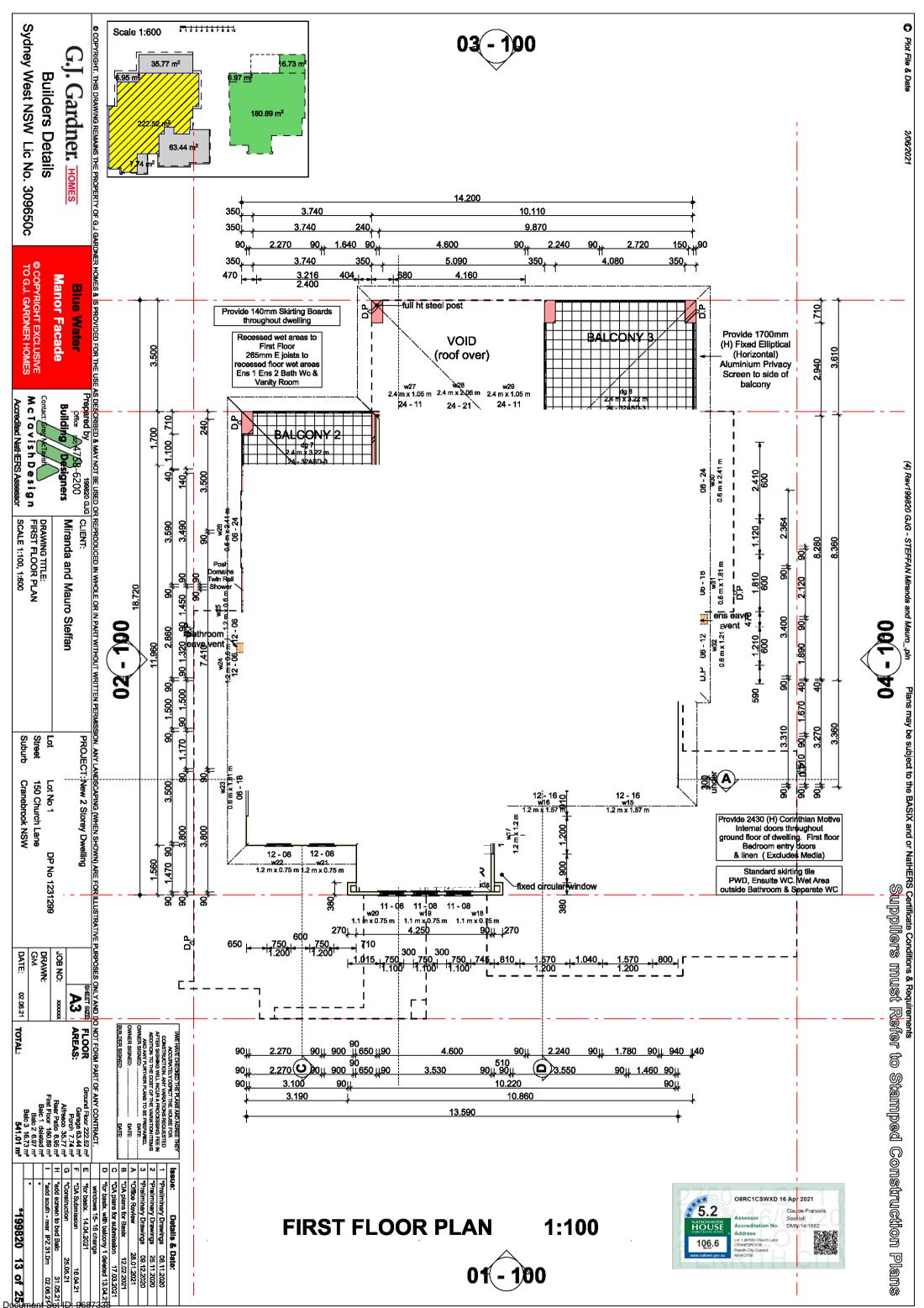


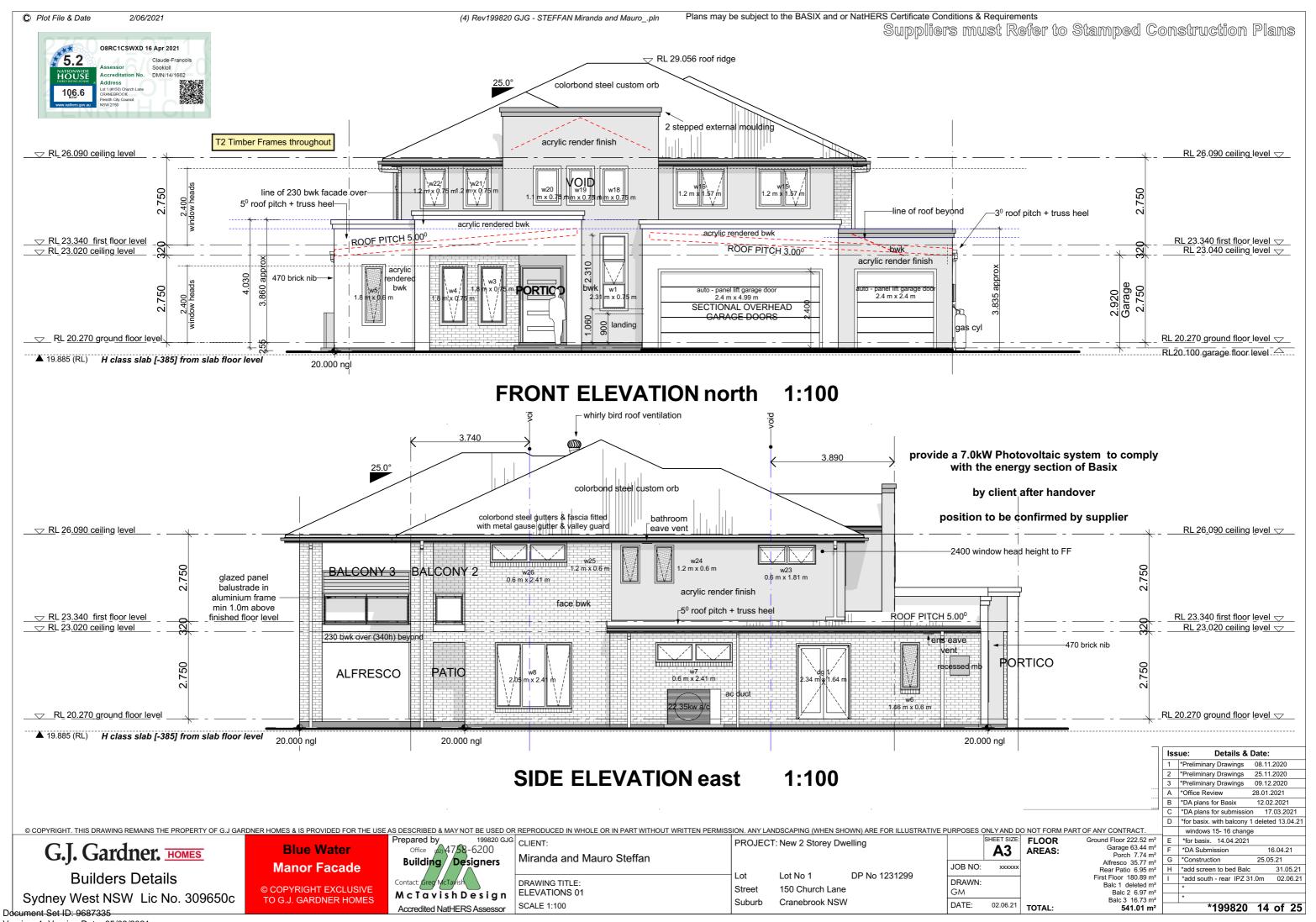


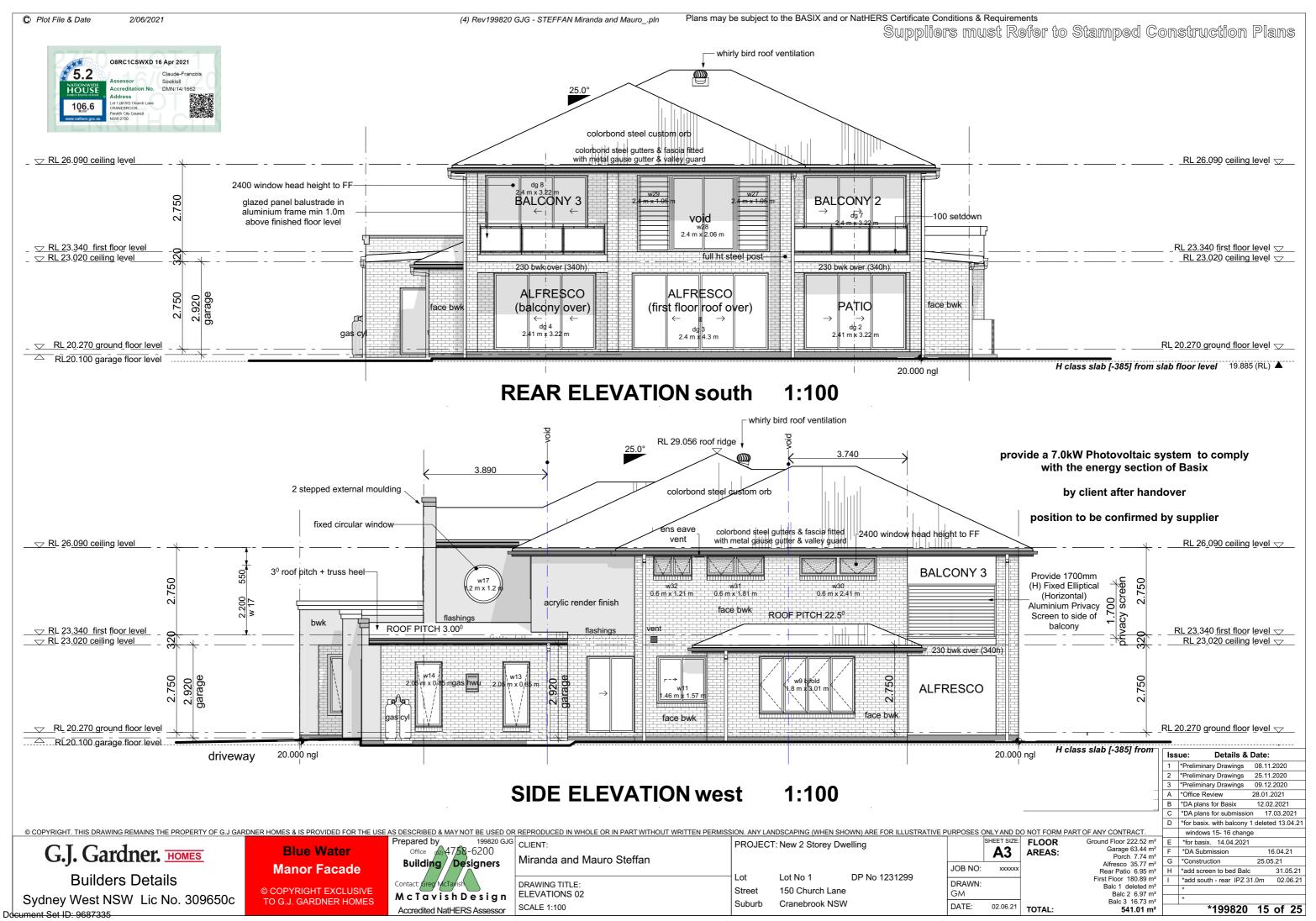


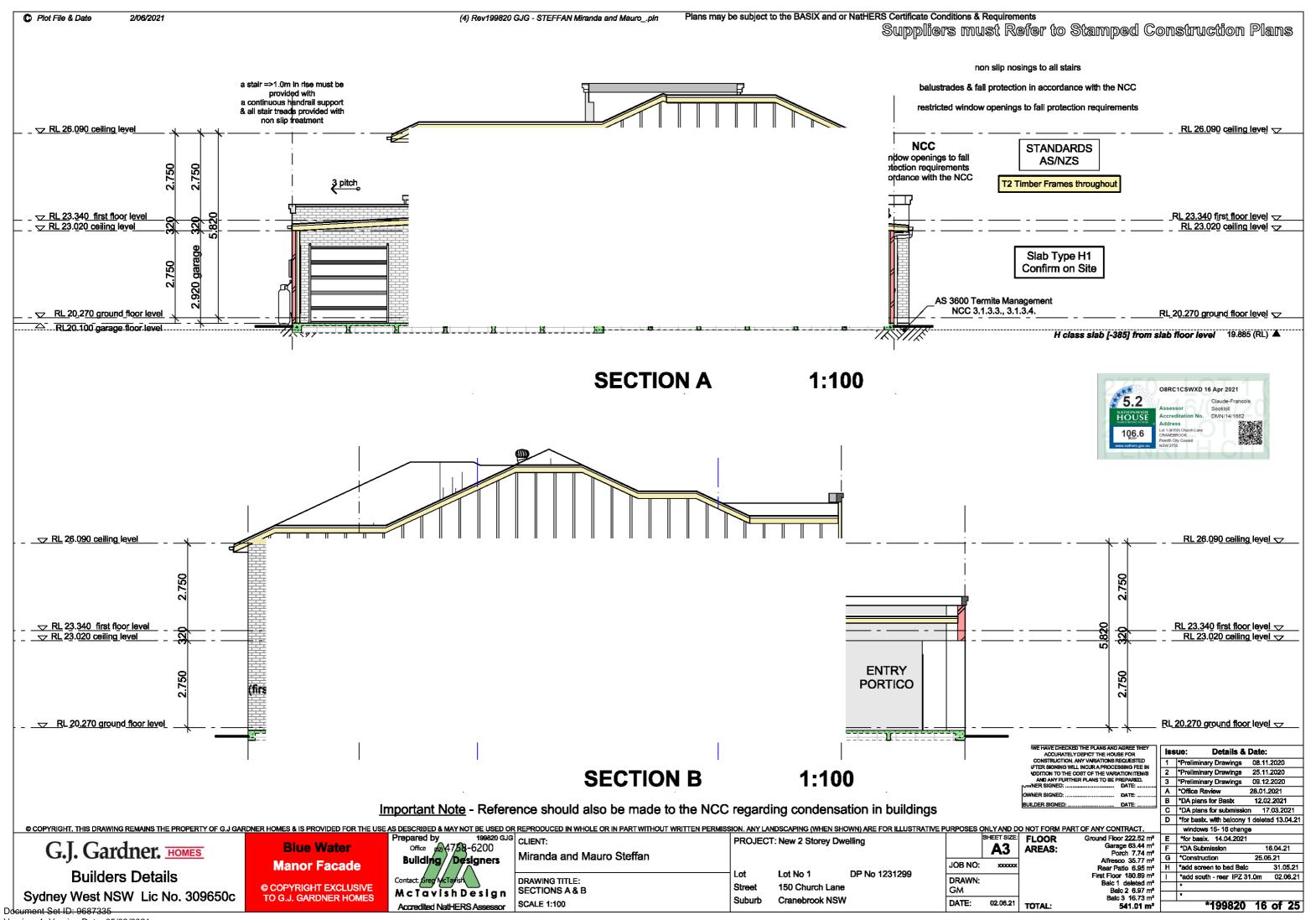


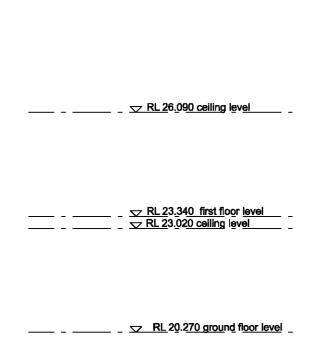


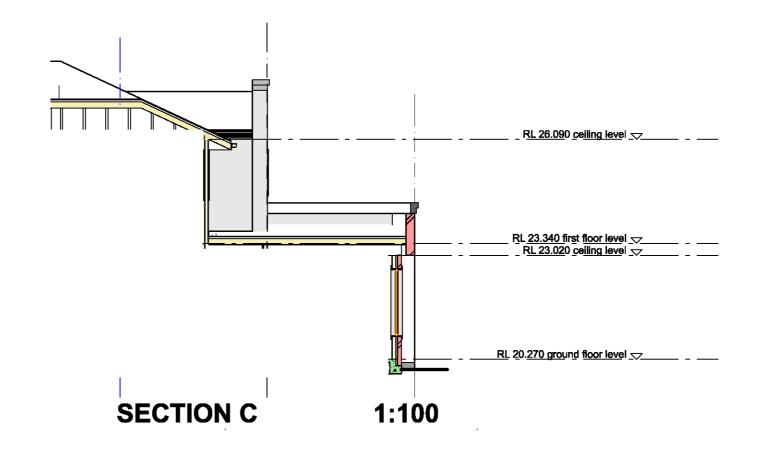
















I/WE HAVE CHECKED THE PLANS AND AGREE THE ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION, ANY VARIATIONS REQUESTED issue:

1 \*Preliminary Drawings 08.11.2020 2 \*Preliminary Drawings 25.11.2020 G \*Construction 25.05.21 H \*add screen to bed Balc 1 \*add south - rear IPZ 31.0m 02.06.21

Details & Date:

G.J. Gardner. HOMES **Builders Details** 

Sydney West NSW Lic No. 309650c

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Prepared by 199820 GJG CLUSTT.

PROJECT: Now 2 Stormy Dwolling SHEET SIZE: FLOOR Ground Floor 222.52 4758-6200 Building Designers McTavish Design Accredited NatHERS Assessor

CLIENT: Miranda and Mauro Steffan DRAWING TITLE: SECTIONS C & D & BED 4 BALCONY SCALE 1:100

Lot Lot No 1 Street 150 Church Lane

Suburb

DP No 1231299 Cranebrook NSW

JOB NO:

DRAWN:

DATE:

PROJECT: New 2 Storey Dwelling

Ground Floor 222.52 m²
Garage 83.44 m²
Porch 7.74 m²
Alfresco 35.77 m²
Rear Patlo 6.95 m² **FLOOR A3** XXXXXX First Floor 180.89 m²
Balc 1 deleted m²
Balc 2 6.97 m²
Balc 3 16.73 m²
541.01 m² 02.06.21 TOTAL:

\*199820 17 of 25

C Plot File & Date Sydney West NSW Lic No. 309650c © COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE 5.2

NATIONWIDE HOUSE INDECTEATING SCHIBIT G.J. Gardner. HOMES O8RC1CSWXD 16 Apr 2021 Claude-Francois Sookloll DMN/14/1662 **Builders Details** Assessor
Accreditation No.
Address
Lot 1 (#150) Church Lane
CRANEBROOK
Penrith City Council
NSW 2750 106.6 2/06/2021 © COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES Manor Facade Blue Water AS DESCRIBED & MAYNOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLYAND DO NOT FORM PART OF ANY CONTRACT.

Prepared by 199820 GJG
Office APT 58-6200
Building Designers

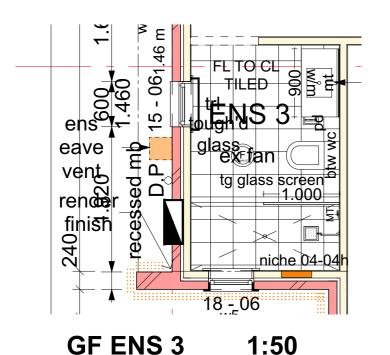
Miranda and Mauro Steffan

Miranda and Mauro Steffan

Miranda and Mauro Steffan

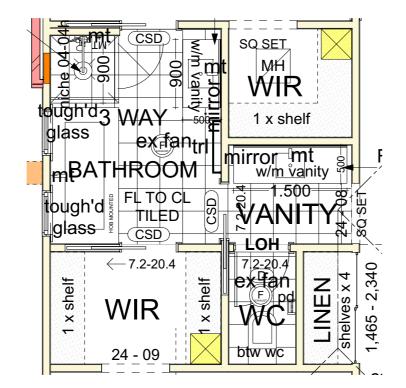
Dob No: xxxxx

Rear Patio 6.95 McTavish Design (4) Rev199820 GJG - STEFFAN Miranda and Mauro\_.pln DRAWING TITLE: ROOF PLAN SCALE 1:100 whirty bird roof ventilation 22.5 0 D<sub>O</sub> 25 D.P D.P Plans may be subject to the BASIX and or NatHERS Certificate Conditions & Requirements
Suppliers must Refer to Stamped Construction Plans Street Suburb Lot Cranebrook NSW Lot No 1 150 Church Lane DP No 1231299 DRAWN: GM D.P DATE: 02.06.21 **TOTAL:** 1:100 **ROOF PLAN** 

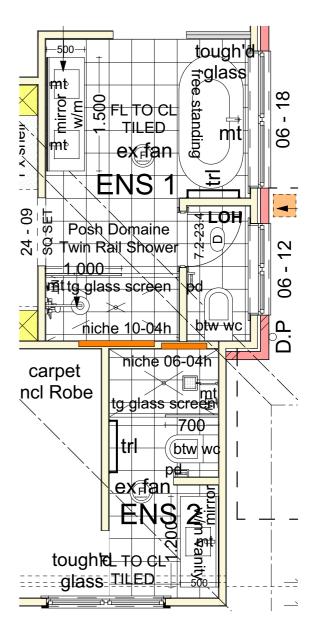




(4) Rev199820 GJG - STEFFAN Miranda and Mauro .pln



FF BATH - VANITY - WC 1:50



FF ENS 1 - ENS 2 1:50



I/WE HAVE CHECKED THE PLANS AN	D AGREE THEY
ACCURATELY DEPICT THE HO	USE FOR
CONSTRUCTION. ANY VARIATIONS	REQUESTED
AFTER SIGNING WILL INCUR A PROC	ESSING FEE IN
ADDITION TO THE COST OF THE VAR	RIATION ITEM/S
AND ANY FURTHER PLANS TO BE	PREPARED.
OWNER SIGNED:	DATE:
OWNER SIGNED:	DATE:
BUILDER SIGNED:	DATE:

Balc 2 6.97 m<sup>2</sup>

541.01 m<sup>2</sup>

**FLOOR** 

AREAS:

**A3** 

XXXXXX

02.06.21 TOTAL:

JOB NO:

DRAWN

DATE:

THE PLANS AND AGREE THEY DEPICT THE HOUSE FOR	Iss	ue: Details & Dat	te:
NY VARIATIONS REQUESTED INCUR A PROCESSING FEE IN	1	*Preliminary Drawings 08	.11.2020
ST OF THE VARIATION ITEM/S	2	*Preliminary Drawings 25	.11.2020
R PLANS TO BE PREPARED. DATE:	3	*Preliminary Drawings 09	.12.2020
DATE:	Α	*Office Review 28.	01.2021
	В	*DA plans for Basix 12	2.02.2021
DATE:	С	*DA plans for submission	17.03.2021
	D	*for basix. with balcony 1 de	leted 13.04.21
OF ANY CONTRACT.		windows 15- 16 change	
Ground Floor 222.52 m <sup>2</sup>	Е	*for basix. 14.04.2021	
Garage 63.44 m <sup>2</sup> Porch 7.74 m <sup>2</sup>	F	*DA Submission	16.04.21
Alfresco 35.77 m <sup>2</sup>	G	*Construction 2	5.05.21
Rear Patio 6.95 m <sup>2</sup>	Н	*add screen to bed Balc	31.05.21
First Floor 180.89 m <sup>2</sup>	Τ	*add south - rear IPZ 31.0n	n 02.06.21
Balc 1 deleted m <sup>2</sup>		*	

\*199820 19 of 25

G.J. Gardner. HOMES **Builders Details** Sydney West NSW Lic No. 309650c

**Blue Water Manor Facade** © COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J. GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT **7.5**8-6200 Building/ Designers M c T a v i s h D e s i g n

Miranda and Mauro Steffan DRAWING TITLE: WET AREAS 1:50

DP No 1231299 Lot Street 150 Church Lane

PROJECT: New 2 Storey Dwelling

Suburb Cranebrook NSW

Document Set ID: 9687335 Version: 1, Version Date: 05/08/2021

(4) Rev199820 GJG - STEFFAN Miranda and Mauro\_.pln

Plans may be subject to the BASIX and or NatHERS Certificate Conditions & Req Sulppliers must

priements } Refer to Stamped Construction Plans

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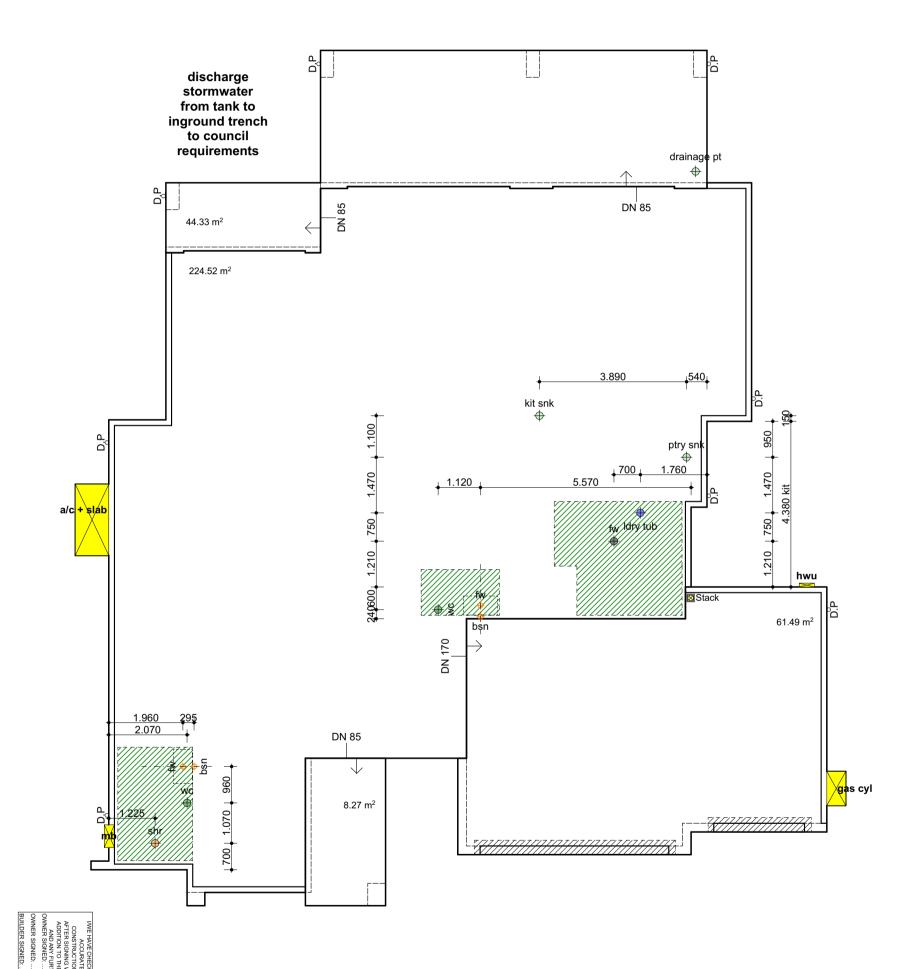
G.J. Gardner. HOMES

asix. With balcomy 1 deleted 13.04.233 of the same state of the sa

O8RC1CSWXD 16 Apr 2021 5.2 HOUSE ENERGY RATING SCHEME 106.6

#### \* IMPORTANT NOTE \*

Positions of Walls where required have been provided and Drainage point offsets to assist in the drainage setout It remains the responsibilty of Contractors to confirm & verify drainage points on site during the floor slab preparation



**SLAB PENENTRATION PLAN 1:100** 

Manor Facade

McTavish Design

8 MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PARTWITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY. DRAWING TITLE: GF TAP GAS AND BATH LAYOUT Miranda and Mauro Steffan CLIENT:

SCALE 1:100

Cranebrook NSW 150 Church Lane

PROJECT: New 2 Storey Dwelling

DP No 1231299

DATE: JOB NO: 02.06.21

O8RC1CSWXD 16 Apr 2021 5.2 Address 106.6

tank tap

Standard Fixing Heights

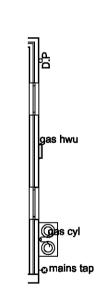
Towel rails and towel rings will be mounted 1150mm off concrete slab Bath spout will be mounted 750mm off concrete slab U.N.O. Toilet roller hider will be 750mm off concrete slab

All standard vanities are to be 850mm from finished tile height to top of bench All above mounted vanities are to be 880mm from finished tile height to top of basin All twin shower rails are to have water outlet at 1850mm high from slab Recessed shaving cabinets will be installed at 2000mm from FFL to top of cabinet.

The front external tap will be mains water supplied The rear external tap will be rainwater tank supplied Where included an internal gas bayonet point will be shown where deemed suitable for the room layout Where included an external gas bayonet point for a BBQ area will be shown in the alfresco area
Where included the fridge cold water point will be shown to the rear of

the fridge recess Where noted on plans hot and cold water points will be capped off in wall behind gyprock @ 300mm above floor level Min 750mm space for washing machine

by GJG <del>ALIFRESCO</del> ALFRESCO (first floor roof over) (balcony over) \*h&c & gas provisions in alfresco are located in the external wall not through the slab capped gas point



Standard Bathroom Layouts

The bath hob length will be 1900mm, 1850min or to suit overall bathroom width The bath hob will always be the full length between the side walls of the bathroom The bath hob depth will be 920 x 570 high from the slab floor

When the bath hob is open ended, the bath hob will be 1900mm long, unless otherwise noted

The bath spout will be centred to bath long side

The bath mixer will be at the head end on wall (not hob mounted) The bath waste will be at the vanity end of hob

Free standing baths will have a wall mounted spout and mixer on the long side centred to the bath unless noted otherwise

There will be a gap between the side wall and the vanity of 100mm, 50mm min

The shower rose shall not face the shower opening

The shower rose will be centred to the overall wall it is mounted on The shower mixer will be centred between the shower rose and the wall screen

When the shower is 1200mm long or more, and where practical the shower screen door will be hinged furthest away from the shower rose and mixer For showers less than 1200mm long the shower screen door will be hinged nearest the shower rose and mixer In power room a towel ring will be use where a towel rail is not used

**TAP & GAS GROUND FLOOR** 

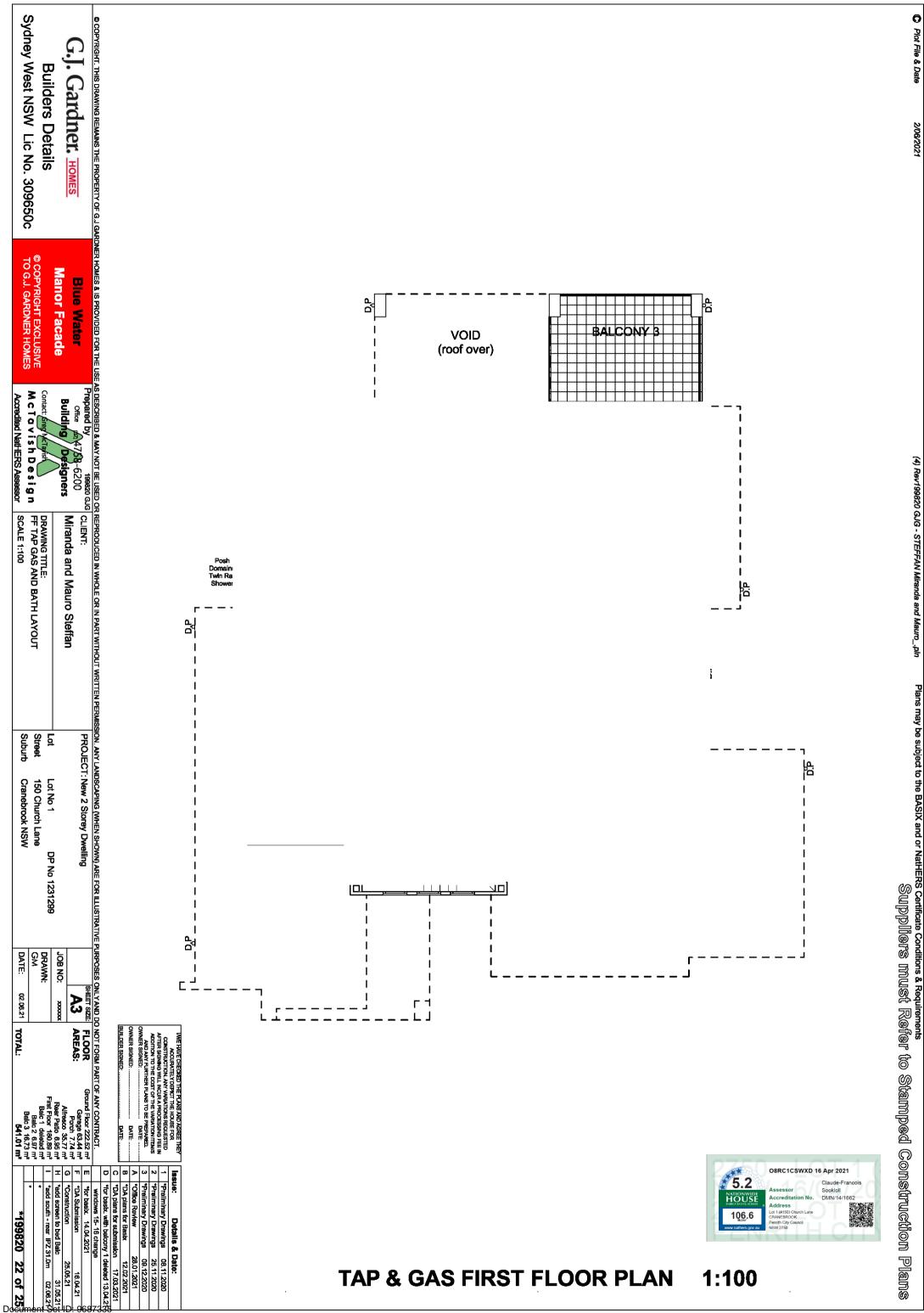
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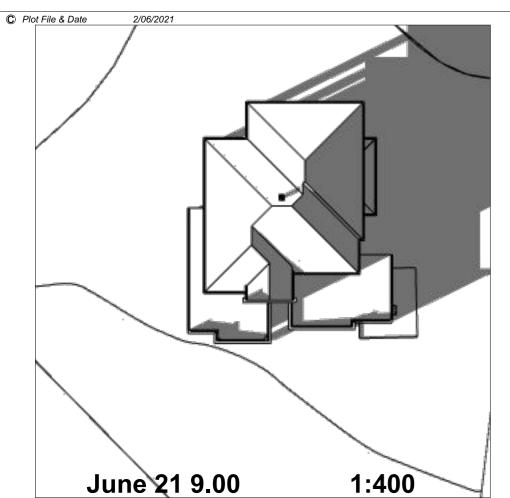
Version: 1, Version Date: 05/08/2021

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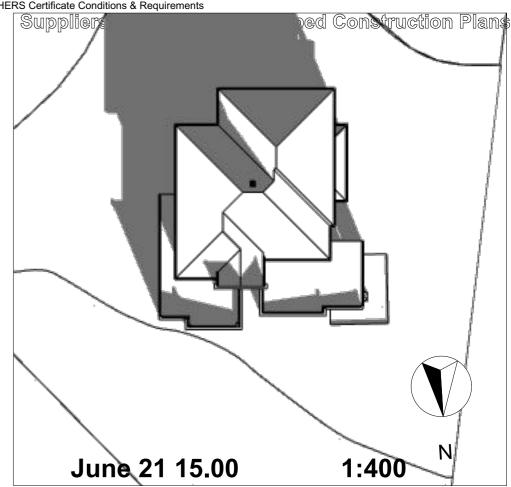
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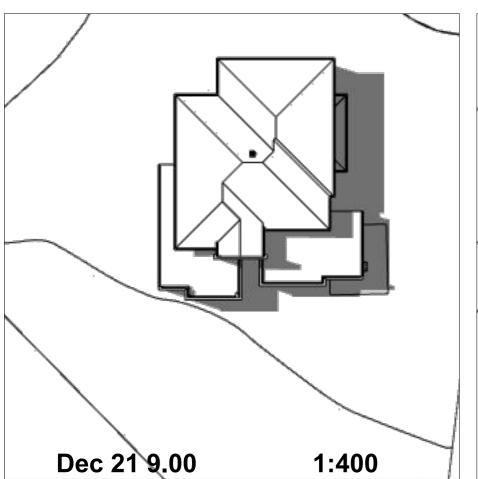
Plot File & Date

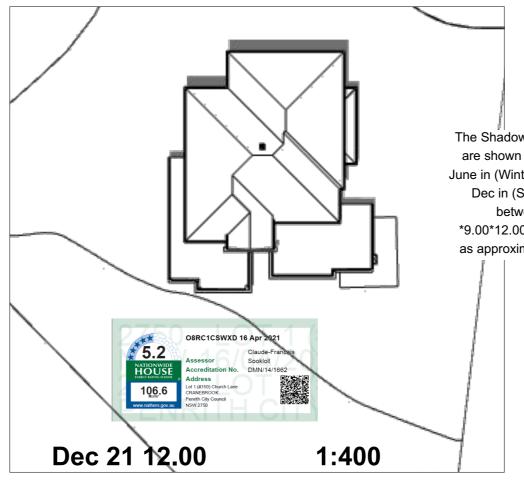


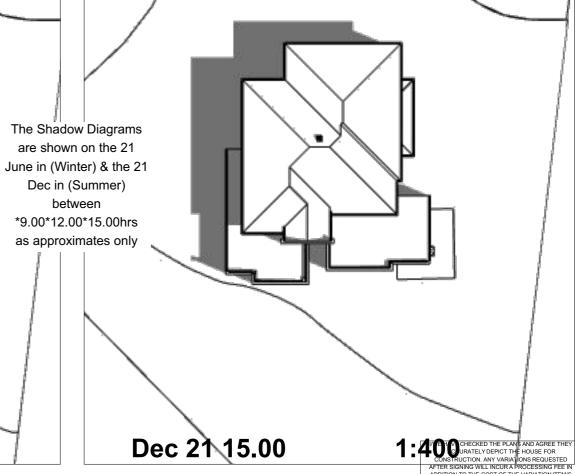












\*199820 23 of 25

IMPORTANT NOTE REGARDING SHADOW DIAGRAMS

THESE COMPUTER GENERATED SHADOW DIAGRAMS INDICATE THE ASSUMED ADJACENT TOPOGRAPHY, APPROXIMATE POSITION OF ADJACENT HOUSES / STRUCTUTES AND EXCLUDE ANY VEGETATION AND EXISTING TREES..

UNLESS SPECIFICALLY NOTED OTHERWISE FURTHER DETAILS WILL REQUIRE ADDITIONAL SURVEYING OF ADJACENT PROPERTIES

Builders Details Sydney West NSW Lic No. 309650c	G.J. Gardner. HOMES	© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J. GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED												
9650c	1001	TY OF G.J GA	d	g 1			3.84				2.34	10	1.640	1640
© CO TO G	3	RDNER HOM	d	g 2			7.75		AS	D-3	2.41	0	3.216	
© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES	Blue Water Manor Facade	ES & IS PROV	d	g 3			10.32		AS	D-4	2.40	00	4.300	
EXCLUSIV NER HOME	later acade	/IDED FOR TH	d	g 4			7.75		AS	D-3	2.41	0	3.216	
	rrep B	IE USE AS DE	d	g 5			3.62		AS	D-2	2.40	00	1.510	
Contact: Greg Not Wish  M c T a v i s h I  Accredited NatHEF	Prepared by Office 1/22 4 Building	SCRIBED & M	d	g 6			3.82		AS	D-2	2.11	0	1.810	
Contact Greg NcTayish  M c T a v i s h D e s i g n  Accredited NatHERS Assessor	199820 7,58-6200 <b>Designers</b>	AY NOT BE US	d	g 7			7.72		AS	D-3	2.40	00	3.216	
g n Window Schedule - Selections SCALE	199820 GJG CLIENT: 200 Miranda and Mauro Steffan	SED OR REPR	d	g 8			7.72		AS	D-3	2.40	00	3.216	
Lot Lot No 1 DP No 1231299  Street 150 Church Lane  Suburb Cranebrook NSW	PROJECT: New 2 Storey Dwe	OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AN			•	WVI		W (	r 9 RE W	eplace Da EPLAC INDO BED 4	ed with the 17 CED V	th A 7.03 WIT RE	TH BIF EMOVE DNY RI	5 FOLD WINDOW
DRAWN: GM DATE: 02.06.21	JOB NO: XXXXX	'E PURPOSES ONLY AND D												
TOTAL:	AREAS:	D DO NOT FORM PART OF ANY CONTRACT.		OWNER SIGNED: DATE: DATE	ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.	CONSTRUCTION, ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN	IME HAVE CHECKED THE PLANS AND AGREE THEY							
	E *for basix. 14.04.2021  F *DA Submission 16.04.21  G *Construction 25.05.21  H *add screen to bed Balc 31.05.21	D *for basix. with balcony 1 deleted 13.04.2 windows 15- 16 change	B *DA plans for Basix 12.02.2021  C *DA plans for submission 17.03.2021	*Office Review	2 *Preliminary Drawings 25.11.2020	*Preliminary Drawings	Issue: Details & Date:			5.2 HOUSE 106.6	Assess: Accredi Address Lot 1 (#150 CRANEER Penith City NSW 2750	or tation I s ) Church L		Francois

Note	Glazing Type	View from Side Opposite to Opening	W	Н	TYPE	AREA	ID / ORIENT
		Side .	0.750	2.310		1.73	w1
		750	0.1.00	2.0.0		0	
		750	0.750	1.800		1.35	w2
		750	0.750	1.800		1.35	w3
		750	0.750	1.800		1.35	w4
		600	0.600	1.800		1.08	w5
		1460	0.600	1.460		0.88	w6
		2.410	2.410	0.600		1.45	w7
		2410	2.410	2.050		4.94	w8
		3,010	3.010	1.800		5.42	w9 bifold
		1.570	1.570	1.460		2.29	w11
		2080	0.850	2.050		1.74	w13
		880	0.850	2.050		1.74	w14
		1.570	1.570	1.200		1.88	w15
		1.570	1.570	1.200		1.88	w16
		1.200	1.200	1.200		1.44	w17
		750	0.750	1.100		0.83	w18
		750	0.750	1.100		0.83	w19
		750	0.750	1.100		0.83	w20
		750	0.750	1.200		0.90	w21
		750	0.750	1.200		0.90	w22
		1.810	1.810	0.600		1.09	w23
		1.200	0.600	1.200		0.72	w24
dins		600	0.600	1.200		0.72	w25
ne li		2.410	2.410	0.600		1.45	w26
s mus		1.050	1.050	2.400		2.52	w27
st Re		2,060	2.060	2.400		4.94	w28
Suppliers must Refer to Stamped Construction Pl		1.050	1.050	2.400		2.52	w29
) Stan		2.410	2.410	0.600		1.45	w30
nped		1.810	1.810	0.600		1.09	w31
Con		1.210 009	1.210	0.600		0.73	w32
struc		2.410	2.410	2.400		5.78	w33 int

Window Glazing Schedule

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	-	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 354.93 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
all toilets in the development			
the cold water tap that supplies each clothes washer in the development			
<ul> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>			-

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	<b>Y</b>	<b>✓</b>	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		~	~
The cooling system must provide for day/night zoning between living areas and bedrooms.		<b>✓</b>	-
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	~
The heating system must provide for day/night zoning between living areas and bedrooms.		<b>~</b>	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		<b>~</b>	-
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		<b>~</b>	-
Laundry: natural ventilation only, or no laundry; Operation control: n/a		<b>Y</b>	<b>Y</b>
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:		0750	
at least 7 of the bedrooms / study;		0	8RC1CSWXD

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	*	•	~
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.		~	~

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
at least 4 of the living / dining rooms;		<b>V</b>	<b>*</b>
the kitchen;		_	
all bathrooms/toilets;		<b>_</b>	<b>_</b>
the laundry;		<b>_</b>	<b>_</b>
all hallways;		_	
Natural lighting			
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 0.7 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	~	~	-
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.			

Assessor number	DMN/14/1662	
Certificate number	O8RC1CSWXD	
Climate zone	28	
Area adjusted cooling load (MJ/m².year)	53	
Area adjusted heating load (MJ/m².year)	54	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	<b>✓</b> 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	<b>✓</b> 51	Target 50

## **BASIX** Certificate

Building Sustainability Index www.basix.nsw.gov.au

### Single Dwelling

Certificate number: 1184357S 02

I/WE HAVE CHECKED THE PLANS AND	AGREE THEY
ACCURATELY DEPICT THE HOL	JSE FOR
CONSTRUCTION. ANY VARIATIONS	REQUESTED
AFTER SIGNING WILL INCUR A PROCE	ESSING FEE IN
ADDITION TO THE COST OF THE VAR	IATION ITEM/S
AND ANY FURTHER PLANS TO BE	
OWNER SIGNED:	DATE:
OWNER SIGNED:	DATE:
BUILDER SIGNED:	DATE:

Details & Date: Issue: 1 \*Preliminary Drawings 08.11.2020 2 \*Preliminary Drawings 25.11.2020 \*Preliminary Drawings 09.12.2020 B \*DA plans for Basix windows 15- 16 change \*for basix. 14.04.2021

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G.J. Gardner. HOMES

**Builders Details** Sydney West NSW Lic No. 309650c TO G.J. GARDNER HOMES

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repared by **478**-6200 Building / Designers McTavish Design Accredited NatHERS Assessor

199820 GJG CLIENT: Miranda and Mauro Steffan DRAWING TITLE: Basix Details

PROJECT: New 2 Storey Dwelling DP No 1231299 Lot Lot No 1 Street 150 Church Lane Suburb Cranebrook NSW

Ground Floor 222.52 m²
Garage 63.44 m²
Porch 7.74 m²
Alfresco 35.77 m²
Rear Patio 6.95 m² FLOOR AREAS: First Floor 180.89 m² Balc 1 deleted m² Balc 2 6.97 m<sup>2</sup> Balc 3 16.73 m<sup>2</sup> **541.01 m<sup>2</sup>** 

**A3** 

XXXXXX

02.06.21 TOTAL:

JOB NO:

DRAWN:

GM

DATE:

\*Construction 25.05.21 31.05.21 \*add screen to bed Balc \*add south - rear IPZ 31.0m 02.06.21 \*199820 25 of 25

Document Set ID: 9687335 Version: 1, Version Date: 05/08/2021