

Report Type: DA Access Report
Reference Number: 20022
Client: Design Corp Architects
Site Address: Glenmore Park Childcare Centre



ACCESS REPORT

Vista Access Architects



Company Details

Vista Access Architects Pty. Ltd
ABN 82 124 411 614 ARN 6940
ACAA 281, CP 006, LHA 10032

Postal Address

POBox 353
Kingswood
NSW 2747

Contact details

www.accessarchitects.com.au
admin@accessarchitects.com.au
Farah Madon 0412 051 876

Project Compliance Statement:

This Access Compliance Report is to accompany a Development Application for the development proposed at Glenmore Park Childcare Centre.

This development proposes Additions and Alterations to an Existing building for a Childcare Facility. The development is within Penrith City Council LGA.

The development has building classification as detailed below;

- Class 9b (assembly building, school)

This Access report is based on the relevant components of;

- Building Code of Australia (BCA) 2019, Volume 1- Performance requirements of DP1, DP2, DP8, DP9, EP3.4, FP2.1 and Parts D2, D3, E3 and F2 (where applicable)
- Disability (Access to Premises-Building) Standards 2010 (henceforth referred to as APS)
- AS1428.1-2009 Part 1: General requirements for access, including any amendments
- AS1428.4.1-2009 Part 4.1: TGSIs (Tactile ground surface indicators), including any amendments –

The assessment of the proposed development has been undertaken to the extent necessary to issue DA (Development application) consent under the Environmental Planning and Assessment Act. The proposal achieves the spatial requirements to provide access for people with a disability and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Construction Certificate) stage.

By compliance with the recommendation in this report, the development complies with the requirements of Access Code of Disability (Access to Premises-Building) Standards 2010 and the Disability Access relevant sections of Building Code of Australia 2019.

ASSESSED BY



Jenny Desai

ACAA Associate Access Consultant
ACAA Membership number 572

PEER REVIEWED BY



Farah Madon

Accredited Access Consultant and LHA Assessor
ACAA Accredited Membership number 281
LHA Assessor Licence number 10032

Vista Access Architects Pty. Ltd.

Relevant dates:

Fee proposal, number FP-20032 dated 21-01-2020. Fee proposal was accepted by Client on 21-01-2020.

Assessed Drawings:

The following drawings by Design Corp Architects have been assessed for compliance.

Drawing no	Issue	Date	Details
B2	B	20-09-2019	Overall Site Plan
B3	B	20-09-2019	Ground floor general Plan
B4	B	20-09-2019	Demolition Plan

Document Issue:

Issue	Date	Details
Draft 1	23-01-2020	Issued for Architect's review
A	04-02-2020	Issued for DA

Limitations and Copyright information:

This report is based on discussions with the project architect and a review of drawings and other relevant documentation provided to us. No site visit was undertaken for the purposes of this project.

This assessment is based on the provided drawings and not based on constructed works, hence the assessment will provide assurance of compliance only if all the recommendations as listed in this report are complied with and constructed in accordance with the requirements of the current BCA, AS1428.1-2009 and other latest, relevant standards and regulations applicable at the time of construction.

Assessment is based on classification/use of the building. If the Class of the building changes to any other building Class, this access report will have to be updated accordingly.

Unless stated otherwise, all dimensions mentioned in the report are net (CLEAR) dimensions and are not be reduced by projecting skirting, kerbs, handrails, lights, fire safety equipment, door handles less than 900mm above FFL (finished floor level) or any other fixtures/fit out elements. When we check drawings, we assume that the dimensions noted are CLEAR dimensions and therefore the Architect / Builder shall allow for construction tolerances. Only some numerical requirements from relevant AS (Australian Standards) have been noted in the report and for further details and for construction purposes refer to the latest relevant AS.

This report and all its contents including diagrams are a copyright of Vista Access Architects Pty Ltd (VAA) and can only be used for the purposes of this particular project. Copy pasting diagrams from this report to Architectural plans will constitute copyright infringement.

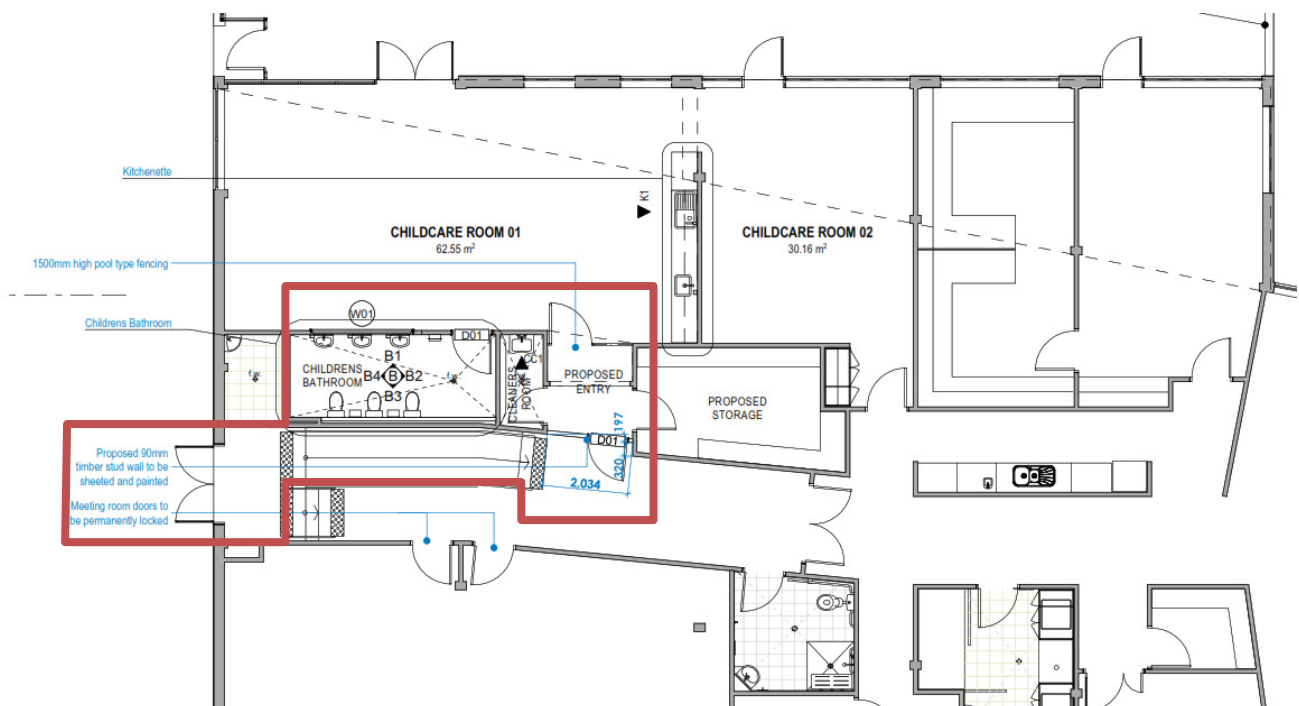
This report does not assess compliance matters related to WHS, Structural design, Services design, Parts of DDA other than those related to APS or Parts of BCA or Parts of AS other than those directly referenced in this report. VAA gives no warranty or guarantee that this report is correct or complete and will not be liable for any loss arising from the use of this report. We will use our best judgement in regard to the LHA assessments. However, we are not to be held responsible if another licenced LHA assessor comes to a different conclusion about compliance, certification or allocation of a particular Quality mark to us as a number of items are subject to interpretation.

We have no ability to check for slip resistance of surfaces. All wet areas, parking areas, pavement markings shall have the appropriate slip resistance for the location. We also have no ability to check for wall reinforcements once the walls have already been constructed. The builder shall take full responsibility that the requirements listed in this report are met and the construction and slip resistance shall be as per requirements of AS1428.1/ AS4299 / AS2890.6/ AS3661/ AS4586 and any other applicable regulation and Australian Standard.

A report issued for DA (development application) is not suitable for use for CC (construction certificate) application.

Compliance assessment with Disability (Access to Premises-Building) Standards 2010 (APS) for Existing Buildings

	Affected part upgrades
Requirement	<ul style="list-style-type: none"> - In general, APS covers new building work to existing buildings, such as an extension or an upgrade. - APS only applies to the part of the building that is the subject of the building approval application (i.e. new and modified works) and the 'affected part' of works. - Application of the APS to the new work in an existing building does not trigger the need to upgrade the whole building or parts of the building outside the new work that is subject to the building approval application. - The definition of 'affected part' of a building is limited to the area between (and including) the principal pedestrian entrance and the new work, but does not extend from the entrance to the allotment boundary or any required carparking spaces. It also does not extend to any toilet facilities or other rooms adjacent to the pathway between the principal pedestrian entrance and the area of the new work. - When the 'affected part' is triggered it does not require access upgrades to any step or stairway adjacent to a continuous accessible path of travel. - Where an access barrier, such as a step, is located at the threshold of a principal pedestrian entrance the 'affected part' upgrade would require the removal of the step.
Compliance Comments	<p>Capable of compliance.</p> <p>As stated in the above requirements, APS only applies to,</p> <ul style="list-style-type: none"> - New works, - Modified works and - Works within the 'affected part' <p>In this development, the new works, modified works and works within the 'affected part' have been shown in the plan below with a red boundary and include:</p> <ol style="list-style-type: none"> (a) New children's toilet (b) New doorways to new airlock <p>Since children's toilet have no access related requirements apart from 850mm clear opening doorway, the access requirements are limited to the main entry doorway being step free, access from previously approved ramp, and access to the 2 doorways to the airlock. Details to be verified at CC stage of works.</p>



Compliance assessment with Access related requirements of BCA and Disability (Access to Premises-Building) Standards 2010 (APS)

BCA Part D3 Access for People with a Disability

Henceforth the requirements in this report only applies to the, New works, Modified works and Works within the 'affected part' as identified earlier in the report.

BCA D3.1 General building Access requirements

SOU refers to a Sole Occupancy Unit

Requirement	Class 9b- Schools and early childhood centres. - To and within all areas that are normally used by the occupants.
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Compliance Comments	Complies. Access has been provided to and within all areas required to be accessible.
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BCA Part D3.2 Access to buildings

Requirement	Accessway is required from; - Main pedestrian entry at the site boundary for new buildings. - Main pedestrian entry door for existing buildings (as per APS). - Accessible car parking spaces.
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Compliance Comments	Complies. Step free level access is provided from the main entry doorway. Details to be verified at CC stage of works.
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Requirement	External Walkway / Pedestrian Access- to be as per requirements of AS1428-2009.
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Compliance Comments	N/A Access is only required from the main entry doorway.
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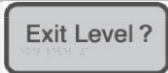
Requirement	Accessway is required through: - Principal pedestrian entry; and - Not less than 50% of all pedestrian entrances; and - In building with floor area over 500m ² , a non-accessible entry must not be located more than 50M from an accessible entry.
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Compliance Comments	Complies. Access is provided from the main entry doorway as required by APS.
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Requirement	<p>All common use doorways to comply with AS1428.1.</p> <p>Where accessible pedestrian entry has Multiple doorways:</p> <ul style="list-style-type: none"> - At least 1 to be accessible if 3 provided - At least 50% to be accessible, if more than 3 provided - Where doorway has multiple leaves, at least 1 leaf is to have clear opening of 850mm (excluding automatic doors)
Compliance Comments	<p>Capable of compliance.</p> <p>In common use areas, all single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.</p> <div data-bbox="391 459 1236 817" data-label="Diagram"> </div> <p>[Image description: Different types of doorways with door circulation requirements as per AS1428.1]</p> <p>Note that the circulation spaces to have a maximum floor grade of 1:40 (doorway threshold ramps are permitted within the circulation space). Sliding doorways to be provided with recessed floor tracks to enable flush transition from the inside of the building.</p> <p>Where there is an external level difference at the door threshold, the maximum level difference can be 35mm if provided with a 1:8 doorway threshold ramp. This is achievable and the door selections are to be verified at CC stage of works.</p> <p>Distances in between airlocks to provide for a minimum 1450mm clear of door swing and minimum latch side space as shown in following diagram.</p> <div data-bbox="343 1254 1452 1512" data-label="Diagram"> </div> <p>[Image description: Circulation spaces required in airlocks in a required accessible path of travel]</p>
	<p>BCA Part D3.3 Parts of buildings required to be accessible</p>
Requirement	<p>Every Ramp with grades steeper than 1:20 and less than or equal to 1:14 (excluding fire-isolated ramp) is to be compliant with Clause 10 of AS1428.1:</p> <ul style="list-style-type: none"> - AS1428.1-2009 (including but not limited to - maximum grade of 1:14 with appropriate landings at a maximum of 9M of a flight of ramp). - 1M clear width to be provided between handrails / kerb / kerbrails. - Handrails and kerbs to be provided on both sides with appropriate handrails extensions. - Slip resistance of ramp and landings to comply with BCA Table D2.14
Compliance Comments	<p>Complies.</p> <p>There is an existing recently approved ramp within the affected path and this ramp is required to fully comply with the requirements.</p> <p>Details to be verified at the CC stage of works.</p>

Requirement	Step ramp if provided is to be compliant with: <ul style="list-style-type: none"> - AS1428.1-2009 including max grade of 1:10, max height of 190mm, max length of 1.9M - Slip resistance of ramp and landings to comply with BCA Table D2.14. - A landing for a step ramp must not overlap a landing for another step ramp or ramp
Compliance Comments	N/A. Not within identified within new areas, modified areas and areas within the affected path.
Requirement	Kerb ramp if provided is to be compliant with: <ul style="list-style-type: none"> - AS1428.1-2009 including max grade of 1:8, max height of 190mm, max length of 1.52M - Slip resistance of ramp and landings to comply with BCA Table D2.14.
Compliance Comments	N/A. Not within identified within new areas, modified areas and areas within the affected path.
Requirement	Every Stairway (excluding fire-isolated stairway) is to be compliant with: <ul style="list-style-type: none"> - Clause 11 of AS1428.1-2009 (including but not limited to opaque risers, handrails on both sides including appropriate handrail extensions between 1M clear width and compliant nosing strips). - Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.
Compliance Comments	N/A. Not within identified within new areas, modified areas and areas within the affected path.
Requirement	Every Fire-isolated Stairway is to be compliant with AS1428.1-2009 in the following aspects: <ul style="list-style-type: none"> - Handrail on one side (requirement under D2.17) with 1M clear space. Handrail extensions are not required however since the handrails cannot have any vertical sections and since handrail is required to be at a consistent height throughout the stairway including at landings, it may be essential to either provide handrail extensions or offset first riser going up at mid landings to achieve this at 90° to 180° turns. - Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.
Compliance Comments	N/A. Not within identified within new areas, modified areas and areas within the affected path.
Requirement	Nosing strips to both fire-isolated and non-fire-isolated stairways <ul style="list-style-type: none"> - Each tread to have a nosing strip between 50mm-75mm depth (of any one colour) for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. - Multiple strips making up the 50mm-75mm depth is NOT permitted. - This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads. - Where the nosing strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10mm - Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.
Compliance Comments	N/A. Not within identified within new areas, modified areas and areas within the affected path.
Requirement	Handrail cross-sectional profile – for stairways and ramps to comply with AS1428.1 <ul style="list-style-type: none"> - Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
Compliance Comments	Complies. There is an existing recently approved ramp within the affected path and this ramp is required to fully comply with the requirements. Details to be verified at the CC stage of works.

Requirement	Slip resistance requirements as per BCA BCA Table D2.14 has the following Slip –resistance requirements when tested in accordance with AS4586:		
	Application		Surface conditions
		Dry	Wet
	Ramp steeper than 1:14	P4 or R11	P5 or R12
	Ramp steeper than 1:20 but not steeper than 1:14	P3 or R10	P4 or R11
	Tread or landing surface	P3 or R10	P4 or R11
	Nosing or landing edge strip	P3	P4
	HB 197/ HB198 An introductory guide to the slip resistance of pedestrian surface materials provides guidelines for the selection of slip-resistant pedestrian surfaces		
Compliance Comments	Capable of compliance. For Slip resistance of surfaces the builder is required to provide a Certificate stating that the Slip resistance of the surfaces comply with the above listed requirements when tested as per AS4586. Details to be provided at the CC stage of works.		
Requirement	Every Passenger lift is to comply with the requirements of BCA E3.6.		
Compliance Comments	N/A. Not identified within the affected path and this ramp is required to fully comply with the requirements.		
Requirement	Passing spaces requirement It is a requirement to provide passing spaces in accessways complying with AS1428.1 at maximum 20 M intervals, where a direct line of sight is not available. Space required is 1800x2800mm (in the direction of travel). Chamfer of 400x400mm is permitted at corners.		
Compliance Comments	N/A. Not within identified within the affected path and this ramp is required to fully comply with the requirements.		
Requirement	Turning spaces requirement It is a requirement to provide turning spaces in accessways complying with AS1428.1-2009 within 2M of the end of accessways where it is not possible to continue travelling and at every 20M intervals. CLEAR Space required is 1540mmx2070mm in the direction of travel (measured from skirting to skirting).		
Compliance Comments	Complies. - Adequate turning spaces have been provided with minimum common use passageway widths being 1540mm clear or alternatively a space of 1540mmx2070mm provided at or within 2M of the end of the passageway. Details to be verified at CC stage of works.		
Requirement	Carpet specifications Carpet if used in areas required to be accessible are to be provided with pile height or thickness not more than 11mm and carpet backing not more than 4mm bringing the total height to a maximum of 15mm.		
Compliance Comments	Capable of compliance. Carpet selections generally take place at CC stage of works. Selection of carpets as specified above will lead to compliance. Details to be verified at CC stage of works.		
	BCA Part D3.4 Exemption		
Requirement	Access is not required to be provided in the following areas: - Where access would be inappropriate because of the use of the area - Where area would pose a health and safety risk - Any path which exclusively provides access to an exempted area		
Compliance Comments	For information only. Areas such as lift machine rooms, fire services room, commercial kitchens etc. in the development are exempted from providing access under this clause due to WHS concerns. Where a caretaker is provided in the development, the toilet provided exclusively for use by the caretaker can be excluded from providing access based on the provisions in this clause.		

	BCA Part D3.5 Accessible Carparking
Requirement	Class 9b School - 1 Accessible car parking space per 100 spaces provided Other assembly building - 1 Accessible car parking space per 50 spaces provided and then additional 1 Accessible car parking space per additional 100 spaces provided
Compliance Comments	N/A. Not within identified within the affected path and this ramp is required to fully comply with the requirements..
	BCA Part D3.6 Signage
Requirement	Braille and Tactile signage is required to identify Accessible Sanitary facilities
Compliance Comments	N/A No common use sanitary facilities have been proposed within the affected path and this ramp is required to fully comply with the requirements.
Requirement	Braille and Tactile signage is required to identify Ambulant Sanitary facilities
Compliance Comments	N/A No common use, ambulant sanitary facilities have been provided within the affected path and this ramp is required to fully comply with the requirements..
Requirement	 Braille and Tactile signage is required to identify Hearing Augmentation International sign of deafness is required to signage to identify a space with hearing augmentation, also identify the type of hearing augmentation, area covered and location of receivers if used. [Image description: Image of Signage]
Compliance Comments	N/A
Requirement	 Braille and Tactile signage is required to identify a Fire exit door required by E4.5 by stating the 'Exit' and 'Level', followed by either: - The floor level number or floor level descriptor or a combination of both of the above. - Sign must be located on the side that faces a person seeking egress The "?" shown in image above is to be replaced with the floor level where the door is located. [Image description: Image of Signage]
Compliance Comments	Capable of compliance. All doors nominated as Exit doors require signage as described above. Signage selections generally take place at CC stage of works. Selection of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.
Requirement	Signage is required to a non-accessible pedestrian entrance
Compliance Comments	N/A. Not within identified within the affected path and this ramp is required to fully comply with the requirements.
Requirement	Signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility.
Compliance Comments	N/A
Requirement	All signage is required to be as per Specification D3.6 Braille and Tactile Signs This includes location of signage, specifications in regards to braille and tactile characters, luminance contrast and lighting.
Compliance Comments	Capable of compliance. Signage selections generally take place at CC stage of works. Selection of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

	BCA Part D3.7 Hearing Augmentation
Requirement	Hearing Augmentation is only required where an inbuilt amplification system (other than emergency) is installed in a Class 9b building, or in an auditorium, conference / meeting room or a reception area where a screen is used.
Compliance Comments	N/A No areas requiring hearing augmentation have been identified within the affected path and this ramp is required to fully comply with the requirements.
	BCA Part D3.8 Tactile indicators (TGSIs)
Requirement	TGSIs are required when approaching: <ul style="list-style-type: none"> - Stairways other than fire-isolated stairways. - Escalators / passenger conveyor / moving walk. - Ramp (other than fire-isolated ramps / kerb or step or swimming pool ramps). - Under an overhead obstruction of <2M if no barrier is provided. - When accessway meets a vehicular way adjacent to a pedestrian entry (if no kerb / kerb ramp provided at the location). Compliance is required with AS1428.4.1 including Luminance contrast and slip resistance requirements for all TGSIs.
Compliance Comments	N/A. Not within identified within the affected path and this ramp is required to fully comply with the requirements.
	BCA Part D3.11 Limitations on Ramps
Requirement	On an accessway: <ul style="list-style-type: none"> - A series of connected ramps must not have a combined vertical rise of more than 3.6M; - And a landing for a step ramp must not overlap a landing for another step ramp or ramp.
Compliance Comments	Complies.
	BCA Part D3.12 Glazing on Accessways
Requirement	Glazing requirements: <ul style="list-style-type: none"> - Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening are required to have a glazing strip - The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
Compliance Comments	Capable of compliance Glazing strips are required to be provided to full length glazed areas (doors and windows) used in common use areas such as lift lobbies and common passageways and in all commercial use areas. Glazing strip selections generally take place at CC stage of works. Selection of glazing strips as specified above will lead to compliance and these selection details are to be verified at CC stage of works.
	BCA Part F Accessible Sanitary Facilities BCA F2.4 Accessible sanitary facilities
Requirement	Accessible unisex toilet is to be provided in accessible part of building such that; <ul style="list-style-type: none"> - It can be entered without crossing an area reserved for 1 sex only - Where male and female sanitary facilities are provided at different locations, Accessible unisex toilet is only required at one of the locations - Even distribution of LH and RH facilities - An accessible facility is not required on a level with no lift / ramp access.
Compliance Comments	N/A No common use sanitary facilities have been proposed within the affected path and this ramp is required to fully comply with the requirements.

Requirement	Accessible unisex toilet is to be designed in accordance with AS1428.1-2009
Compliance Comments	N/A No common use sanitary facilities have been proposed within the affected path and this ramp is required to fully comply with the requirements.
Requirement	Ambulant use male / female toilets are to be provided if an additional toilet to the Accessible unisex toilet is provided
Compliance Comments	N/A. No common use ambulant use facilities have been provided within the affected path and this ramp is required to fully comply with the requirements..
Requirement	Ambulant use toilets are to be designed in accordance with AS1428.1-2009
Compliance Comments	N/A No common use ambulant sanitary facilities have been proposed within the affected path and this ramp is required to fully comply with the requirements.
	BCA F2.4(a) Accessible unisex sanitary compartments
Requirement	Class 9b - 1 unisex Accessible toilet on every storey containing sanitary compartments. - Where more than 1 bank of sanitary compartments on a level, at 50% of banks
Compliance Comments	N/A No common use sanitary facilities have been identified within the affected path and this ramp is required to fully comply with the requirements.
	BCA F2.4(b) Requirements for Accessible unisex showers
Requirement	Class 9b - When BCA requires provision of 1 or more showers, then 1 for every 10 showers.
Compliance Comments	N/A No common use shower facilities have been identified within the affected path and this ramp is required to fully comply with the requirements.
Requirement	Showers for Accessible use are to be designed in accordance with AS1428.1.
Compliance Comments	N/A No accessible shower facilities have been identified within the affected path and this ramp is required to fully comply with the requirements.

Additional Features required as per AS1428

Refer to AS1428 for full list of requirements.

	<p>The following accessibility requirements apply only to:</p> <ul style="list-style-type: none"> - To all areas within the commercial use components - New areas, modified areas and areas within the 'affected part' of works as identified earlier in the report
Requirement	<p>Accessway width requirements</p> <ul style="list-style-type: none"> - All Accessway widths are to be a minimum of 1M clear (measured from skirting to skirting) with vertical clearance of at least 2M
Compliance Comments	<p>Complies. Details to be verified at CC stage of works.</p>
Requirement	<p>Doorway requirements</p> <ul style="list-style-type: none"> - All common use doorways in the development to be in accordance with AS1428.1 - Door thresholds are to be level or they can incorporate a doorway threshold ramp as per AS1428.1 i.e. max 1:8 grade, max height of 35mm and located within 20mm of door leaf. - Distance between successive doorways in airlocks to be 1450mm which is measured when the door is in open position in case of swinging doors.
Compliance Comments	<p>Capable of compliance. Details to be verified at CC stage of works.</p>
Requirement	<p>Door hardware requirements</p> <ul style="list-style-type: none"> - Door hardware including door handles, door closers and the in-use indicators / snibs in accessible and ambulant toilets are required to comply with requirements of AS1428.1.
Compliance Comments	<p>Capable of compliance. Door hardware selections generally take place at CC stage of works. Selection of door hardware as specified above will lead to compliance and these selection details are to be verified at CC stage of works.</p>
Requirement	<p>Luminance contrast requirements for doorways.</p> <ul style="list-style-type: none"> - All doorways to have a minimum luminance contrast of 30% provided as per AS1428.1 with the minimum width of the luminance contrast to be 50mm.
Compliance Comments	<p>Capable of compliance. The painting schedule of walls/doors and door frames are to consider the above requirements when colours are selected. Check Contrast requirements via LRV of colours on http://www.accessarchitects.com.au/luminance-contrast-calculator or download free LRV calculator App from Apple Store or Google Play. Add the above listed requirements to project specifications to ensure compliance.</p>
Requirement	<p>Floor or ground surfaces</p> <ul style="list-style-type: none"> - Use slip-resistant surfaces. The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. - Abutment of surfaces is to have a smooth transition. Construction tolerances to be as per AS1428.1 - Grates if used in the accessible path of travel is required to comply with the requirements as per AS1428.1
Compliance Comments	<p>Capable of compliance. Floor surface selections generally take place at CC stage of works. Selection of floor surfaces as specified above will lead to compliance and these selection details are to be verified at CC stage of works.</p>
	<p>Switches, Controls and Lighting requirements</p> <ul style="list-style-type: none"> - All switches and controls (including controls for intercom facilities and external lift control buttons) on an accessible path of travel, Accessible SOUs and Accessible sanitary facilities to be located as per requirements of AS1428.1
Compliance Comments	<p>Capable of compliance. Lighting fixture selections and locations generally take place at CC stage of works. Selection of lighting fixtures and locating them as specified above will lead to compliance. These selection/location details are to be verified at CC stage of works.</p>

Disability Discrimination Act

Advisory Only

The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. Section 32 of the DDA focuses on the provision of equitable and dignified access to services and facilities for people with mobility, sensory and cognitive disabilities.

Disability discrimination happens when people with a disability and their relatives, friends, carers, co-workers or associates are treated less fairly than people without a disability.

Compliance with Access to Premises Standards give certainty to building certifiers, building developers and building managers that, if access to (new parts) of buildings is provided in accordance with these Standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the DDA. This however applies only to the new building or new parts of an existing building and its affected part. All areas outside the scope of these areas are still subject to the DDA. We cannot guarantee or certify for DDA compliance because DDA compliance can only be assessed by the Courts.

Scope of DDA extends beyond the building fabric and also includes furniture and fittings.

Some recommendations to address common furniture and fittings have been listed below. Non-provision of the below recommendations may not affect compliance under the BCA but may leave the building owner vulnerable to a claim under the DDA.

Where furniture layouts have been decided in developments such as restaurants, ensure that 1M clear space is available around all furniture and that a turning space of 1540x2070 (in the direction of travel) is provided in areas where travel is no longer possible and a person in a wheelchair would be required to make a 180 ° turn.

For new kitchens / BBQ areas in residential common use areas / commercial use areas, it is suggested that this kitchen could be made partially accessible by providing a width of 900mm next to the sink as vacant space (without cabinetry under the bench top) and a long lever tap with spout and handle within 300mm from the front of the benchtop. The distance in between the benches to be 1550mm. 1 double GPO to be provided within 300mm from the edge of the benchtop. This would allow a person in a wheelchair to independently move within the kitchen and use basic facility, being the sink independently.

Statement of Experience

Farah Madon- Director

ACAA Accredited Access Consultant, NDIS SDA Assessor, Livable Housing Assessor & Changing Places Assessor

- Accredited member of Association of Consultants in Access Australia (ACAA) Membership no 281
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor
- Architect, registered with the NSW Architects Registration Board. Reg no 6940
- Member of Australian Institute of Architects (RAIA), A+ Practice member, 49397
- Registered Assessor of Livable Housing Australia. Lic no 10032
- Registered Assessor of Changing Places Australia. Reg no CP006

Farah's Educational Profile and Qualifications include:

- Bachelor of Architecture Degree with Honours (B.Arch.)
- OHS Construction Induction Training Certificate
- Units PRDAC401A/403A/503A & CPP40811 from Certificate IV in Access Consulting, Unit CPP50711 from the Diploma in Access Consulting
- Successful completion of ACAA's Access Consultant's testing process
- Changing Places Australia Training Course
- NDIS SDA Assessor Training Course.

Farah has 20 years of experience of working in the field of Architecture and Access. Farah specialises in access consultancy services, including design for access, access related advice and auditing services and performance solution assessment for access related issues under the BCA by means of Expert Judgement. Farah is the lead author of the NDIS SDA Design Standard. Farah has been invited as an expert witness for Access related matters in the Land and Environment Court.

Farah currently participates on the following key committees concerning access for people with disabilities, on an honorary basis:

- Committee member of ME-064 Committee of Standards Australia responsible for the AS4299 and AS1428 suite of standards.
- Community Representative Member of the Penrith City Council's Access Committee
- Member of Australian Institute of Architect's (RAIA) National Access Work Group (NAWG)
- Management Committee member of NSW Network of Access Consultants
- Livable Housing Australia's Industry Reference Group (IRG) Member

Farah has previously held the following roles:

- Vice President of ACAA from 2016 to 2019 and Management committee member of ACAA from 2011 till 2019.
- Convener of the ACAA's Access related Practice and Advisory Notes

Meet our team

Vanessa Griffin- Access Consultant

ACAA Accredited Access Consultant & Livable Housing Assessor

- Accredited member of ACAA. Membership no 500
- Registered Assessor of Livable Housing Australia.
- Member of AIBS – Australian Institute of Building Surveyors

Vanessa's Educational Profile and Qualifications include:

- Diploma of Surveying and Diploma of Health and Building Surveying
- Certificate IV in Access Consulting

Jenny Desai- Access Consultant

ACAA Associate Access Consultant

- Associate member of ACAA. Membership no 572

Jenny's Educational Profile and Qualifications include:

- Master of Design (M.Des) from University of Technology, Sydney
- Certificate IV in Access Consulting

