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**DEVELOPMENT CALCULATIONS**

LOT: 1156 SITE AREA: 234.9m<sup>2</sup>

Itemised Floor Areas:	Totals:
living ground floor:	80.73m <sup>2</sup>
first floor: (excl. void 3.79m <sup>2</sup> )	61.35m <sup>2</sup>
garage: (excess 00.000m <sup>2</sup> )	36m <sup>2</sup>
alfresco:	7.91m <sup>2</sup>
porch:	7.83m <sup>2</sup>
balcony:	6.44m <sup>2</sup>
total floor area:	200.26m <sup>2</sup>

**FLOOR SPACE RATIO CALCULATION:**

gross floor areas:	Totals:
living ground floor: (internal area)	71.05m <sup>2</sup>
first floor excl. void: (internal area)	53.34m <sup>2</sup>
total gross floor area:	124.39m <sup>2</sup>
floor space ratio:	53:1

**SITE AREA COVERAGE/LANDSCAPE:**

house ground floor:	80.73m <sup>2</sup>
garage:	36m <sup>2</sup>
porch/alfresco:	15.74m <sup>2</sup>
driveway/paved area:	17.19m <sup>2</sup>
site coverage Area:	132.47m <sup>2</sup> (56.4%)
landscape area:	102.43m <sup>2</sup> (43.6%)
pervious areas (soft)	86m <sup>2</sup> (84%)
impervious areas (hard)	16.55m <sup>2</sup> (16%)
front yard landscape area	16.23m <sup>2</sup> (88%)
front yard hard paved area	2.22m <sup>2</sup> (12%)
private open space o/a:	50.22m <sup>2</sup>
principal private open space:	18m <sup>2</sup>
total car space incl. carstand:	2 carspace

**COUNCIL ZONE: R1**

PROMOTION:  
**LIVING/STYLE COLLECTION**

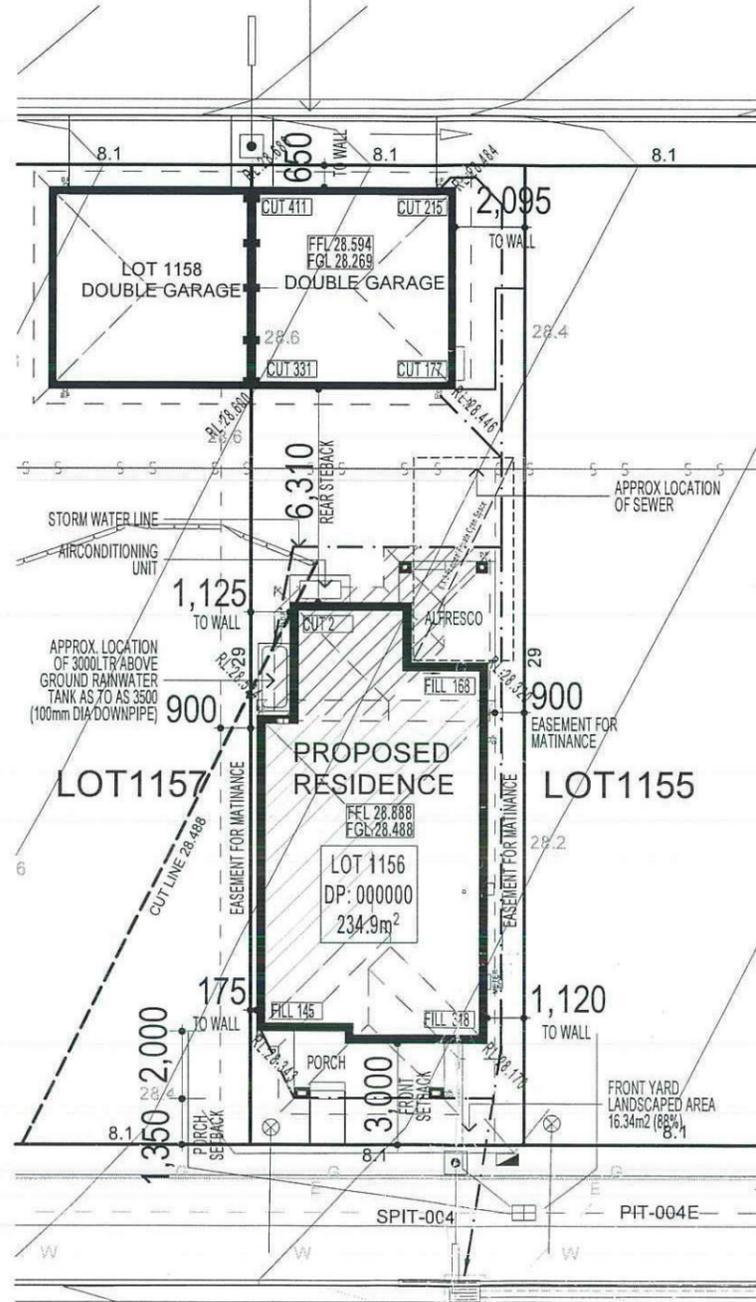
CLIENT:  
**FIRSTSTYLE HOMES**

LOCATION:  
**LOT 1156  
 SYDNEY SMITH DRIVE  
 PENRITH NSW 2750**

DP-101 1156 is Unregistered plan of subdivision by Craig & Rhodes Ref: 72-10-1.1 being part Lot 11 DP-1159973  
 council: PENRITH  
 model: CHESTER 21 facade: AUGUSTINE date: 8/11/2012  
 Sheet: 1 of 15 drawn: N.K. checked: P.D. scale: 1:200  
**410A-12**



**NOTE:**  
 FINAL GARAGE LEVELS SUBJECT TO FINAL KERB LEVELS.



**Thorton Design Review Panel**  
 LANDCOM  
 Reviewed *Woodrow* 14/12/12  
 Date

**BASIX**

= 55.65m<sup>2</sup> of roof area to discharge to water tank.  
 = stormwater and overflow to discharge to existing street channel.  
 o/a= 158.52m<sup>2</sup> of roof area.

**LEGEND:**

- = SURFACE INLETS AS REQUIRED
- = SURFACE INLETS LINE
- = STORMWATER LINE

**EARTHWORKS TO AHD**

HOUSE:	FFL: R.L: 28.888 A.H.D
(LIVING)	FGL: R.L: 28.488 A.H.D
GARAGE:	FFL: R.L: 28.594 A.H.D
	FGL: R.L: 28.269 A.H.D

**NOTE:**  
 REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

**GENERAL DRAINAGE NOTES**

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min)
3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.

note:  
 r.l. levels indicative to a building tolerance of +/- 90mm.

**NOTE:**  
 EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

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 ACOUSTIC SEALS REQUIRED ON ALL BEDROOM WINDOWS AND DOORS FACING SYDNEY SMITH DRIVE. IN ACCORDANCE WITH ACOUSTIC LOGIC'S ACOUSTIC REPORT. REF No.20120708.1/1508A/RO/HP

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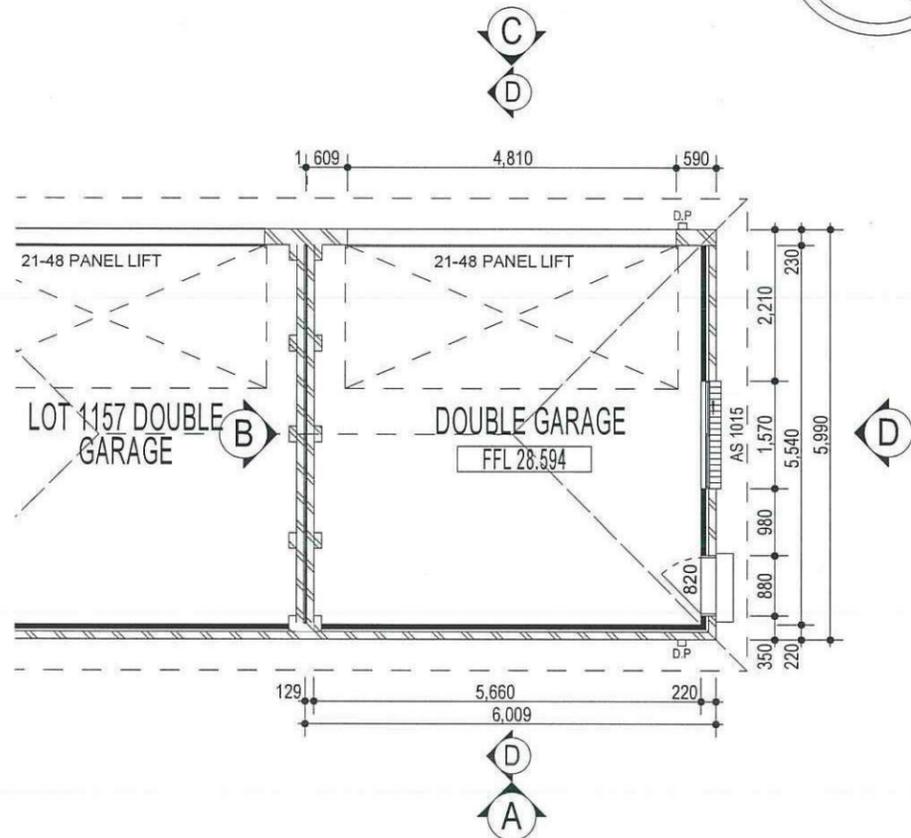
**SYDNEY SMITH DRIVE**  
**SITE PLAN & STORMWATER CONCEPT PLAN**

**3 - PHASE POWER**

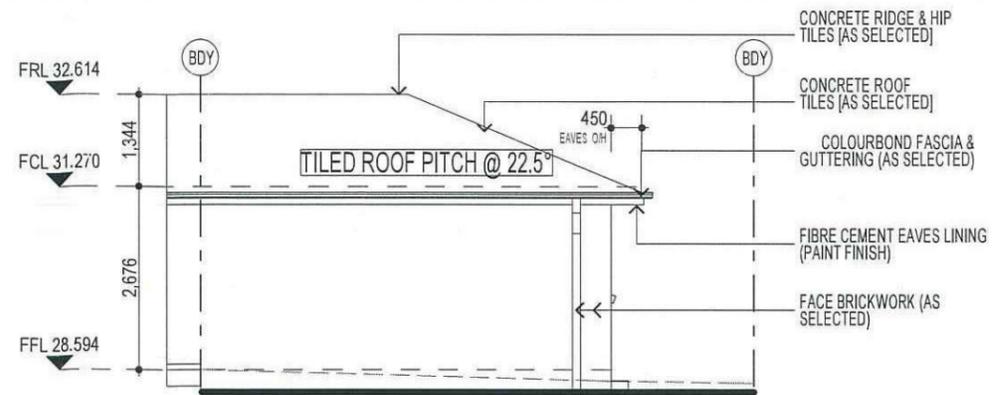
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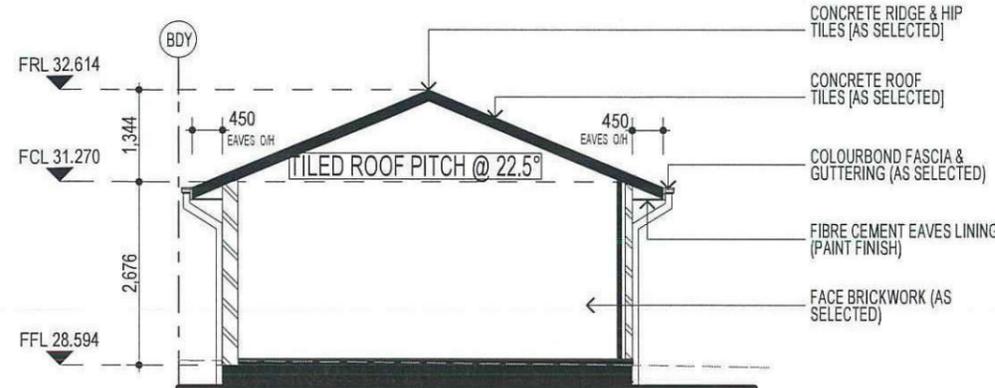
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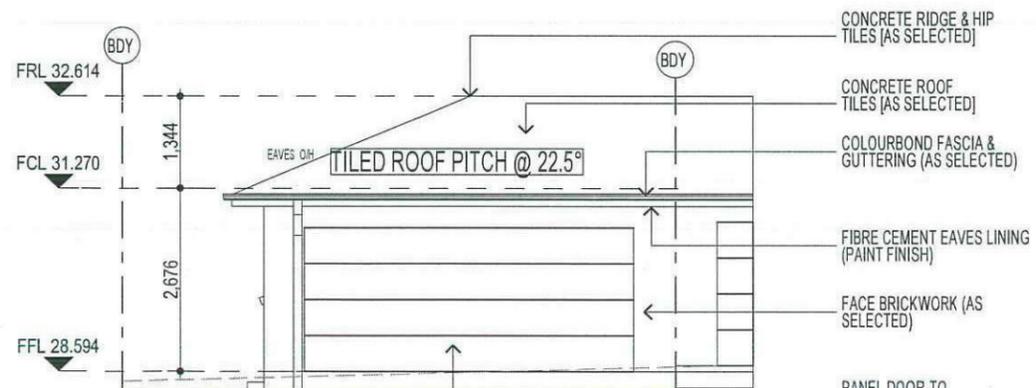
**GARAGE FLOOR PLAN**



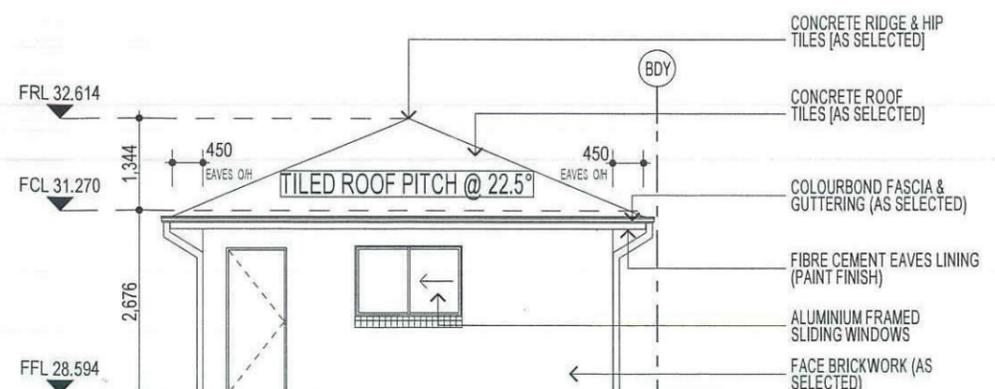
**GARAGE ELEVATION A**



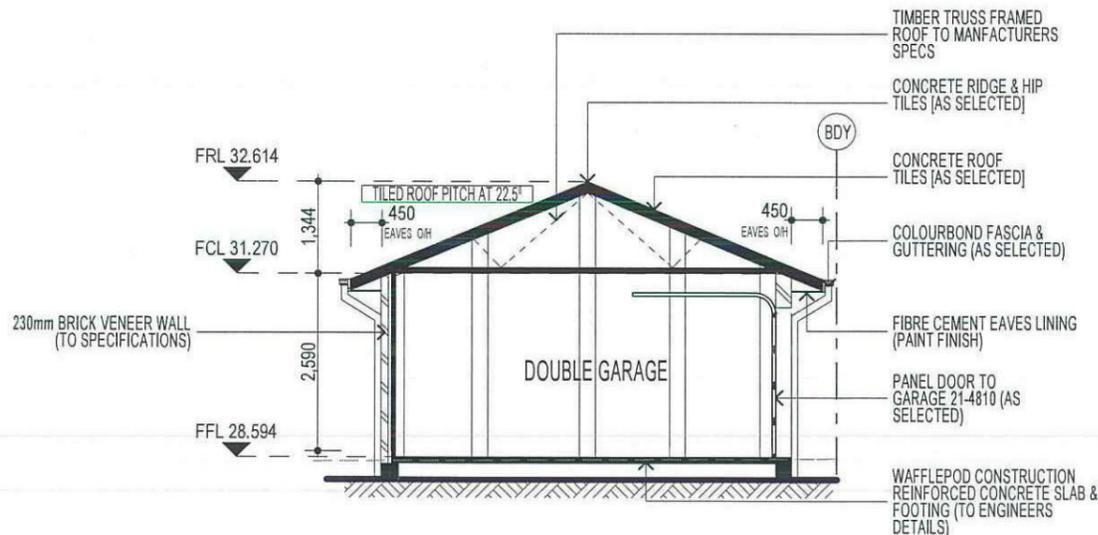
**GARAGE ELEVATION B**



**GARAGE ELEVATION C**



**GARAGE ELEVATION D**



**SECTION D**

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CLIENT:  
**FIRSTSTYLE HOMES**

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 SYDNEY SMITH DRIVE  
 PENRITH NSW 2750

DP-LOT 1156 in Unregistered plan of subdivision by Craig & Rhodes Ref: 72-10-1.1 being part Lot 11 RP1159973		council:	PENRITH
model:	CHESTER 21	facade:	AUGUSTINE
date:	22/10/2012	quotation accepted:	SK1
Sheet:	5 of 15	drawn:	N.K
scale:		checked:	P.D

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ S.P. NO. \_\_\_\_\_

	FACE BRICK (AS SELECTED)
	MAROKA TEXTURE FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	WEATHEREX CLADDING PAINTED FINISH (AS SELECTED)



FIRSTSTYLE HOMES Pty Ltd  
 Lic No. 113412C  
 ACN. 387 713 779  
 PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9601 0111  
 FAX: (02) 9601 0711  
 EMAIL: design@firststyle.com.au

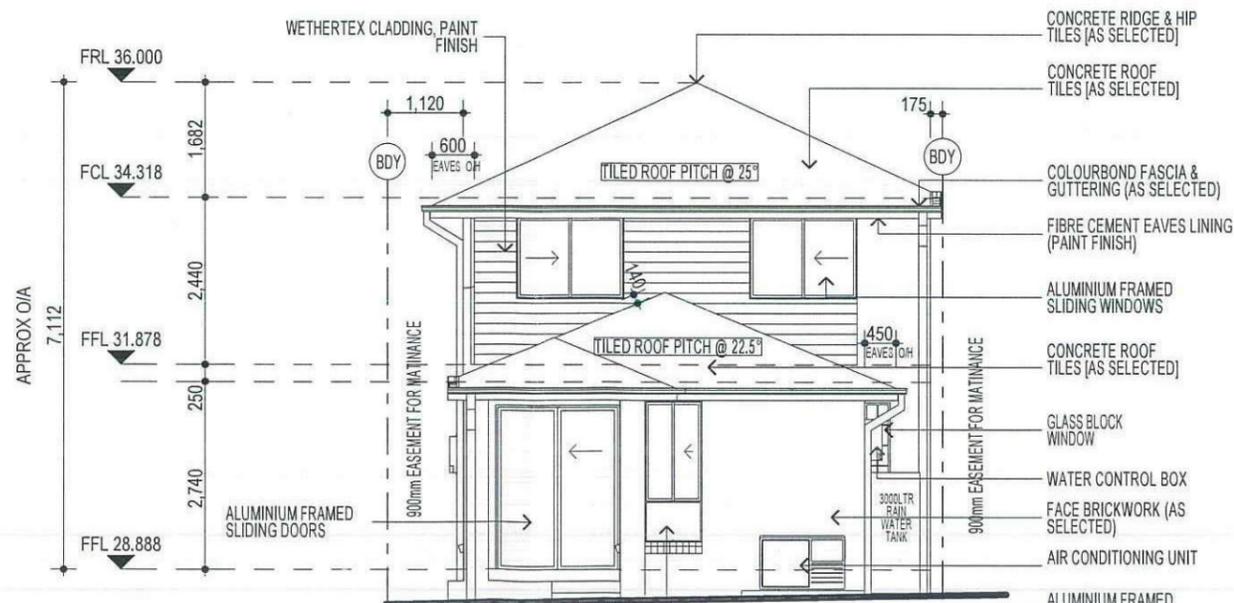
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ELEVATION A



ELEVATION C

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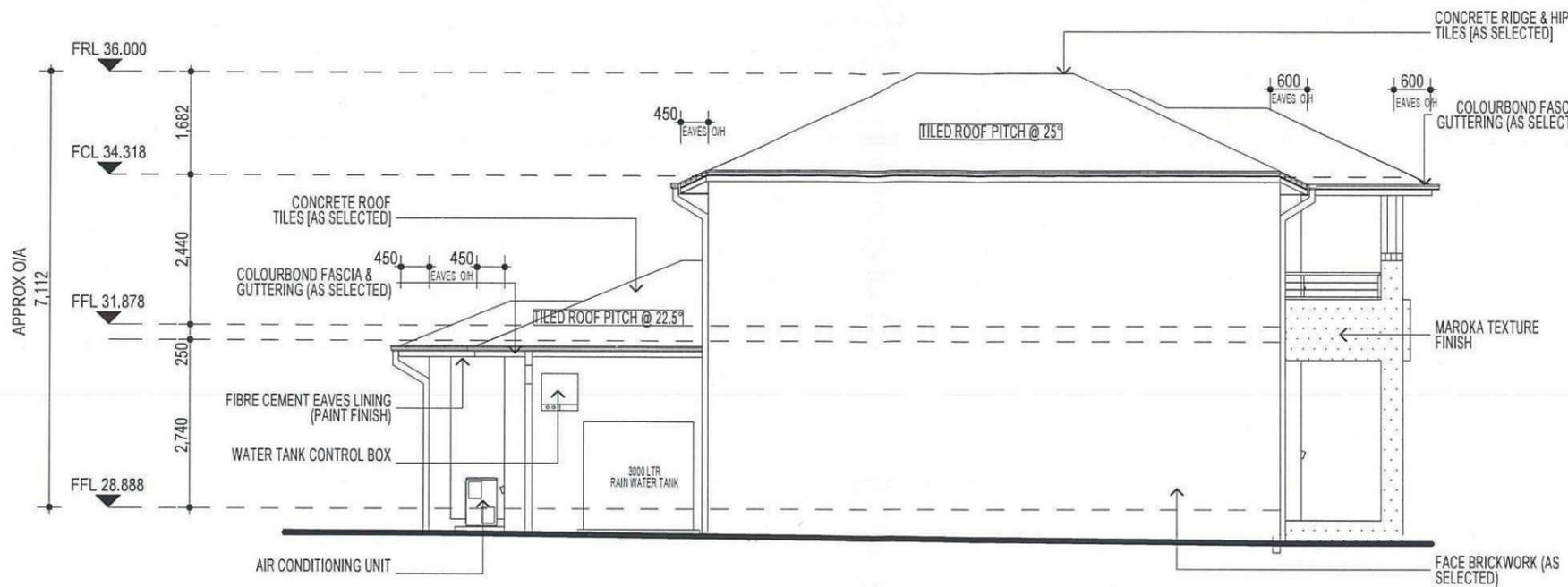
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model:	CHESTER 21	facade:	AUGUSTINE
date:	22/10/2012	quotation assessment:	SK1
Sheet:	7 of 15	drawn:	N.K.
checked:	P.D.	scale:	1:100

ELEVATIONS

CLIENT'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ S.P. 5/1

**KEY**

	FACE BRICK (AS SELECTED)
	MAROKA TEXTURE FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)



**ELEVATION B**

**FIRSTSTYLE HOMES**

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**ELEVATION D**

**Thorton Design Review Panel**

**LANDCOM**

Reviewed: *Woodson* Date: *14/11/12*

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 Craig & Rhodes Ref: 72-10-1.1 being part Lot 1156 1159873 PENRITH

model:	facade:	date:	audition assessment:
CHESTER 21	AUGUSTINE	22/10/2012	SK1
Sheet:	drawn:	checked:	
8 of 15	N.K.	P.D.	
scale:	1:100		

**410A-12**

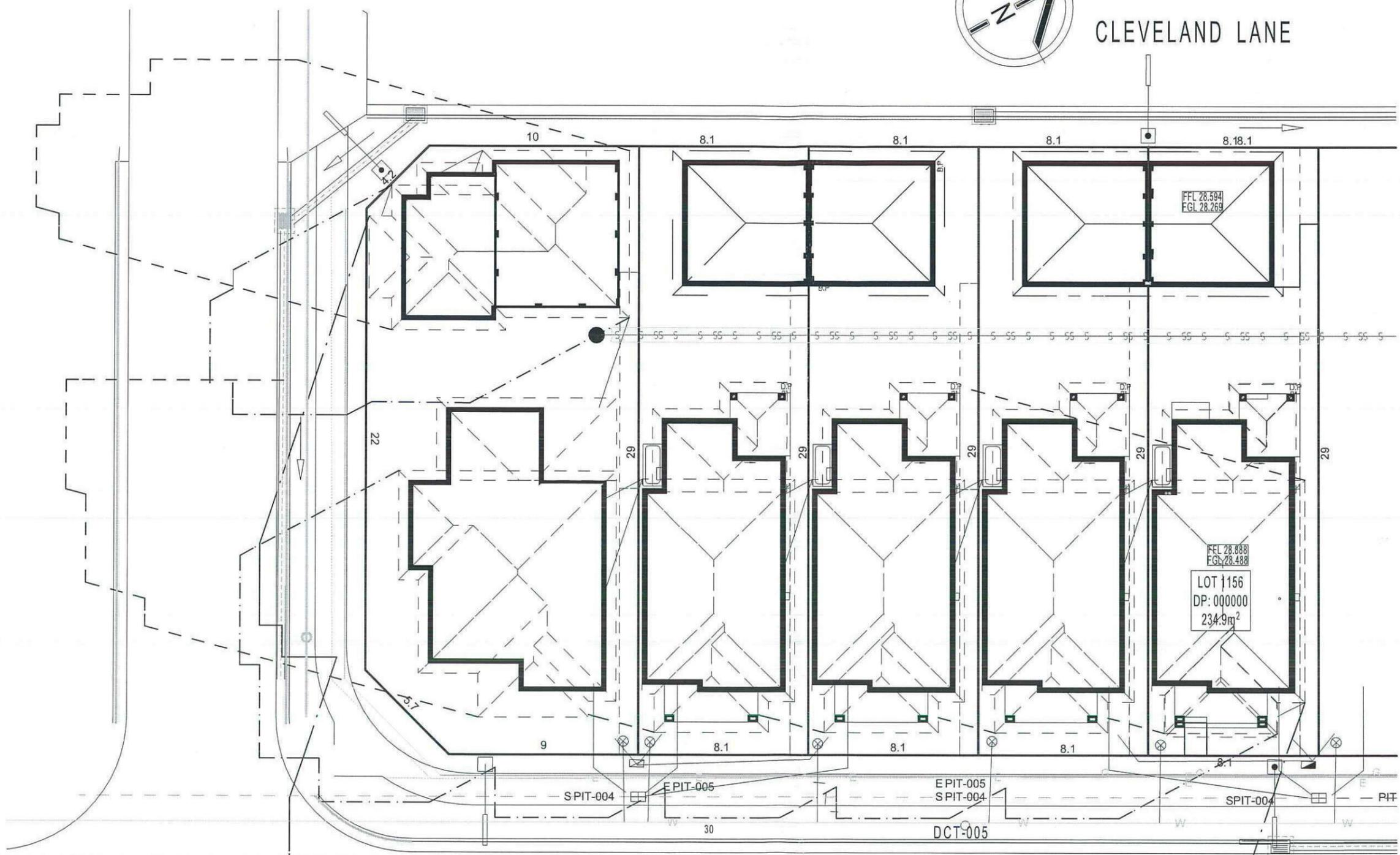
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**ELEVATIONS**

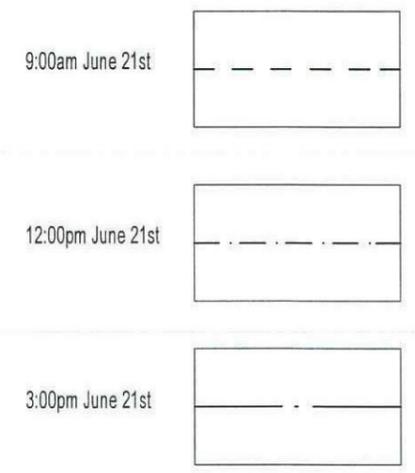
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CLEVELAND LANE



**SHADOW DIAGRAM**



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DP: JOT 1156 in Unregistered plan of subdivision by council:  
 11/12/15/5973  
 model: CHESTER 21 facade: AUGUSTINE date: 22/10/2012 quotation assessment: SK1

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CLIENT'S SIGNATURE: DATE: S.P. 30.

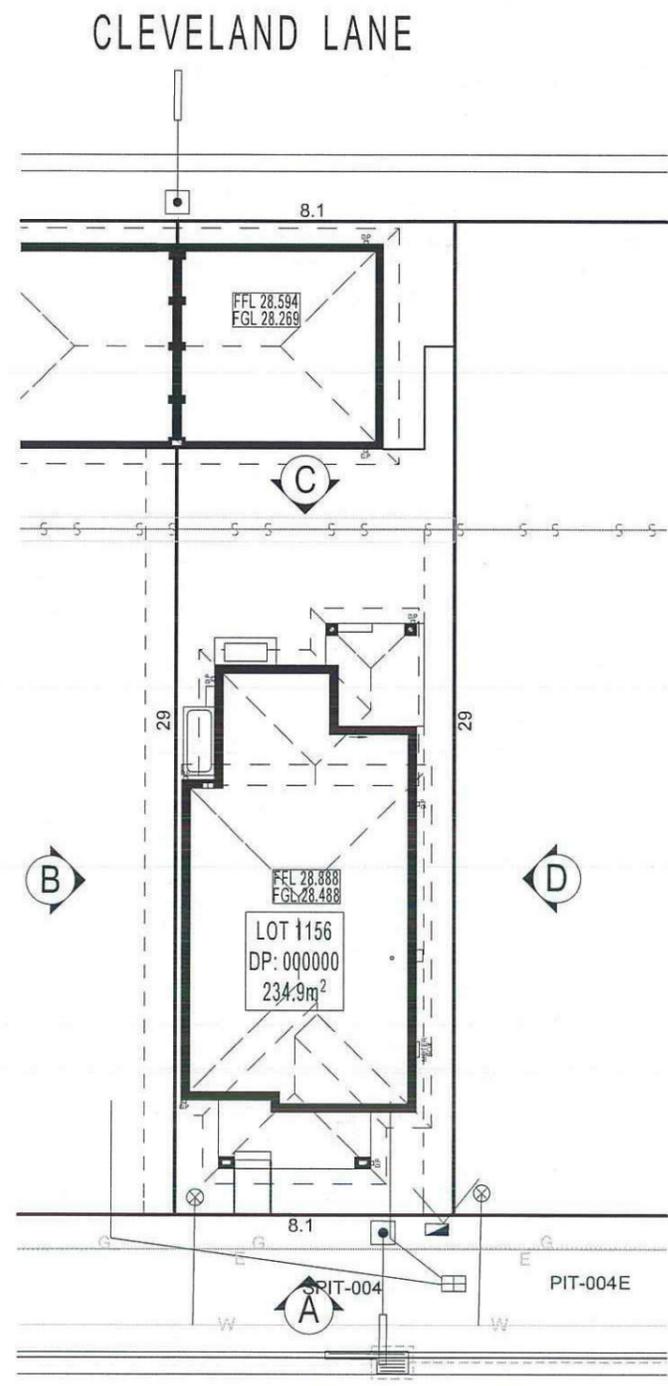
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**SHADOW DIAGRAM**

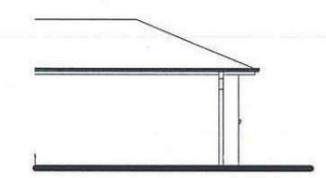
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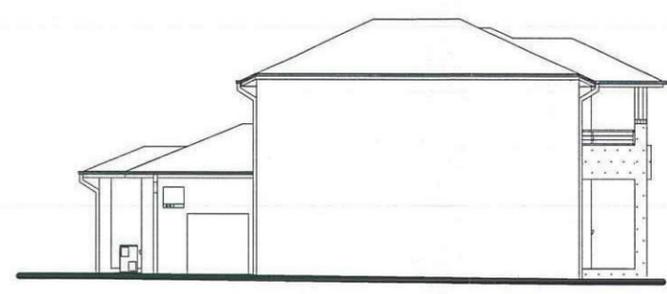
**Thorton Design Review Panel**  
**LANDCOM**  
*Woodrow* 14/11/12  
 Reviewed ..... Date .....



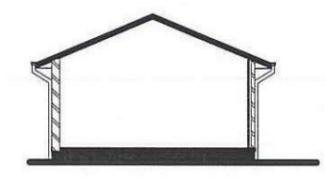
ELEVATION A



GARAGE ELEVATION A



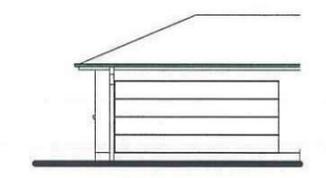
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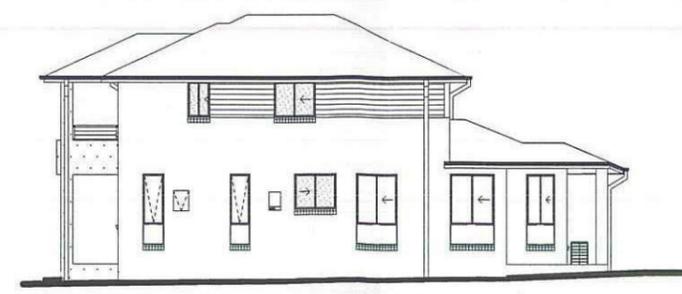
GARAGE ELEVATION B



ELEVATION C



GARAGE ELEVATION C



ELEVATION D



GARAGE ELEVATION D

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Sheet:	drawn:	checked:	scale:
A	N.K	P.D	1:200, 1:100

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ S.P. 00.

**NOTIFICATION PLAN**

**410A-12**

**PLANT SCHEDULE** Prepared by **ecodesign Pty Ltd**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	9	200mm	0.5m
Crf	Cordyline Red Fountain	Red Fountain Cordyline	3	200mm	1m
Dcl	Dianella caerulea 'Little Jess'	Compact Blue Flax Lily	21	200mm	0.3m
Mlg	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1	75L	4m
Lcb	Lampetulum chinense var. rubrum 'Burgundy'	Pink Fringe Flower	6	300mm	1-1.5m
Li	Lomandra longifolia 'Katrinus Deluxe'	Mat Rush	5	200mm	0.75m
Vh	Viola nederacea	Native Violet	10	200mm	0.1m



**CLEVELAND LANE - Supply + installation by BUILDER**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Lix	Lagerstroemia Sioux	Crepé Myrtle	1	75L	4m
Li	Lomandra longifolia 'Katrinus Deluxe'	Mat Rush	9	200mm	0.75m

**CLEVELAND LANE CROSS-OVER - Supply + construction by BUILDER**

**MATERIAL SCHEDULE**

	Area m <sup>2</sup> LANDCOM*	Area m <sup>2</sup> BUILDER**
<b>HEADER COURSE</b>		
Concrete pavers Adbro Quarzstone, 300x300x50mm in Cradle colour, laid in stackbond pattern	2.56	3.47
<b>IN-FILL PAVEMENT</b>		
Concrete pavers Adbro Havelerbrick, 200x100x50mm in Bushwood colour, laid in herringbone pattern	4.87	1.45
<b>Total area</b>	<b>7.43</b>	<b>4.92</b>

**LOT PLANTING SUMMARY**

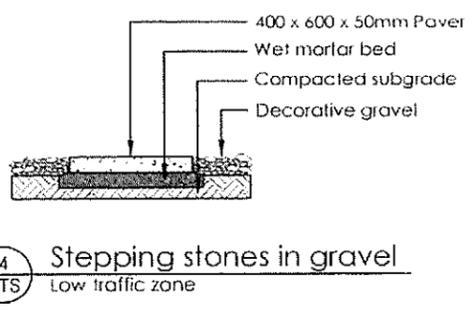
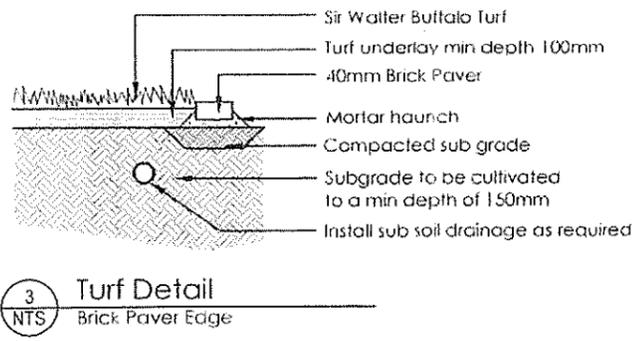
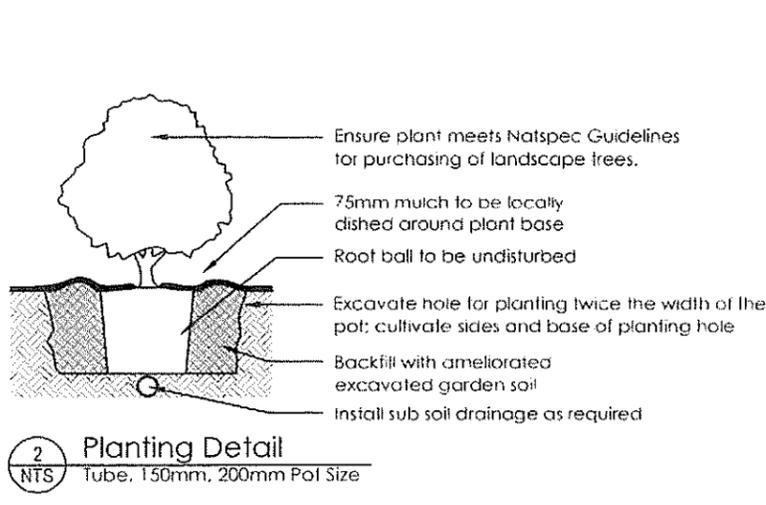
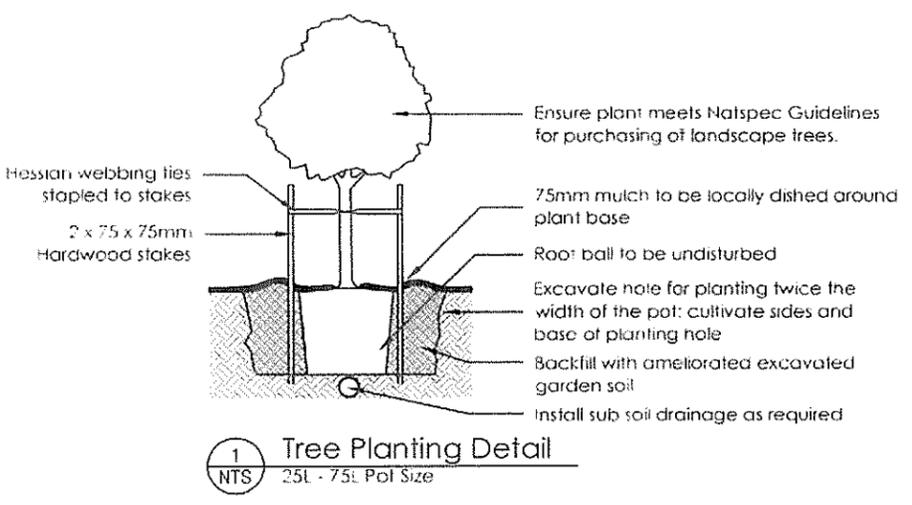
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
55	6	9	39	1

Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

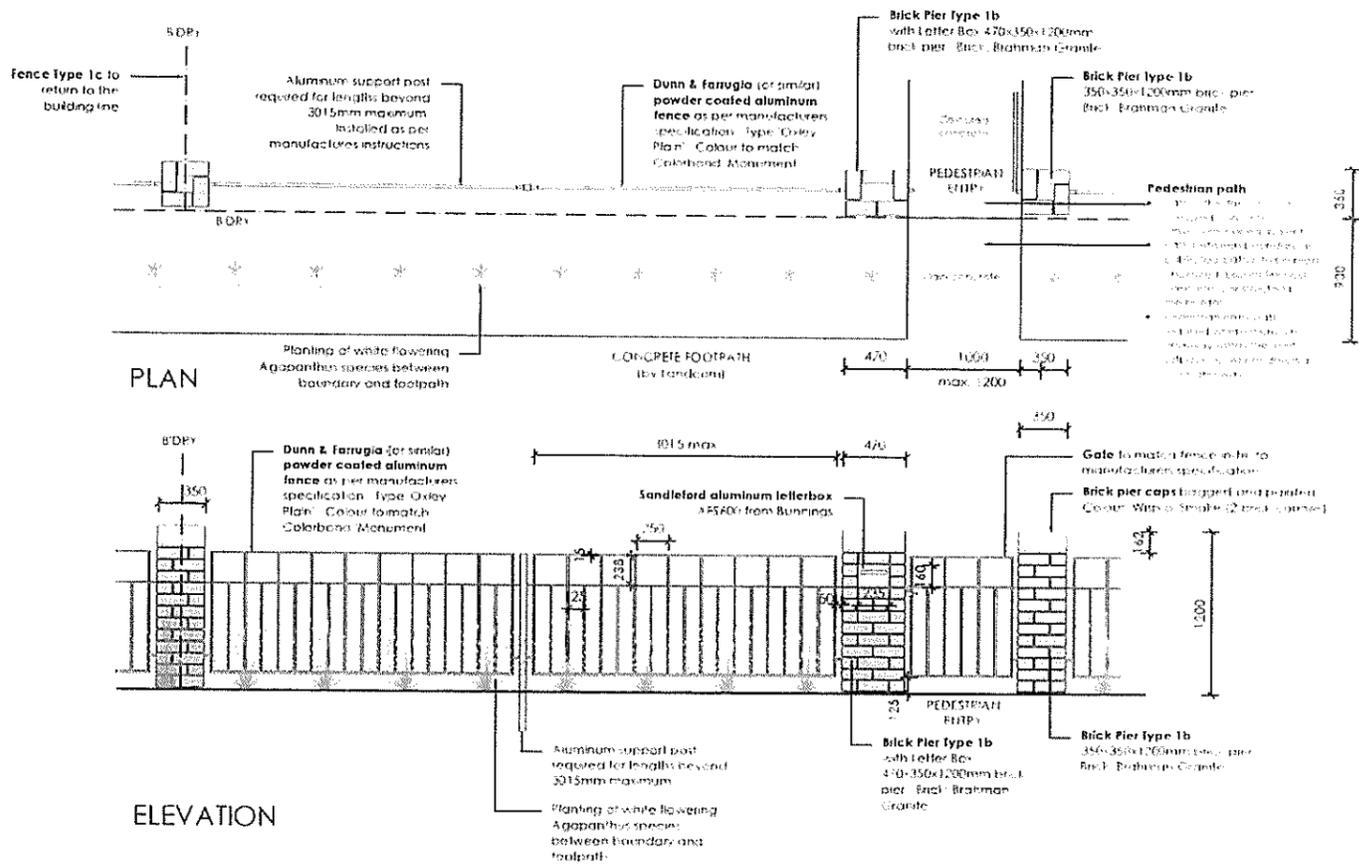
\* Areas outside of the allotment boundary, \*\* Areas inside of the allotment boundary

**LEGEND**

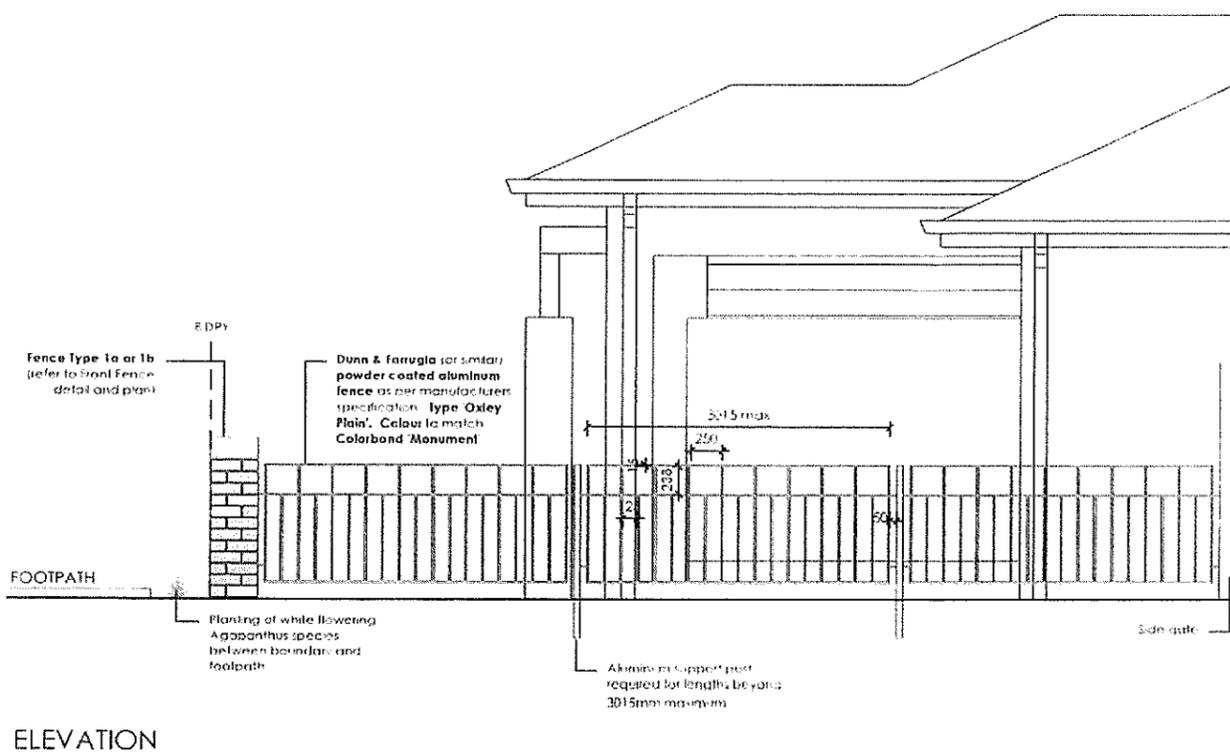
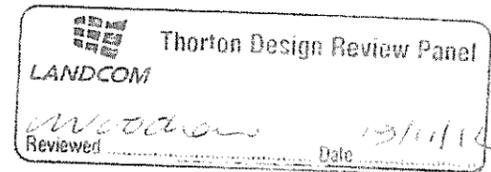
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Fence
- Garden edging
- Timber retaining walls
- Masonry retaining walls
- Existing contours
- To be removed / demolished
- Existing tree to be retained
- Existing tree to be removed



<p>1. General notes to be read in conjunction with this plan.</p> <p>2. All work to be done in accordance with the Australian Standard AS/NZS 4455.1:2003.</p> <p>3. All work to be done in accordance with the Australian Standard AS/NZS 4455.2:2003.</p> <p>4. All work to be done in accordance with the Australian Standard AS/NZS 4455.3:2003.</p>	<p>ecodesign Outdoor Living Specialists</p> <p>10/100 Greenway, Sydney NSW 1585 Ph: 02 9550 1111 Fax: 02 9550 1112 Email: info@ecodesign.com.au www.ecodesign.com.au</p>	<p>LOT 1156 SYDNEY SMITH DRIVE, PENRITH</p>	<p>NEW RESIDENCE LANDSCAPE PLAN</p>	
<p>1. All work to be done in accordance with the Australian Standard AS/NZS 4455.1:2003.</p> <p>2. All work to be done in accordance with the Australian Standard AS/NZS 4455.2:2003.</p> <p>3. All work to be done in accordance with the Australian Standard AS/NZS 4455.3:2003.</p>	<p>FIRSTYLE HOMES</p>	<p>1:100 @ A3 DA L-02</p>	<p>RS MD 16-11-12 D</p>	

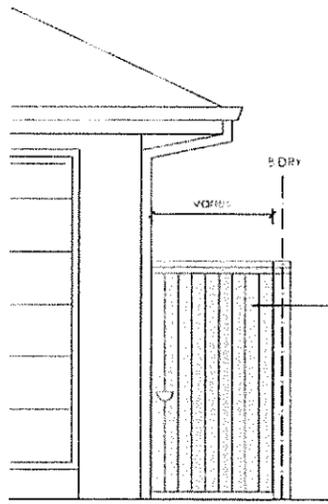


5 FENCE TYPE 1b - Front Fence  
1:50 Typical detail



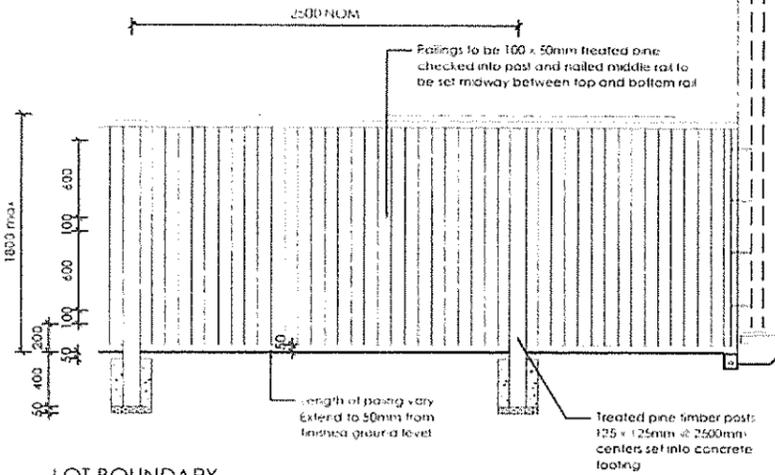
6 FENCE TYPE 1c - Side Boundary Front Setback  
1:50 Typical detail

1. FORMED TO CLIENT'S REQUIREMENTS 2. SUBMITTED TO CLIENT FOR COMMENTS 3. ADDITIONAL DETAILED FOR NEWLY DEVELOPED 4. ANY CHANGES TO BE MADE TO THIS PLAN		DATE 15/10/12 17/10/12 05/11/12 14/11/12		1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S REQUIREMENTS. 2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S REQUIREMENTS. 3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S REQUIREMENTS. 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL GOVERNMENT'S REQUIREMENTS.	LOT 1156 SYDNEY SMITH DRIVE, PENRITH  FIRSTYLE HOMES	NEW RESIDENCE LANDSCAPE PLAN 1:100 @ A3 DA 16/11/12	
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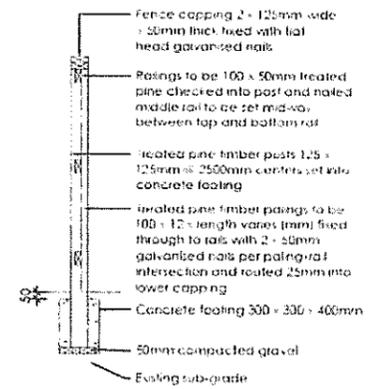


Gate - painted treated pine gate Colour Monument

**Note**  
All gates and boundary side fencing that can be seen from the street must be painted in Colour Monument. Where fence is only between the lots and not seen from the street it can be left natural.

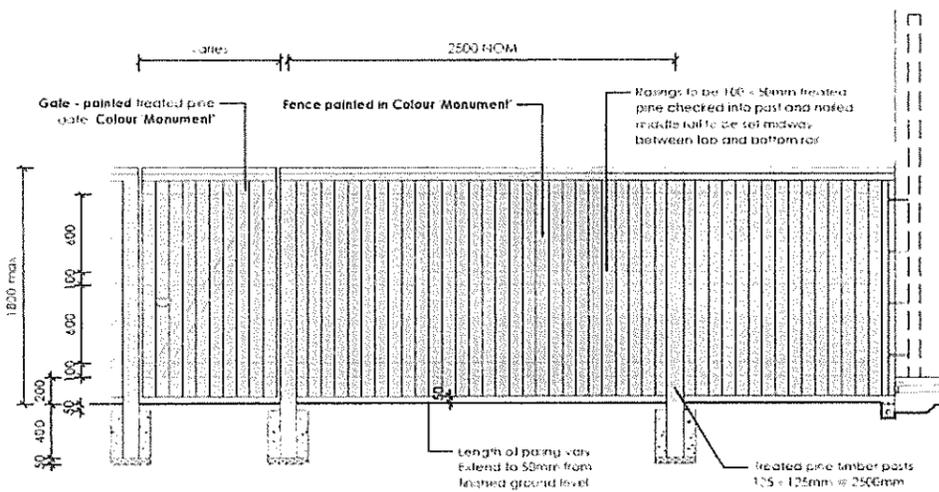


LOT BOUNDARY

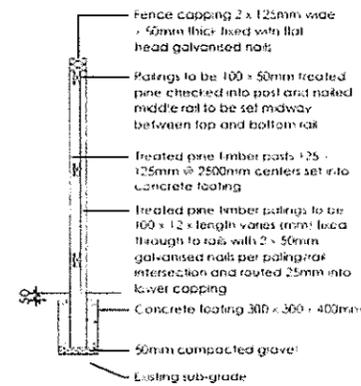


SECTION

**7 FENCE TYPE 4a - Side Boundaries**  
1:50 Typical detail



ELEVATION



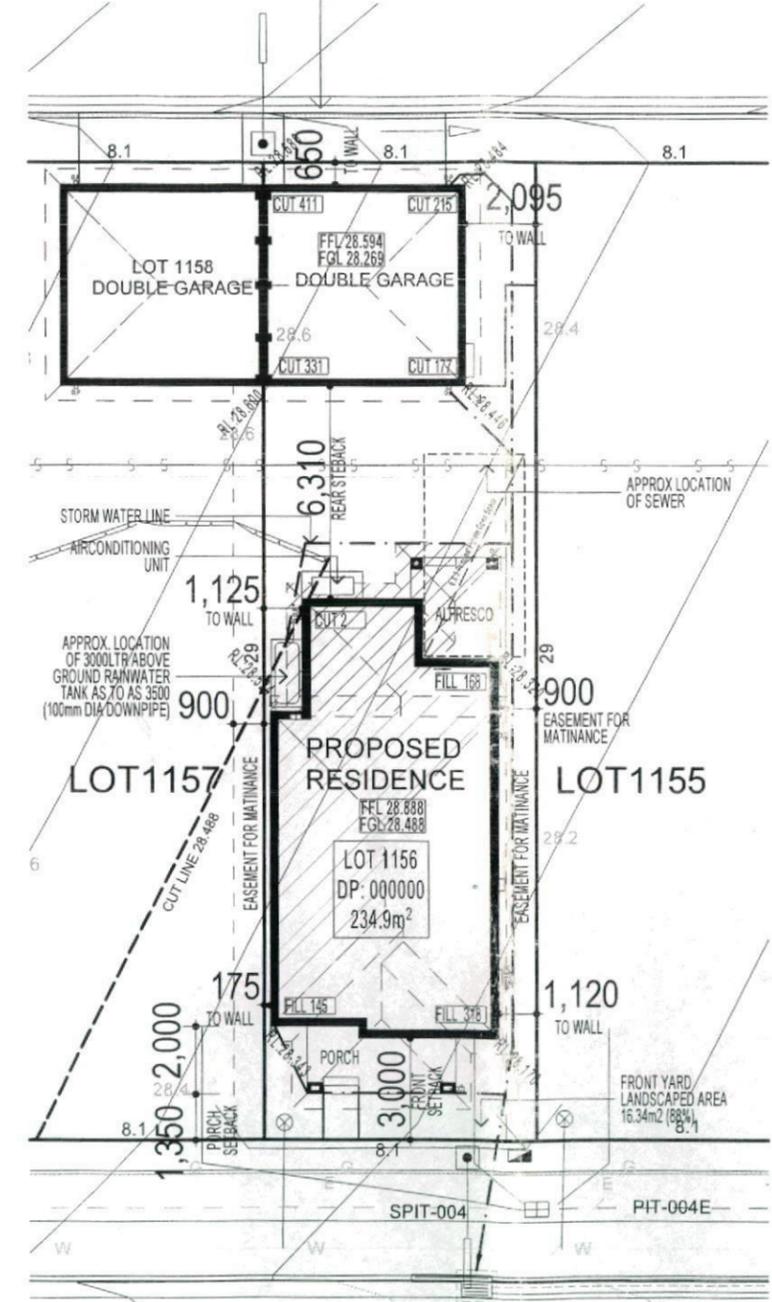
SECTION

**8 FENCE TYPE 4b - Rear Boundary**  
1:50 All Laneways (except Barlett Lane)  
Typical detail

1. LANDSCAPE ARCHITECTURE CONSULTANT 2. LANDSCAPE ARCHITECTURE CONSULTANT 3. LANDSCAPE ARCHITECTURE CONSULTANT 4. LANDSCAPE ARCHITECTURE CONSULTANT	RS	MD	16-11-12		LOT 1156 SYDNEY SMITH DRIVE, PENRITH  FIRSTYLE HOMES	NEW RESIDENCE			
	RS	MD	16-11-12			LANDSCAPE PLAN			
5. LANDSCAPE ARCHITECTURE CONSULTANT 6. LANDSCAPE ARCHITECTURE CONSULTANT 7. LANDSCAPE ARCHITECTURE CONSULTANT 8. LANDSCAPE ARCHITECTURE CONSULTANT	RS	MD	16-11-12	9. LANDSCAPE ARCHITECTURE CONSULTANT 10. LANDSCAPE ARCHITECTURE CONSULTANT 11. LANDSCAPE ARCHITECTURE CONSULTANT 12. LANDSCAPE ARCHITECTURE CONSULTANT	13. LANDSCAPE ARCHITECTURE CONSULTANT 14. LANDSCAPE ARCHITECTURE CONSULTANT 15. LANDSCAPE ARCHITECTURE CONSULTANT 16. LANDSCAPE ARCHITECTURE CONSULTANT	1:100 @ A3	DA	L-04	
17. LANDSCAPE ARCHITECTURE CONSULTANT 18. LANDSCAPE ARCHITECTURE CONSULTANT 19. LANDSCAPE ARCHITECTURE CONSULTANT 20. LANDSCAPE ARCHITECTURE CONSULTANT	RS	MD	16-11-12	21. LANDSCAPE ARCHITECTURE CONSULTANT 22. LANDSCAPE ARCHITECTURE CONSULTANT 23. LANDSCAPE ARCHITECTURE CONSULTANT 24. LANDSCAPE ARCHITECTURE CONSULTANT	25. LANDSCAPE ARCHITECTURE CONSULTANT 26. LANDSCAPE ARCHITECTURE CONSULTANT 27. LANDSCAPE ARCHITECTURE CONSULTANT 28. LANDSCAPE ARCHITECTURE CONSULTANT	RS	MD	16-11-12	



**NOTE:**  
FINAL GARAGE LEVELS SUBJECT TO  
FINAL KERB LEVELS.



SYDNEY SMITH DRIVE

**SITE PLAN & STORMWATER CONCEPT PLAN**

This plan/document relates to:  
Development Application  
No: 121258  
*(COUNCIL DOES NOT ATTEND TO THE ACCURACY OF DETAILS IN PLANS)*

**3 - PHASE POWER**  
**NOTE**  
**AIR CONDITIONING ONLY**  
**(EER 2.5-3.0 OR GREATER)**  
**3-PHASE POWER**

**BASIX**

- = 55.65m<sup>2</sup> of roof area to discharge to water tank.
- = stormwater and overflow to discharge to existing street channel.
- o/a= 158.52m<sup>2</sup> of roof area.

**LEGEND:**

- ⊗ = SURFACE INLETS AS REQUIRED
- = SURFACE INLETS LINE
- - - = STORMWATER LINE

**EARTHWORKS TO AHD**

HOUSE:	FFL: R.L: 28.888 A.H.D
(LIVING)	FGL: R.L: 28.488 A.H.D
GARAGE:	FFL: R.L: 28.594 A.H.D
	FGL: R.L: 28.269 A.H.D

**NOTE:**  
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

**GENERAL DRAINAGE NOTES**

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
  2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min)
  3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
  4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
  5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:  
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:**  
EAVES O/H TO ENCR OACH AS ALLOWED BY B.C.A. CL3.7.1.7 & FIGURE 3.7.1.9

**NOTE:**  
ACOUSTIC SEALS REQUIRED ON ALL BEDROOM WINDOWS AND DOORS FACING SYDNEY SMITH DRIVE. IN ACCORDANCE WITH ACOUSTIC LOGIC'S ACOUSTIC REPORT. REF No.20120708.1/1508A/RO/HP

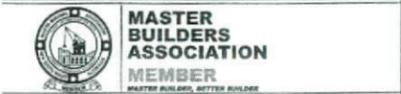
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**DEVELOPMENT CALCULATIONS**

LOT: 1156 SITE AREA: 234.9m<sup>2</sup>

Itemised Floor Areas:	Totals:
living ground floor:	80.73m <sup>2</sup>
first floor: (excl. void 3.79m <sup>2</sup> )	61.35m <sup>2</sup>
garage: (excess 00.000m <sup>2</sup> )	36m <sup>2</sup>
alfresco:	7.91m <sup>2</sup>
porch:	7.83m <sup>2</sup>
balcony:	6.44m <sup>2</sup>
total floor area:	200.26m <sup>2</sup>

**FLOOR SPACE RATIO CALCULATION:**

gross floor areas:	Totals:
living ground floor: (internal area)	71.05m <sup>2</sup>
first floor excl. void: (internal area)	53.34m <sup>2</sup>
total gross floor area:	124.39m <sup>2</sup>
floor space ratio:	53:1

**SITE AREA COVERAGE/LANDSCAPE:**

house ground floor:	80.73m <sup>2</sup>
garage:	36m <sup>2</sup>
porch/alfresco:	15.74m <sup>2</sup>
driveway/paved area:	17.19m <sup>2</sup>
site coverage Area:	132.47m <sup>2</sup> (56.4%)
landscape area:	102.43m <sup>2</sup> (43.6%)
pervious areas (soft)	86m <sup>2</sup> (84%)
impervious areas (hard)	16.55m <sup>2</sup> (16%)
front yard landscape area	16.23m <sup>2</sup> (88%)
front yard hard paved area	2.22m <sup>2</sup> (12%)
private open space o/a:	50.22m <sup>2</sup>
principal private open space:	18m <sup>2</sup>
total car space incl. carstand:	2 carspace

**COUNCIL ZONE: R1**

PROMOTION:  
**LIVING/STYLE COLLECTION**

CLIENT:  
**FIRSTSTYLE HOMES**

LOCATION:  
LOT 1156  
SYDNEY SMITH DRIVE  
PENRITH NSW 2750

DP-LOT 1156 in Unregistered plan of subdivision by Council  
Craig & Rhodes Ref: 72-10-1.1 being part Lot 11 DP1150973

model:	facade:	date:	publication:
CHESTER 21	AUGUSTINE	21/11/2012	SK1
Sheet:	drawn:	checked:	
1 of 09	N.K	P.D	
scale:	1:200		

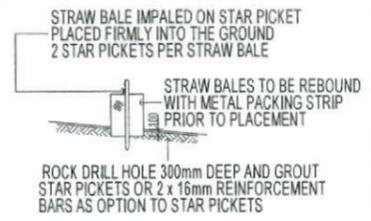
410A-12

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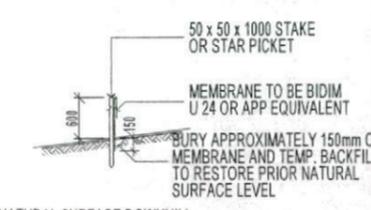
This plan/document relates to Development Application No. 121258

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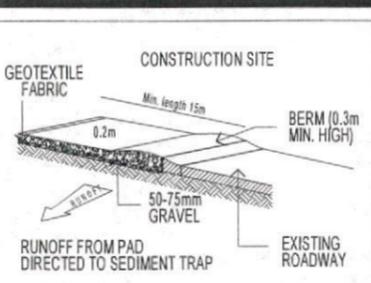
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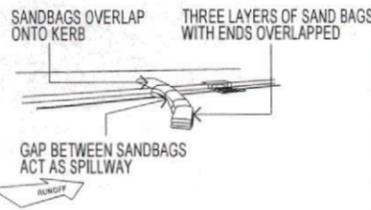
**STRAW BALE BARRIER (TYPICAL SECTION)**



**SILT FENCING DETAIL**



**TEMPORARY CONSTRUCTION EXIT**



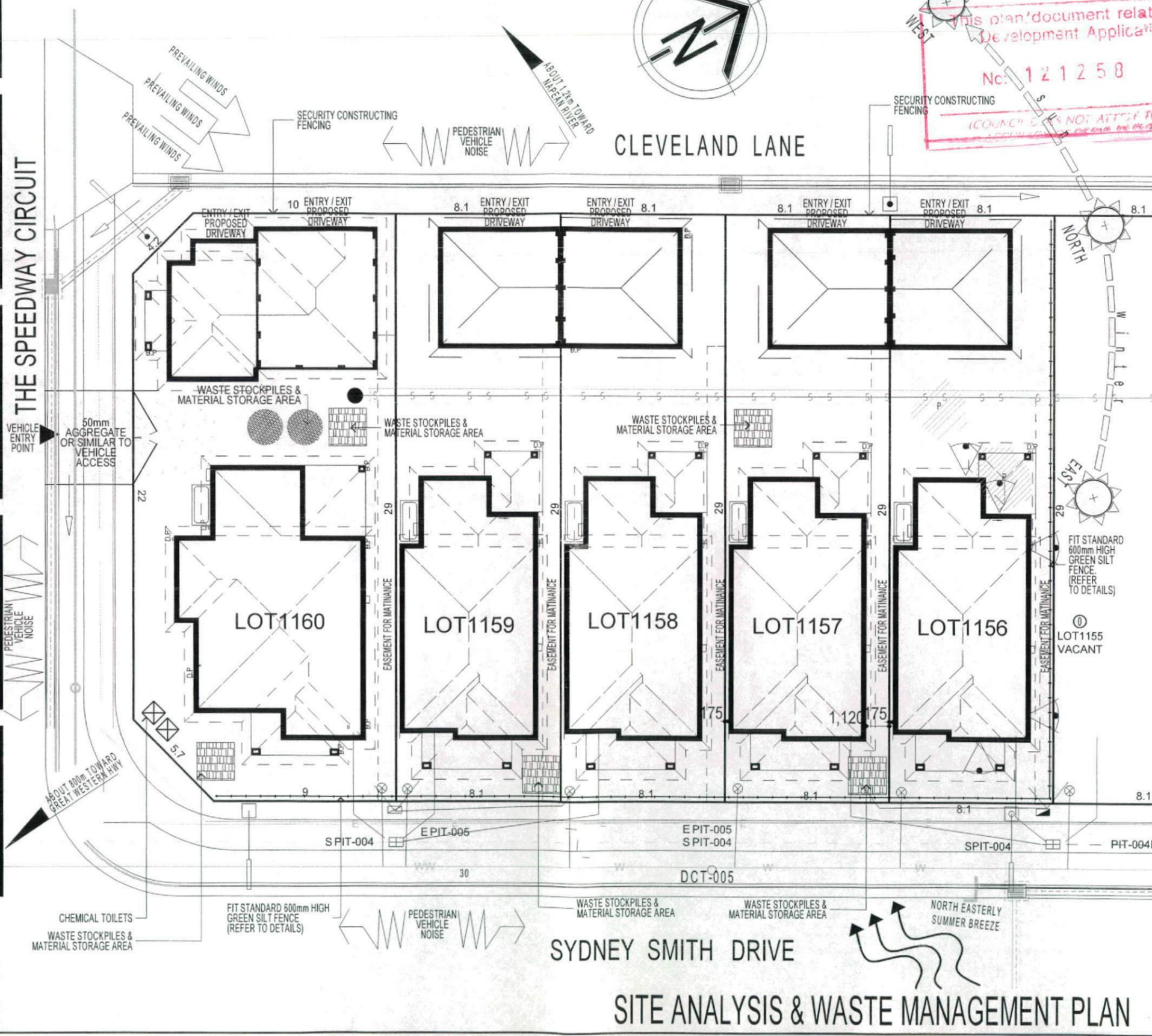
**SANDBAG KERB INLET SEDIMENTATION TRAP**

**DUST CONTROL MEASURES:**  
 IF THE SITE BECOMES DUSTY DURING HOTTER MONTHS (CLIENT) WILL SPRINKLE WATER ON THE DUST  
 ANY AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY VEHICLES TO REDUCE & PROVIDE AN AREA TO WASH TRUCKS OFF (IF REQUIRED)

**NOISE & VIBRATION MEASURES:**  
 ALL EXCAVATION WILL BE CARRIED OUT BETWEEN THE TIME SETOUT IN THE COUNCIL CONDITIONS

**MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIRED FOR THE JOB**

**NOTE:**  
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KEY	
	SOLAR ACCESS
	NUMBER OF STOREYS
	PREVAILING WINDS
	EXISTING TREES
	TREES TO BE REMOVED
	DIRECTION & DISTANCES
	NOISE
	VEHICULAR SITE ENTRY
	HWS
	VIEWS
	PRIVATE OPEN SPACE
	OVERLOOKING
	RAINWATER TANK (Underground)
	A/C UNIT (if required)

PROMOTION:  
**LIVING/STYLE COLLECTION**

CLIENT:  
**FIRSTYLE HOMES**

LOCATION:  
 LOT 1156  
 SYDNEY SMITH DRIVE  
 PENRITH NSW 2750

DP-101 1156 in Unregistered plan of subdivision by Council:  
 Craig & Rhodes Ref: 72-10-1.1 being part of Lot 11156/15073

model: CHESTER 21  
 facade: AUGUSTINE  
 date: 21/11/2012  
 SK1

Sheet: 2 of 09  
 scale: 1:200

410A-12

**SITE ANALYSIS & WASTE MANAGEMENT PLAN**

**KEY**

-  FACE BRICK (AS SELECTED)
-  MAROKA TEXTURE FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  WEATHEREX CLADDING PAINTED FINISH (AS SELECTED)

**FIRSTYLE HOMES**

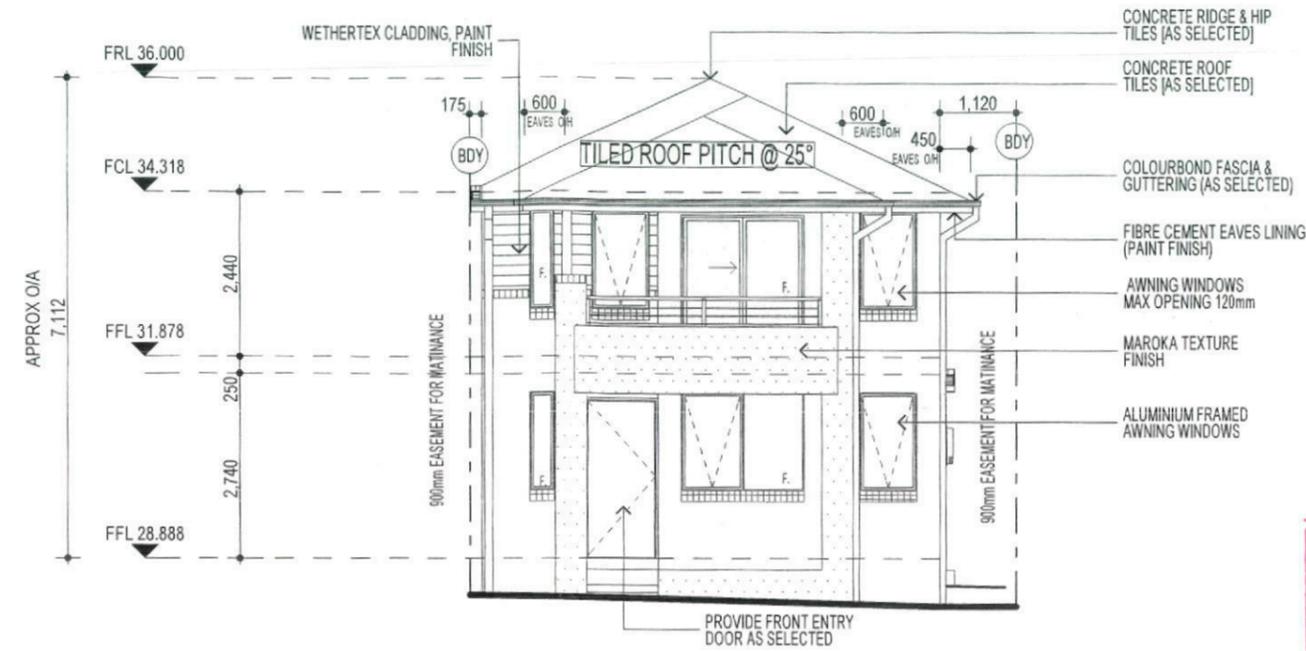
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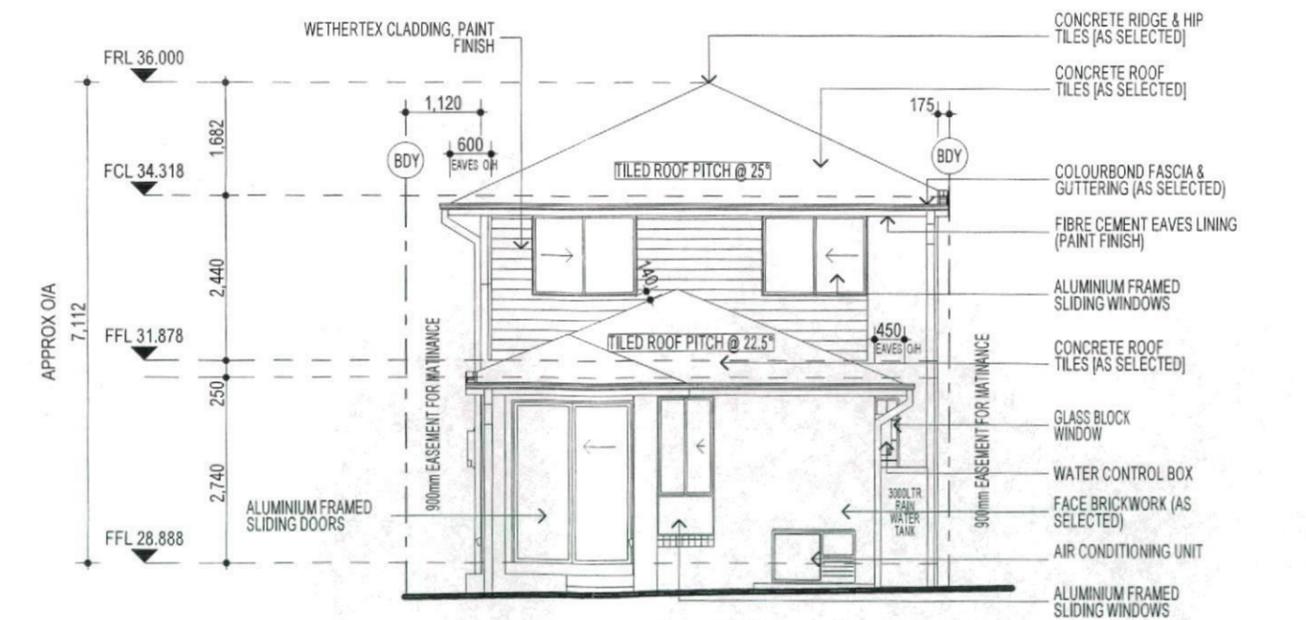
**MASTER BUILDERS ASSOCIATION**  
 MEMBER

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**ELEVATION A**

This plan/document relates to:  
 Development Application  
 No: 121258  
 (COUNCIL DOES NOT ATTEND TO THE ACCURACY OF DETAIL IN PLANS)



**ELEVATION C**

**3 - PHASE POWER**

**NOTE**  
 AIR CONDITIONING ONLY  
 (EER 2.5-3.0 OR GREATER)  
 3-PHASE POWER

**NOTE:**  
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PROMOTION:  
*LIVING/STYLE COLLECTION*

CLIENT:  
**FIRSTYLE HOMES**

LOCATION:  
LOT 1156  
SYDNEY SMITH DRIVE  
PENRITH NSW 2750

DP-101 1156 in Unregistered plan of subdivision by Craig & Rhodes Ref: 72-10-1.1 being part Lot 11 NP 1150973		council:	PENRITH
model:	locade:	date:	21/11/2012
CHESTER 21	AUGUSTINE	sheet:	SK1
6 of 09	scale: 1:100	drawn:	N.K.
		checked:	P.D.

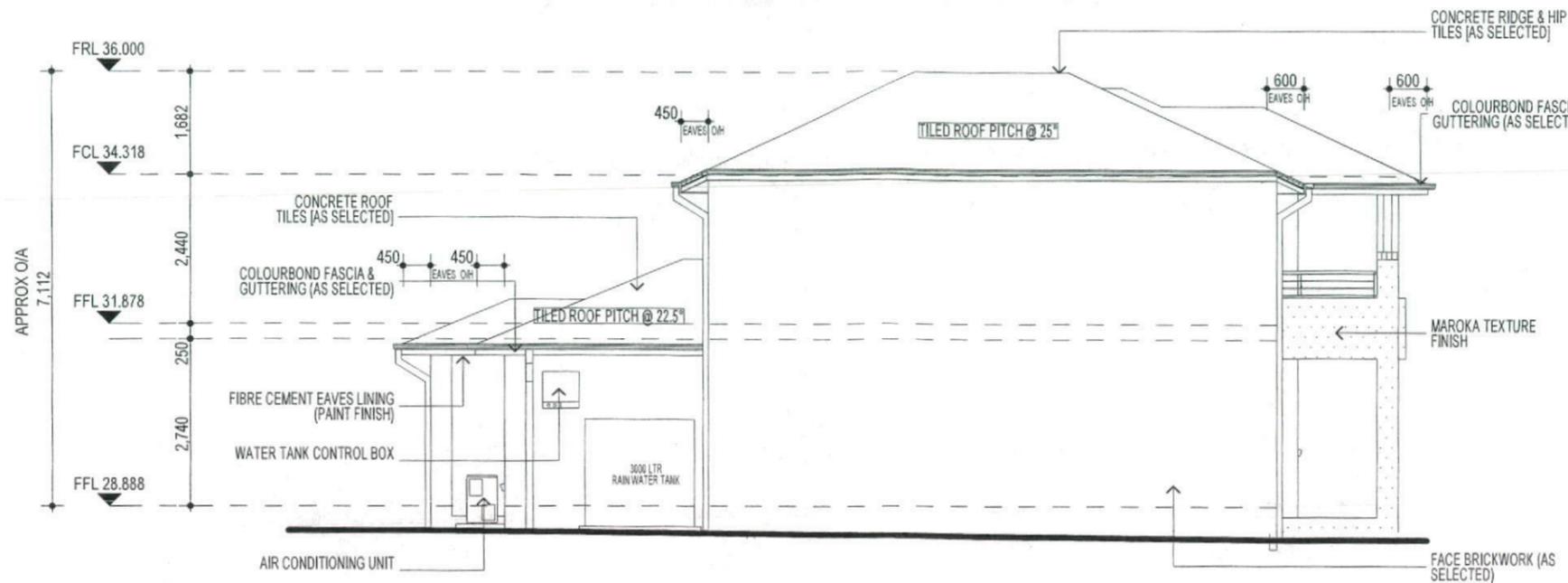
410A-12

CLIENTS SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ SP. 03

ELEVATIONS

**KEY**

-  FACE BRICK (AS SELECTED)
-  MAROKA TEXTURE FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  WEATHEREX CLADDING PAINTED FINISH (AS SELECTED)



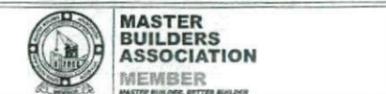
**ELEVATION B**



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**ELEVATION D**

This plan/document relates to:  
 Development Application  
 No: 121258  
 (COUNCIL DOES NOT ATTEND TO THE ACCURACY OF THE PLAN)

**3 - PHASE POWER**

**NOTE**  
 AIR CONDITIONING ONLY  
 (EER 2.5-3.0 OR GREATER)  
 3-PHASE POWER

**NOTE:**  
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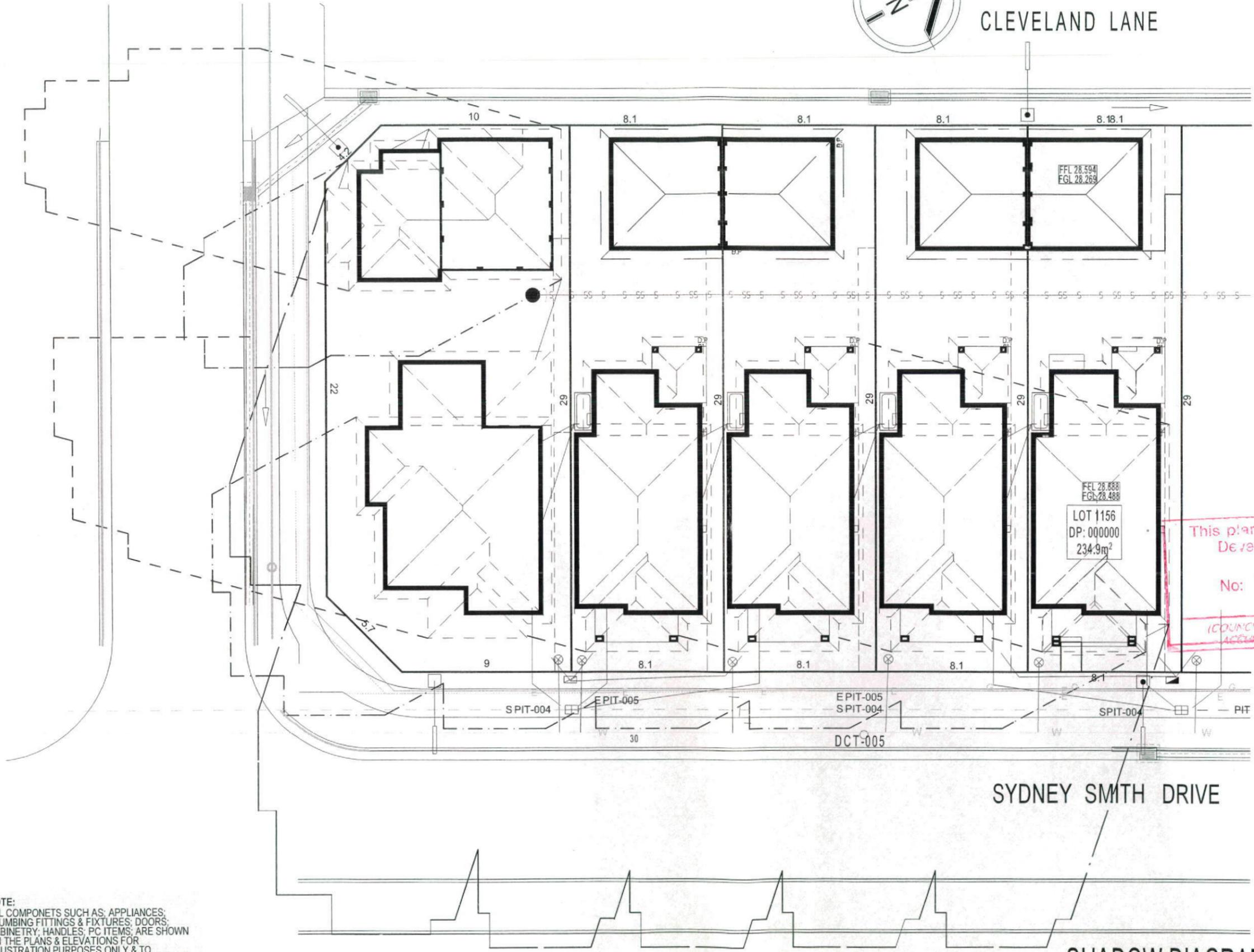
PROMOTION: <b>LIVING/STYLE COLLECTION</b>			
CLIENT: <b>FIRSTSTYLE HOMES</b>			
LOCATION: LOT 1156 SYDNEY SMITH DRIVE PENRITH NSW 2750			
DP-101 1156 in Unregistered plan of subdivision by Craig & Rhodes Ref: 72-10-1.1 being part Lot 11 TRP 1150973		council: <b>PENRITH</b>	
model: <b>CHESTER 21</b>	facade: <b>AUGUSTINE</b>	date: <b>21/11/2012</b>	approval: <b>SK1</b>
Sheet: <b>7 of 09</b>	drawn: <b>N.K</b>	checked: <b>P.D</b>	scale: <b>1:100</b>
			410A-12
CLIENTS SIGNATURE		DATE	

**ELEVATIONS**

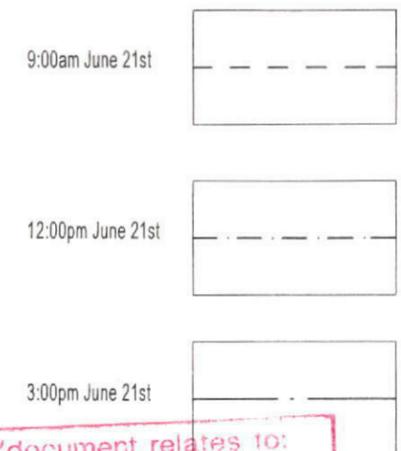
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CLEVELAND LANE



**SHADOW DIAGRAM**



This plan/document relates to:  
 Development Application  
 No: 121258

(COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAIL IN PLANS)

**NOTE:**  
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PROMOTION:  
 LIVING/STYLE COLLECTION

CLIENT:  
 FIRSTSTYLE HOMES

LOCATION:  
 LOT 1156  
 SYDNEY SMITH DRIVE  
 PENRITH NSW 2750

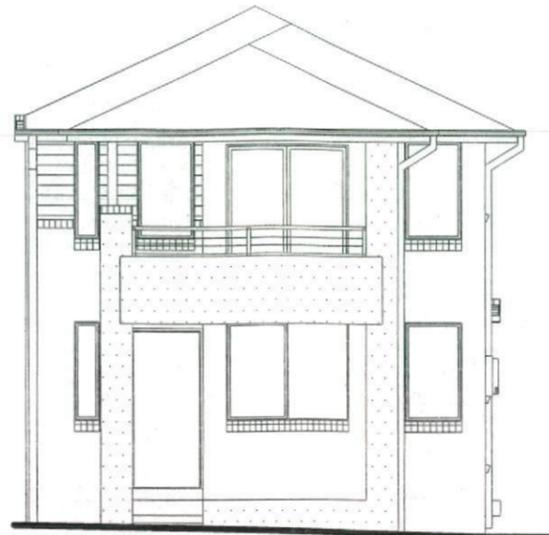
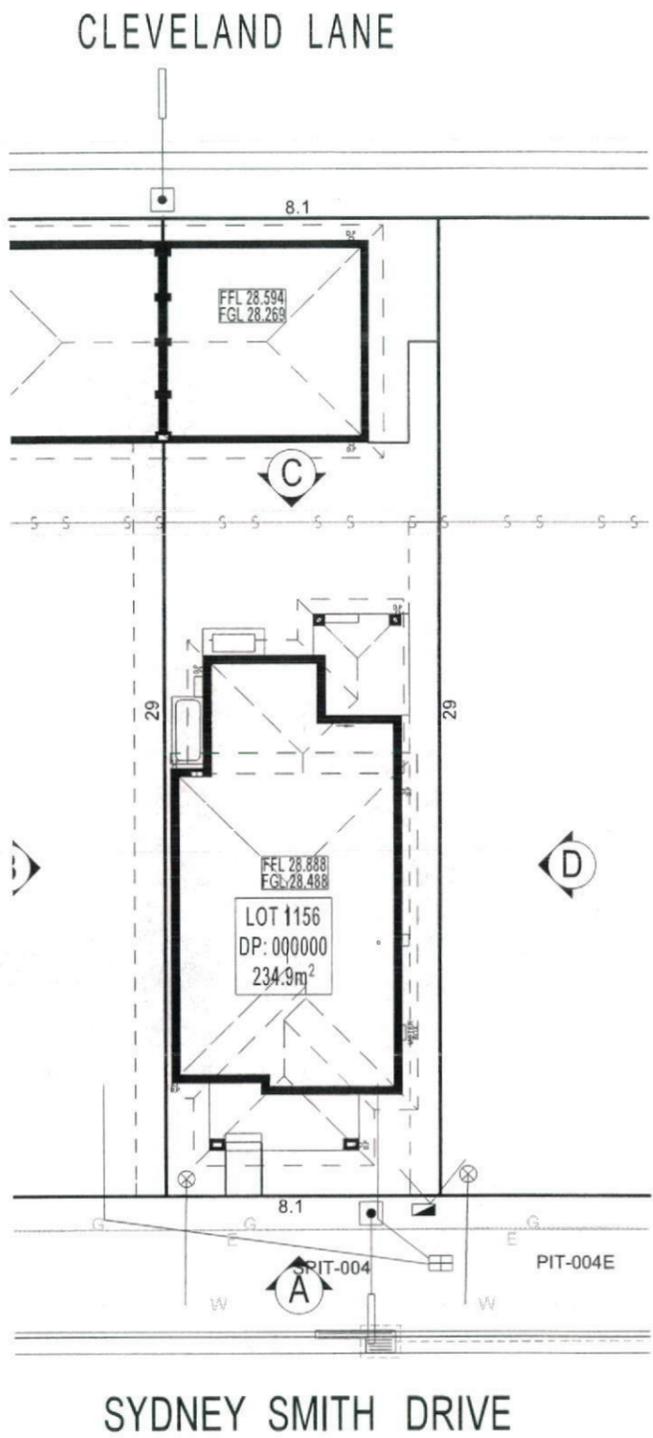
DP-101 1156 in Unregistered plan of subdivision by Craig & Rhodes Ref: 72-10-1.1 being part Lot 11 of RP1150973		council:	PENRITH
model:	facade:	date:	21/11/2012
CHESTER 21	AUGUSTINE	SK1	
Sheet:	drawn:	checked:	
09 of 09	N.K.	P.D.	
scale:	1:200		
CLIENTS SIGNATURE		DATE	S.P._001

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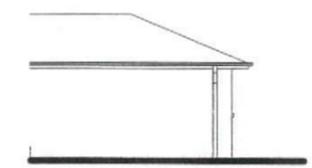
**SHADOW DIAGRAM**

410A-12

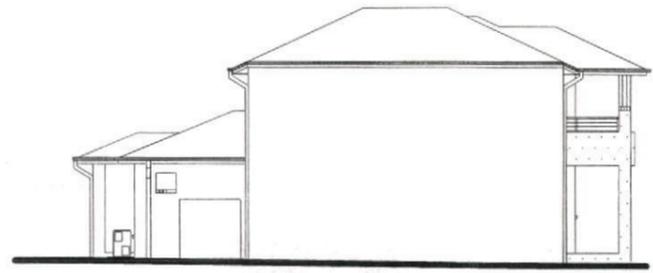
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ELEVATION A



GARAGE ELEVATION A



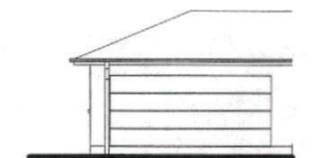
ELEVATION B



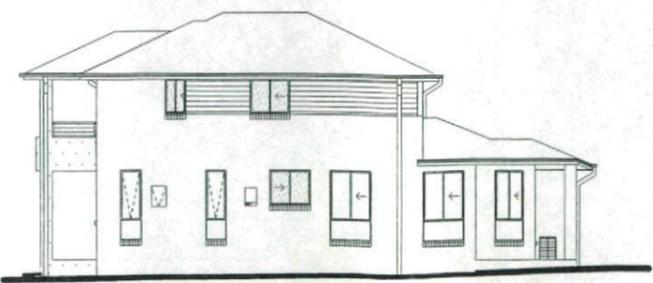
GARAGE ELEVATION B



ELEVATION C



GARAGE ELEVATION C



ELEVATION D



GARAGE ELEVATION D

This plan/document relates to:  
 Development Application  
 No: 121258

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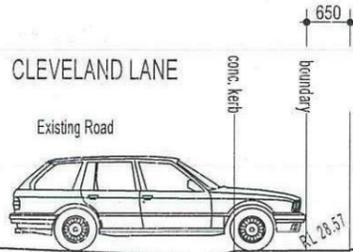
PROMOTION: <b>LIVING/STYLE COLLECTION</b>	
CLIENT: <b>FIRSTSTYLE HOMES</b>	
LOCATION: LOT 1156 SYDNEY SMITH DRIVE PENRITH NSW 2750	
DP: 101 1156 in Unregistered plan of subdivision by Craig & Rhodes Ref. 72-10-1 being part Lot 11 RP1159073	council: PENRITH
model: CHESTER 21	date: 21/11/2012
facade: AUGUSTINE	revision/attachment: SK1
drawn: N.K	checked: P.D
scale: 1:200, 1:100	<b>410A-12</b>
CLIENTS SIGNATURE	DATE

**NOTIFICATION PLAN**

ASPECT DEVELOPMENT & SURVEY PTY LTD  
CONSULTING REGISTERED SURVEYORS  
ABN 60 078 649 000

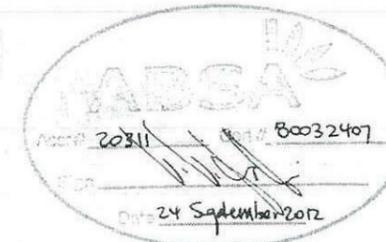
SUITE 1  
103 VANESSA STREET  
KINGSGROVE NSW 2208  
PHONE (02) 9551 8388  
FAX (02) 9554 8588

PO BOX 161  
KINGSGROVE NSW 1480  
DX 11392  
HURSTVILLE



NOTE:  
DRIVEWAY DESIGN IN ACCORDANCE  
WITH AS/NZS 2890.1:2004 WITH  
COUNCIL DCP GUIDELINE  
SIGN: *[Signature]* DATE: 21.06.13

NOTE:  
FINAL GARAGE LEVELS TO BE  
DETERMINED ON SITE



**FIRSTYLE HOMES**

FIRSTYLE HOMES Pty Ltd  
ic No. 113412C  
CN. 887 773 779  
O BOX 171, HOXTON PARK 2171

ADMIN: (02) 9601 0111  
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**BASIX**

= 55.65m<sup>2</sup> of roof area to discharge to water tank.  
= stormwater and overflow to discharge to existing street channel.

o/a = 158.52m<sup>2</sup> of roof area.

**LEGEND:**

- = SURFACE INLETS AS REQUIRED
- = SURFACE INLETS LINE
- = STORMWATER LINE

**EARTHWORKS TO AHD**

HOUSE: FFL: R.L.: 28.725 A.H.D.  
(LIVING) FGL: R.L.: 28.400 A.H.D.

GARAGE: FFL: R.L.: 28.620 A.H.D.  
FGL: R.L.: 28.295 A.H.D.

NOTE:  
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

**GENERAL DRAINAGE NOTES**

- Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
- Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) TO AS 3500
- Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
- ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D.
- Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.

note:  
r.l. levels indicative to a building tolerance of +/- 90mm.

NOTE:  
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A. CL3.7.1.7 & FIGURE 3.7.1.9

(AA) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE (DP1184391)

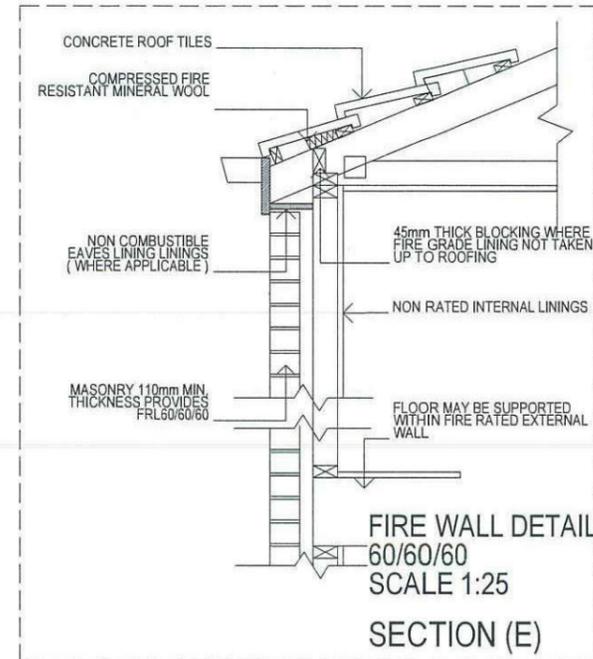
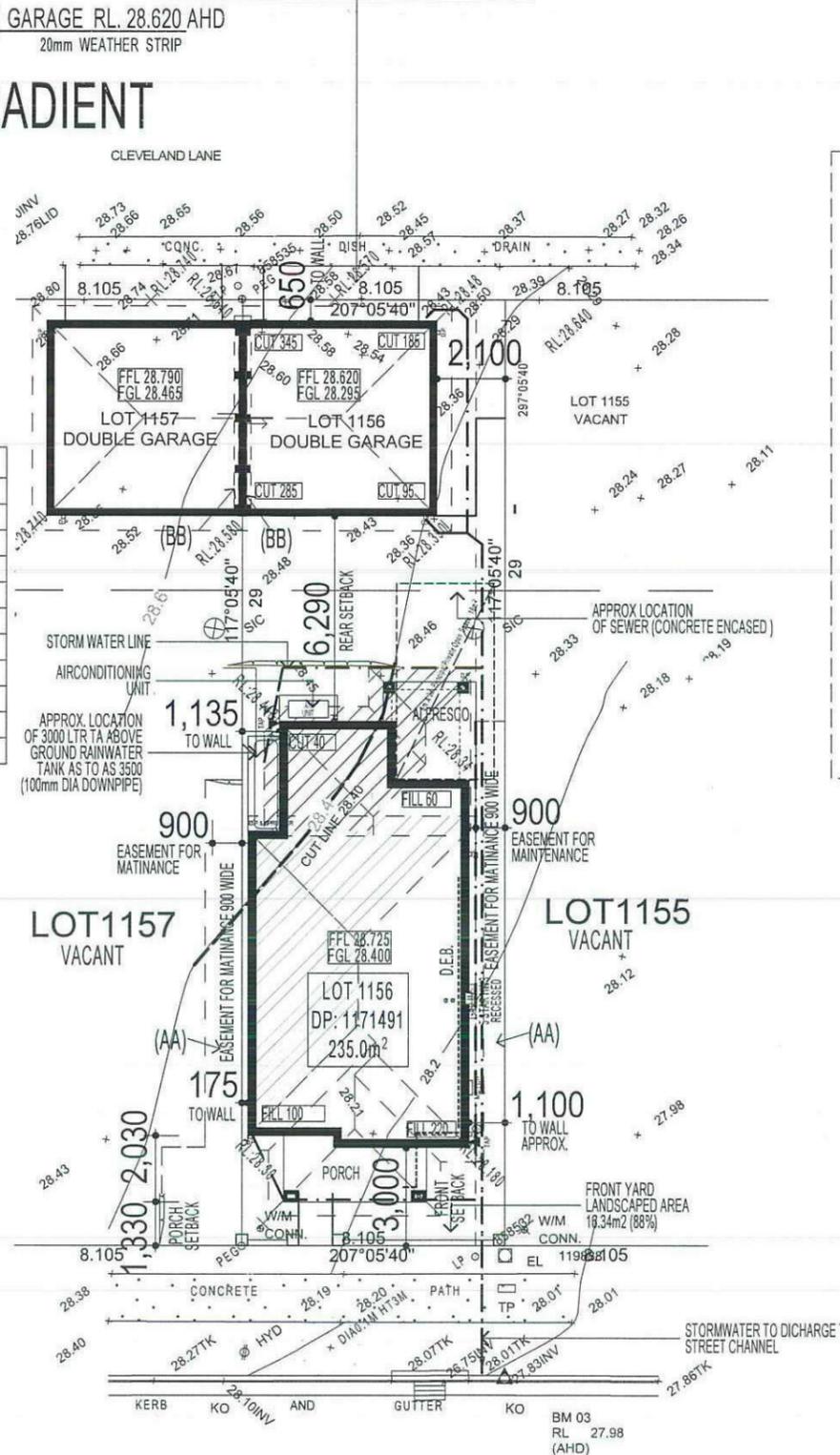
(BB) EASEMENT FOR SUPPORT 0.25 WIDE (DP1184391)

**SYMBOLS & ABBREVIATIONS:**

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
Φ	HYD HYDRANT	-S-	SEWER LINE
SIP	SURFACE INLET PIT	GM	GAS METER
○	SIC SEWER INSPECTION COVER	LP	LIGHT POLE
○	SMH SEWER MANHOLE	EC	ELECTRICITY CONDUIT
□	WIM WATER METER	ECT	ELEC & TELE CONDUIT
□	EL ELECTRICITY BOX	TC	TELECOM CONDUIT
□	TP TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
□	SWMH STORMWATER MANHOLE	TK	TOP OF KERB

**LOCALITY SKETCH**

UBD AREA: SYD REVISION: 48  
MAP: 163 REF: K7  
GPS  
E



**DEVELOPMENT CALCULATIONS**

LOT: 1156 SITE AREA: 235.0m<sup>2</sup>

Itemised Floor Areas:	Totals:
living ground floor:	80.73m <sup>2</sup>
first floor: (excl. void 3.79m <sup>2</sup> )	61.35m <sup>2</sup>
garage: (excess 00.000m <sup>2</sup> )	36m <sup>2</sup>
alfresco:	7.91m <sup>2</sup>
porch:	7.83m <sup>2</sup>
balcony:	6.44m <sup>2</sup>
<b>total floor area:</b>	<b>200.26m<sup>2</sup></b>

**FLOOR SPACE RATIO CALCULATION:**

gross floor areas:	Totals:
living ground floor: (internal area)	71.05m <sup>2</sup>
first floor excl. void: (internal area)	53.34m <sup>2</sup>
<b>total gross floor area:</b>	<b>124.39m<sup>2</sup></b>
floor space ratio:	0.53:1

**SITE AREA COVERAGE/LANDSCAPE:**

house ground floor:	80.73m <sup>2</sup>
garage:	36m <sup>2</sup>
porch/alfresco:	15.74m <sup>2</sup>
driveway/paved area:	17.19m <sup>2</sup>
site coverage Area:	132.47m <sup>2</sup> (56.4%)
landscape area:	102.43m <sup>2</sup> (43.6%)
pervious areas (soft):	86m <sup>2</sup> (84%)
impervious areas (hard)	16.55m <sup>2</sup> (16%)
front yard landscape area	16.23m <sup>2</sup> (88%)
front yard hard paved area	2.22m <sup>2</sup> (12%)
private open space o/a:	50.22m <sup>2</sup>
principal private open space:	18m <sup>2</sup>
total car space incl. carstand:	2 carspace

**COUNCIL ZONE: R1**

PROMOTION:  
**LIVING/STYLE COLLECTION**

CLIENT:  
**M.HAYES & M.SLATER**

LOCATION:  
LOT 1156  
SYDNEY SMITH DRIVE  
PENRITH NSW 2750

DP: 1171491 council: PENRITH

model: CHESTER 21 facade: MILLENNIUM date: 26/06/2013 question document: QAZ

Sheet: drawn: N.K/GP checked: P.D. scale: 1:200 / 1:100

1 of 11

NOTE:  
PLEASE REFER TO ACOUSTIC LOGIC'S ACOUSTIC REPORT. REF No. 20120708.1/1508A/RO/HP - DATED: 15/8/2012 > FOR ADDITIONAL INFORMATION

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NOTE:  
PROVIDE GRANITGARD TERMITE TREATMENT

**SITE PLAN & STORMWATER CONCEPT PLAN**

NOTE:  
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: D DATED 19.11.12

**NBN PACK**

**3 - PHASE POWER**

NOTE  
AIR CONDITIONING ONLY  
(EER 2.5-3.0 OR GREATER)  
3-PHASE POWER

CLIENT'S SIGNATURE DATE: SP. 00.

- KEY**
- FACE BRICK (AS SELECTED)
  - MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
  - WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)



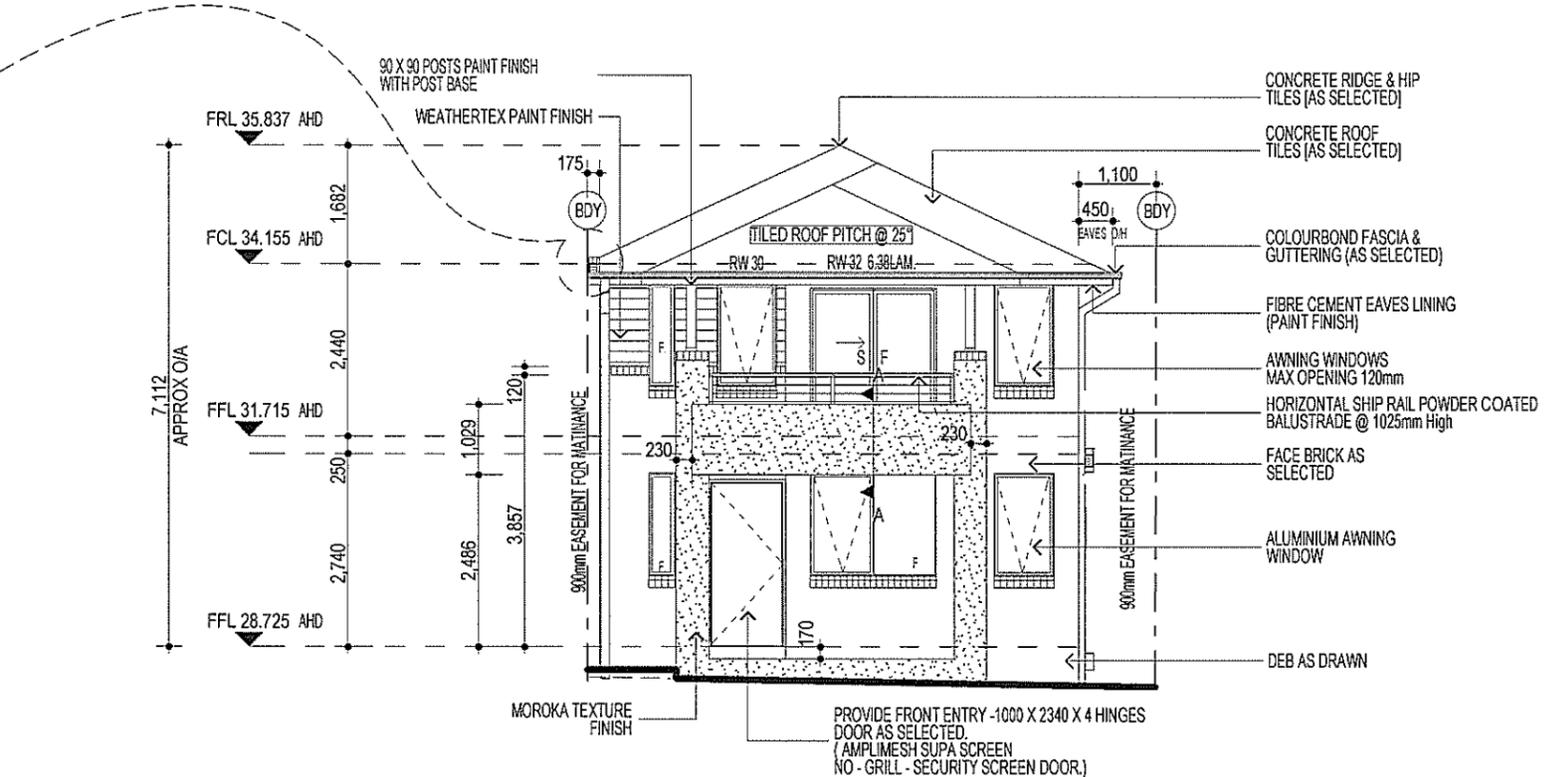
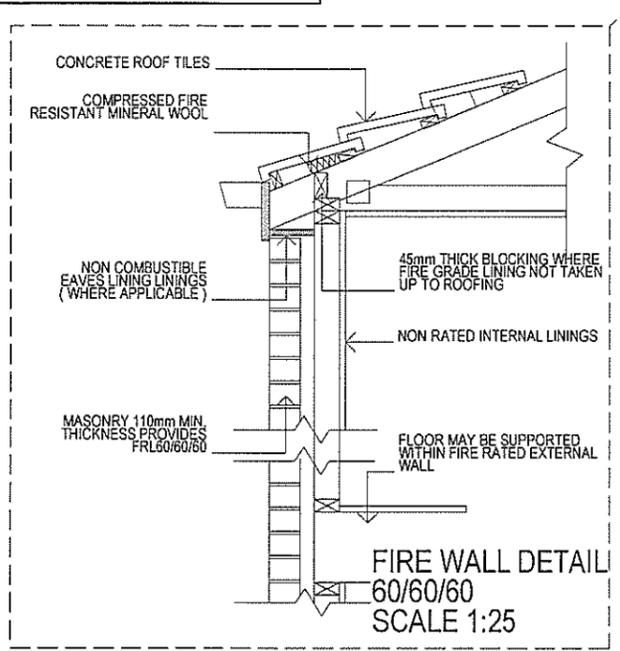
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 FAX: (02) 9601 0711  
 EMAIL: design@firststyle.com.au

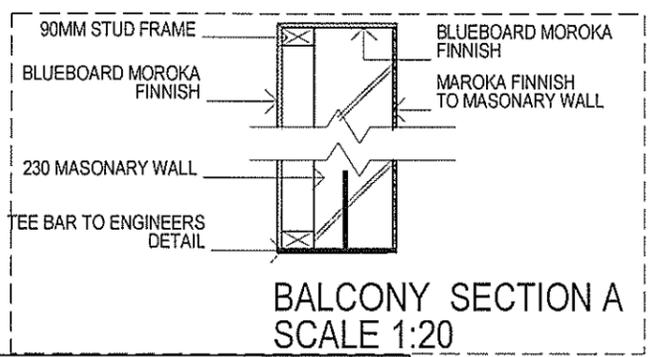
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**ELEVATION A**



**NOTE:**  
 FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

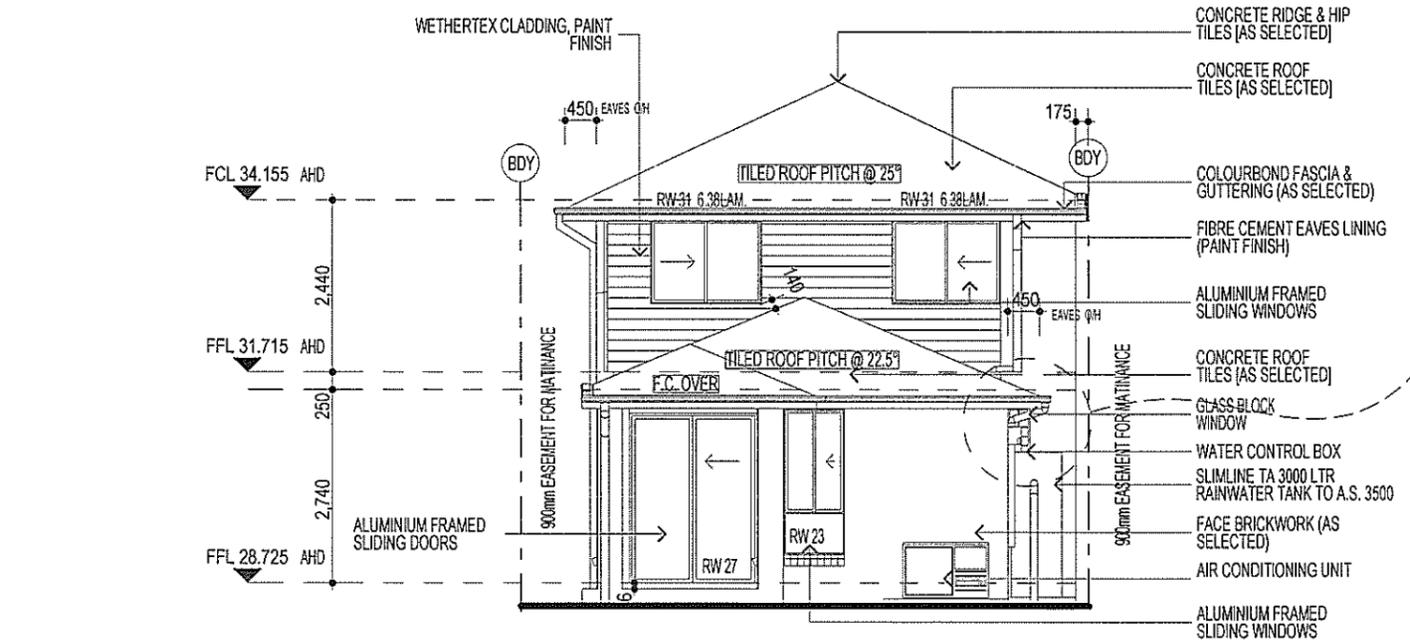
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**3 - PHASE POWER**

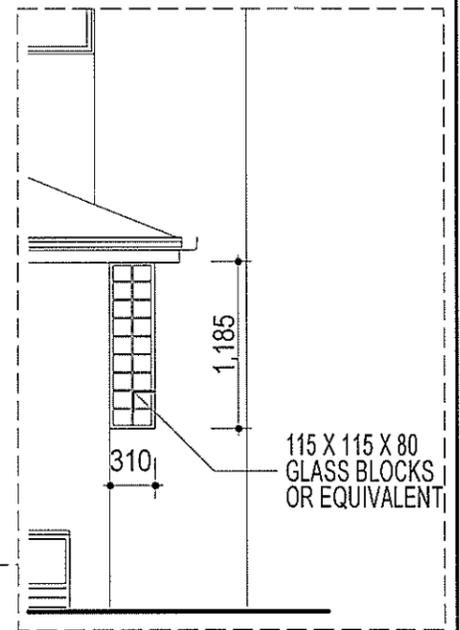
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**NOTE:**  
 PROVIDE GRANITGARD TERMITE TREATMENT



**ELEVATION C**



**ELEVATION C1**  
 SCALE 1:50

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PROMOTION:  
**LIVING/STYLE COLLECTION**

CLIENT:  
**M.HAYES & M.SLATER**

LOCATION:  
 LOT 1156  
 SYDNEY SMITH DRIVE  
 PENRITH NSW 2750

DP: 1171491	council: PENRITH
model: CHESTER 21	date: 1/07/2013
sheet: 5 of 11	checked: P.D.
drawn: N.K/GP	scale: 1:100
<b>410B-12</b>	

20311  
 80032407  
 24 September 2012

**ELEVATIONS**

**KEY**

- FACE BRICK (AS SELECTED)
- MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
- WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)



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 Lic No. 113412C  
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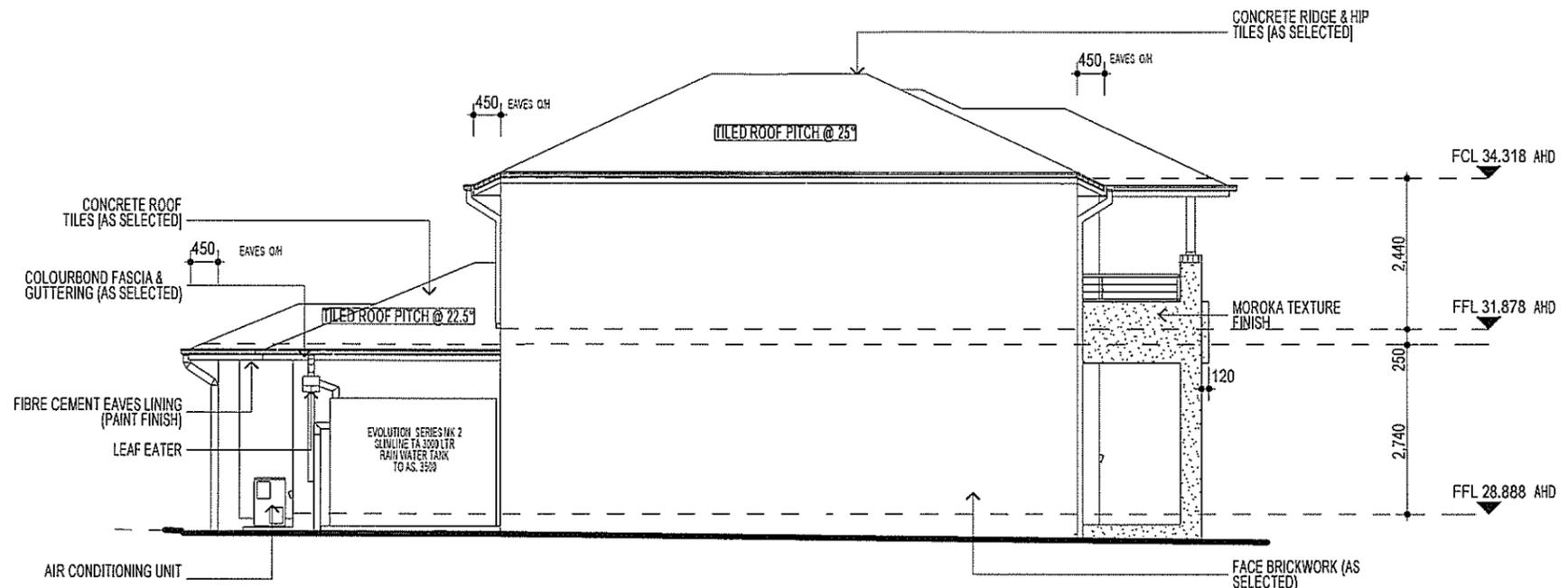
ADMIN: (02) 9691 0111  
 FAX: (02) 9691 0711  
 EMAIL: design@firststyle.com.au

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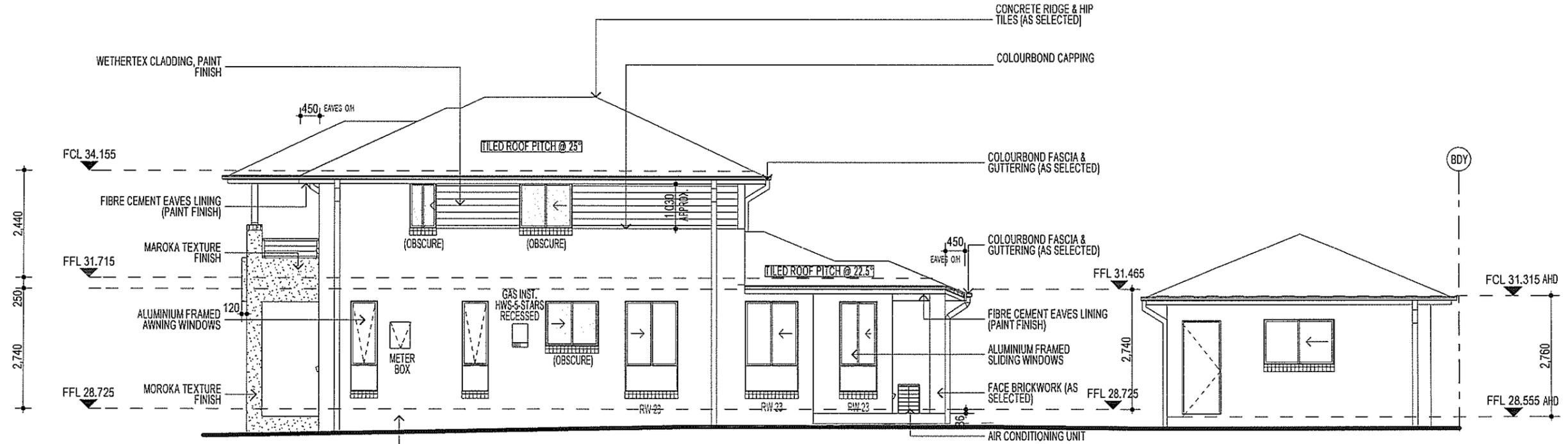


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**ELEVATION B**

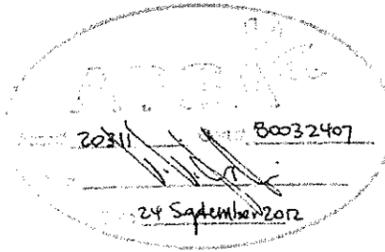


**ELEVATION D**

**NOTE:**  
 FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

**NOTE:**  
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

**NOTE:**  
 PROVIDE GRANITGARD TERMITE TREATMENT



**NBN PACK**

**3 - PHASE POWER**

**NOTE**  
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)  
 3-PHASE POWER

PROMOTION: <i>LIVING/STYLE COLLECTION</i>			
CLIENT: M.HAYES & M.SLATER			
LOCATION: LOT 1156 SYDNEY SMITH DRIVE PENRITH NSW 2750			
DP: 1171491	model: CHESTER 21	facade: MILLENNIUM	council: PENRITH
date: 26/06/2013	Sheet: 6 of 11	checked: N.K/GP P.D	scale: 1:100
PROJECT NO: <b>410B-12</b>			DATE: _____

**ELEVATIONS**



## GENERAL NOTES

**THIS DRAWING IS SIGNED SUBJECT TO CERTIFICATE OF INSPECTION ISSUED BY ENGINEER.**

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
- ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- ANY SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
- DURING CONSTRUCTION THE BUILDER SHALL MAINTAIN THE STRUCTURE IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARD CODES.
- SLAB & FOOTING DESIGN HAS BEEN BASED ON PRINCIPLES AS SET OUT IN AS2870 1996 'RESIDENTIAL SLABS & FOOTINGS'.
- PROVIDED THE SLAB IS CONSTRUCTED IN ACCORDANCE WITH THESE DETAILS, THE SLAB CAN BE CONSIDERED AS A MONOLITHIC TERMITE BARRIER IN ACCORDANCE WITH AS 3660. WHERE THE REQUIREMENTS OF AS 3660 CANNOT BE ACHIEVED, ADVICE FROM A LICENSED PEST CONTROL EXPERT SHALL BE OBTAINED & THE SUPERINTENDENT SHALL BE ADVISED OF ANY NECESSARY CHANGES RESULTING FROM SUCH ADVICE. PRIOR TO PROCEEDING WITH CONSTRUCTION, ADDITIONAL TERMITE TREATMENT IN ACCORDANCE WITH AS 3660 SHALL BE PROVIDED TO ALL CAVITIES, PENETRATIONS, JOINTS & CHASES AS REQUIRED.
- THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR PART, OR BE USED FOR ANY OTHER PROJECT OR PURPOSE, WITHOUT THE WRITTEN PERMISSION OF "SECTA CONSULTING ENGINEERS Pty Ltd" WITH WHOM THE COPYRIGHT RESIDES. WRITTEN CONSENT FROM "SECTA" FOR THE USE OF THESE PLANS MUST BE OBTAINED PRIOR TO ANY CHANGE OF PARTIES INCLUDING BUT NOT LIMITED TO OWNER, BUILDER & SUPERINTENDANT.

ENGINEERS DRAWINGS ARE SIGNED & ISSUED ON THE UNDERSTANDING THAT THE BUILDER MAINTAINS IN FORCE, PROPER AND ADEQUATE CONTRACT WORKS INSURANCE AND PUBLIC LIABILITY INSURANCE DURING THE FULL COURSE OF THE CONSTRUCTION, AND/OR ANY MAINTENANCE PERIOD. CLAIMS OF DAMAGE TO ANY ADJACENT PROPERTY OR BUILDING IS NOT THE RESPONSIBILITY OF THE ENGINEER.

## SITE PREPARATION & MAINTENANCE NOTES

- THE BUILDER SHALL ENSURE THAT THE OWNER'S ATTENTION IS DRAWN TO THE CSIRO'S "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE".
- STRIP TOP SOIL AND VEGETATION. BENCH SITE BY CUT & FILL TO REQUIRED LEVEL. FILL TO BE PLACED AS PER AS2870(6.4.2) AND IN LAYERS NOT EXCEEDING 150mm USING MULTIPLE PASSES OF EXCAVATOR. THE ACTUAL PREPARATION OF THE BUILDING PLATFORM IS NOT THE RESPONSIBILITY OF THE ENGINEER.
- THE SITE SHALL BE GRADED AND DRAINED SO THAT STORMWATER WILL BE DIRECTED AWAY FROM THE BUILDING PLATFORM.
- THE MINIMUM HEIGHT OF THE SLAB ABOVE FINISHED CONSTRUCTION LEVEL SHALL BE 300mm OR GREATER AS MAY BE REQUIRED BY COUNCIL.
- ALL EARTH DRAINS SHALL BE GRADED AT 1% (1 IN 100) MINIMUM. THE GROUND SHALL FALL AWAY FROM THE EARTH DRAIN AT 5% (1 IN 20) FOR THE FIRST METRE THEN AT 2.5% (1 IN 40). ANY VERTICAL OR NEAR VERTICAL PERMANENT EXCAVATION (CUT) DEEPER THAN 0.6 METRES.
- IN MATERIAL OTHER THAN ROCK SHALL BE ADEQUATELY RETAINED OR BATTERED AT A MINIMUM OF 3:1.
- WHERE CUT OR FILL BATTERS CANNOT BE PROVIDED THEY SHALL BE ADEQUATELY RETAINED.
- ALL SERVICE TRENCHES ARE TO BE LOCATED IN ACCORDANCE WITH THE DETAILS SHOWN ON DRAUGHTSMAN'S DRAWINGS.
- STORMWATER MUST NOT BE CONCENTRATED ON TO ADJACENT PROPERTY.
- STORMWATER MUST BE CONNECTED TO THE NEAREST DISPOSAL POINT APPROVED BY COUNCIL. TYPICALLY THIS MAY BE DIRECTLY TO THE KERB OR TO AN INTER-ALLOTMENT DRAINAGE PIPELINE.
- THE PROVISION OF SURFACE OR SUBSOIL DRAINAGE OR PAVING WILL ALL IMPROVE SITE DRAINAGE.
- GOOD DRAINAGE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION AS WELL AS AFTER COMPLETION.
- ALL EXPOSED GROUND SHOULD BE REVEGETATED AS SOON AS PRACTICAL AFTER COMPLETION.
- SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE PROVIDED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.

## PIERING NOTES

P1 PIERS TO EXTERNAL WALLS SHALL BE SPACED AT NO GREATER THAN:  
 1.5m c/c FOR DOUBLE STOREY AREAS (Ø400MIN DIA TO CLAY BRG 350kPa) - UNO ON SLAB PLAN  
 1.8m c/c FOR SINGLE STOREY AREAS (Ø400MIN DIA TO CLAY BRG 350kPa) - UNO ON SLAB PLAN  
 1.8m c/c FOR SINGLE AND DOUBLE STOREY AREA (Ø300MIN DIA TO ROCK/SHALE BRG 600kPa)  
 IF PIERS EXCEED 2.5m DEEP THEN Ø450MIN (MUST BE) ADOPTED. PIERS GREATER THAN 2.8m DEEP (MUST BE) REINFORCED WITH A MINIMUM OF 4-N12 BARS + R6 TIES @400c/c.

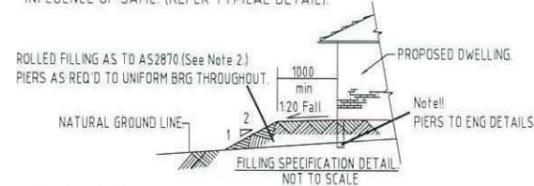
NOTE!! SHOULD PIERS COLLAPSE DURING CONSTRUCTION, THEN "SCREW-IN" PIER MAY NEED TO BE USED (6tE SWL).

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE PIER TOPS ARE CLEAN AND FREE OF FOREIGN MATTER PRIOR TO THE LAYING OF THE MEMBRANE AND CONCRETE SLAB. ENGINEER'S REINFORCEMENT CHECK DOES NOT RELEASE THE CONTRACTOR FROM THIS RESPONSIBILITY.



## FOUNDATION NOTES

- ALL FOOTING BEAMS AND PADS ARE DESIGNED TO BEAR ON UNIFORM NATURAL GROUND WITH AN ALLOWABLE BEARING CAPACITY OF 100 kPa.
- PRIOR TO CONSTRUCTION OF THE BUILDING PLATFORM FOR THE SLAB:  
 (i) AN AREA EXTENDING AT LEAST 1.0M BEYOND THE EDGE OF THE SLAB AND TO THE TOE OF ANY FILL BATTERS SHALL BE STRIPPED OF ALL ORGANIC MATTER AND ASSOCIATED TOPSOIL & NATURAL FILL AS NOTED ON BOREHOLE.  
 (ii) FILL PLACED IN THE BUILDING PLATFORM SHALL BE PLACED IN ACCORDANCE WITH CL6.4.2 AS2870-1996.  
 FOUNDATION MATERIAL SHALL BE APPROVED BY A SUITABLY QUALIFIED ENGINEER BEFORE COMMENCING FOOTING CONSTRUCTION.
- WHERE SOFT SPOTS (BEARING CAPACITY OF LESS THAN 100 kPa) ARE ENCOUNTERED IN NATURAL FOUNDATION MATERIAL OR BUILDING PLATFORM, OR WHERE FILL EXCEEDS 300mm THEN ADDITIONAL PIERS TO SUITABLE FOUNDING MATERIAL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER AT THE TIME OF CONSTRUCTION.
- WHERE ROCK IS ENCOUNTERED THE REMAINDER OF THE FOOTING SYSTEM SHALL BE FOUNDED ON ROCK AS DIRECTED BY THE ENGINEER AT THE TIME OF CONSTRUCTION.
- WHERE THE INTEGRITY OF FOUNDATION MATERIAL IS LIKELY TO BE DISTURBED BY SERVICE TRENCHES ADJACENT, PIERS SHALL BE FOUNDED BELOW THE ZONE OF INFLUENCE OF SAME. (REFER TYPICAL DETAIL).



## CONCRETE NOTES

- ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. CONCRETE QUALITY - AS NOTED ON THE DRAWINGS.
- CONCRETE 20 MPa AT 28 DAYS. 80mm SLUMP, & TO BE CURED IMMEDIATELY.
- FOLLOWING THE CONCRETE POUR, NO ADDITIONAL WATER TO BE ADDED TO CONCRETE ON SITE.
- KEEP CONCRETE CONTINUALLY WET FOR 7 DAYS MINIMUM AFTER PLACEMENT, PLASTIC OR WAX LIQUID SPRAYS MAY BE USED. EXTRA PRECAUTION SUCH AS THE USE OF EVAPORATIVE RETARDERS (ALIPHATIC ALCOHOLS) ARE RECOMMENDED DURING HOT WEATHER CONCRETE POURS TO HELP AVOID THERMAL RELATED SLAB CRACKING. CLEAR COVER OF REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS.
- REINFORCEMENT SHALL BE RIGIDLY SUPPORTED TO MAINTAIN SPECIFIED COVER DURING CONSTRUCTION.
- CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE SUPERINTENDENT.
- BEAM DEPTHS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.
- SPICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITION SHOWN. OBTAIN APPROVAL FROM THE SUPERINTENDENT FOR ANY OTHER SPICES.
- WHERE SLABS OR BEAMS BEAR UPON MASONRY, THE TOP COURSE SHALL BE LEVEL, SMOOTH & COVERED BY TWO LAYERS OF GALVANISED FLAT STEEL WITH GRAPHITE GREASE BETWEEN LAYERS.
- METHOD OF CURING CONCRETE SHALL BE SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL.
- NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.
- CONDUITS, PIPES, ETC. SHALL ONLY BE LOCATED IN THE MIDDLE ONE THIRD OF SLAB DEPTH, U.N.O.
- REINFORCEMENT SYMBOLS:  
 R - GRADE 250N PLAIN BAR IN ACCORDANCE WITH AS/NZS 4671.  
 N - GRADE 500 DEFORMED BAR IN ACCORDANCE WITH AS/NZS 4671.  
 L - GRADE 500 DEFORMED WELDED WIRE MESH IN ACCORDANCE WITH AS/NZS 4671. I REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY & IT IS NOT NECESSARILY IN TRUE PROJECTION.
- WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- MESH SHALL BE LAPPED 1 MESH + 50mm.
- BUNDLED BARS SHALL BE TIED TOGETHER AT 30 BAR DIAMETERS CENTRES WITH 3 WRAPS OF THE WIRE.
- MASONRY WALLS SHALL NOT BE CONSTRUCTED ON SUSPENDED CONCRETE UNTIL ALL TEMPORARY SUPPORTS ARE REMOVED.
- STRUCTURAL STEELWORK WHERE CONCRETE ENCASED SHALL HAVE 50mm CONCRETE COVER, REINFORCED WITH GALVANISED SL41 MESH WITH 25mm COVER, LAPPED 150mm AT SPLICES.
- BRITTLE FLOOR COVERINGS TO BE LAID ON A SUITABLE FLEXIBLE TYPE BEDDING SYSTEM & SUPPLIED WITH CONTROL JOINTS @ 4000 CENTERS MAX ALTERNATIVELY FABRIC SL-92 TO BE USED, AS IF ADVISED BY BUILDER.

## CONCRETE QUALITY

ELEMENT	Strength Grade	Slump mm	Max. Agg. mm	Cement Type
SLAB	N20-TBA	80	20	SL
PIERS	N20	80	20	SL
SALINE ENVIRONMENT (High Impact Membrane)	N32	80	20	SL

KEEP SLAB CONTINUALLY WET FOR 7 DAYS MIN.

THE BUILDER TO CONFIRM & ADHERE TO RELEVANT CONDITIONS OF CONSENT IN RELATION TO CONSTRUCTION INCLUSIONS ON SITES LOCATED OR LIKELY TO BE IMPACTED BY SALINITY LEVELS.

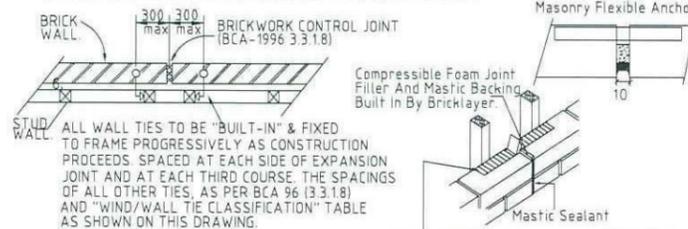


## TIMBER FRAMING NOTES

- ALL DESIGN, WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH NATIONAL TIMBER FRAMING CODE AS1684 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- TIMBER SIZES, CONNECTIONS AND BRACING WALL SHALL BE TO FRAME MANUFACTURER'S DETAILS & SPECIFICATIONS & SHALL BE IN ACCORDANCE WITH AS1684. TIMBER FRAMING OUTSIDE THE SCOPE OF AS1684 SHALL BE REFERRED TO THE SUPERINTENDENT FOR A DECISION BEFORE PROCEEDING.
- ROOF BRACING & ANCHOR DETAILS WHERE NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH AS1684.

## BRICKWORK NOTES

- BRICKWORK TO BE IN ACCORDANCE WITH AS3700.
- ALL BRICKS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20MPa.
- BRICKWORK MORTAR TO BE A MIX OF 1 CEMENT : 1 LIME : 4.5 SAND (REFER TO DURABILITY CLASS).
- BRICK WALLS TO BE PROVIDED WITH VERTICAL CONTROL JOINTS AT 6 METRE MAX CTS.
- TWO BED JOINTS ABOVE AND BELOW ALL OPENINGS TO HAVE BRICK REINFORCEMENT AND TO EXTEND 600 EACH SIDE OF OPENING.
- ALL CLAY BRICKS SHALL BE EXPOSED TO AMBIENT CONDITIONS FOR A MINIMUM OF 3 MONTHS BEFORE USE.
- MAXIMUM 5 YEAR UNRESTRAINED EXPANSION OF CLAY BRICKS SHALL BE 0.8MM PER METRE.
- CLAY BRICKS SHALL NOT BE LAID OVER FLOOR SLAB FOR A MINIMUM OF 10 DAYS AFTER CONCRETING THE SLAB.
- BRICKWORK ARTICULATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TN61 ARTICULATED WALLING (CEMENT & CONCRETE ASSOCIATION AUST).



## EXPANSION JOINT DETAIL

## DURABILITY CLASSIFICATION. EXTERIOR

CATEGORY (durability)	WALL TIES AS 3700	GRADE OF BRICKS AS/NZS 4456.10	MORTAR AS 3700	STRUCTURAL STEEL (Surface finish)
severe marine	R4 Stainless or Polymer	EXPOSURE	M4 (1:4)	GALVANISED (GZLP) (600g per sq.m)
marine	R3	GENERAL PURPOSE	M3 (1:5)	AS/ANZ 2312/1994.
exterior	R2	GENERAL PURPOSE	M2 (1:2:8)	AS/ANZ 2312/1994.

## WIND/WALL TIE CLASSIFICATION N2 "W33"

WIND Class (Vp)	WALL TIE	HORIZONTAL SPACING	VERTICAL SPACING
N1	W28N1	LIGHT DUTY	600
N2	W33N2	MEDIUM DUTY	600
N3	W41N3	MEDIUM DUTY	600

WALL TIE SPACINGS AROUND OPENINGS 300c/c EACH WAY.  
 POLYMER WALL TIES RATED "LIGHT DUTY ONLY" (W28N1).  
 (Vp = PERMISSIBLE STRESS METHOD)

SLAB DESIGN AS PER "AS2870-1996 CODE FOR RESIDENTIAL SLABS AND FOOTINGS" AND IN ACCORDANCE WITH ENGINEERING PRINCIPLES, AND SECTION 3 & 4 OF AS2870-1996.

## NOTES REGARDING SUBTERRANEAN TERMITE PROTECTION.

- ALL CONCRETE TO BE 25MPa. CONCRETE TO BE MECHANICALLY VIBRATED DURING POUR. KEEP SLAB CONTINUALLY WET FOR 7 DAYS MIN. PLASTIC OR WAX SPRAYS MAY BE USED.
- ALL WORKS TO BE IN ACCORDANCE WITH AS 3660.1 1995.
- INSPECTIONS OF THE RESIDENCE AND IMMEDIATE SURROUNDS TO BE CARRIED OUT BY A QUALIFIED PEST EXPERT ON AN ANNUAL BASIS BY THE HOMEOWNER.
- ANY FUTURE CRACKING OCCURRING IN THE SLAB IS TO BE ASSESSED BY A QUALIFIED PEST EXPERT AND WHERE DIRECTED BE SEALED BY EPOXY INJECTION.
- SITE MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER. ALL RECOMMENDATIONS OUTLINED BY THE C.S.I.R.O. IN SHEET 10-91 TO BE CARRIED OUT.

## STRUCTURAL STEELWORK NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- STEELWORK DESIGN AS PER "AS4100 STEEL STRUCTURES CODE CURRENT EDITION AND AS1170 DEAD AND LIVE LOADS.
- STEEL QUALITY: ALL STEELWORK SHALL BE GRADE 250 UNLESS NOTED OTHERWISE. ROLLED SECTIONS (UB, UC, PFC, EA, ETC.) SHALL BE GRADE BHP-300 PLUS. RECTANGULAR HOLLOW SECTIONS SHALL BE IN ACCORDANCE WITH AS1397 AND AS1538, AND BE EQUIVALENT TO BHP GALVSPAN, COATING CLASS 2350.
- WELDING: ALL WELDING SHALL BE IN ACCORDANCE WITH AS1554. UNLESS NOTED OTHERWISE ALL CONNECTIONS BETWEEN MEMBERS SHALL BE 6mm CONTINUOUS FILLET WELD TYPE G.P. BUTT WELDS SHALL BE COMPLETE PENETRATION TYPE SP. WELDING SYMBOLS ON DRAWINGS ARE IN ACCORDANCE WITH AS1101 PART 3.
- HOLES IN MEMBERS FOR FIXINGS OF OTHER TRADES SHALL NOT EXCEED 14mm DIAMETER.
- BOLTING: BOLTS SHALL BE M20 4.6/5 UNLESS NOTED OTHERWISE. MEMBERS SHALL BE CONNECTED WITH 2 BOLTS UNLESS NOTED OTHERWISE. APPROVED LOAD-INDICATING WASHERS SHALL BE USED UNDER THE BOLT HEAD OF 8.8/TF AND 8.8/TB JOINTS.
- NO PRIMING COAT SHALL BE APPLIED TO CONTACTING SURFACES UTILISING 8.8/TF BOLTS NOR TO MEMBERS TO BE SUBSEQUENTLY CONCRETE ENCASED OR FIRE RATED. MEMBERS NOTED Z SHALL BE GIVEN A CLASS 2.5 PREPARATION IN ACCORDANCE WITH AS1627.4 AND COATED WITH A MINIMUM OF 75 MICRONS OF AN APPROVED INORGANIC ZINC SILICATE. MEMBERS NOTED G SHALL BE HOT DIP GALVANISED. ALL BOLTS, NUTS AND WASHERS USED IN CONNECTION OF MEMBERS NOTED Z OR G SHALL BE HOT DIP GALVANISED. MAKE GOOD PROTECTIVE COATINGS AT SITE WELDS AND UNCOATED STEELWORK AT T.F. BOLTED JOINTS.

BOLTING PROCEDURE	BOLT NAME	AUSTRALIAN STANDARD	INSTALLATION AS6100
4.6/5	COMMERCIAL	AS1111	SNUG TIGHTENED
8.8/5	HIGH STRENGTH	AS1252	SNUG TIGHTENED
8.8/TF	HIGH STRENGTH	AS1252	TENSIONED FRICTION
8.8/TB	HIGH STRENGTH	AS1252	TENSIONED BEARING

## DRAWING SCHEDULE

- E-00 GENERAL NOTES
- E-01 REINFORCED SLAB PLAN
- E-02 SLAB DETAIL SHEET
- E-03 DEEPEDED EDGE BEAM SHEET
- E-04 CONC DETAIL SHEET
- E-05 STEEL MARKING PLAN
- E-06 BRICK ARTICULATION PLAN
- E-07 RET WALL DETAILS
- E-08 SEWER DETAILS
- E-09
- E-10

SEWER AFFECTED

PREPARED: S.I.D  
 CHECKED: S.A.A  
 APPROVED: S. Abdelfattah M.E.(Aust) CPEng NPER Civ/Struct BSB Acc. Certifier 0131  
 DATE: 28/6/13

FOR: M. HAYES & M. SLATER  
 LOT 1156 SYDNEY SMITH DRIVE  
 THORNTON, PENRITH NSW

SC\_15938

E-00  
 DRG NMBR

A  
 REV

GENERAL NOTES

DO NOT SCALE

**SECTA**  
 Consulting Engineers Pty Ltd  
 A.B.N.64 180 170 853

PO BOX 259 CONDELL PARK NSW 2200 office: (02) 9707 3474 - fax: 9707 3474  
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Rev	DATE	AMENDMENT	Arch Ref: 411B-12 (Rev QA2) - CHESTER 21 MILLEN
A	28/6/13	Issued for construction	

**SITE CLASSIFICATION :**  
THE FOOTING SYSTEM HAS BEEN DESIGNED FOR A CLASS P SITE IN ACCORDANCE WITH AS 2870.

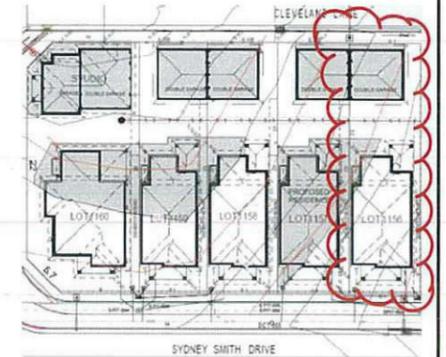
**CONSTRUCTION:** TWO STOREY  
**TYPE :** ARTICULATED MASONRY VENEER  
**DURABILITY CLASS :** EXTERIOR  
**WIND CLASS :** N2 "W33"

CONCRETE QUALITY				
ELEMENT	Strength Grade	Slump mm	Max. Agg. mm	Cement Type
SLAB	N20-TBA	80	20	SL
PIERS	N20	80	20	SL
SALINE ENVIRONMENT (Pier & Slab High Impact Membrane)	N32	80	20	SL

KEEP SLAB CONTINUALLY WET FOR 7 DAYS min.

THE BUILDER TO CONFIRM & ADHERE TO RELEVANT CONDITIONS OF CONSENT IN RELATION TO CONSTRUCTION INCLUSIONS ON SITES LOCATED OR LIKELY TO BE IMPACTED BY SALINITY LEVELS.

\* CARE TO BE TAKEN DURING EXCAVATION, \*  
ENGINEER TO BE ADVISED IF ABNORMAL SUB CONDITIONS ARE ENCOUNTERED INCLUDING EXTENT OF ANY TREE ROOTS, PIPES, DEBRIS & "SOFT SPOTS".  
IF IN DOUBT "STOP WORK AND ASK"



**NOTES**

- FOR COMPREHENSIVE GENERAL NOTES REFER TO TITLE SHEET E-00.
- USE 0.2mm POLYTHENE NOMINAL THICKNESS (1) VAPOUR BARRIER, (2) DAMP PROOF MEMBRANE AND OF HIGH IMPACT RESISTANCE.
  - LAP TOP & BTM BARS IN EDGE BEAMS 500 AT ; RETURNS LESS THAN 1200 (SINGLE STOREY) ALL RETURNS (DOUBLE STOREY)
  - PLACE 3-N12 TRIMMERS 2000 LONG TO ALL INTERNAL CORNERS TYPICAL.
  - REINFORCEMENT LAPS: MESH 2 CROSSWIRES + 25mm
  - COVER TO REINFORCEMENT:  
SLABS - TOP 20mm (INSIDE)  
30mm (OUTSIDE)  
- BTM 30mm  
STIFFENING BEAMS - 30mm  
STRIP FOOTINGS - 50mm
  - 30/45 MESHLOCK BAR CHAIRS ARE TO BE USED ON WAFFLE PODS. ALL POD SPACERS SHOULD BE APPROVED BY ENGINEER BEFORE PLACING PODS. BAR CHAIRS TO BE AT 800 CTRS BOTH WAYS.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE PIER TOPS ARE CLEAN AND FREE OF FOREIGN MATTER PRIOR TO THE LAYING OF THE MEMBRANE AND CONCRETE SLAB. ENGINEER'S REINFORCEMENT INSPECTION DOES NOT RELEASE THE CONTRACTOR FROM THIS RESPONSIBILITY.
  - THE BUILDER TO CONFIRM & ADHERE TO RELEVANT CONDITIONS OF CONSENT IN RELATION TO CONSTRUCTION INCLUSIONS ON SITES LOCATED OR LIKELY TO BE IMPACTED BY SALINITY LEVELS
  - BRITTLE FLOOR COVERINGS TO BE LAID ON A SUITABLE FLEXIBLE TYPE BEDDING SYSTEM & SUPPLIED WITH CONTROL JOINTS @ 4000 CENTERS MAX ALTERNATIVELY FABRIC SL-92 TO BE USED, AS IF ADVISED BY BUILDER.
  - IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO ENSURE THE HOUSEHOLD DRAINAGE SYSTEM INCLUDES FLEXIBLE JOINTING AS PER RELEVANT AUSTRALIAN STANDARDS. IT IS OUTSIDE THE ENGINEER'S SCOPE/EXPERTISE TO ENSURE THIS
  - SLAB AND FOUNDATIONS HAVE BEEN DESIGNED TAKEN INTO CONSIDERATION FINDINGS AND RECOMMENDATIONS AS NOTED IN GEOTECH REPORT.

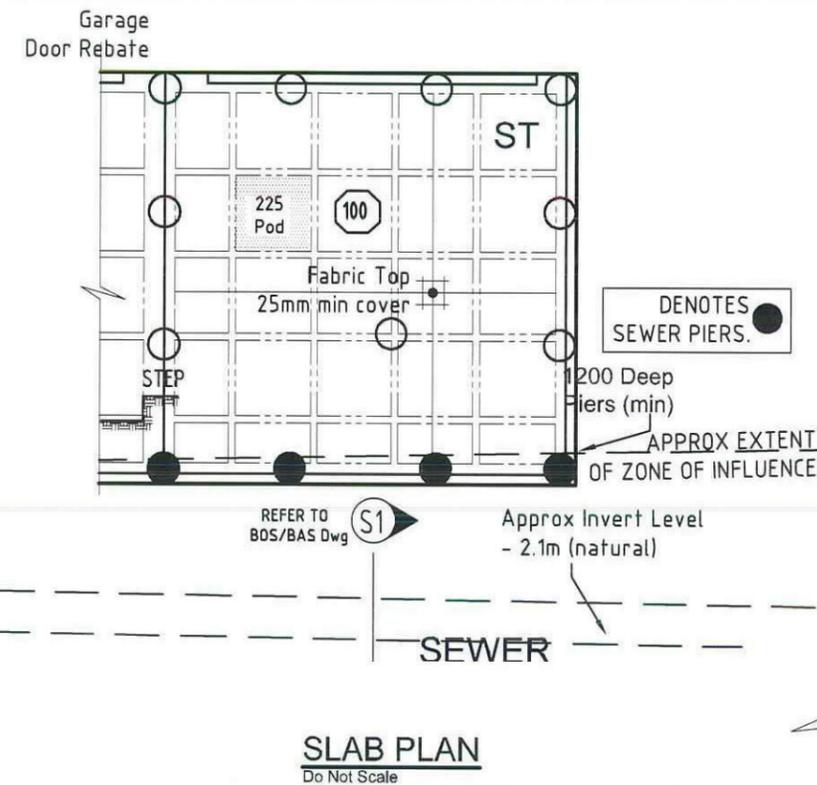
**PIER NOTES**

- REFER ALSO TO FOUNDATION NOTES ON SHEET No. S-00.
- ALL PIERS POURED SEPARATE TO NOMINATED SLAB.
- CONCRETE PIERS TO BE CORRECTLY LOCATED BY CONTRACTOR AND ARE ADOPTED TO ACHIEVE AN EVEN BEARING AS REQUIRED BY ENGINEER AND SITE CONDITIONS.
- Ⓢ DENOTES CONCRETE BEARING PIERS FOUNDED 200mm BELOW ZONE OF INFLUENCE OF SEWER AND OR PROPOSED ADJACENT SERVICE TRENCHES REFER TO DETAIL ON SHEET E-00.
- WHERE PIERS ARE PROVIDED PLACE ADDITIONAL STEEL TO INTERNAL BEAMS AS PER DETAILS ON PIERS TO EXTERNAL WALLS SHALL BE SPACED AT NO GREATER THAN:

**PIERING NOTES**

P1. PIERS TO EXTERNAL WALLS SHALL BE SPACED AT NO GREATER THAN:  
1.5m c/c FOR DOUBLE STOREY AREAS (Ø400mm DIA TO CLAY BRG 350kPa) - UNO DN SLAB PLAN  
1.8m c/c FOR SINGLE STOREY AREAS (Ø400mm DIA TO CLAY BRG 350kPa) - UNO DN SLAB PLAN  
1.8m c/c FOR SINGLE AND DOUBLE STOREY AREA (Ø300mm DIA TO ROCK/SHALE BRG 600kPa)  
IF PIERS EXCEED 2.5m Deep THEN Ø450mm (Must Be) Adopted. PIERS GREATER THAN 2.8m Deep (Must Be) REINFORCED WITH A MINIMUM OF 4-N12 Bars + R6 Ties @400c/c.

- SLAB THICKNESS DENOTED ON PLAN BY
- PODS LAYED IN SEQUENCE AND STARTED WHERE SHOWN THUS ON PLAN.

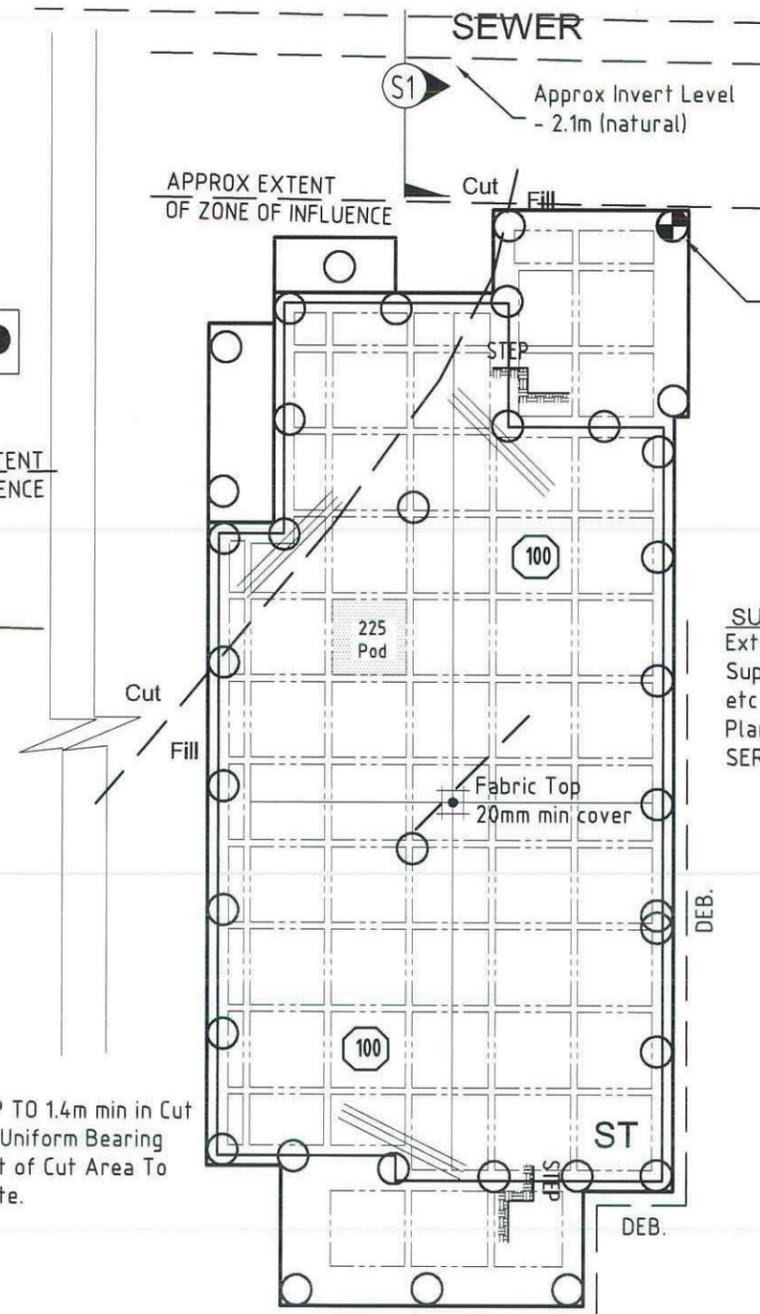


ALL STEPDOWNS, DEEP BEAMS, F.F.L, R.L, AND REBATES TO BE CONFIRMED WITH ARCHITECTURAL DOCUMENTATION. HWS & AIRCON PADS TO BE CONFIRMED WITH CONTRACT. IT IS NOT THE RESPONSIBILITY OF THE ENGINEER TO VERIFY THE ABOVE.

**SLAB REINFORCEMENT - SL82**

COVER TO REINFORCEMENT:  
SLABS - TOP 20mm (INSIDE)  
30mm (OUTSIDE)  
- BTM 30mm  
STIFFENING BEAMS - 30mm

EXPECTED PIERS UP TO 1.4m min in Cut Area, Then Pier To Uniform Bearing Through Out. Extent of Cut Area To Be Confirmed On-Site.



(START) - INITIAL PIER CONTRACTOR TO INITIATE AS SHOWN. ENGINEER TO BE CONTACTED UPON COMPLETION OF TEST PIT AND PRIOR TO PIER EXCAVATION SEQUENCE. ENGINEER TO ADVISE ON APPROX PIER DEPTH REQUIRED BASED ON FINAL TEST PIT FINDINGS.

**SUPERVISOR NOTE**  
Extend Edge Beam To Suit. Supervisor To Ensure All Feature Nibs etc Are Incorporated As Shown On Arch Plans. REFER TO SLAB DETAILS FOR SERVICE PAD EXTENTIONS.



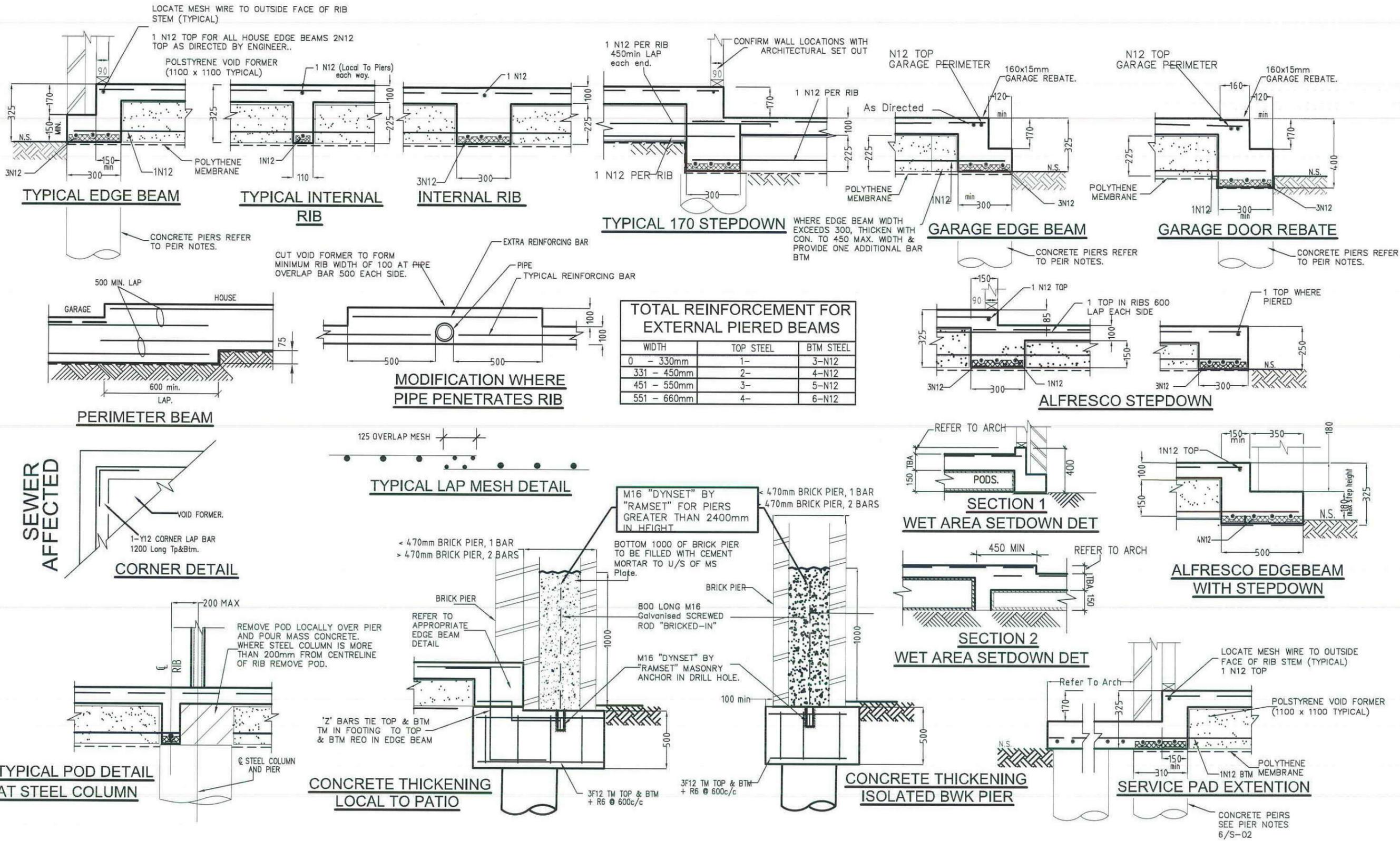
It is the responsibility of the Contractor/Supervisor, that any "on site" deviation/alteration to the Engineer's Drwgs/Design must be formally brought to the attention of the Engineer/Inspector, prior to any work proceeding.

Rev	DATE	AMENDMENT
A	28/6/13	Issued for construction
Rev	DATE	AMENDMENT

**SECTA**  
Consulting Engineers Pty Ltd  
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PO BOX 259 CONDELL PARK NSW 2200 office: (02) 9707 3414 - fax- 9707 3414  
web: www.sectaengineering.com.au email: info@sectaengineering.com.au

PREPARED:	S.I.D
CHECKED:	S.A.A
APPROVED:	
S. Abdelfattah MIE (Aust) CPEng NPER Civ/Struct BRB Acc Cert/Insr 9737	
DATE:	28/6/13

FOR:	M. HAYES & M. SLATER LOT 1156 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW
Secta Ref Nbr	SC_15938
DRG Nbr	E-01
REV	A
REINFORCED SLAB PLAN	
DO NOT SCALE	



**TOTAL REINFORCEMENT FOR EXTERNAL PIERED BEAMS**

WIDTH	TOP STEEL	BTM STEEL
0 - 330mm	1-	3-N12
331 - 450mm	2-	4-N12
451 - 550mm	3-	5-N12
551 - 660mm	4-	6-N12

SEWER AFFECTED

It is the responsibility of the Contractor/Supervisor, that any "on site" deviation/alteration to the Engineer's Drwgs/Design must be formally brought to the attention of the Engineer/Inspector, prior to any work proceeding.



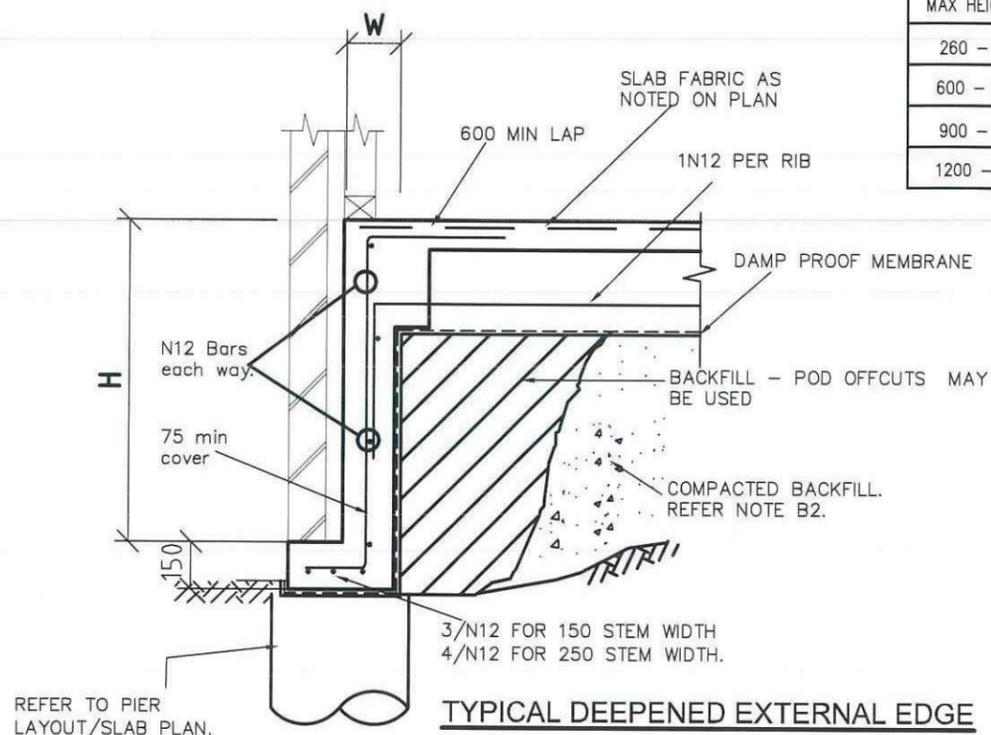
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Arch Ref: 411B-12 (Rev QA2) - CHESTER 21 MILLEN		

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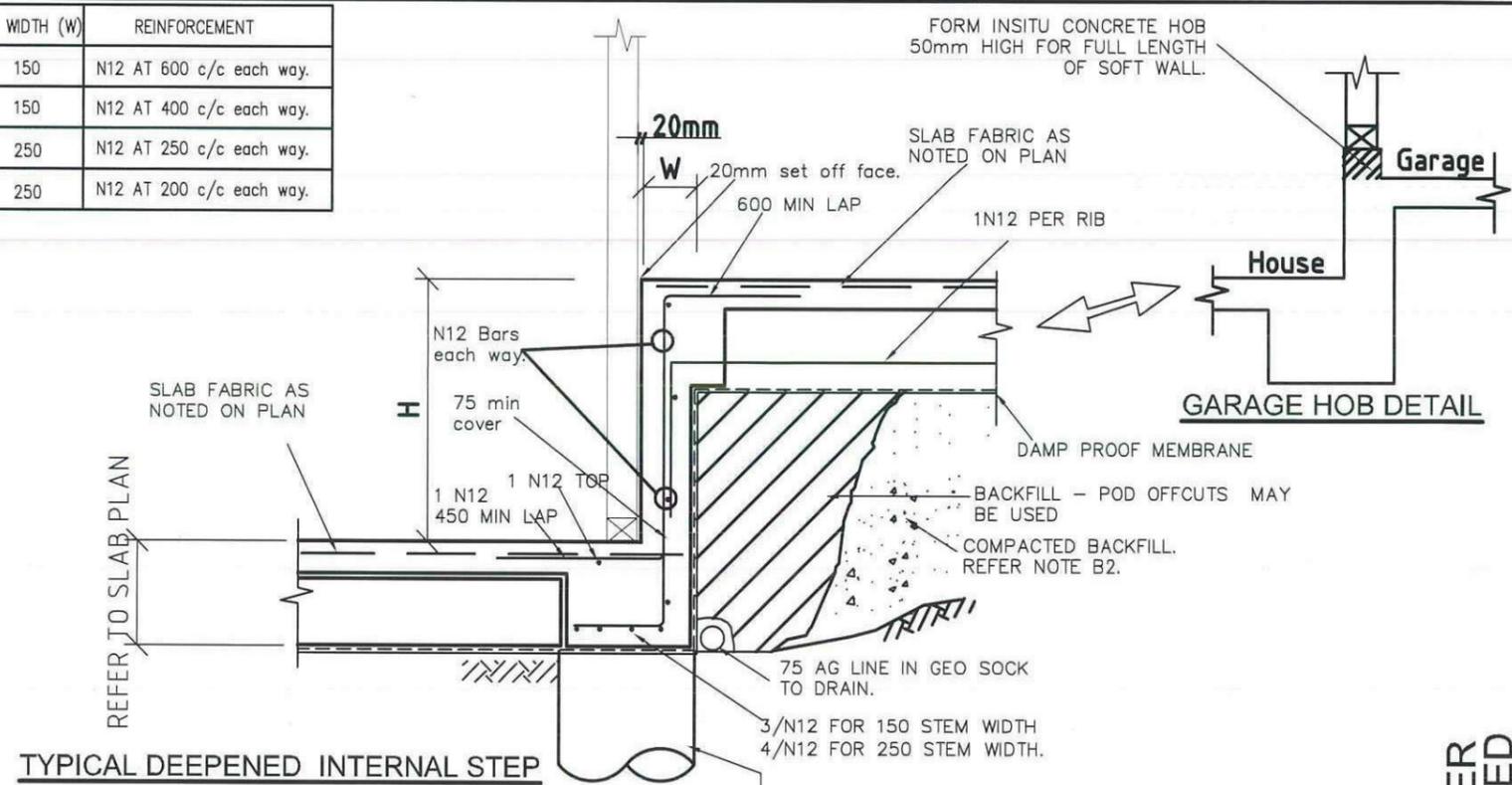
PREPARED:	S.I.D
CHECKED:	S.A.A
APPROVED:	
DATE:	28/6/13

FOR:	M. HAYES & M. SLATER LOT 1156 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW
Secta Ref Nbr	SC_15938
DRG Nbr	E-02
REV	A
SLAB DETAIL SHEET	
DO NOT SCALE	

MAX HEIGHT (H)	STEM WIDTH (W)	REINFORCEMENT
260 - 600	150	N12 AT 600 c/c each way.
600 - 900	150	N12 AT 400 c/c each way.
900 - 1200	250	N12 AT 250 c/c each way.
1200 - 1600	250	N12 AT 200 c/c each way.



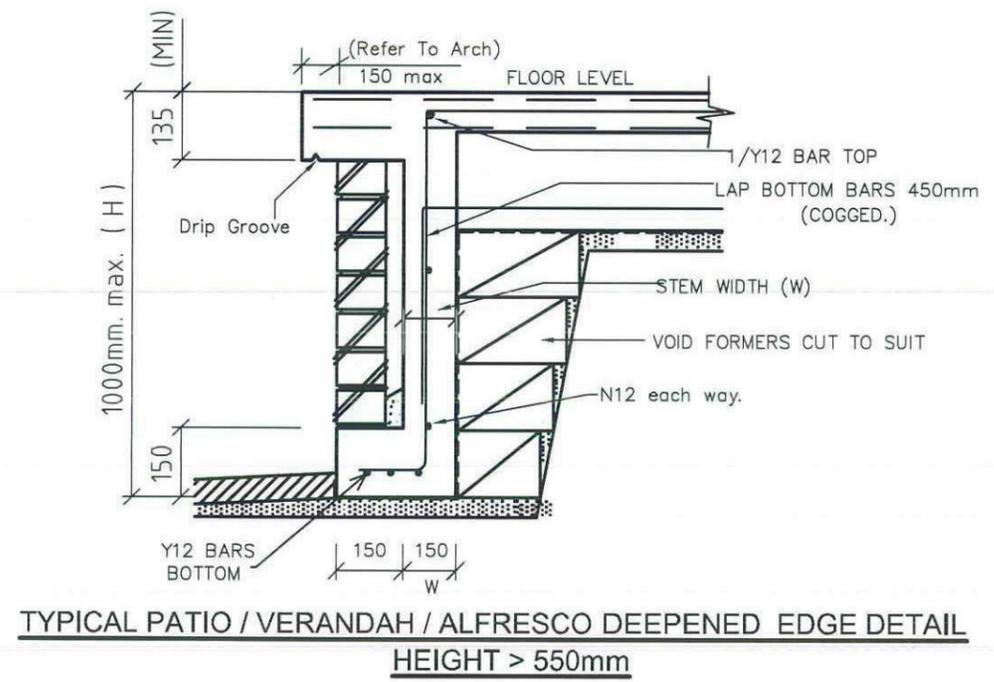
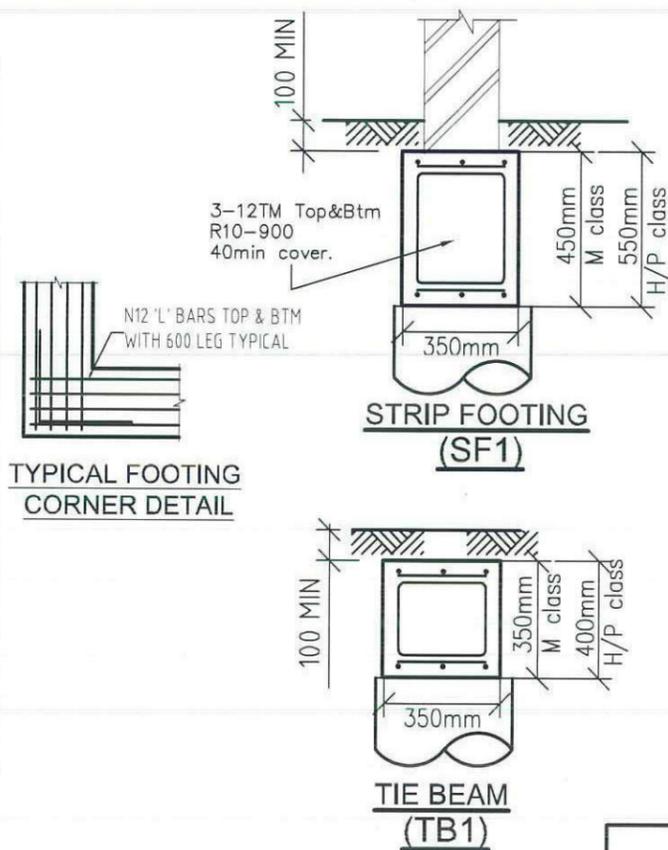
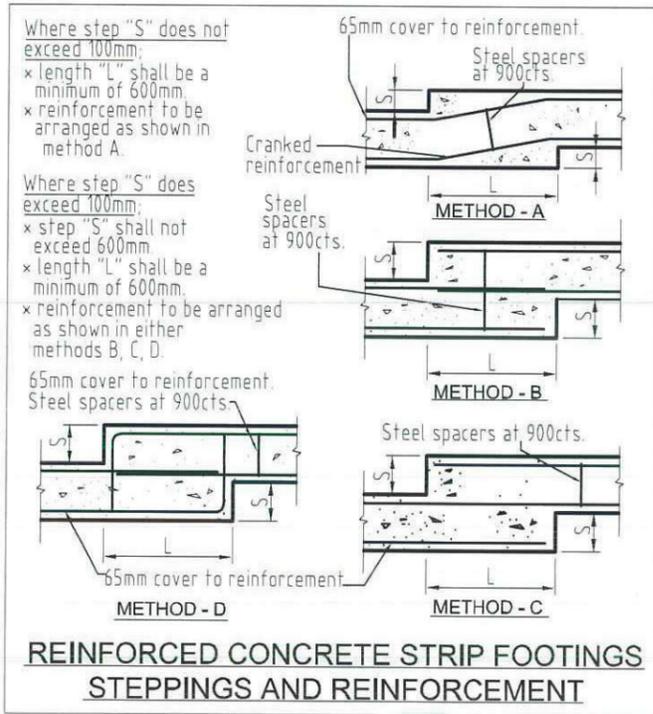
**TYPICAL DEEPEINED EXTERNAL EDGE**



**TYPICAL DEEPEINED INTERNAL STEP**

**GARAGE HOB DETAIL**

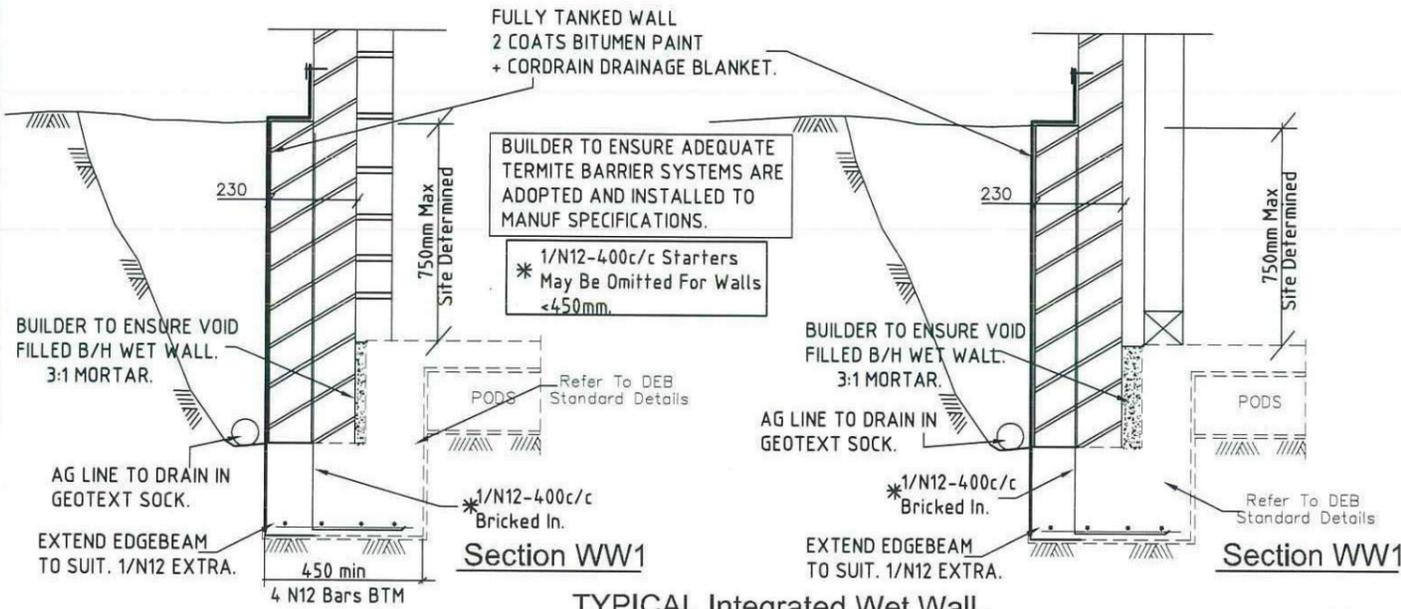
SEWER AFFECTED



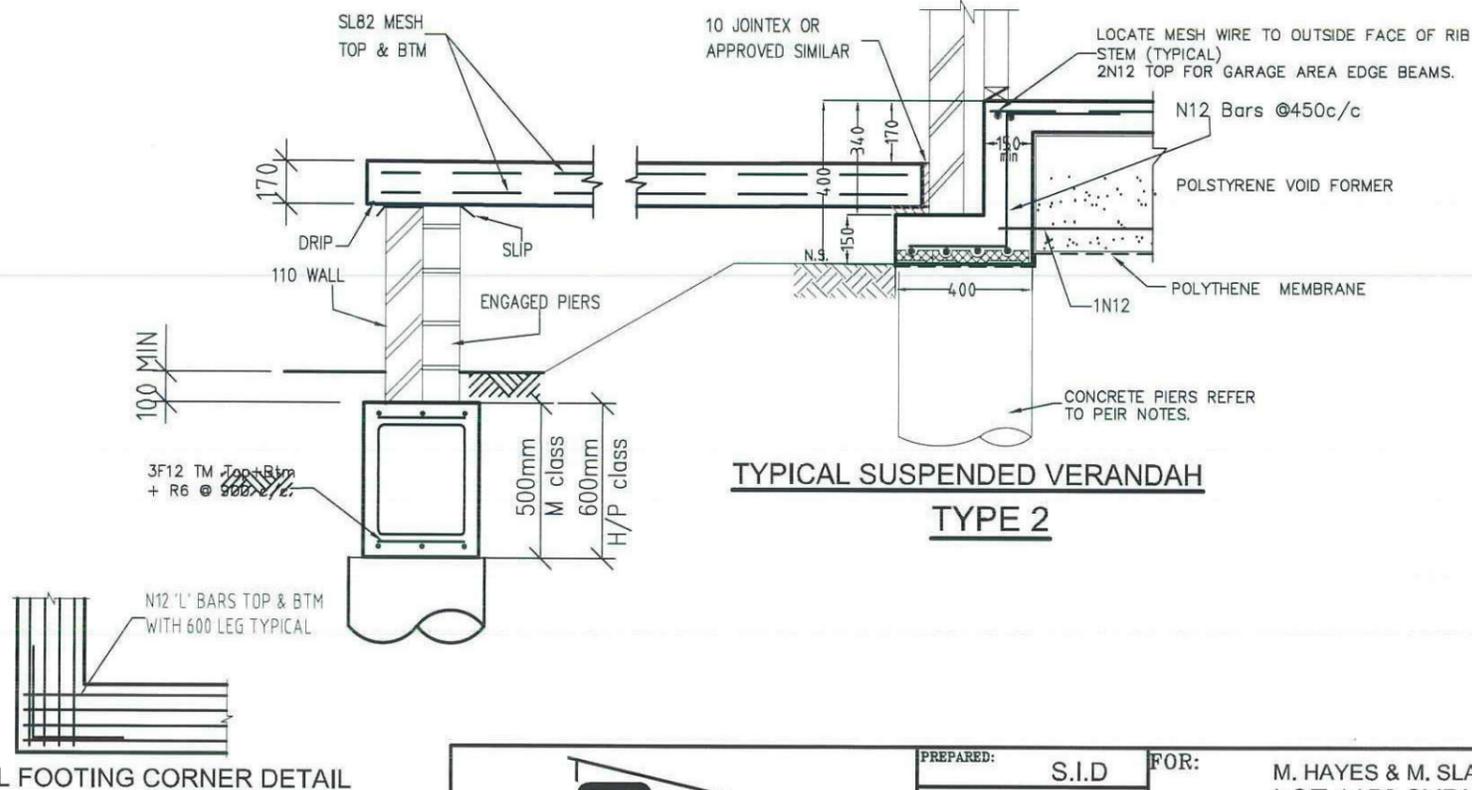
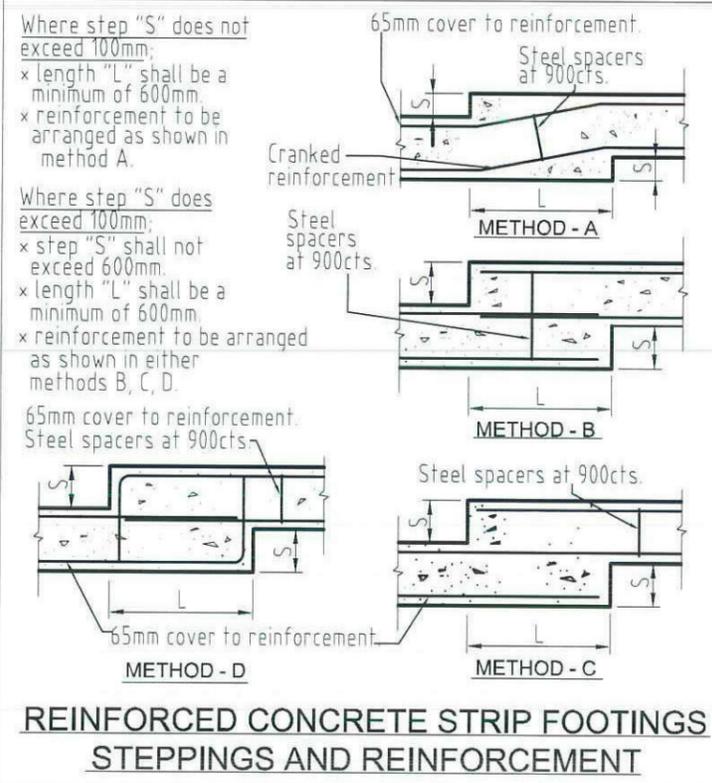
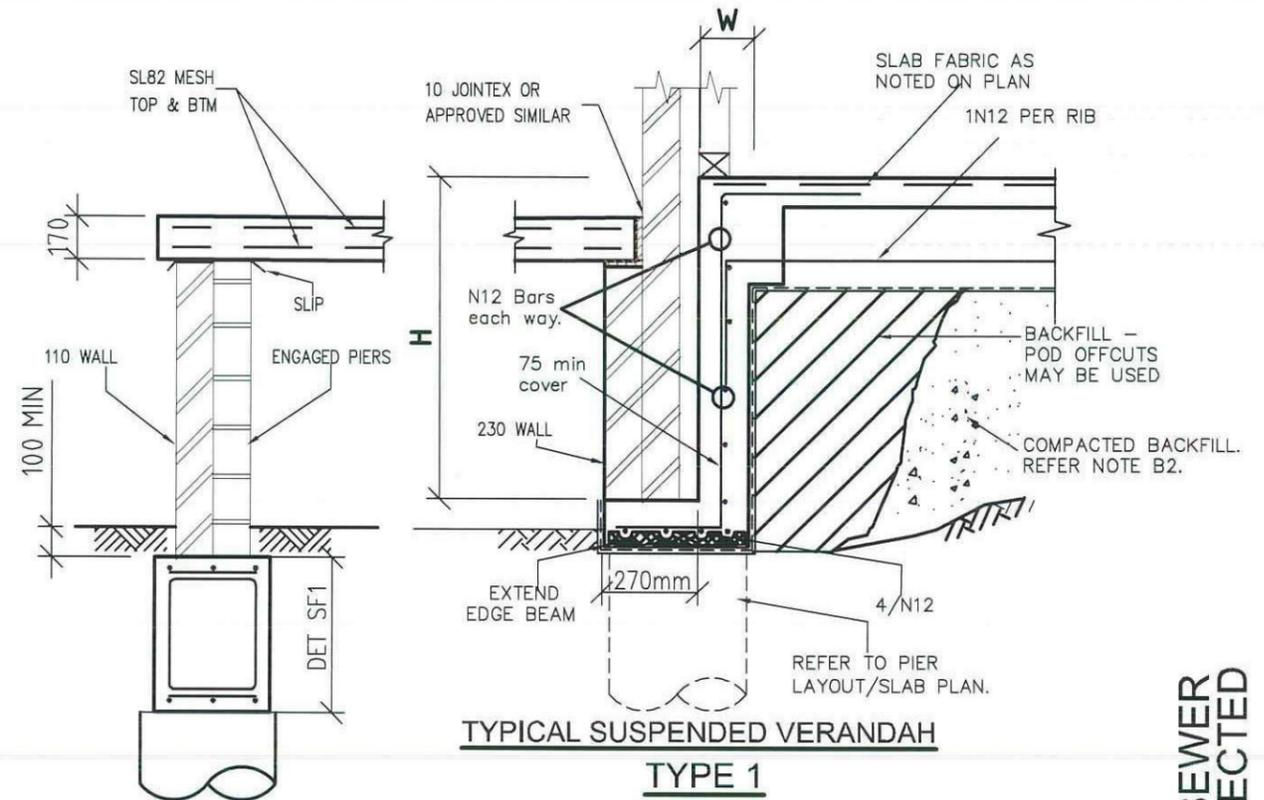
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PREPARED: S.I.D	FOR: M. HAYES & M. SLATER		
CHECKED: S.A.A	LOT 1156 SYDNEY SMITH DRIVE		
APPROVED:	THORNTON, PENRITH NSW		
S. Abdelfattah MIE (Aust) CP Eng NPER Civ/Struct APB: Acc Cert Ref: 6737	SC_15938	DRG Nbr	E-03
DATE: 28/6/13	SECTA Ref Nbr	REV	A
DEEPEINED EDGE BEAM SHEET			DO NOT SCALE



**TYPICAL Integrated Wet Wall**  
 SUPERVISOR TO CONFIRM DETAIL VARIANCE.  
 REFER TO ARCHITECTURALS



SEWER AFFECTED

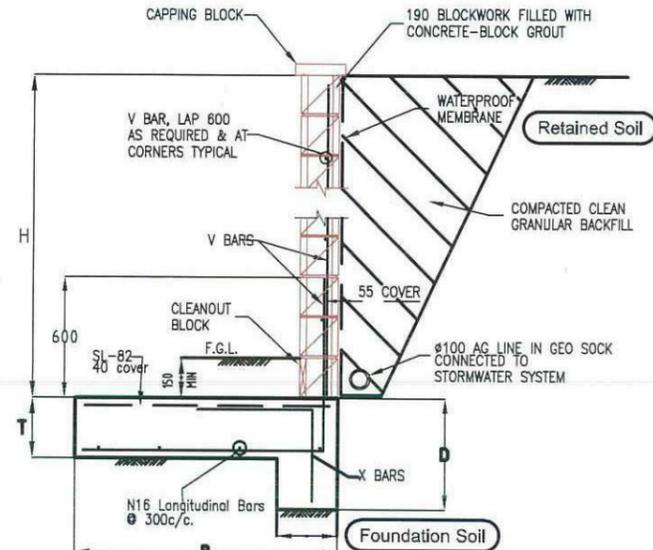


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 A.B.N.64 180 170 853 PO BOX 259 CONDELL PARK NSW 2200 office: (02) 9707 3414 - fax- 9707 3414 web: www.sectaengineering.com.au email: info@sectaengineering.com.au	PREPARED: S.I.D CHECKED: S.A.A APPROVED: S. Abdelfattah MIE (Aust) CP Eng NPER Civ/Struct BPE Acc Cert/Infr 0137	FOR: M. HAYES & M. SLATER LOT 1156 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW	
	DATE: 28/6/13	Secta Ref Nbr SC_15938 CONG DETAIL SHEET	DRG Nbr E-04 REV A DO NOT SCALE

**RESPONSIBILITY OF OWNER  
RETAINING STRUCTURE BY OWNER.**

- A) ENSURE RET WALL TYPE COMPLIES WITH SUBDIVISION and/or COUNCIL CONDITIONS.
- B) ALL EXISTING SERVICES/STRUCTURES WITHIN CRITICAL ZONES ARE PROTECTED.
- C) USE OF PROPRIETY WALL SYSTEMS ARE INSTALLED AND SPECIFIED AS PER MANUFACTURERS SPECS.
- D) ENSURE SITE/SOIL CONDITIONS SUIT SELECTED RET WALL TYPE.
- E) ENSURE APPROPRIATE SURFACE DRAINAGE MEASURES ARE ADOPTED INCLUDING APPROPRIATE MATERIALS ARE PLACED BEHIND WALL TO CONVEY GROUND WATER AWAY FROM THE WALL AND ITS FOUNDATIONS.

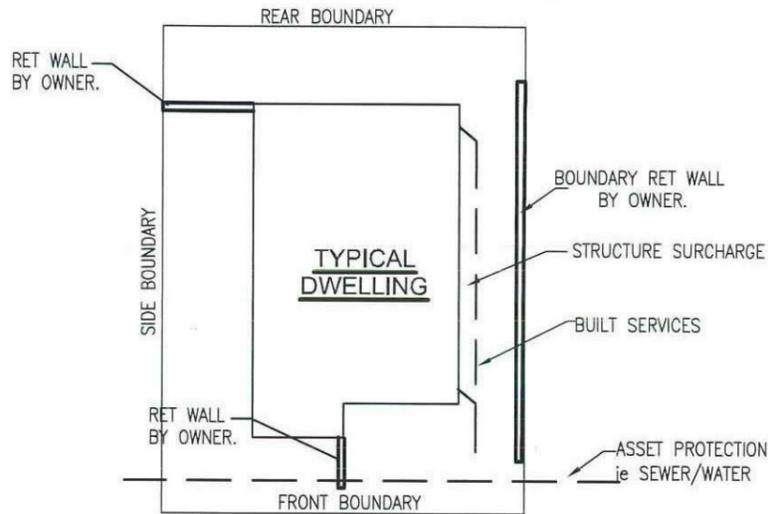
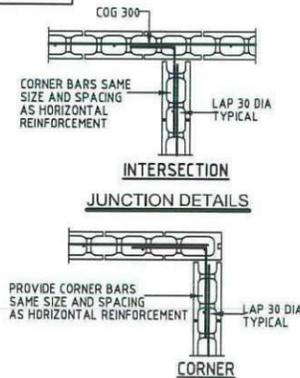
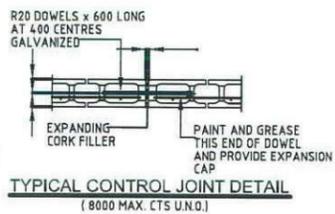


**TYPE A**

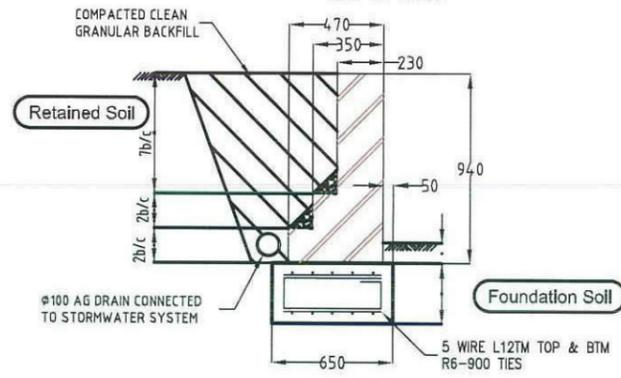
**RETAINING WALL HEIGHT 0 - 1000**

4.0kPa MAX ALLOWABLE SURCHARGE

RETAINING WALL SCHEDULE					
H	B	D	T	V BARS	X BARS
0 - 800	800	400	200	N12-400	N12-400
800-1000	900	400	200	N12-400	N12-400

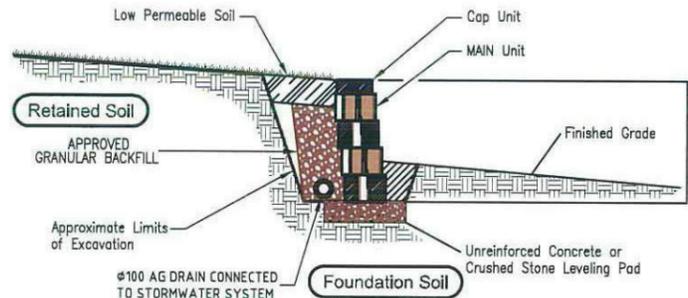


**TYPICAL SITE  
NOT TO SCALE**

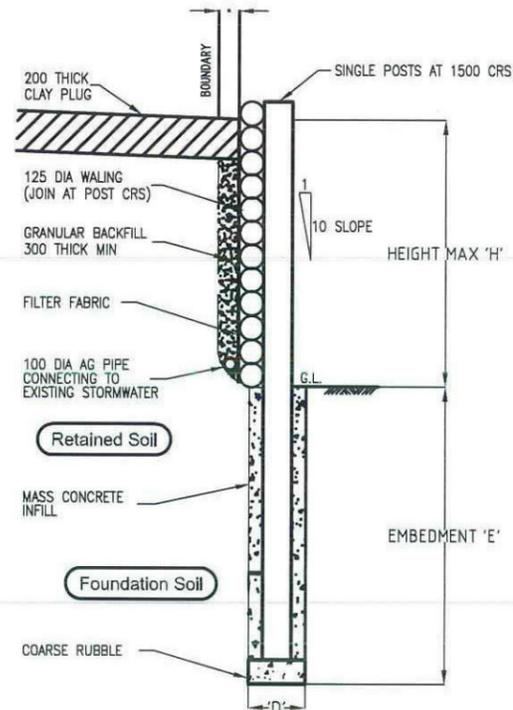


**TYPE B  
TYPICAL GRAVITY BRICKWORK  
RETAINING WALL DETAILS**

- 1. 4 kPa SURCHARGE ALLOWED
- 2. ALL BRICKWORK TO BE INTERLOCKED USING HEADER COURSES SO THAT THE WALLS ACT AS AN INTEGRAL UNIT
- 3. VERTICAL BRICK JOINTS AT 6000 CTRS U.N.D.



**TYPE C  
Typical "PROPRIETY"  
Gravity Wall Section**



**TYPE D  
TYPICAL LOG RETAINING WALL**

TIMBER LOG RETAINING WALL				
HEIGHT MAX 'H'	EMBEDMENT 'E'	POST DIA MIN	POST Spacing MIN	WALL DIA MIN
900	1000 MIN	200	1500	125

CONSTRUCTION OF WALL TO BE IN ACCORDANCE WITH "KOPPERS LOG" RETAINING WALL SPECIFICATIONS  
 'D' 400 DIA FOR POST 200 DIA  
 'D' 2 x 400 DIA FOR DOUBLE POSTS

**TYPICAL RET WALL TYPES**

PRIOR TO SELECTION, OWNER MUST CONTACT EITHER MANUFACTURER and/or QUALIFIED ENGINEER TO DISCUSS SUITABILITY OF SYSTEM.

**BRICKWORK AND BLOCKWORK**

- B1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700, SAA BLOCKWORK CODE AS1475 AND ALL OTHER RELATED CODES.
- B2 STRENGTHS OF MASONRY UNITS AND TYPE OF MORTAR SHALL BE AS FOLLOWS:

ELEMENT	MATERIAL	CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH (F'c)	MORTAR (CEMENT: LIME: SAND) (F'c)
BRICKS	CLAY	20 MPa	1:1:6
BLOCKS	CONC	15 MPa	1:0.25:3

- B3 ONLY LOAD BEARING MASONRY WALLS ARE SHOWN UNDER CONCRETE SLABS.
- B4 OTHER THAN REINFORCED CONCRETE BLOCKWORK, MASONRY SUPPORTING SLABS AND BEAMS SHALL BE TROWELLED SMOOTH WITH MORTAR FILLING ALL VOIDS. TWO LAYERS OF MALTHOID SHALL BE PLACED FULL WIDTH ACROSS SUCH LOAD BEARING SURFACES EXCEPT WHERE PROPRIETARY BEARING STRIP IS NOTED OR ALTERNATIVE DETAIL IS DOCUMENTED. THE HEADS OF LOAD BEARING WALLS SHALL NOT EXTEND ABOVE THE SOFFIT OF THE CONCRETE SLAB ABOVE.
- B5 ALL DOUBLE SKIN SOLID WALLS SUCH AS 230mm THICK BRICKWORK SHALL BE BONDED BY A HEADER COURSE EVERY 4th COURSE.
- B6 ALL MASONRY SUPPORTING OR SUPPORTED BY CONCRETE FLOORS SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH ANY CONTROL JOINTS IN THE CONCRETE.
- B7 NON LOAD BEARING WALLS BUILT PRIOR TO POURING CONCRETE SHALL BE SEPARATED FROM CONCRETE ABOVE BY 16 mm THICK CLOSED CELL POLYSTYRENE STRIP. WHERE BUILT AFTER CONCRETE IS POURED LEAVE 12 mm CLEAR OF CONCRETE SOFFIT.
- B8 NO CHASES OR RECESSES ARE PERMITTED IN LOAD BEARING MASONRY WITHOUT THE APPROVAL OF THE ENGINEER.
- B9 PROVIDE VERTICAL CONTROL JOINTS AT 8 m MAX. CENTRES GENERALLY, AND 5 m MAX. FROM CORNERS FOR BRICKWORK AND UNREINFORCED BLOCKWORK.
- B10 REFER TO CONCRETE NOTES FOR DE-PROPPING PRIOR TO CONSTRUCTION OF MASONRY WALLS ON SUSPENDED SLABS.
- B11 ALL CAVITY CONSTRUCTION SHALL INCLUDE STAINLESS STEEL TIES INSTALLED IN ACCORDANCE WITH CLAUSE 3.8 AS 3700.
- B12 REINFORCED CONCRETE BLOCKWORK SHALL COMPLY WITH THE FOLLOWING, UNLESS NOTED:
  - \* BLOCKS SHALL BE STRENGTH GRADE 15 CONFORMING TO AS 2733.
  - \* MORTAR SHALL COMPRISE 1 CEMENT:0.25 LIME:3 SAND.
  - \* PROVIDE CLEANOUT HOLES 100 mm SQUARE MINIMUM AT BASE OF ALL WALLS AND ROD CORE HOLES TO REMOVE PROTRUDING MORTAR FINS PRIOR TO GROUTING.
  - \* CORE FILLING GROUT SHALL BE :- F'c = 20 MPa MINIMUM CEMENT CONTENT = 300 kg/m, SLUMP = 230 ± 30 mm.
  - \* REINFORCEMENT PROJECTING FROM FOUNDATION OR SLABS INTO CORES, SHALL BE SET ACCURATELY IN PLACE USING TEMPLATES TO ALIGN WITH THE CENTRE OF THE LENGTH OF CORES AND WITH COVER AS NOTED. WHERE HORIZONTAL BARS ARE INDICATED, THE WEBS OF THE BLOCKS BELOW THE BARS SHALL BE CUT DOWN TO ACCOMMODATE THE BARS.
  - \* GROUT ALL CORES IN REINFORCED BLOCKWORK UNLESS OTHERWISE NOTED. HEIGHT OF BLOCKWORK TO BE GROUTED ON ONE DAY SHALL BE 2400mm. GROUT SHALL BE PLACED IN LIFTS OF 1200mm MAXIMUM AND COMPACTED BY POKER VIBRATOR. A SHORT TIME SHOULD ELAPSE BETWEEN SUCCESSIVE LIFTS TO ALLOW PLASTIC SETTLEMENT TO OCCUR.
  - \* PROVIDE 50 mm COVER FROM THE OUTSIDE OF THE BLOCKWORK UNLESS NOTED.
- B13 BACKFILL TO RETAINING WALLS SHALL BE FREE DRAINING GRANULAR MATERIAL. PROVIDE SUBSOIL DRAIN AT BASE OF WALL. DO NOT BACKFILL UNTIL 14 DAYS AFTER GROUTING, OR IF APPLICABLE, AFTER RESTRAINING SLAB OVER HAS BEEN POURED AND CURED FOR 7 DAYS. BACKFILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ± 2 %.



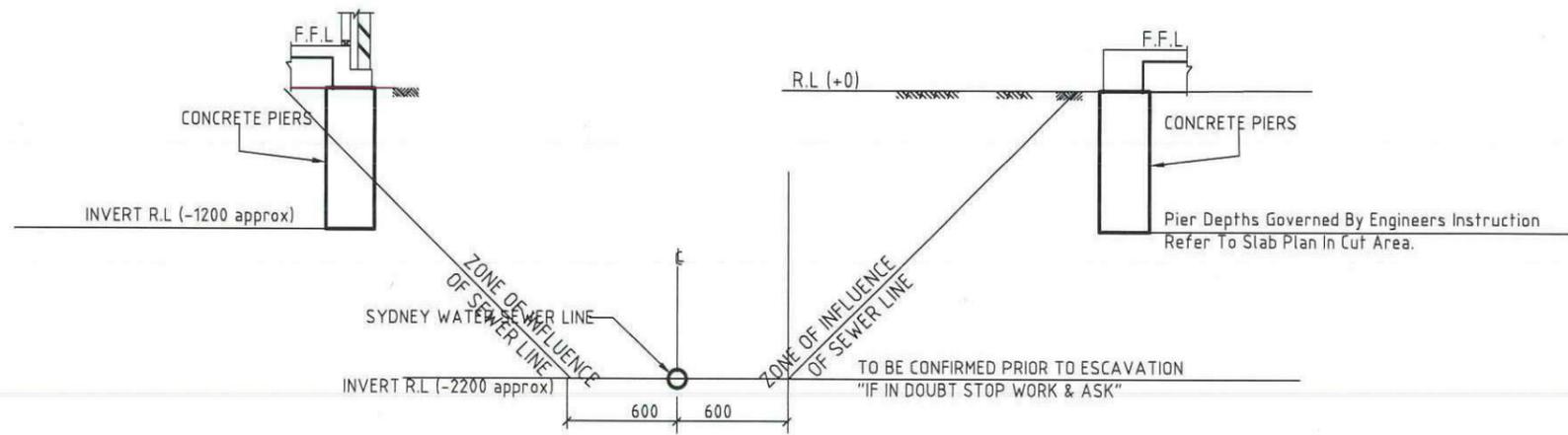
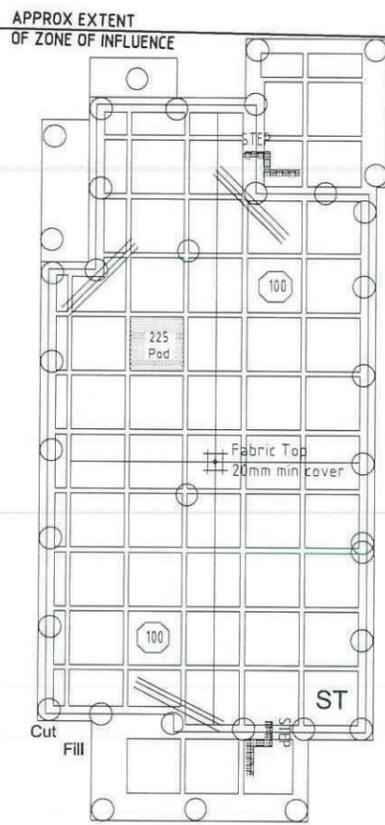
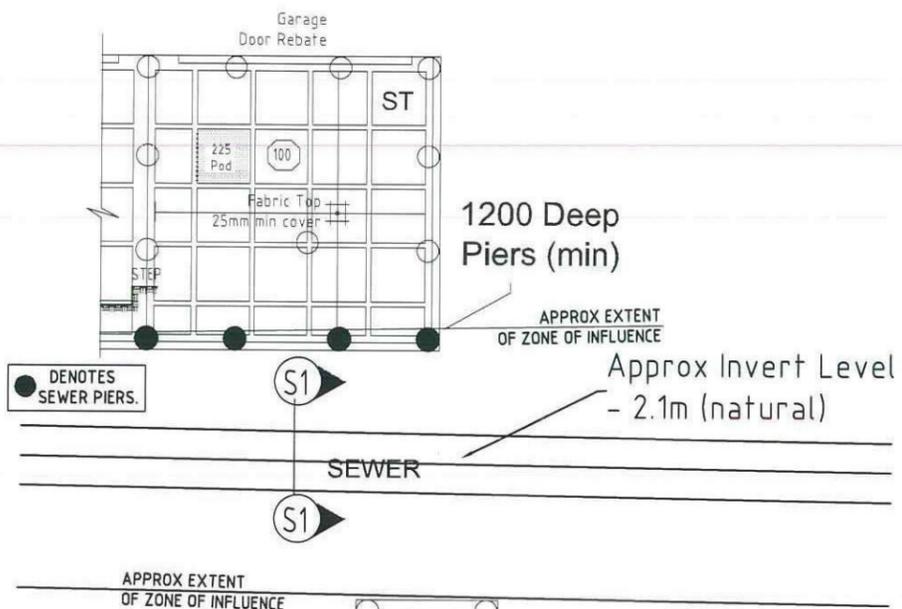
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NPER Civ/Struct  
BPB Acc Certifier 0737  
DATE: 28/6/13

FOR: M. HAYES & M. SLATER  
LOT 1156 SYDNEY SMITH DRIVE  
THORNTON, PENRITH NSW

Secta Ref Nbr: SC\_15938  
DRG Nbr: E-07  
REV: A  
DO NOT SCALE



**SECTION S1**  
Do Not Scale  
**BUILDING ADJACENT TO SEWER**  
Do Not Scale

**NOTE: CHECK WITH SYDNEY WATER OR LOCAL AUTHORITY ON MIN. CLEARANCES**

**NOTE: PIERS TO BE FOUNDED 200 BELOW ZONE OF INFLUENCE OF SEWER. IF ROCK IS ENCOUNTERED NOTIFY ENGINEER PRIOR TO COMPLETION.**

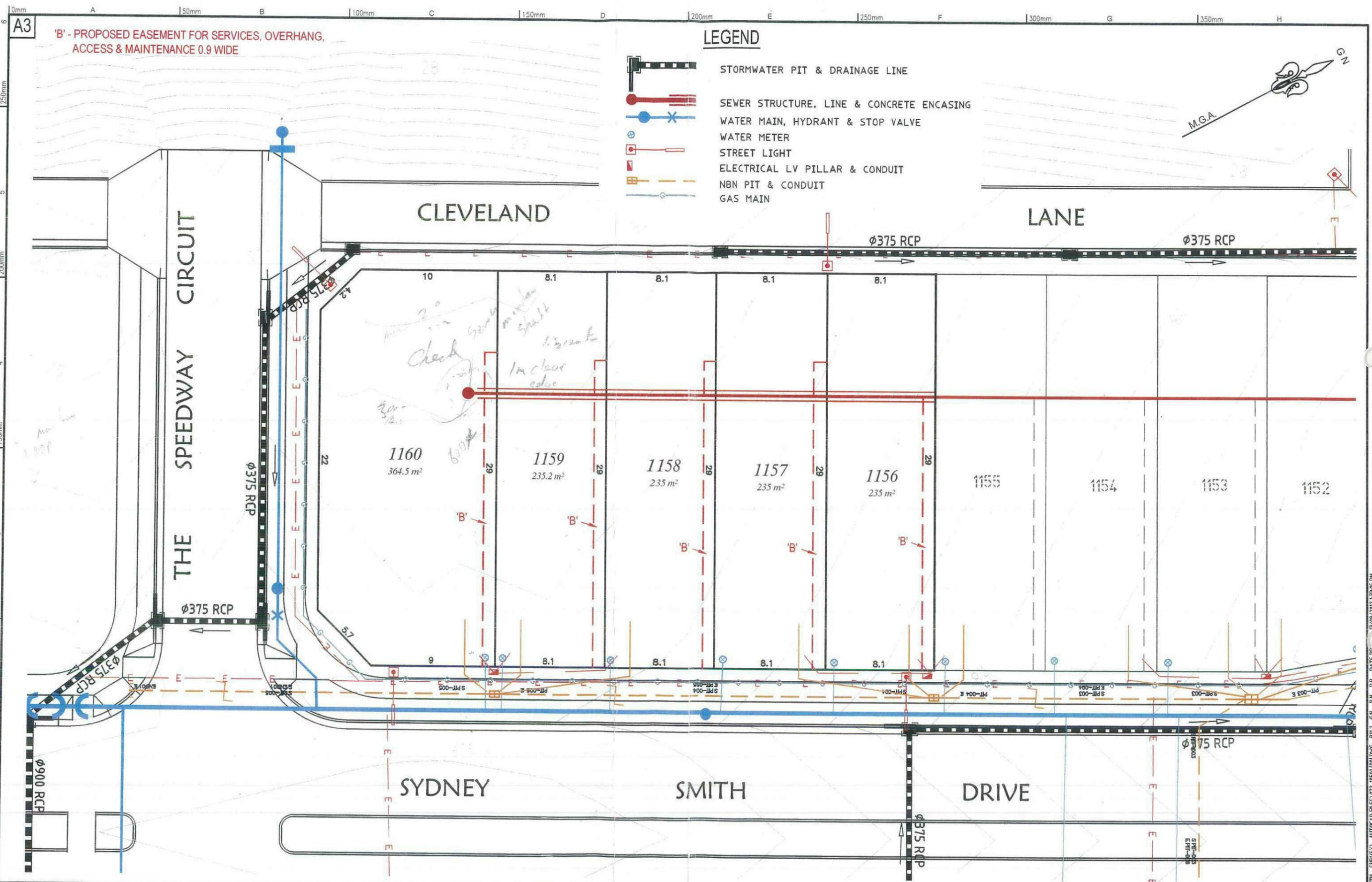


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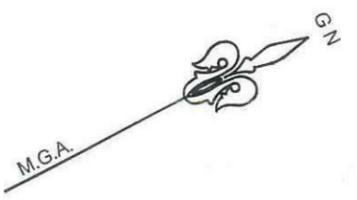
FOR:	M. HAYES & M. SLATER LOT 1156 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW		
Secta Ref Nmb	SC_15938	DRG Nmb	E-08
			REV A
SEWER DETAILS			DO NOT SCALE



'B' - PROPOSED EASEMENT FOR SERVICES, OVERHANG, ACCESS & MAINTENANCE 0.9 WIDE

**LEGEND**

- STORMWATER PIT & DRAINAGE LINE
- SEWER STRUCTURE, LINE & CONCRETE ENCASING
- WATER MAIN, HYDRANT & STOP VALVE
- WATER METER
- STREET LIGHT
- ELECTRICAL LV PILLAR & CONDUIT
- NBN PIT & CONDUIT
- GAS MAIN



Project: BUILDERS RELEASE STAGE 1A  
BLOCK B11.2 - SERVICING PLAN

Principal: <b>LANDCOM</b>	
Scale: 1:250	Date: 13/8/2012
Datum: A.H.D.	Council Ref. L.G.A. PENRITH
Calc's: G.H.	Drawn: R.N. Proj.Man: D.B. Client Ref.



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Level 4, Suite 400  
16-18 Cambridge St  
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PO Box 233  
EPPING NSW 1710

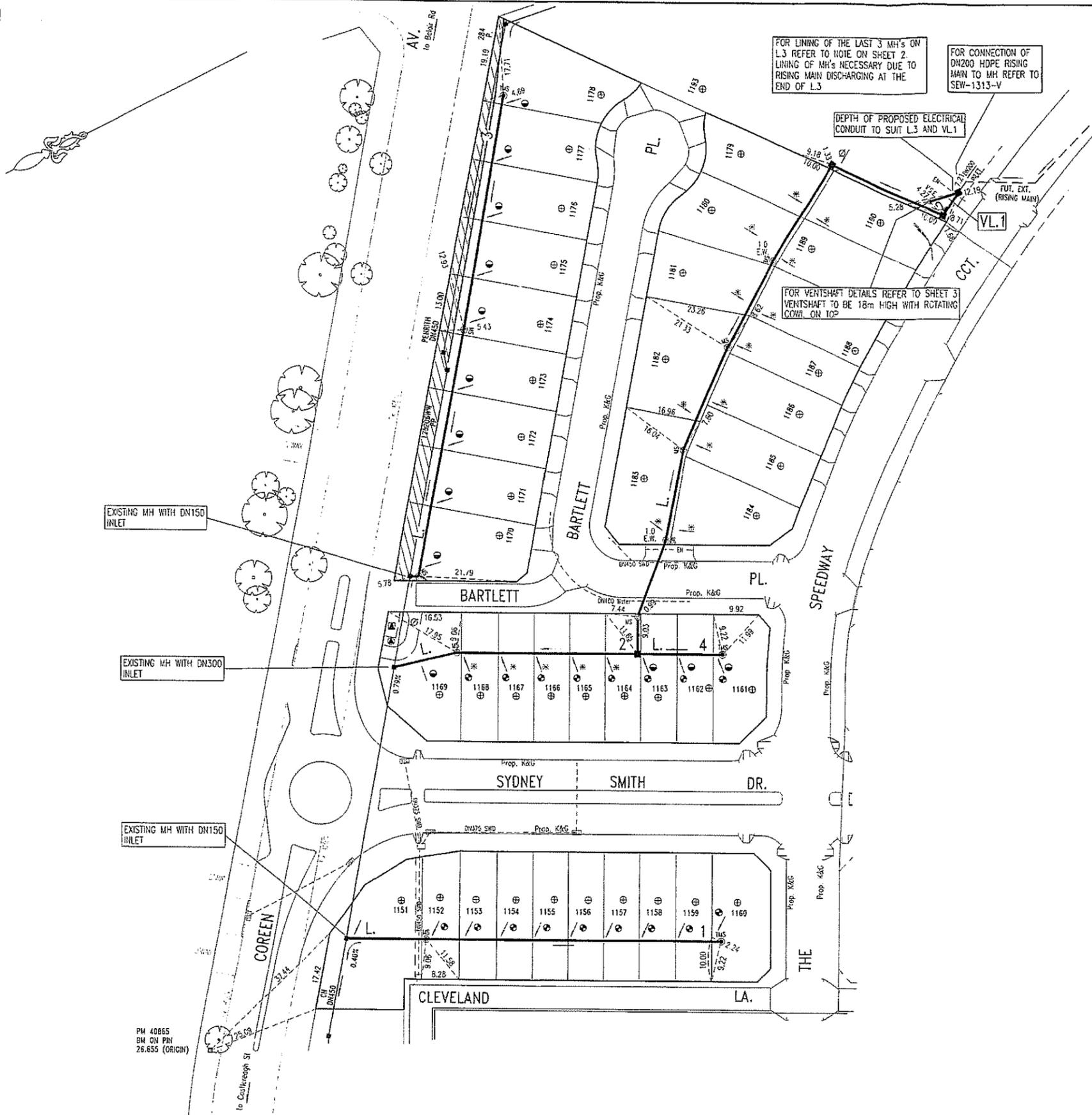
ACN 050 209 991  
DX 4408 EPPING  
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www.craigandrhodes.com.au

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Our Ref. 72/10  
Dwg File Ref. [Rev] - Sheet Ref.  
072-10F01 [00] - B11.2

CAD REF: ZA072-10 NORTH PENRITH - SURVEY - AUTOCAD FILES 072-10F01 [00] DWG - B11.2 - G1 - B.N. - D.B. - DATE PP: 13/08/2012 13:36:05 PM



NOTES :-

1. WATER SERVICES COORDINATOR  
QALCHEK PTY LTD (CERTIFIED No. 289)  
77 URICH RD  
PENRITH 2750  
Ph. No. 47 228181
2. FOR :  
LANDCOM  
c/o WORLEY PARSONS  
141 WALKER ST., NORTH SYDNEY, NSW 2060  
PH: 8923 6856
3. ALL LOTS WERE VACANT AT TIME OF SURVEY.
4. ALL STRUCTURES TO BE CONSTRUCTED TO PROPOSED FINISHED SURFACE LEVELS.
5. ALL LEVELS REFER TO PROPOSED FINISHED SURFACE LEVEL.
6. SEWER CONSTRUCTOR TO LIAISE WITH ROAD AND/OR CIVIL CONTRACTOR TO VERIFY LEVELS IN OR ADJACENT TO ROADS. PROJECT SUPERVISOR/DESIGNER TO BE INFORMED OF DISCREPANCIES.
7. PIPES TO BE CONCRETE ENCASED SHOWN ACCORDINGLY. (REFER SEW-1205-V)

EACH SECTION OF PIPE SHALL BE CONCRETE ENCASED IN THE FOLLOWING MANNER:  
EACH PIPE JOINT REQUIRES A 12mm THICK COMPRESSIBLE NEUBREX TO BE INSERTED  
EACH PIPE JOINT IS REQUIRED TO HAVE 3 R16 DOWEL PINS TOP & BOTTOM.  
DOWEL PINS ARE TO BE CENTRALLY PLACED IN CONCRETE WITH A MINIMUM BAR LENGTH OF 600mm  
THE DOWEL PIN IS TO BE EITHER GALVANISE OR STAINLESS STEEL.  
AT THE ENDS OF EACH SECTION OF ENCASEMENT A 600mm ROCKER PIPE IS TO BE INSTALLED.

5. BUILDING OVER/ADJACENT TO SEWER CONDITIONS WILL APPLY REFER TO QALCHEK FOR DETAILS.

6. ALL LEVELS ELECTRONICALLY GENERATED NO LEVEL BOOK AVAILABLE.

7. THE MINIMUM NUMBER OF FIELD COMPACTION TESTS REQUIRED TO SATISFY THE SEWERAGE CODE OF AUSTRALIA ARE:  
IF SAND/CEMENT BACKFILL IS USED AT ROAD CROSSINGS THE NUMBER OF TRENCH FILL COMPACTION TESTS MAY BE REDUCED BY 12.  
PIPE EMBEDMENT ZONE: 5 TESTS REQUIRED.

TRENCH FILL ZONE (TRAFFICABLE): 12 TESTS REQUIRED  
TRENCH FILL ZONE (NON TRAFFICABLE): 12 TESTS REQUIRED  
TRENCH FILL ZONE (MANHOLES): 42 TESTS REQUIRED  
TRENCH FILL ZONE (TOTAL): 66 TESTS REQUIRED

8. THE REVIEW OF ENVIRONMENTAL FACTORS IS AN INTEGRAL PART OF THIS DESIGN AND MUST BE READ IN CONJUNCTION WITH THIS PLAN.
9. PRIOR TO ANY EXCAVATION THE CONSTRUCTOR MUST HAVE A CURRENT COPY OF THE UNDERGROUND SERVICES REPORT TO BE READ IN CONJUNCTION WITH THIS PLAN.
10. TEMPORARY LEVEL MARKS ARE FOR CONSTRUCTION PURPOSES ONLY. S.S.M.'S WILL BE PLACED ON THE KERBS AND GUTTERS, LEVELLED AND SHOWN AS BENCH MARKS ON THE W.A.E. DRAWINGS.
11. ALL EXCAVATION, SHORING EXCAVATION AND STABILITY OF ADJACENT STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTOR.
12. ALL DEFLECTIONS ON W.S.'S ARE TO BE ACCOMPLISHED WITHOUT ANY BENDS OUTSIDE THE W.S. STRUCTURE IF POSSIBLE.
13. THE SW AND WW PLANS ARE BASED ON THE FOLLOWING ENGINEERING PLANS SUPPLIED BY WORLEY PARSONS:  
0721015[02].DWG (FROM 26.09.11)  
X-STAGE1 STORMWATER PLAN/LONG (FROM 04.10.11)  
DRAINAGE-LS-PL01.DWG (FROM 04.10.11)  
X-L0T LAYOUT.DWG (FROM 04.10.11)  
X- ROAD CONTOURS.DWG (FROM 04.10.11)  
STORMWATER LAYOUT.DWG (FROM 04.10.11)  
FOR ELECTRICAL PLANS SUPPLIED BY CRAIG AND RHODES 31.01.2012. PLANS DONE BY CONNECT (REF. NUMBER M600C D1-01 AND M600C D1-01)  
301015-02391-CI-S1-101.DWG, REV.7 (FROM 15.05.12)  
301015-02391-CI-S1-522 TO 526.DWG, REV. 04 AND REV. 05 (FROM 15.05.12)
14. THE PROPOSED WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SEWER RETICULATION CODE OF AUSTRALIA (NSA 02-2002-2.2 VERSION 3) INCLUDING IHL SYDNEY WATER SUPPLEMENT & APPENDICES AND THE TECHNICAL SPECIFICATION FOR LOW INFILTRATION SEWER SYSTEMS.  
THE CONTRACTOR MUST HAVE A COPY OF THESE DOCUMENTS ON SITE AT ALL TIMES.
15. MAINTENANCE STRUCTURE OPTIONS SHALL BE LIMITED TO CAST IN-SITU MAINTENANCE HOLES, PLASTIC MAINTENANCE SHAFTS AND PLASTIC TERMINAL MAINTENANCE SHAFTS.
16. CONSTRUCTOR RESPONSIBLE TO FOLLOW ANY TESTING PROCEDURES SET OUT IN SECTION 110.1 AND 110.2 OF THE TECHNICAL SPECIFICATION FOR LOW INFILTRATION SEWER SYSTEMS.
17. AREAS HATCHED THUS NOT DRAINED.

IMPORTANT NOTES FOR PCS'S:

18. ALL JUNCTIONS FOR THE PCS'S TO BE LOCATED 0.7m MIN OFF DOWNSTREAM PROPERTY BOUNDARY (OR DOWNSTREAM INTERNAL BOUNDARY) OR DOWNSTREAM EASEMENT BOUNDARY OR 1.0m OFF THE EDGE OF THE DOWNSTREAM STRUCTURE.  
IF A JUNCTION FOR A PCS IS ALREADY LOCATED IN THAT PLACE THEN THE NEXT PCS JUNCTION IS TO BE LOCATED 1.0m UPSTREAM OF THE PRECEDING PCS JUNCTION (APPLICABLE FOR LOTS 1188 - 1190).
19. / DENOTES STANDARD PCS CONNECTION (REFER LIS FIG.5 STANDARD CONNECTION)
20. / DENOTES SLOPED PCS CONNECTION (REFER LIS FIG.5 SLOPED CONNECTION)
21. \* DENOTES DEEP PCS CONNECTION (REFER LIS FIG.6)
22. ⊙ DENOTES PCS TO BE DN225 (IN CONJUNCTION WITH SYMBOLS ABOVE)
23. THE TOTAL LENGTH OF THE DN225 PCS'S EXCLUDING RISERS IS APPROXIMATELY 1m. PCS'S TO HAVE MINIMUM STIFFNESS RATING OF SN8.  
THE TOTAL LENGTH OF THE DN100 PCS'S EXCLUDING RISERS IS APPROXIMATELY 74m. PCS'S TO HAVE MINIMUM STIFFNESS RATING OF SN8. JOINTING TO BE SOLVENT WELDED.
24. IT IS THE RESPONSIBILITY OF THE CONSTRUCTOR TO PROVIDE THE CHANGES FOR THE PCS'S, THE LENGTH OF THE PCS'S, THE TYPE OF CONNECTION USED, THE LENGTH TO THE 10 AND THE INVERT LEVEL AT THE PCP (IF APPLICABLE) TO THE WSE FOR WAE PURPOSES.
25. ⊕ BOUNDARY TRAPS ARE REQUIRED FOR L.3 TO PROTECT PROPERTIES FROM ODOURS FROM THE PRESSURE MAIN DISCHARGE AS BOUNDARY TRAPS ARE NEEDED ANYWAY A WATERSEAL AT THE CONNECTION POINT OF L.3 TO THE CARRIER WILL NOT BE REQUIRED. PROPERTIES ON L.1 AND L.2 WILL ALSO REQUIRE BOUNDARY TRAPS DUE TO THE DEPTH OF THE CARRIER AND THE AMOUNT OF FLOW IN THESE LINES.
26. ⊕ DENOTES PCS TO BE CONSTRUCTED 0.40m OFF BOUNDARY.

QALCHEK PTY LTD  
FOR CONSTRUCTION  
IN ACCORDANCE WITH  
PLAN 1.26167WW  
DATE 6.7.2012

NUMBER	AMENDMENT	INITIAL	DATE
A	FIRST ISSUE (FOR CLIENT ONLY)	F.J.	17.10.11
B	ISSUE FOR COMMENT	F.J.	12.12.11
C	ISSUE FOR SVC ENDORSEMENT	F.J.	16.02.12
D	CHANGES ON L.1 (CONNECTION POINT) BY WATERSEAL AT L.3, L.3 APPROVED VENTURE 1 (VL1) ADDED, LINER CHANGED	F.J.	16.02.12
E	SEWER ALIGNMENT AMENDED TO SUIT HOUSES	A.P.	31.05.12
F	CHANGE ON L.1, SWP ADDED. ALL LOTS IN THIS STAGE TO HAVE WATERSEALS (REFER TO NOTE 25)	F.J.	26.06.12

- ⊕ EASEMENT FOR PADMOUNT SUBSTATION (2.75m WIDE)
- ⊕ RESTRICTION ON THE USE OF LAND (3m WIDE)
- ⊕ RESTRICTION ON THE USE OF LAND (5m WIDE)

PLAN TO BE READ IN CONJUNCTION WITH CURRENT SYDNEY WATER STANDARDS SYDNEY WATER CORPORATION

PRIOR TO COMMENCEMENT OF EXCAVATION FOR PROPOSED AND EXISTING SERVICES CONTACT :

DIAL BEFORE YOU DIG Ph. 1160  
ELECTRICITY Ph.  
GAS Ph.  
TELECOMMUNICATIONS Ph. 137 097  
SVC Ph. 137 097  
GIVING AT LEAST 48 HOURS NOTICE.

UTILITIES			WORK AS CONSTRUCTED CERTIFICATION		
TYPE	DATE	REF.	TYPE	DATE	REF.
PROP WATER: DN100 WATER	21.07.11	DESIGN	DEVELOPER		
PROP STORMWATER: SWD	19.07.11	ENG PLAN	WATER SERVICE CO-ORDINATOR		
PROP ENDEAVOUR E. ON	128.11.11	ENG PLAN	CONSTRUCTOR		
PM 40855 (ORIGIN)	01.03.11	SURVEY	COMPLETED		

DESIGNER

I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS

W.A.C. PREPARED

PIPE SCHEDULE			
SIZE	TYPE	CLASS	LENGTH
300	UPVC	SN8	215.70
150	UPVC	SN8	214.67
225	UPVC	SN8	1
100	UPVC	SN10	74
			TOTAL 506.37

AUSTRALIAN HEIGHT DATUM	
SCALES	
PLAN 1:500	SECTION 1:500
	VERT. 1:125
CROSS SECTIONS - NATURAL	
LEASTS DEPTH & LEVELS AFTER METRES	

NO AMENDMENTS ARE TO BE MADE TO THIS PLAN WITHOUT REFERENCE TO SYDNEY WATER. THIS PLAN IS NOT NECESSARILY UP TO DATE OR CORRECT AND SYDNEY WATER ACCEPTS NO RESPONSIBILITY.

U.S. DIRECTORY MAP 163/KG (45th Ed.)

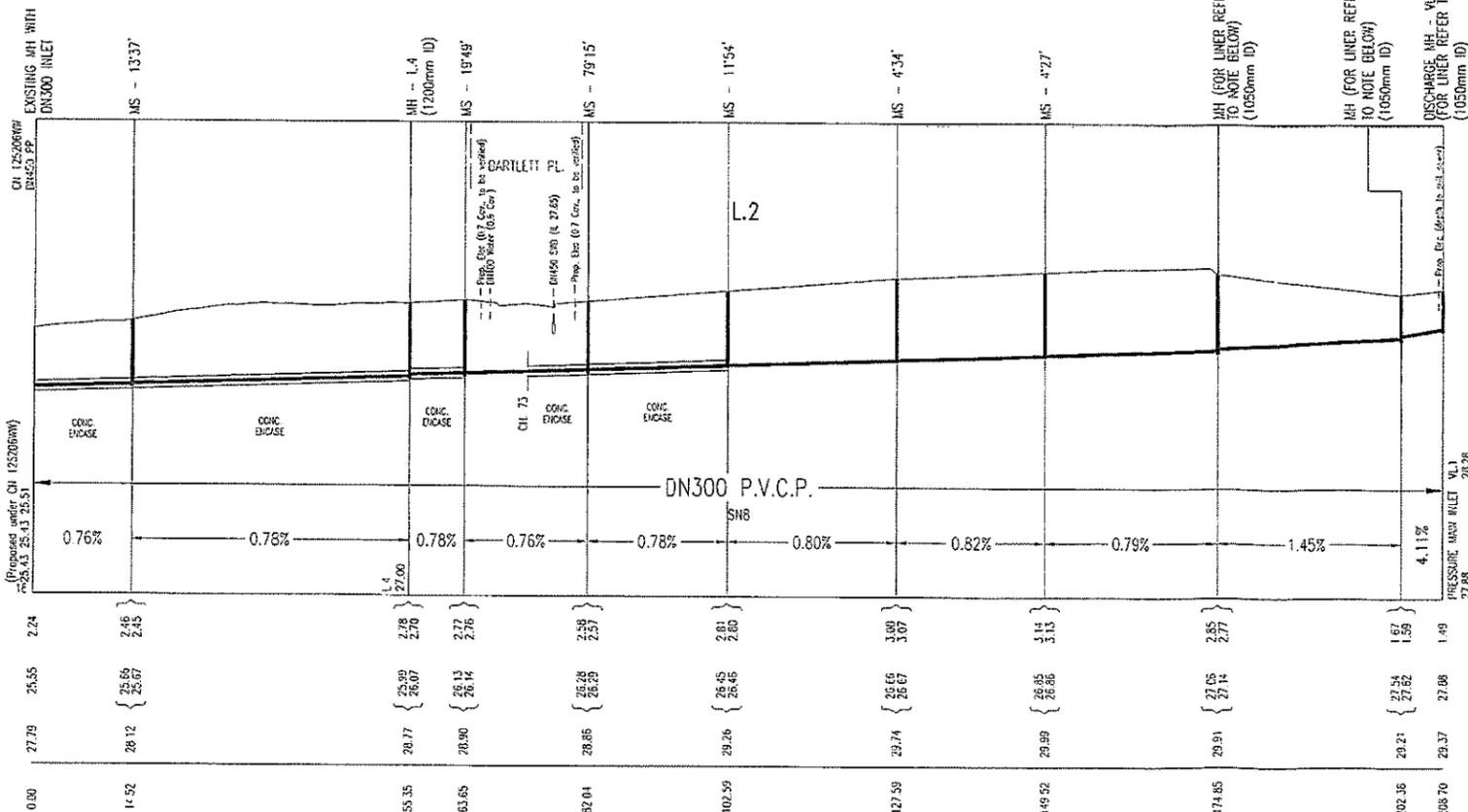
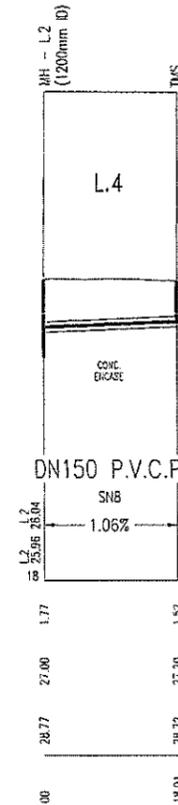
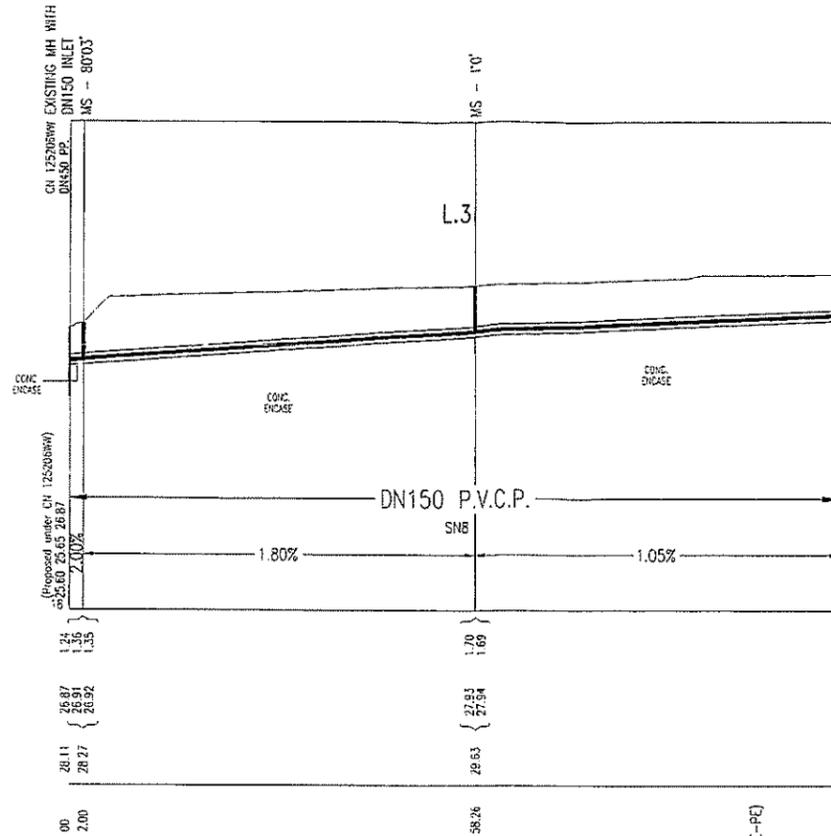
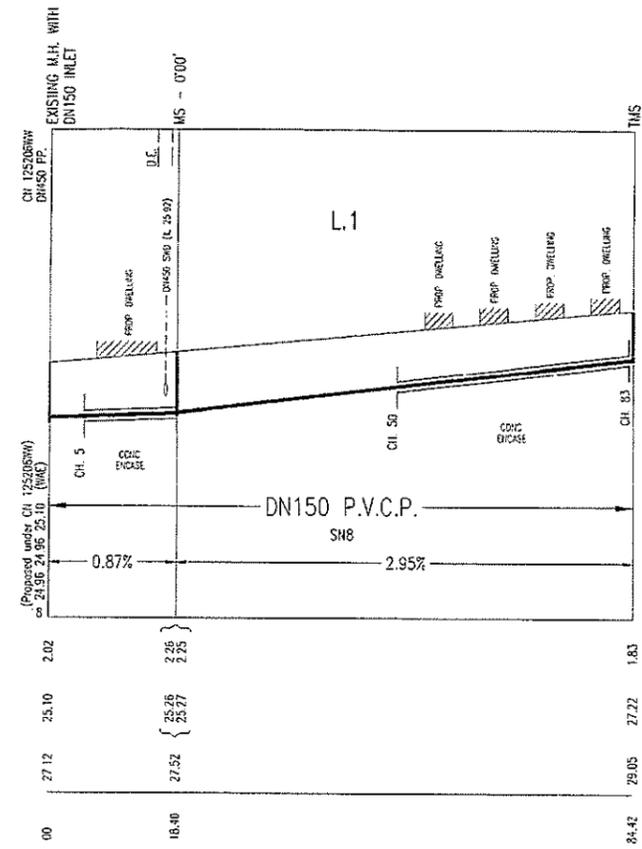
SHEET 1 OF 3 File No. N/A

Sydney WATER SYDNEY WATER CORPORATION

Case No.126167WW

PENRITH SEWERAGE DRAINS TO PENRITH STP

PLAN DRAWN DATE: 26.06.12 VERSION: F SHEET 1 OF 3 SHEETS



DISCHARGE MH - L.1  
(FOR LINER REFER TO NOTE TO SIDE)  
(1050mm ID)  
PRESSURE MAIN SIZE IS DN200  
HOPE PIPE - MH CONNECTION FOR HOPE  
PIPE TO BE TO SEW-1313-V (CONNECTION PE-PF)

DISCHARGE MH - L.3  
(FOR LINER REFER TO NOTE TO SIDE)  
(1050mm ID)  
PRESSURE MAIN SIZE IS DN200  
HOPE PIPE - MH CONNECTION FOR HOPE  
PIPE TO BE TO SEW-1313-V (CONNECTION PE-PF)

FOR VENTSHAFT DETAILS REFER TO SHEET 3.

IMPORTANT:  
- FOR SURFACE LEVELS REFER TO NOTE 3 ON SHEET 1

TOP OF VENTSHAFT BASE BLOCK TO BE  
RL 29.50, FILL OF 320mm REQUIRED  
FILL TO BE PROVIDED AT A 1 IN 3 GRADE  
FROM THE EDGE OF THE BASE BLOCK.  
MINIMUM BASE BLOCK SIZE 1.7x1.7x1.3  
(LENGTH x WIDTH x DEPTH)

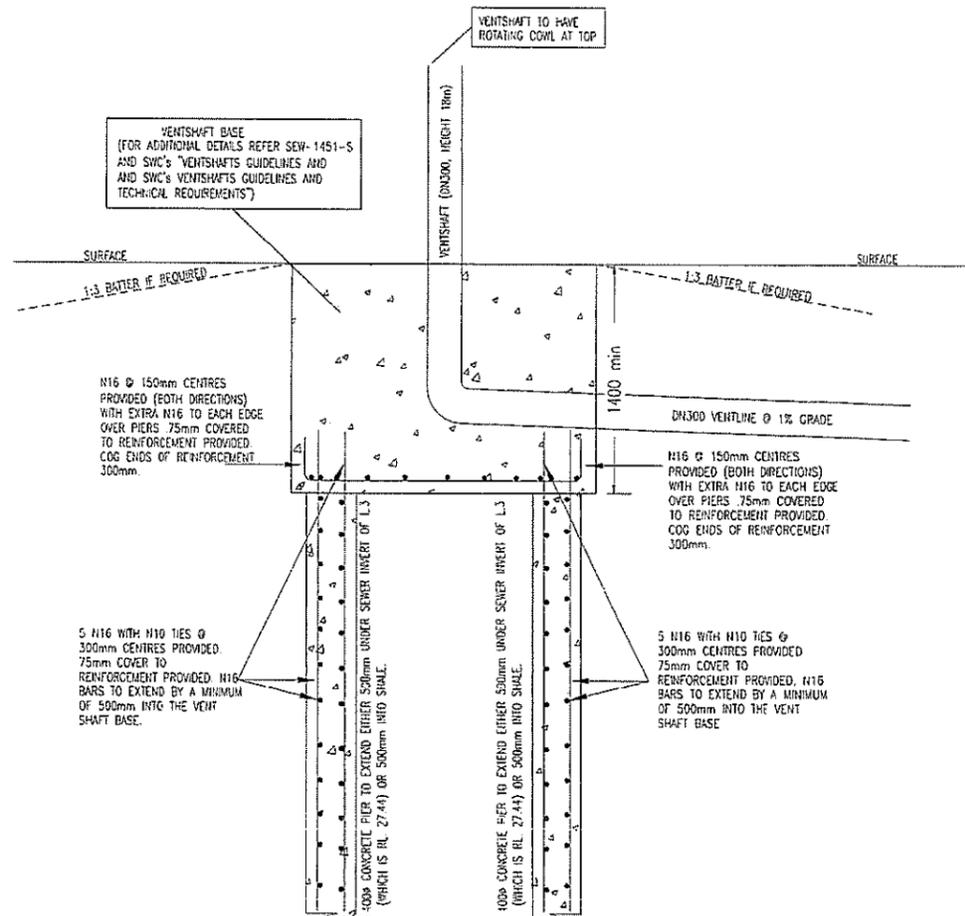
**Galchek Pty Ltd**  
**FOR CONSTRUCTION**  
IN ACCORDANCE WITH  
PLAN 126167WW ISSUE F  
DATE 5/7/2012

**NOTE FOR INTERNAL LINING OF MH'S ON L.2  
CHAINAGE 174.85, 202.38, 208.70**

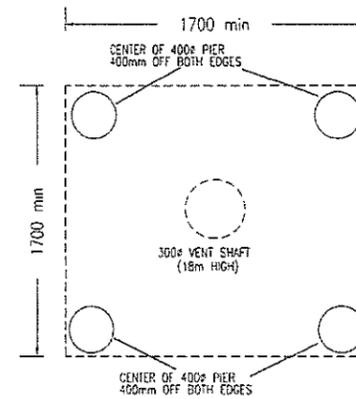
1. ALL INTERNAL SURFACES OF THE MANHOLES TO BE ADEQUATELY PROTECTED, INCLUDING UNDERSIDE OF ROOF SLAB. PROTECTION OF SURFACES TO CONFORM TO PCS-100. PROTECTION TO CONSIST OF SIKAGARD-63N AFTER PRESEALING THE SURFACES (INTERNAL WALL AND UNDERSIDE OF ROOF) WITH SIKAGARD-720 EPOCEM. BENCHING TO BE PROTECTED WITH CALCIUM ALUMINATE (MIN 15mm THICK). APPLICATION AND SURFACE PREPARATION OF THE AFOREMENTIONED PRODUCTS TO BE DONE TO MANUFACTURER'S RECOMMENDATIONS.

NUMBER	AMENDMENT	INITIAL	DATE
A	FIRST ISSUE (FOR CLIENT ONLY)	F.J.	17.10.11
B	ISSUE FOR COMMENT	F.J.	12.12.11
C	ISSUE FOR SWC ENDORSEMENT	F.J.	16.02.12
D	CHANGES ON L.1 (CONNECTION POINT) AND WATERSEALS AT L.3. L.4 MANHOLE VENTLINE 1 (V.1) ADDED. LINER CHANGED	F.J.	16.02.12
E	SEWER ALIGNMENT AMENDED TO SUIT HOUSES	A.P.	31.05.12
F	CHANGE ON L.1, SHD ADDED. ALL LOTS IN THIS STAGE TO HAVE WATERSEALS (REFER TO NOTE 25)	F.J.	26.06.12

WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	W.B.C	COMPLETED	W.A.C. PREPARED
Case No. 126167WW		SHT 2 OF 3 SHTS.	
DESIGNER		SYDNEY WATER CORPORATION	
I CERTIFY THAT THE WORK HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		FOR DETAILS OF SERVICES SEE SHEET 1	



TYPICAL SECTION FOR PIERING DETAILS AND VENT SHAFT BASE  
NOT TO SCALE



TYPICAL PLAN VIEW FOR PIERING DETAILS AND VENT SHAFT BASE  
NOT TO SCALE

Gaiher Pty Ltd  
**FOR CONSTRUCTION**  
IN ACCORDANCE WITH  
PLAN 126167W ISSUE F  
DATE 6 / 7 / 2012

NUMBER	AMENDMENT	INITIAL	DATE
A	FIRST ISSUE (FOR CLIENT ONLY)	F.J.	17.10.11
B	ISSUE FOR COMMENT	F.J.	12.12.11
C	ISSUE FOR SWC ENDORSEMENT	F.J.	16.02.12
D	CHANGES ON L1 (CONNECTION POINT) BY WATERSEAL AT L3, L3 ANCHORED VENTURE T (V.L1) ADDED, LNER CHANGED	F.J.	16.02.12
E	SEWER ALIGNMENT AMENDED TO SUIT HOUSES	A.P.	31.05.12
F	CHANGE ON L1, SWD ADDED, ALL LOTS IN THIS STAGE TO HAVE WATERSEALS (REFER TO NOTE 25)	F.J.	26.06.12

WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	W.S.C.	Case No. 126167WW SHT 3 OF 3 SHTS.	
CONSTRUCTOR	COMPLETED	SYDNEY WATER CORPORATION	
DESIGNER	W.A.C. PREPARED	FOR DETAILS OF SERVICES SEE SHEET 1	