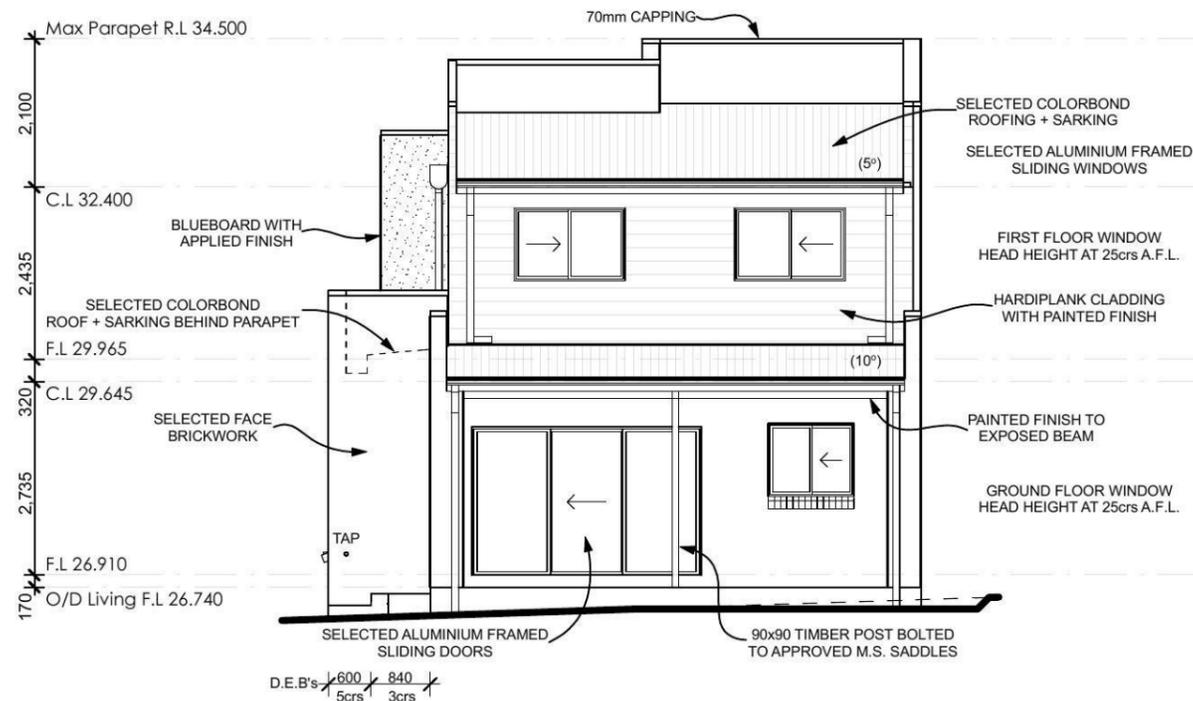


## Southern Elevation

SCALE 1:100



## Northern Elevation

SCALE 1:100

**Energy Rating** Certificate Number 14561090  
 Average star rating 4.25 stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456  
 Assessor Signature [Signature] Date 23/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

Plot Date  
Tue 28 Oct 2014

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**  
 Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	115 mm FROM F.F.L.



Suite 1, Level 1,  
600 Hoxton Park Rd,  
Hoxton Park, N.S.W. 2171.  
P.O. Box 95 Hoxton Park,  
N.S.W. 2171.  
Telephone (02) 9825 8000  
Fax (02) 9825 8110  
Builders Licence No. 92732C

Revision	Date	Amendment
B	28.10.14	DA PLANS - BT
A	01.09.14	CONTRACT DRAWINGS - MT

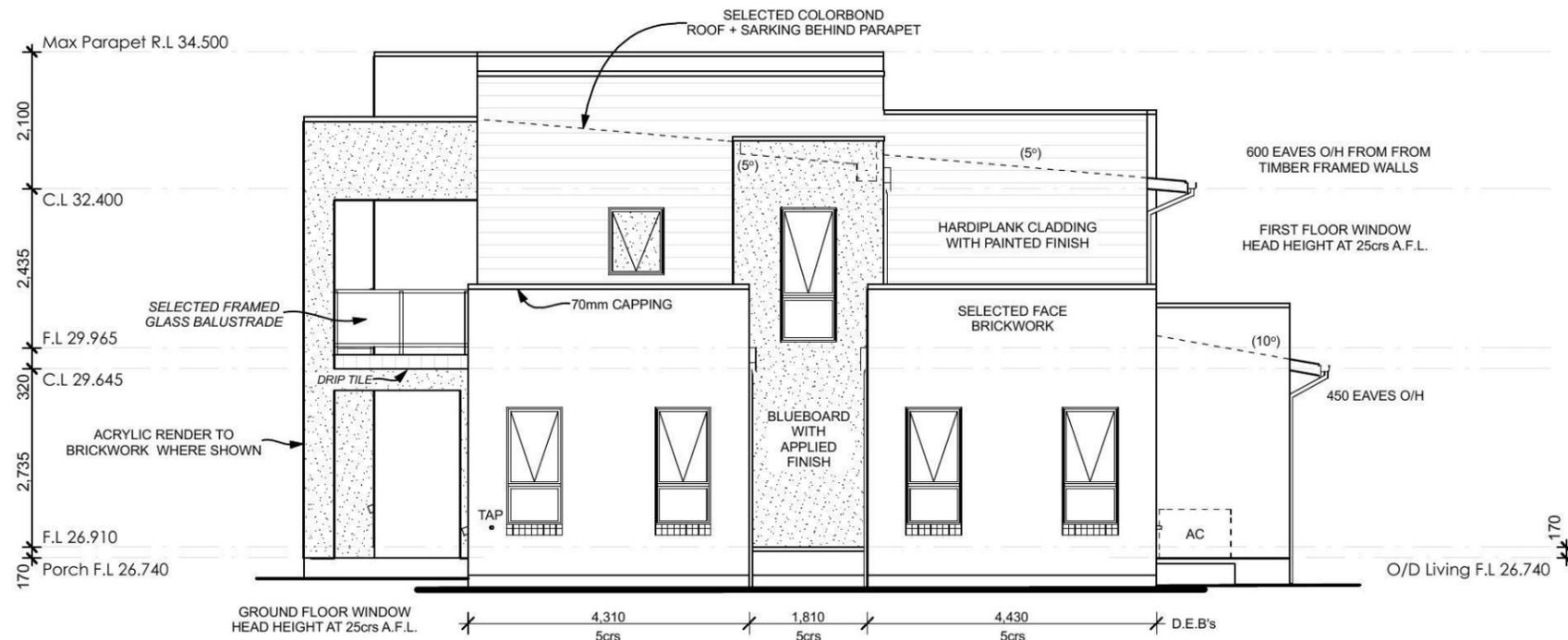
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Proposed Residence  
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Cnr Woodman Street &  
Thornton Drive,  
Penrith (Thornton)

Client:  
**Champion Homes**

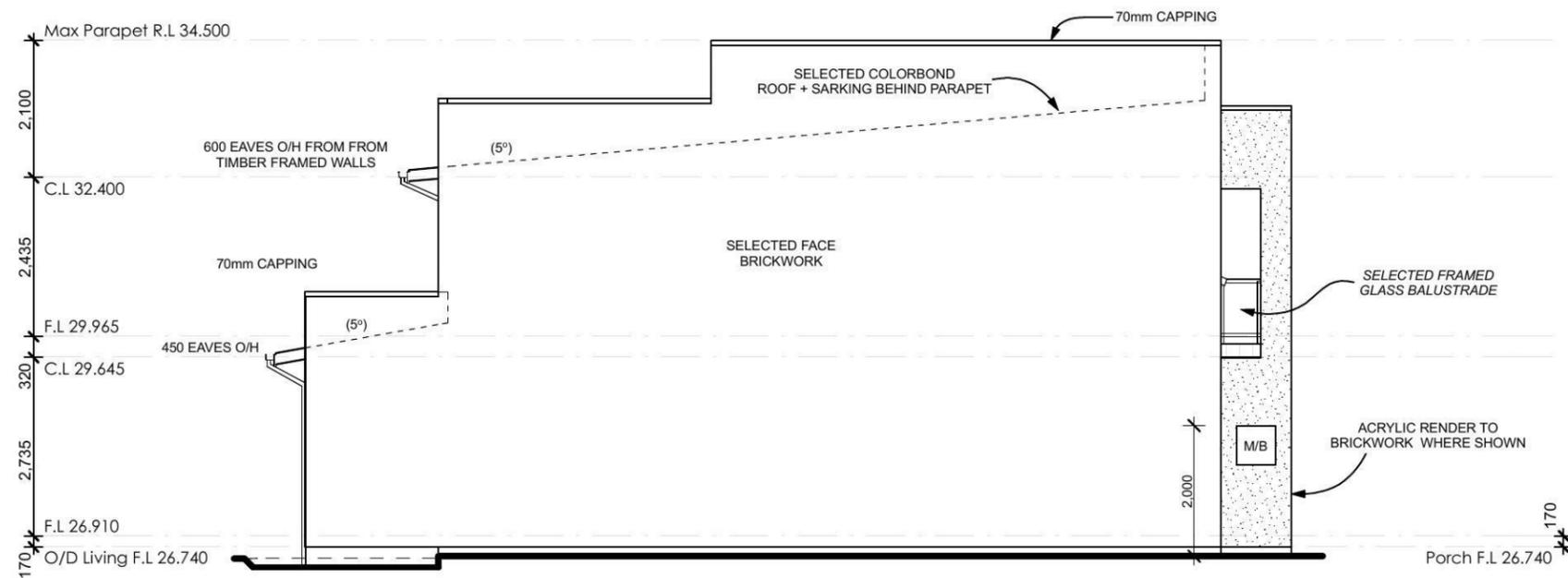
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Design:  
**Custom Terrace**

Job No. **3286N** Sheet 9 of 13



## Eastern Elevation

SCALE 1:100



## Western Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

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Plot Date  
Tue 28 Oct 2014

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**  
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Revision	Date	Amendment
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Client:  
**Champion Homes**  
Sheet Size: A3 Date: 01.09.14 Drawn: MT  
Design:  
**Custom Terrace**  
Job No. **3286N** Sheet 10 of 13

**Energy Rating** Certificate Number **14561090**  
Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

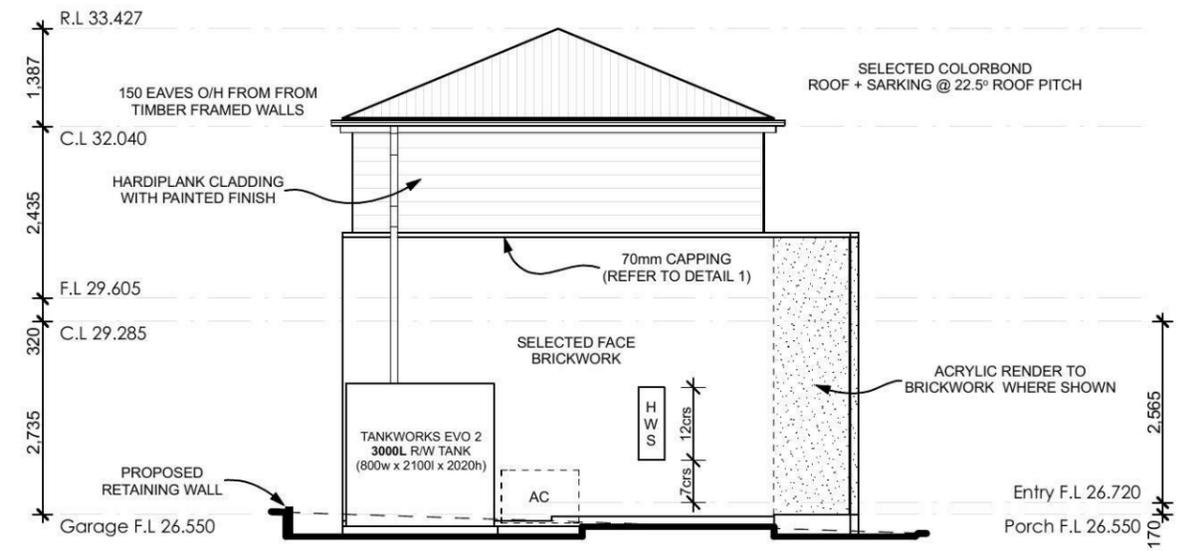
Assessor Name/Number **Thomas Ruck VIC/BDAV/12/1456**  
Assessor Signature *T. Ruck* Date **23/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



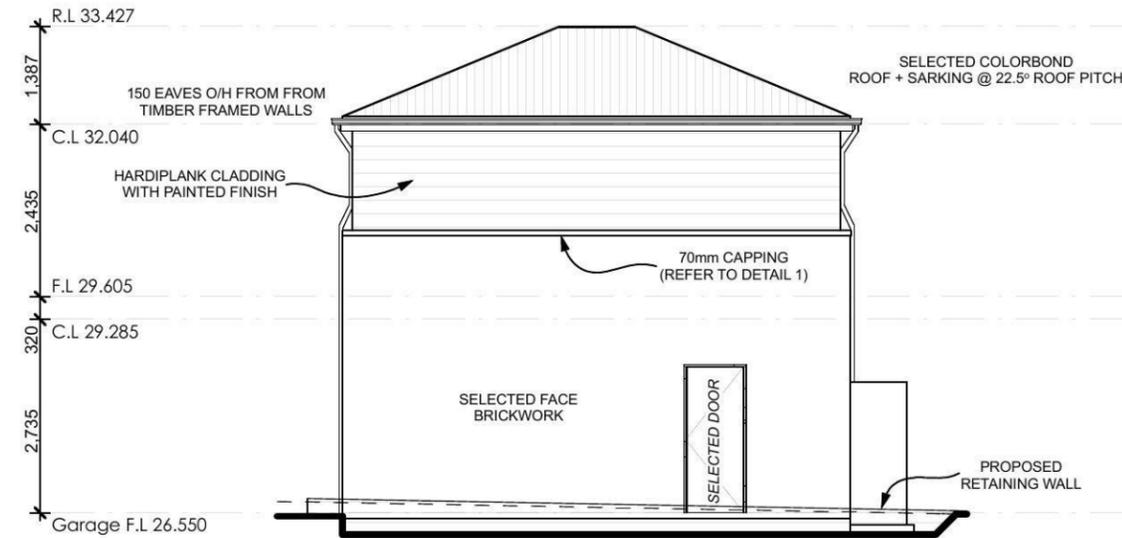
## Eastern Elevation

SCALE 1:100



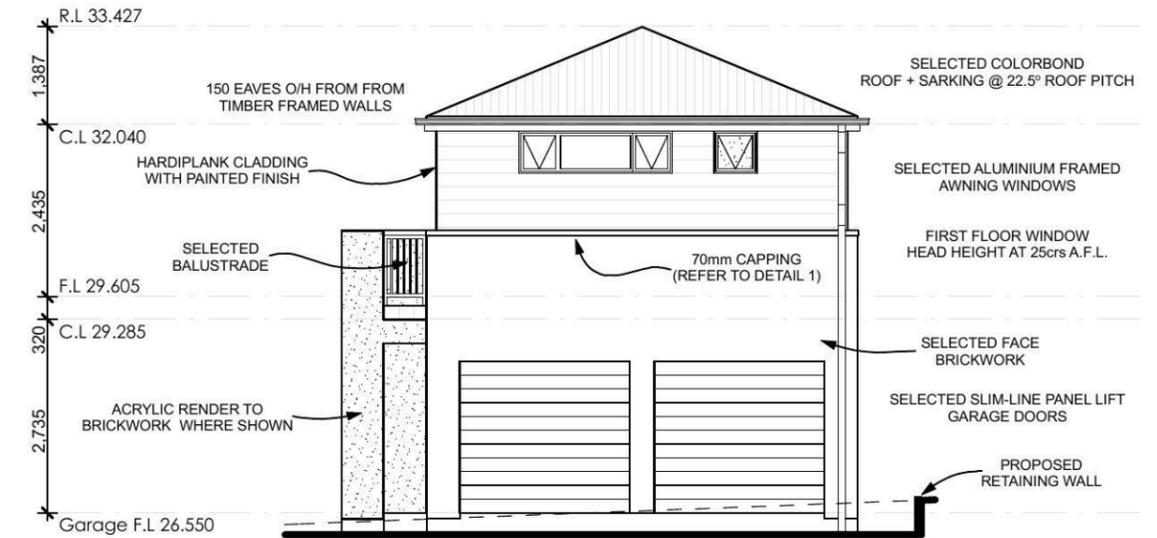
## Southern Elevation

SCALE 1:100



## Western Elevation

SCALE 1:100



## Northern Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

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	<b>Energy Rating</b>	Certificate Number <b>14561090</b>
		Average star rating <b>4.25</b> stars
<input checked="" type="checkbox"/>	multi-unit development	
Recessed downlights confirmation:	<input checked="" type="checkbox"/> Rated with	<input type="checkbox"/> Rated without
Assessor Name/Number	Thomas Ruck VIC/BDAV/12/1456	
Assessor Signature		Date <b>23/10/14</b>

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date  
Tue 28 Oct 2014

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
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Penrith (Thornton)

Client:  
**Champion Homes**  
Sheet Size: A3 Date: 01.09.14 Drawn: MT  
Design:  
**Custom Terrace**  
Job No. **3286N** Sheet 11 of 13

# Proposed Erosion & Sediement Control Plan

SCALE 1:200

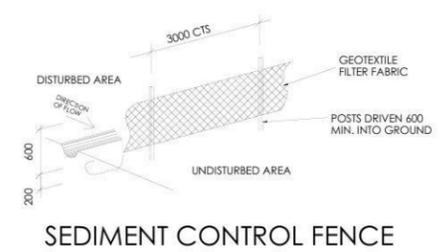
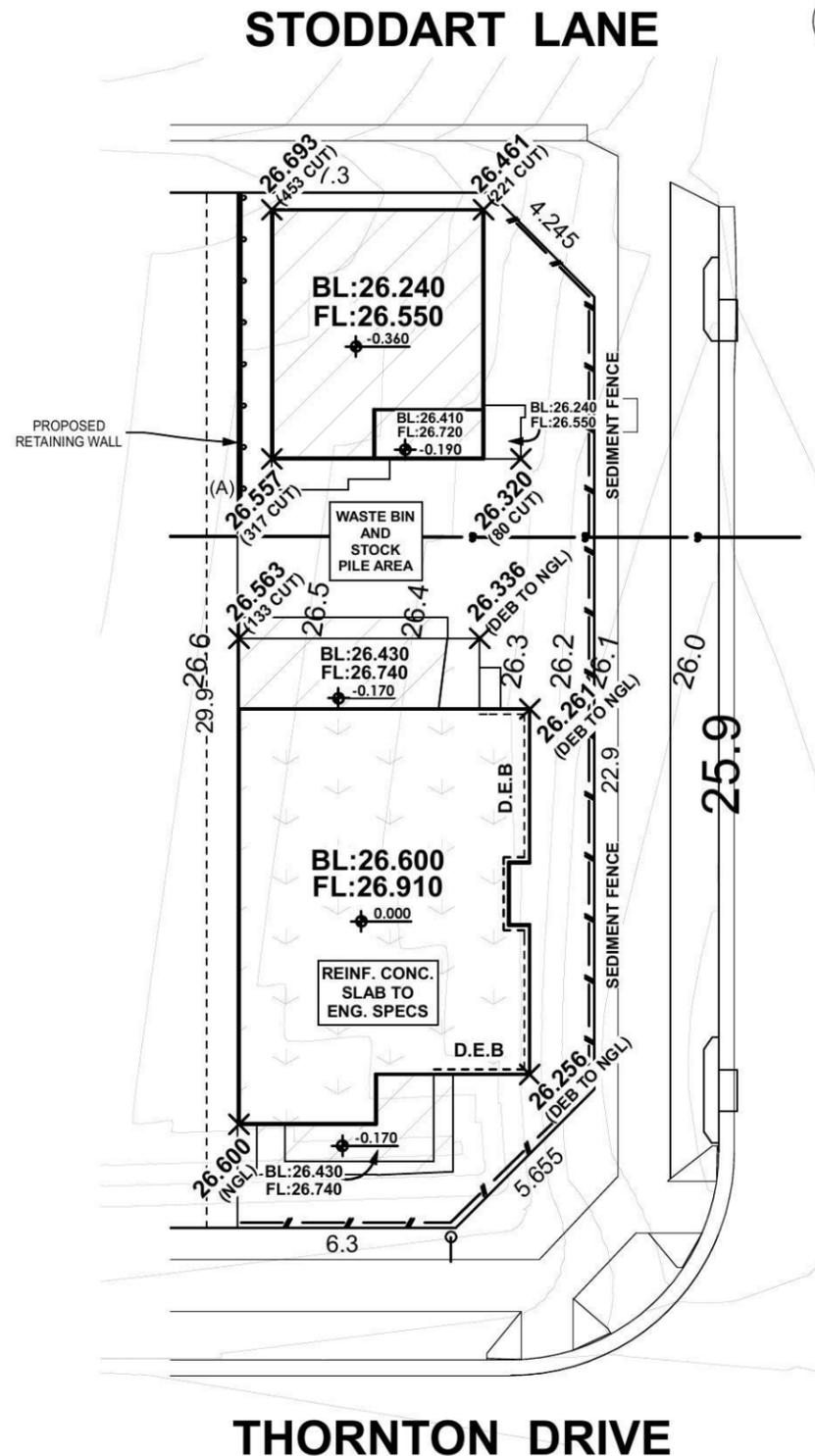
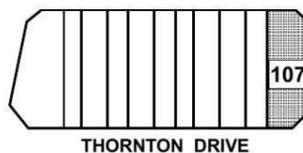
**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



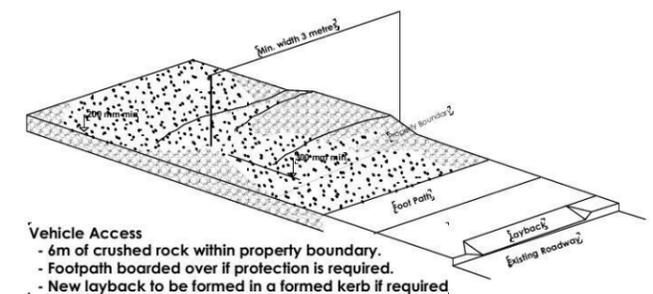
**LOT: 107**  
**295.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**SITE PLAN**  
ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.  
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.  
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



	<b>Energy Rating</b>	Certificate Number <b>14561090</b>
		Average star rating <b>4.25</b> stars
<input checked="" type="checkbox"/>	multi-unit development	
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Thomas Ruck VIC/BDAV/12/1456</b>		
Assessor Signature <i>T. Ruck</i>		Date <b>23/10/14</b>
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE		

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Do not assume - if in doubt ASK.

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**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

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Revision	Date	Amendment
B	28.10.14	DA PLANS - BT
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**Proposed Residence**  
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Penrith (Thornton)

Plot Date  
Tue 28 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT  
Design:  
**Custom Terrace**

Job No. **3286N** Sheet 3 of 13

**LOT PLANTING SUMMARY**

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
225	29	88	108	1

**PLANT SCHEDULE Prepared by ecodeign Pty Ltd**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
<b>Apl</b>	Acer palmatum 'Shishigashira'	Dwarf Japanese Maple	2	25L	3m
<b>Aw</b>	Agapanthus 'White'	White Agapanthus	88	200mm	0.5m
<b>Bm</b>	Buxus microphylla var. japonica	Japanese Box	25	200mm	1m
<b>Lwf</b>	Liriope muscari 'Monroe's White'	Liriope	19	200mm	0.45m
<b>Msb</b>	Michelia 'Summer Bronze'	Evergreen Magnolia	29	200mm	2m
<b>Oi</b>	Ophiopogon 'Stripey White'	Stripey White Mondo Gras	9	200mm	0.3-0.4m
<b>Sr</b>	Strelitzia reginae	Bird of Paradise	1	200mm	1.5m
<b>Vh</b>	Viola hederacea	Native Violet	52	150mm	0.1m

**STODDART LANE - Supply + installation by BUILDER**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
<b>Lcj</b>	Lomandra confertifolia 'Crackerjack'	Fine-leaved Lomandra	1	200mm	0.45m

**STODDART LANE CROSS-OVER - Supply + construction by BUILDER**

**MATERIAL SCHEDULE**

	Area m <sup>2</sup> URBANGROWTH*	Area m <sup>2</sup> BUILDER**
<b>HEADER COURSE</b>		
Concrete pavers 'Adbri Stradapave', 300x300x50mm in 'Charcoal' colour, laid in stackbond pattern	2.95	2.95
<b>IN-FILL PAVEMENT</b>		
Concrete pavers 'Adbri Havenbrick', 200x100x50mm in 'Brushwood' colour, laid in herringbone pattern	6.61	1.10
<b>Total area</b>	<b>9.56</b>	<b>4.05</b>

\*Area's outside of the allotment boundary. \*\*Area's inside of the allotment boundary

**LEGEND**

- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Boundary
- Garden edging
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Masonry retaining walls
- Existing contours

**FENCE TYPES**

Refer to fence details Sheets L02+ L03

**Type 1a + 1b**

Front Fence masonry pier and metal palisade infill



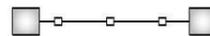
**Type 1c + 1d**

Front Fence between lots metal palisade



**Type 2a**

Secondary Street Fencing painted treated pine fence battens with masonry piers (painted)



**Type 4a**

Timber lapped + capped boundary fencing between lots



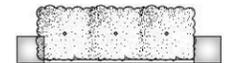
**Type 4b**

Lane Fencing and side gate returns timber lapped + capped (painted)



**Type 5**

Front Fence masonry pier and hedge in-fill



REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	GC	RS	25-09-14
B	AMENDED TO BUILDER FEEDBACK	GC	RS	29-09-14
C	AMENDED TO BUILDER FEEDBACK	GC	RS	30-09-14
D	AMENDED TO INCLUDE AREA CALCULATIONS	GC	RS	02-10-14

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7. All work to be performed by a suitably qualified tradesperson  
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PROJECT: NEW RESIDENCE

ADDRESS: LOT 107 THORNTON DRIVE, PENRITH

DRAWING: LANDSCAPE PLAN

CLIENT: CHAMPION HOMES

SCALE: 1:100 @ A3

ISSUE: DA

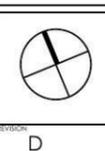
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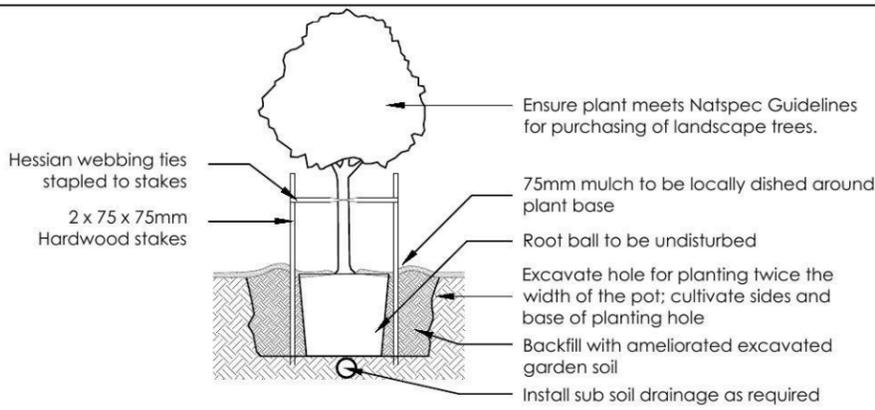
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CHECK: RS

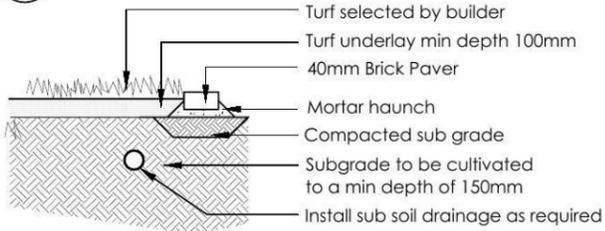
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REVISION: D

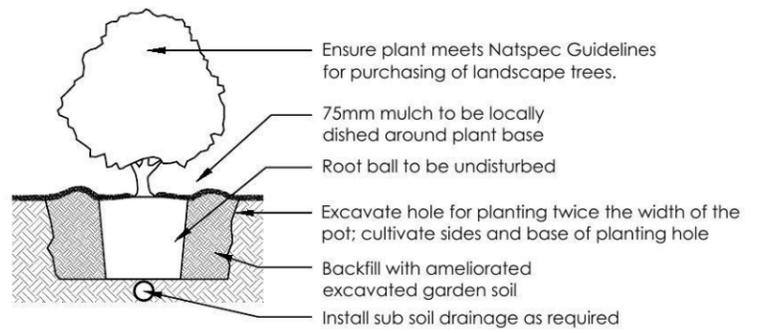




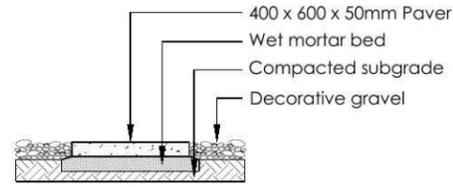
1 Tree Planting Detail  
NTS 25L - 100L Pot Size



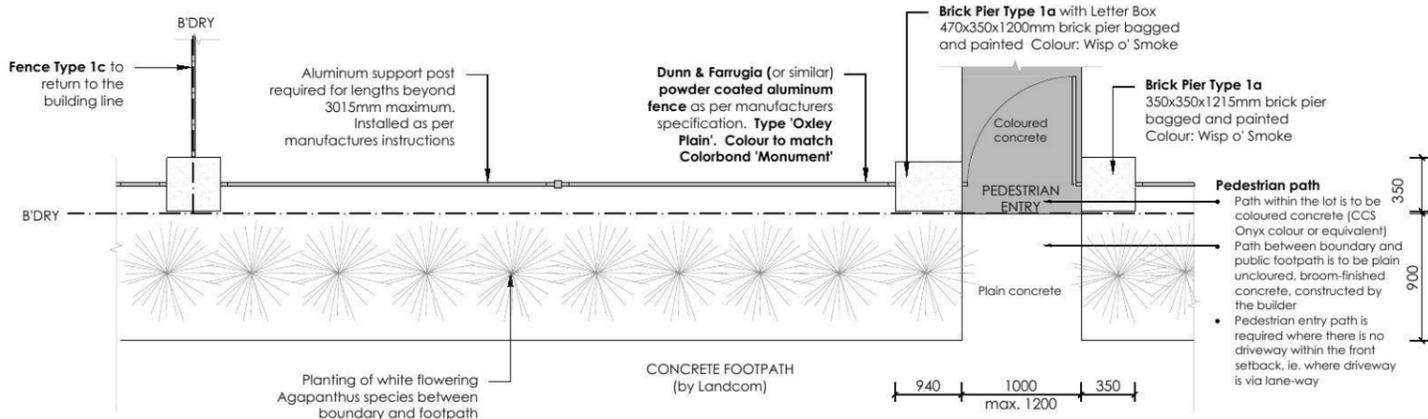
3 Turf Detail  
NTS Brick Paver Edge



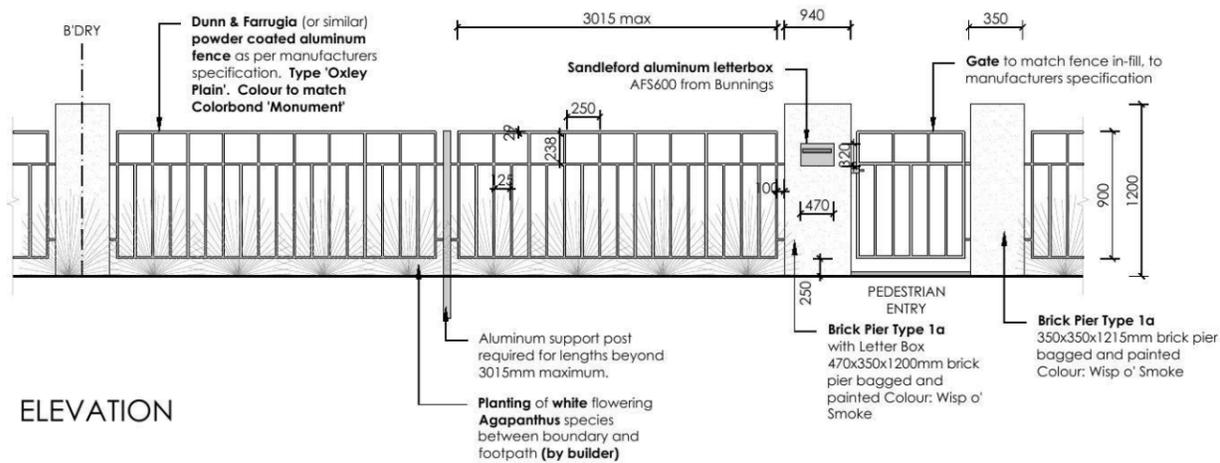
2 Planting Detail  
NTS 150mm, 200mm Pot Size



4 Stepping stones in gravel  
NTS Low traffic zone

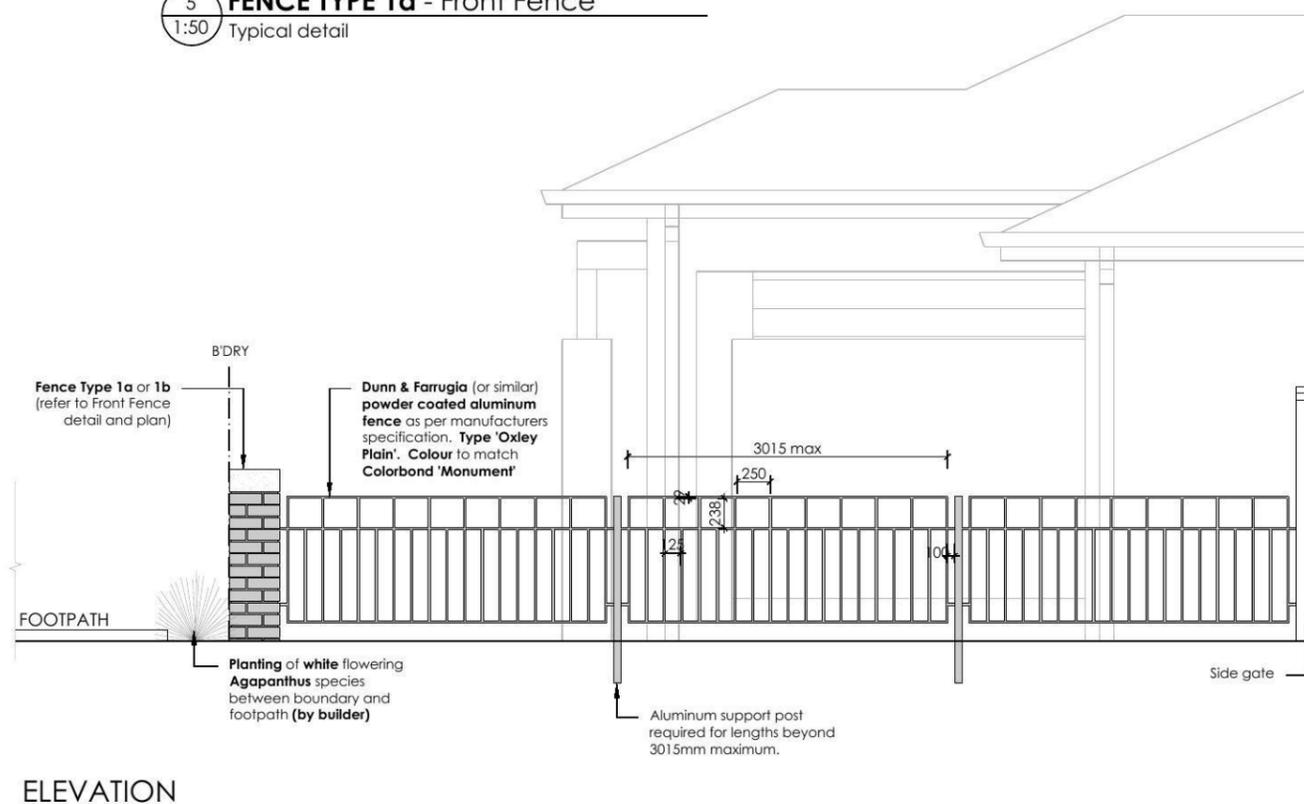


PLAN



ELEVATION

5 FENCE TYPE 1a - Front Fence  
1:50 Typical detail



ELEVATION

6 FENCE TYPE 1c - Side Boundary Front Setback  
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	GC	RS	25-09-14
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C	AMENDED TO BUILDER FEEDBACK	GC	RS	30-09-14
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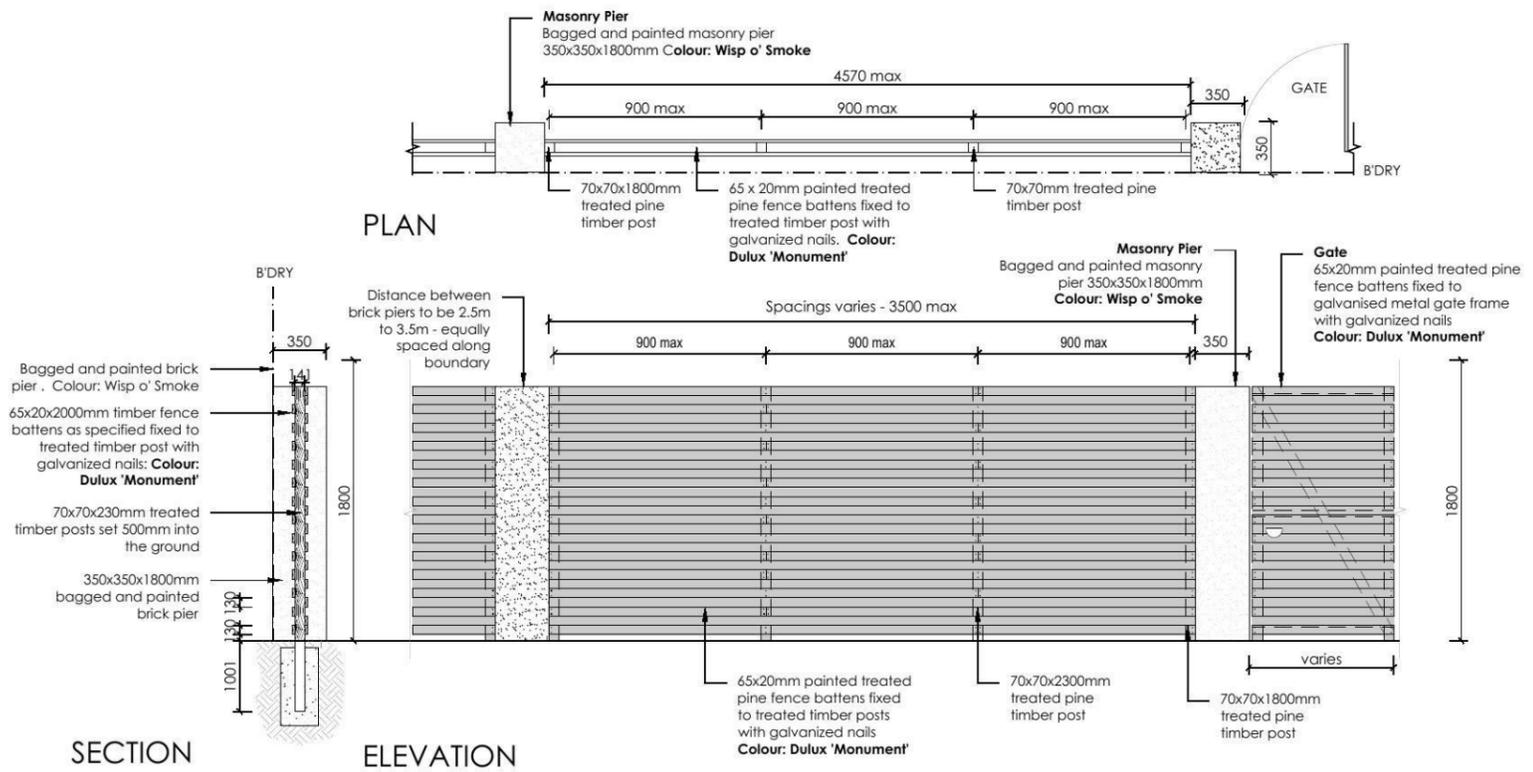
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ADDRESS: LOTS 97-107 THORNTON DRIVE, PENRITH

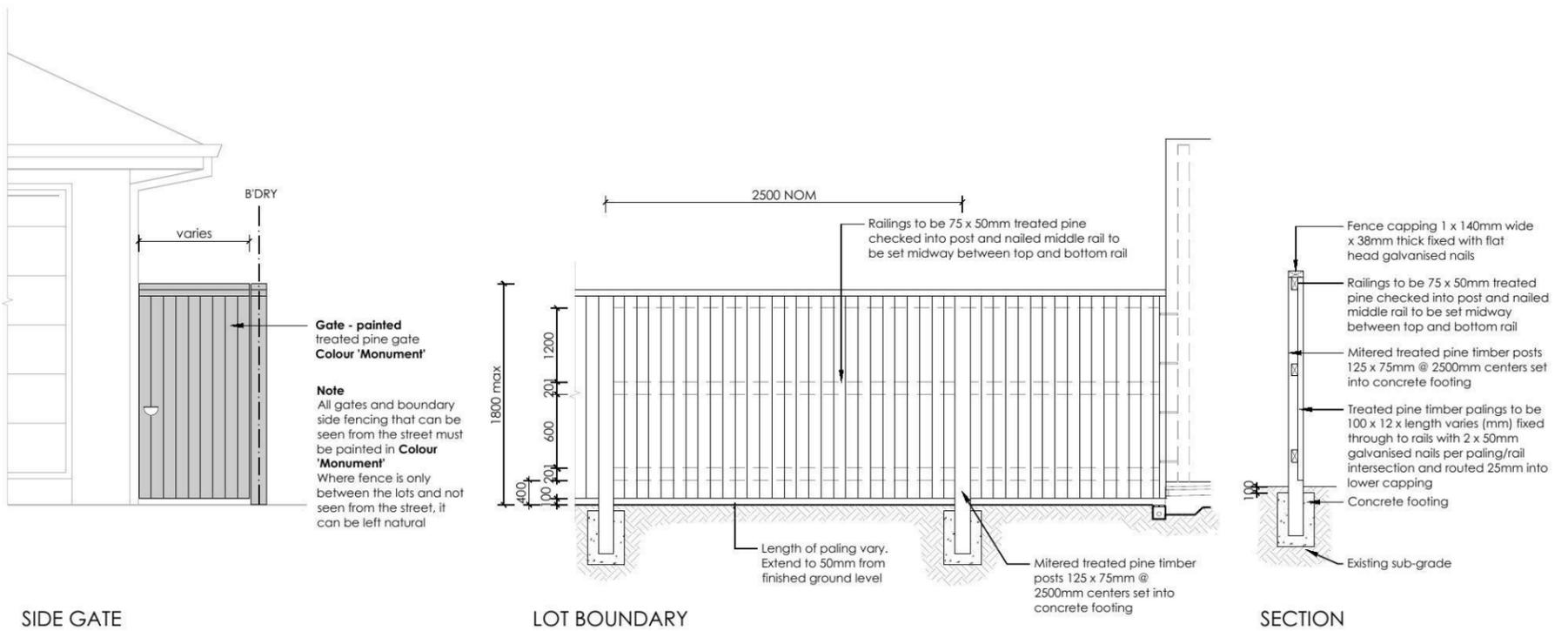
CLIENT: CHAMPION HOMES

PROJECT		NEW RESIDENCE	
DRAWING			
LANDSCAPE PLAN			
SCALE	ISSUE	DATE	SHEET
1:100 @ A3	DA	03	
DRAWN	CHECK	DATE	REVISION
GC	RS	02-10-14	D

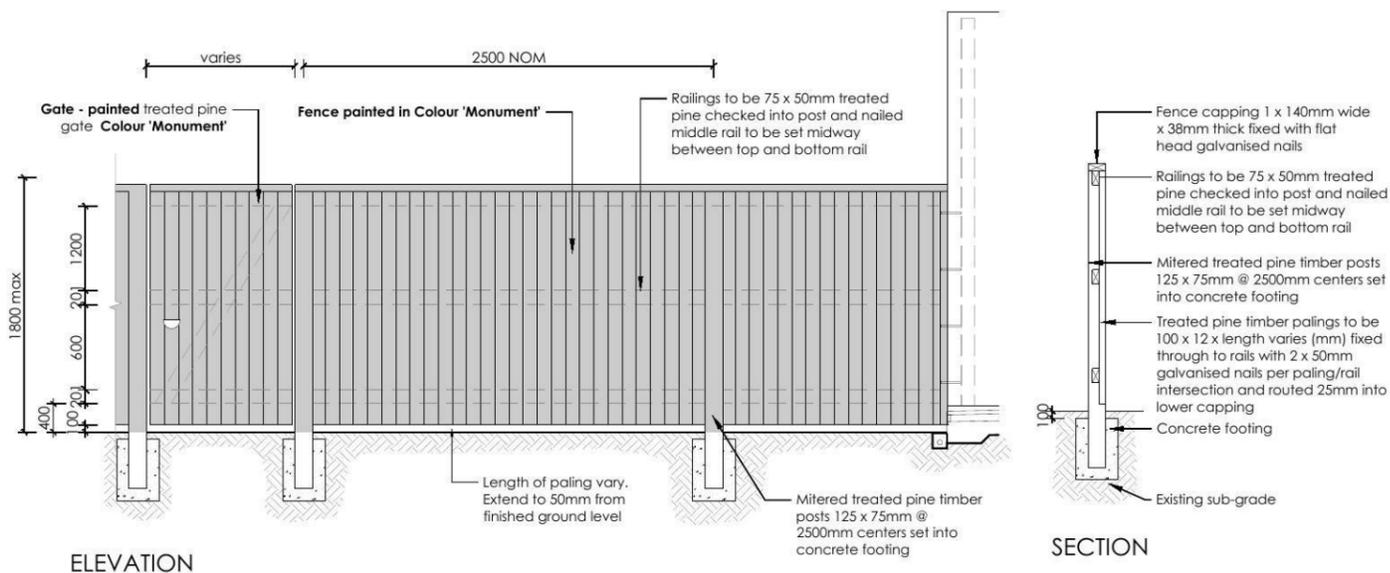




7 **FENCE TYPE 2a - Secondary Street Fencing**  
1:50 Typical detail



8 **FENCE TYPE 4a - Side Boundaries**  
1:50 Typical detail



9 **FENCE TYPE 4b - Rear Boundary**  
1:50 All Laneways (except Barlett Lane)  
Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	GC	RS	25-09-14
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PROJECT: **LOTS 97-107 THORNTON DRIVE, PENRITH**

CLIENT: **CHAMPION HOMES**

PROJECT: **NEW RESIDENCE**

DRAWING: **LANDSCAPE PLAN**

SCALE: **1:100 @ A3** ISSUE: **DA** SHEET: **04**

DRAWN: **GC** CHECK: **RS** DATE: **02-10-14** REVISION: **D**



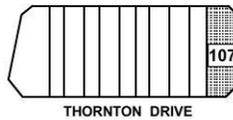
**NOTE:**  
**FINAL SITING AND LEVELS OF**  
**PROPOSED RESIDENCE, TO BE**  
**CONFIRMED UPON RECEIPT OF**  
**CONTOUR SURVEY PREPARED**  
**BY BUILDER'S SURVEYOR**



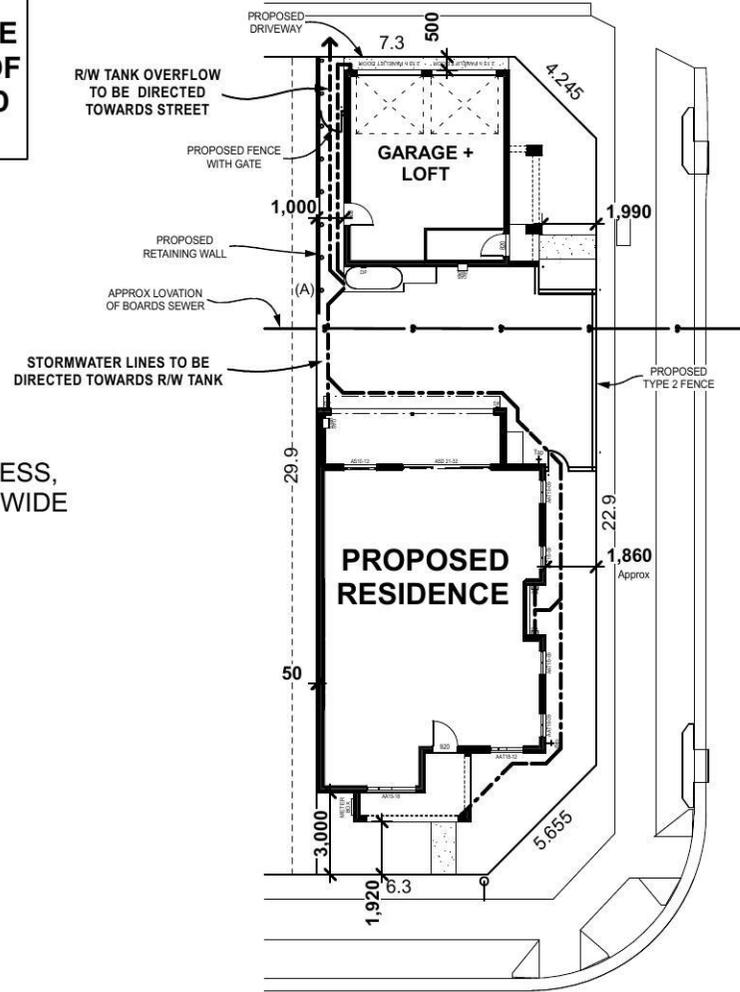
**LOT: 107**  
**295.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS,  
 MAINTENANCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**STODDART LANE**



**WOODMAN STREET**

**THORNTON DRIVE**

**NOTIFICATION PLAN**

Proposed Residence  
 At: Lot 107 Cnr Woodman Street & Thornton Drive,  
 Penrith (Thornton)



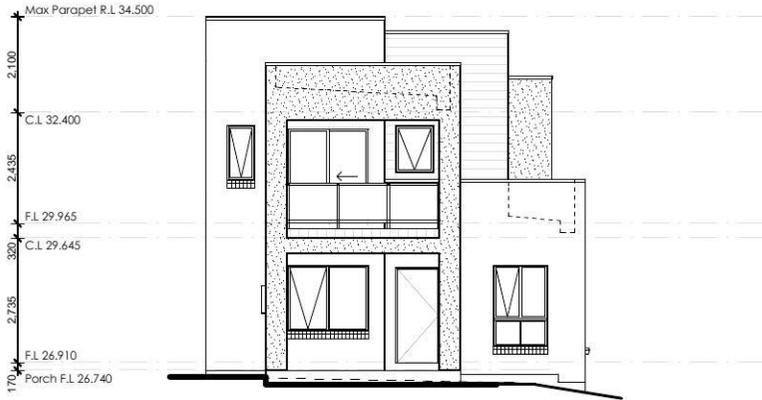
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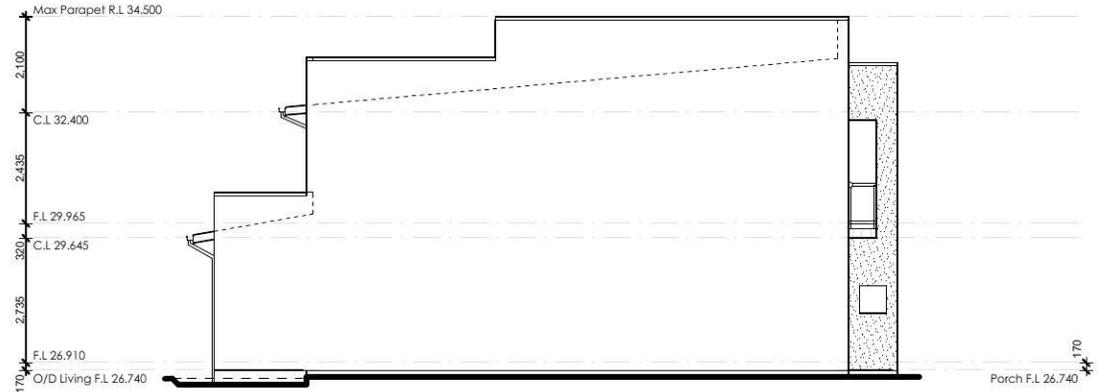
Builders Licence No. 92732C

**Proposed Site Plan**  
 Not To Scale



**Southern Elevation**

Not To Scale



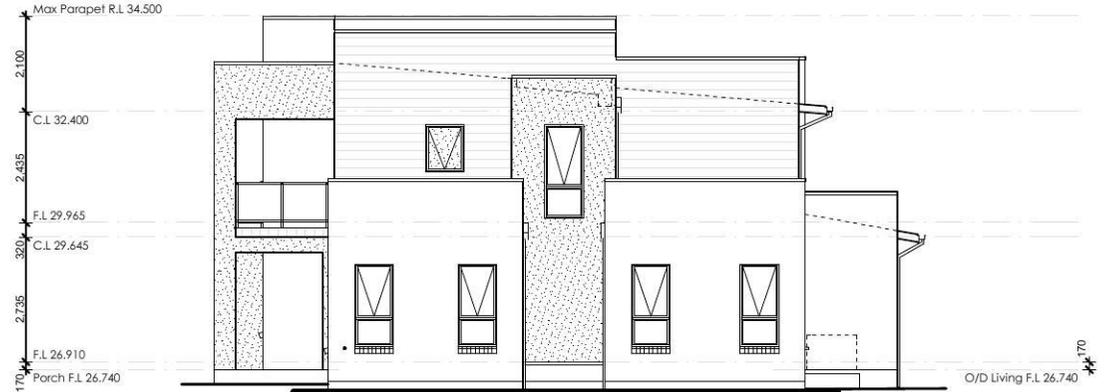
**Western Elevation**

Not To Scale



**Northern Elevation**

Not To Scale



**Eastern Elevation**

Not To Scale

**NOTIFICATION PLAN**

Proposed Residence  
 At: Lot 107 Cnr Woodman Street & Thornton Drive,  
 Penrith (Thornton)

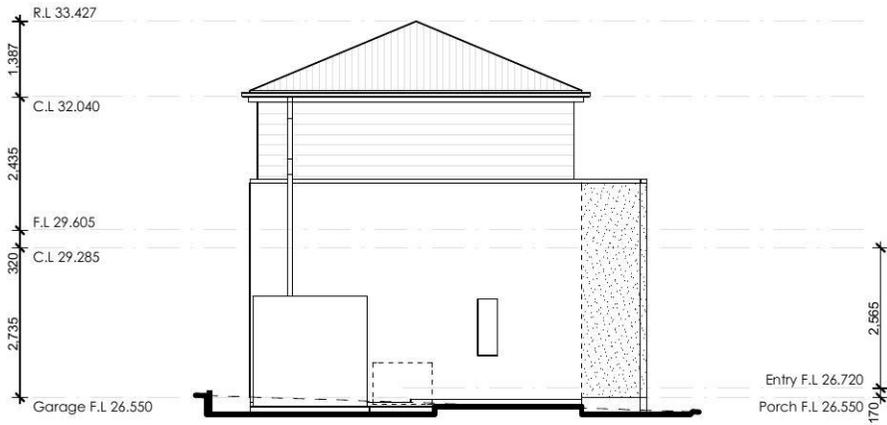


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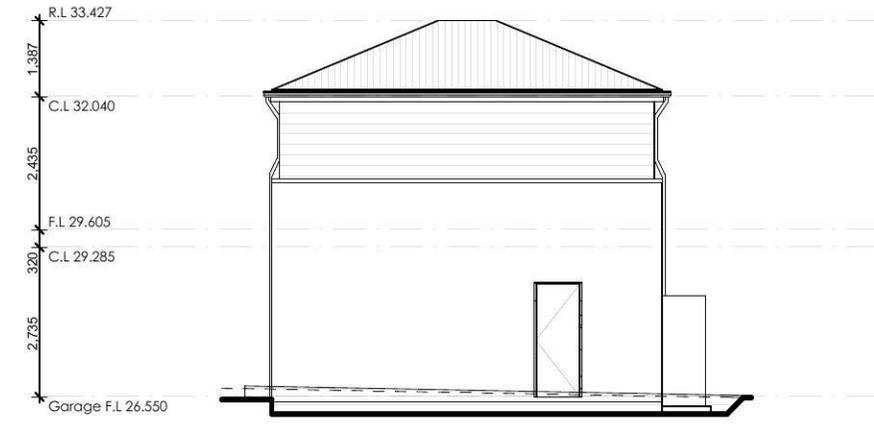
**Southern Elevation**  
Not To Scale



**Northern Elevation**  
Not To Scale



**Eastern Elevation**  
Not To Scale



**Western Elevation**  
Not To Scale

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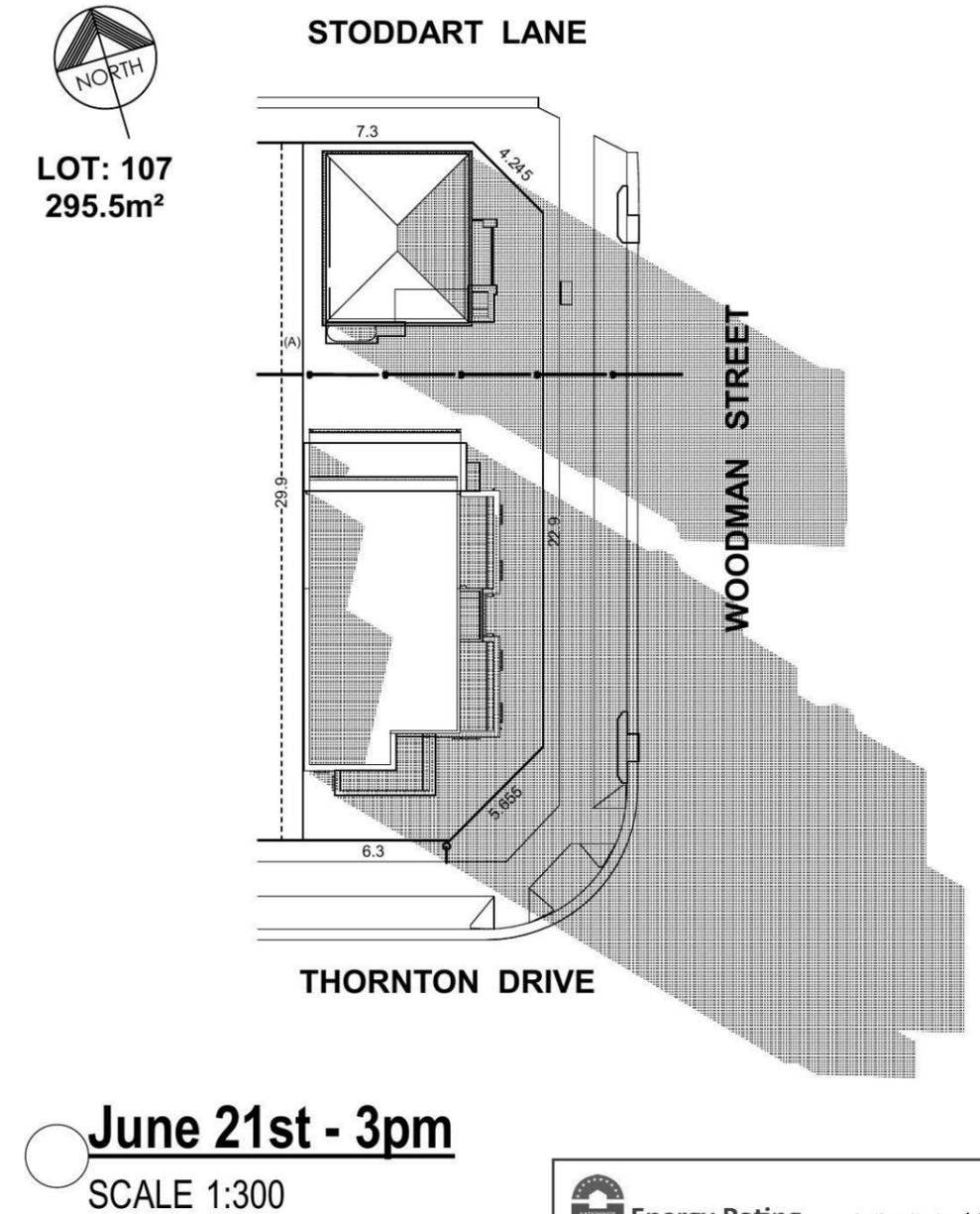
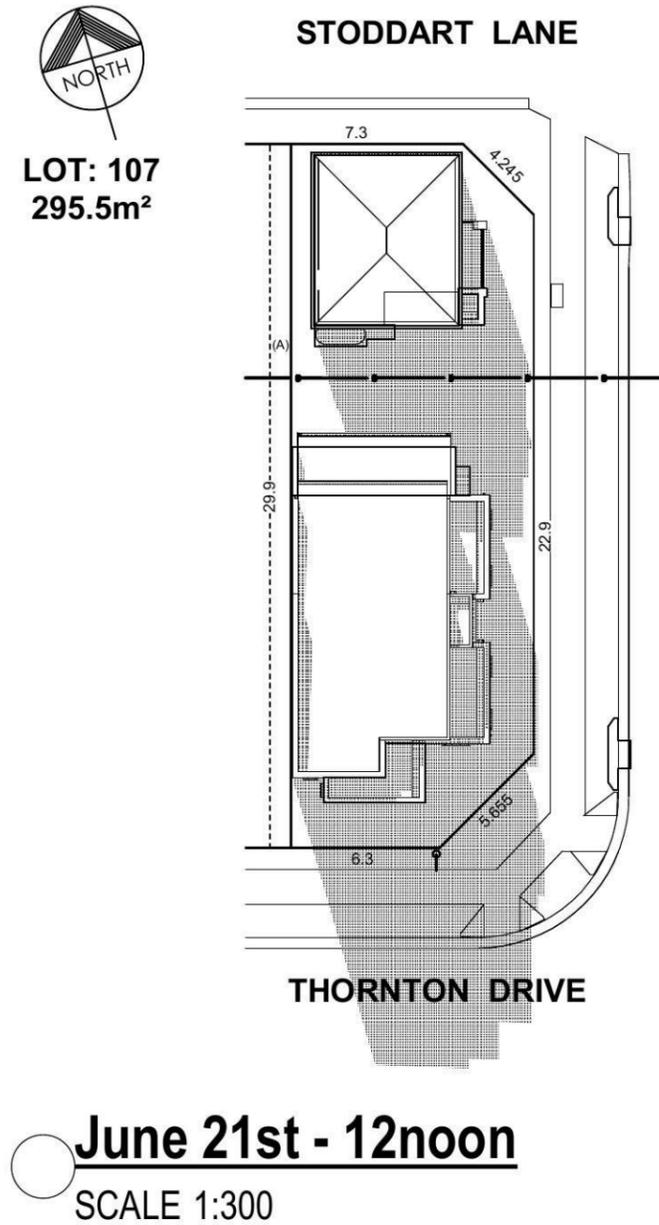
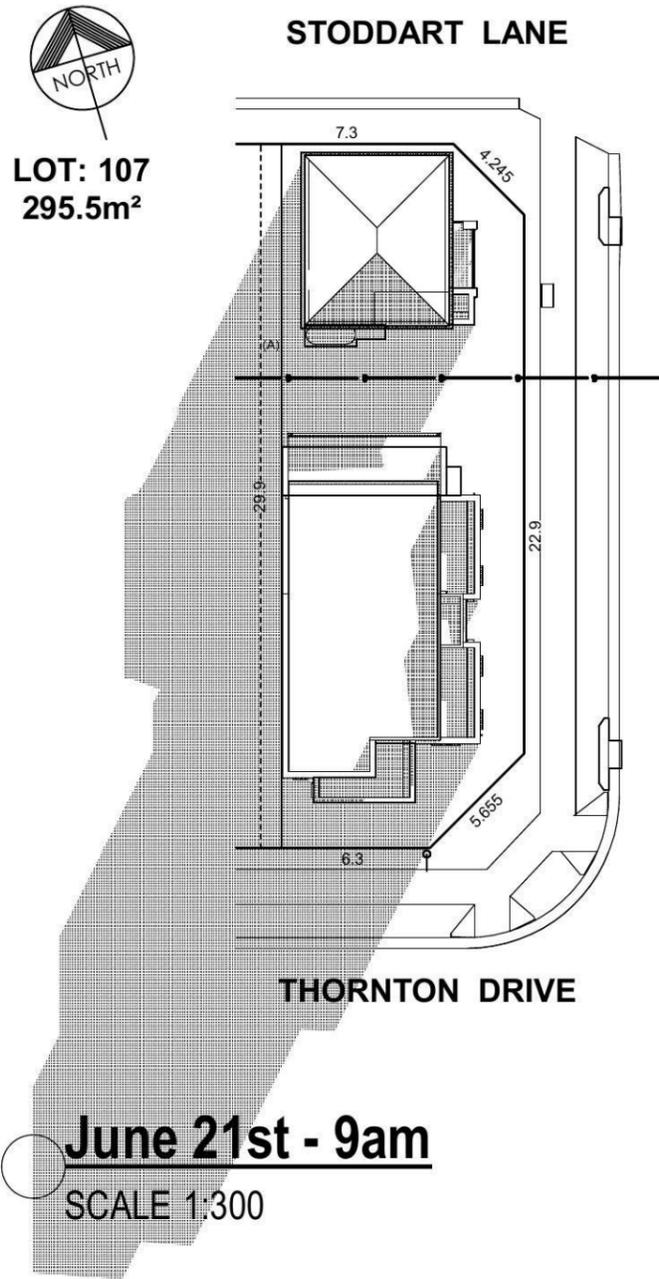
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Builders Licence No. 92732C

# PROPOSED SHADOW DIAGRAMS



**Energy Rating** Certificate Number 14561090  
Average star rating 4.25 stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAY/12/1456

Assessor Signature [Signature] Date 23/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	115 mm FROM F.F.L.



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Revision	Date	Amendment
B	28.10.14	DA PLANS - BT
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Penrith (Thornton)

Plot Date  
Tue 28 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT  
Design:  
**Custom Terrace**  
Job No. **3286N** Sheet 4 of 13

# Proposed Site Plan & Drainage Plan

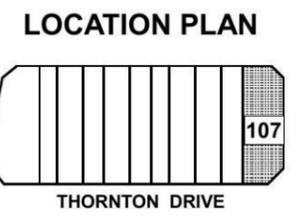
SCALE 1:200

**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR

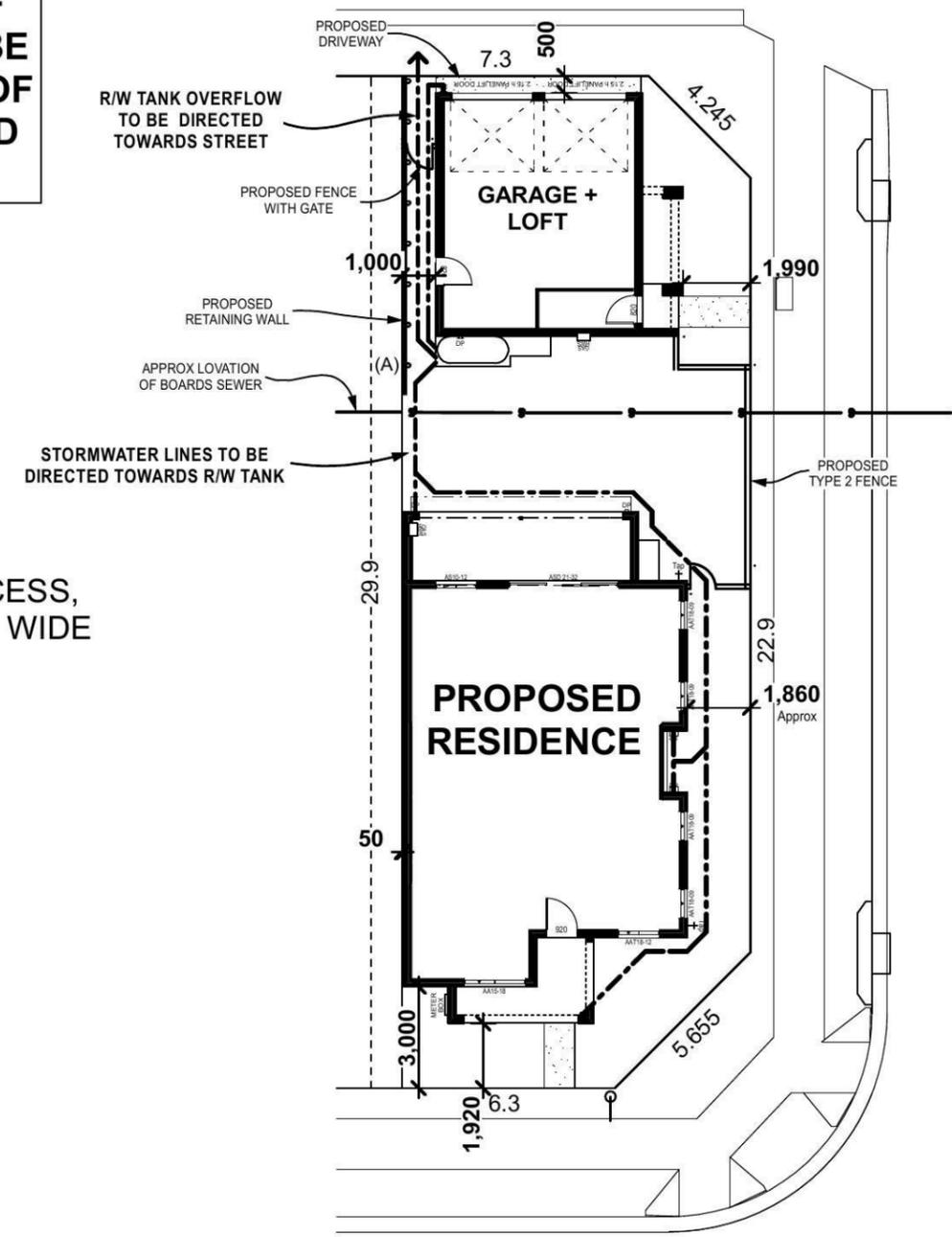


**LOT: 107**  
**295.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE



**STODDART LANE**



**WOODMAN STREET**

**THORNTON DRIVE**

**Energy Rating** Certificate Number **14561090**  
Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456

Assessor Signature *T. Ruck* Date 23/10/14

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**NOTE:**  
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FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY  $\pm 100$ mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

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**IS TO BE CONFIRMED**

Wind Speed category is **TO BE CONFIRMED**

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Plot Date  
Tue 28 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT

Design:  
**Custom Terrace**

Job No. **3286N** Sheet 1 of 13

# Proposed Site Plan & Drainage Plan

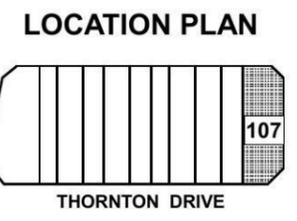
SCALE 1:200

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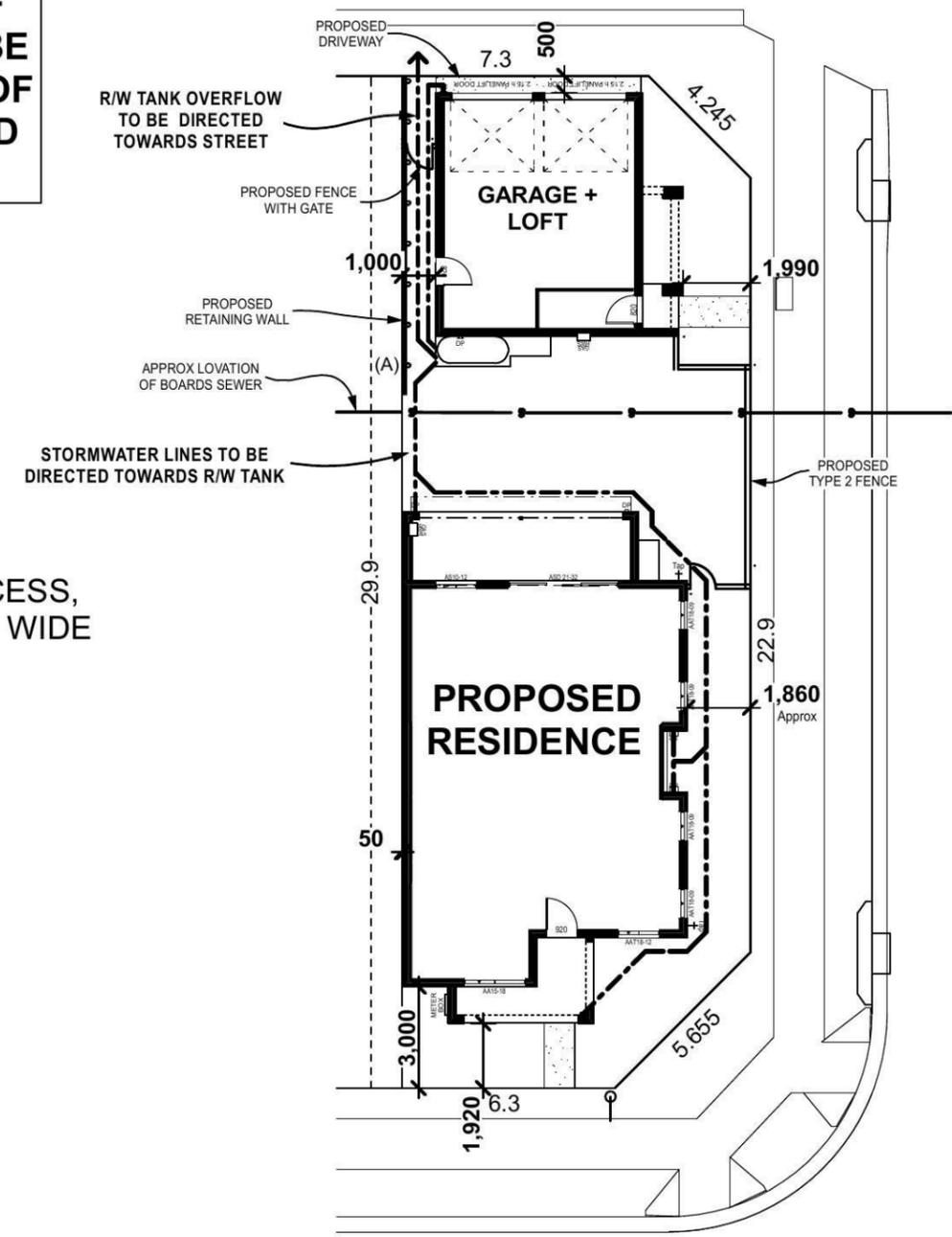


**LOT: 107**  
**295.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE



**STODDART LANE**



**WOODMAN STREET**

**THORNTON DRIVE**

**Energy Rating** Certificate Number **14561090**  
Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDAV/12/1456**

Assessor Signature *T. Ruck* Date **23/10/14**

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Plot Date  
Tue 28 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT

Design:  
**Custom Terrace**

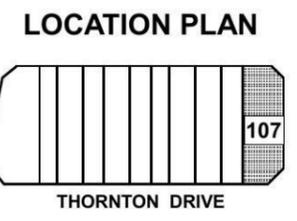
Job No. **3286N** Sheet 1 of 13

**NOTE:**  
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**LOT: 107**  
**295.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE



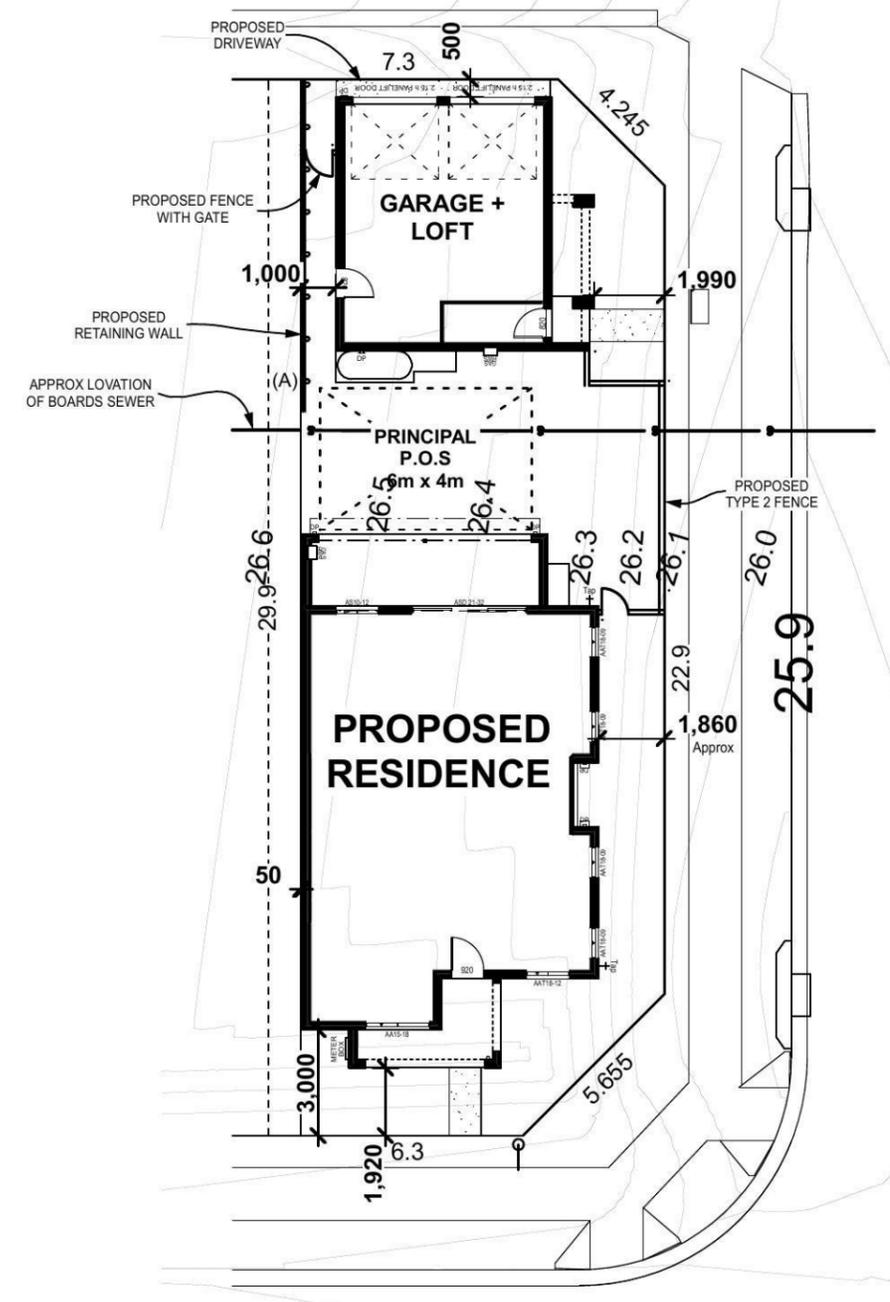
**NORTH PENRITH "THORNTON" REQUIREMENTS:**

**SITE AREA:** 295.5m<sup>2</sup>

**PRIVATE OPEN SPACE:**  
(Min 2.0m Wide)  
REQUIRED: 20% or 59.10m<sup>2</sup>  
ACHIEVED: 24% or 70.50m<sup>2</sup>

**LANDSCAPE AREA:**  
ACHIEVED: 31% or 91.04m<sup>2</sup>

**STODDART LANE**



**WOODMAN STREET**

**THORNTON DRIVE**

**Energy Rating** Certificate Number **14561090**  
Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

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Assessor Signature [Signature] Date 23/10/14

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Penrith (Thornton)

Plot Date  
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Client:  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT

Design:  
**Custom Terrace**

Job No. **3286N** Sheet 2 of 13

# Proposed Erosion & Sediment Control Plan

SCALE 1:200

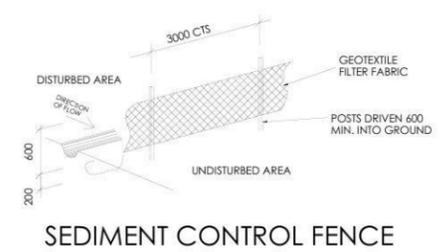
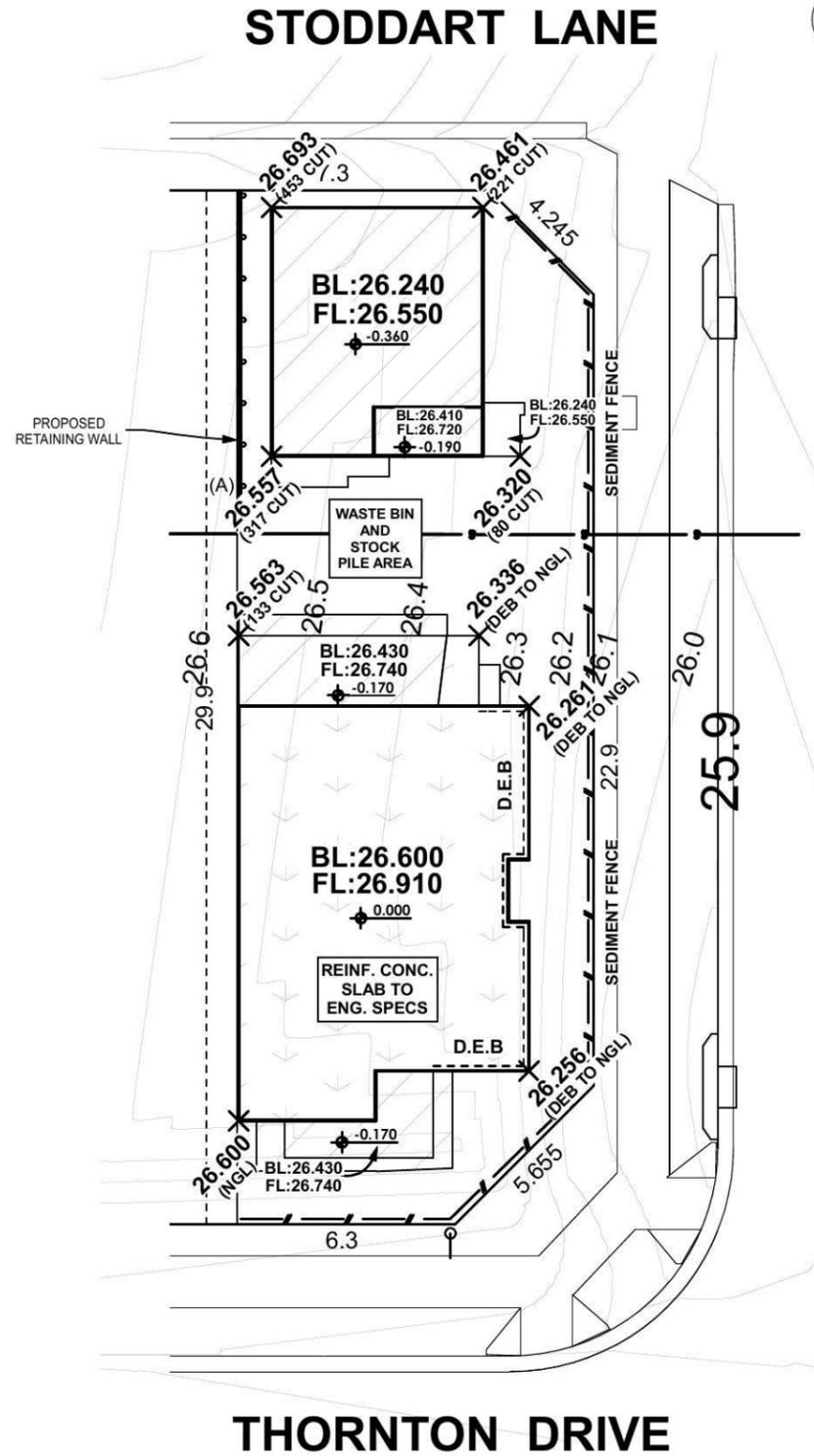
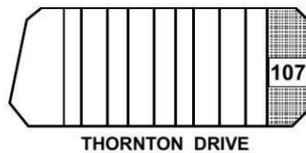
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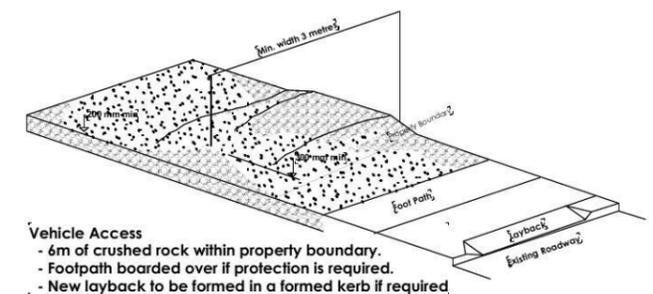
**LOT: 107**  
**295.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**SITE PLAN**  
 ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.  
 FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.  
 SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



**Energy Rating** Certificate Number **14561090**  
 Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDVA/12/1456**

Assessor Signature *T. Ruck* Date **23/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

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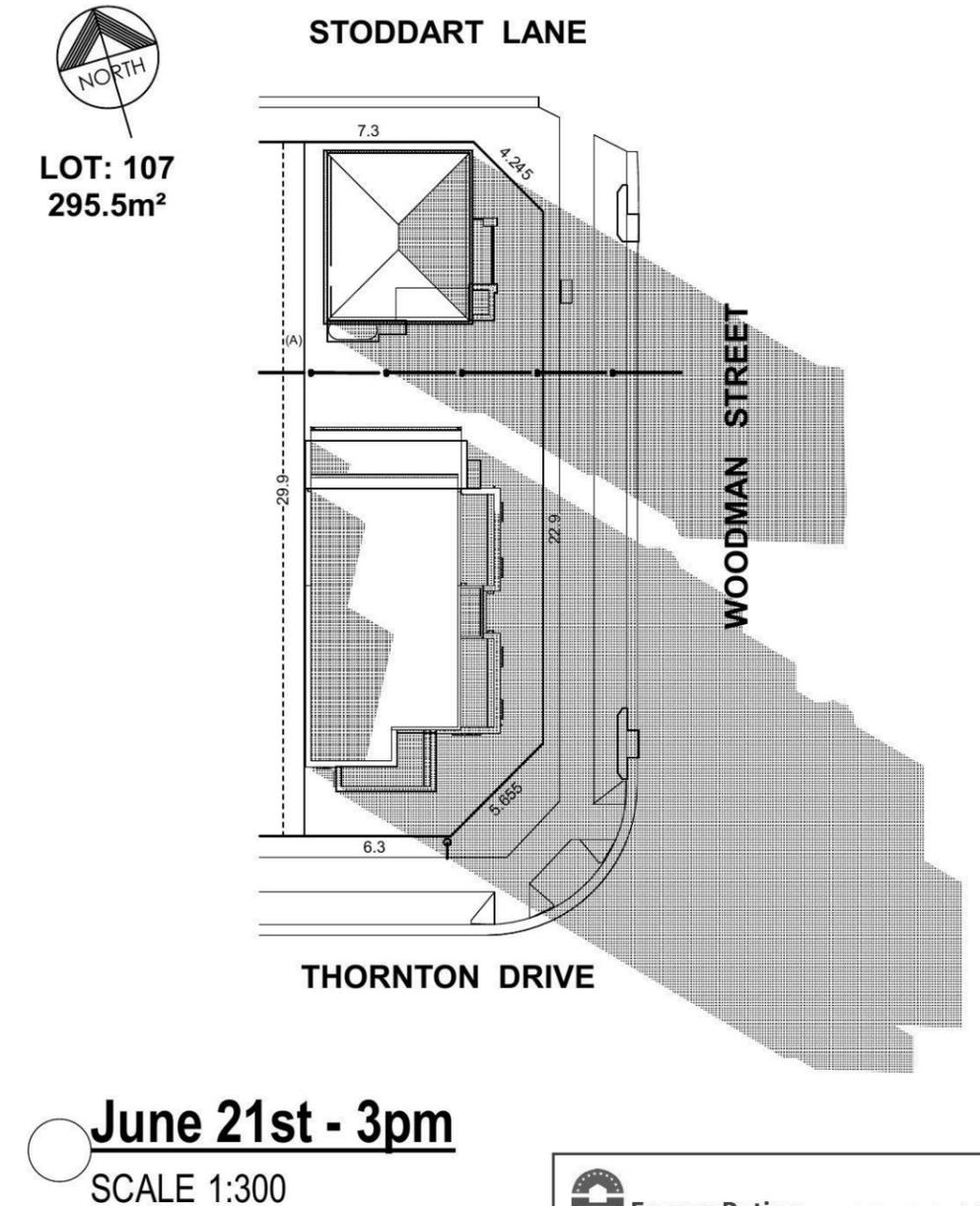
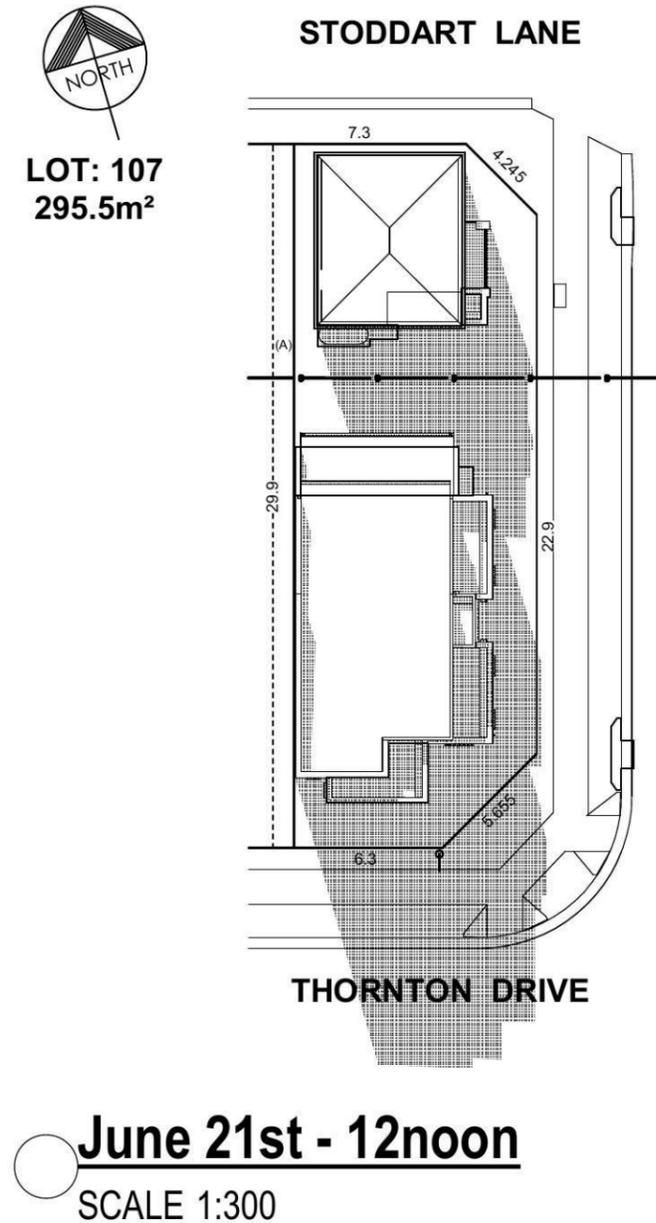
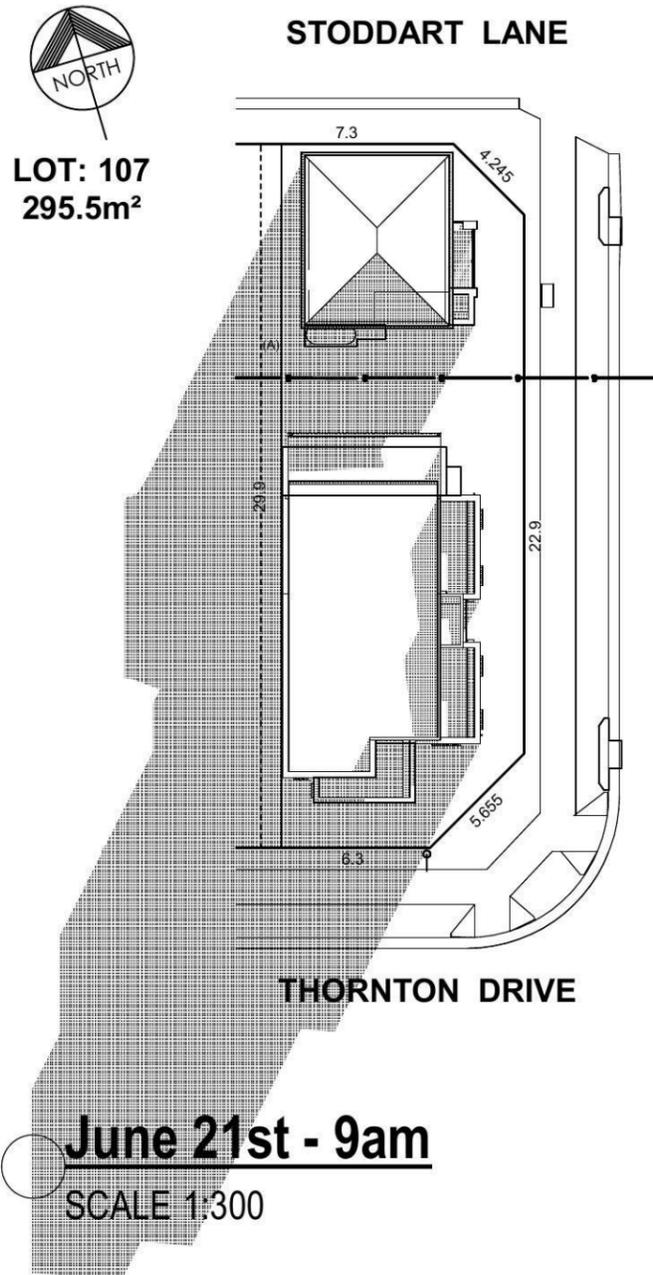
Plot Date  
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Client:  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT  
 Design:  
**Custom Terrace**

Job No. **3286N** Sheet 3 of 13

# PROPOSED SHADOW DIAGRAMS



**Energy Rating** Certificate Number **14561090**  
Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

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Assessor Signature *Thomas Ruck* Date **23/10/14**

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Sheet Size: A3 Date: 01.09.14 Drawn: MT

Design:  
**Custom Terrace**

Job No. **3286N** Sheet 4 of 13

# BASIX REQUIREMENTS

BASIX & NatHERS COMMITMENTS NOTES				
*REFER TO APPROVED BASIX* REPORT Number – 582055M				
<b>WATER</b>				
<b>Fixtures</b>	<b>All Shower Heads</b>	<b>All toilet flushing systems</b>	<b>All kitchen taps</b>	<b>All bathroom taps</b>
	3 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star
<b>Alternative water source</b>	Individual water tank to collect run off from at least 89 m <sup>2</sup> of House roof area - Tank size min 3000 litres			
	<b>Landscape connection (House Only)</b>	<b>Toilet connection (House Only)</b>	<b>Laundry connection (House Only)</b>	<b>Pool top up (House Only)</b>
	Yes	Yes	N/A	N/A
<b>ENERGY</b>	<p><b>Hot water system:</b> Gas Instantaneous 5 stars</p> <p><b>Bathroom ventilation system:</b> Individual fan, ducted to façade or roof manual switch on/off to House No mechanical ventilation (ie. natural) to Loft</p> <p><b>Kitchen ventilation system:</b> Individual fan, ducted to façade or roof manual switch on/off</p> <p><b>Laundry:</b> Individual fan, ducted to façade or roof manual switch on/off to House Natural ventilation only to Loft</p> <p><b>Cooling system:</b> 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned) to House 1 Phase air-conditioning EER 3.0-3.5 to living area of Loft</p> <p><b>Heating system:</b> 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned) to house 1 Phase air-conditioning EER 3.0-3.5 to living area of Loft</p> <p>Natural lighting: As per BASIX Artificial lighting: As per BASIX</p> <p>Must install a gas cooktop and electric oven Must install a fixed outdoor clothes drying line as part of the development.</p>			

**Energy Rating** Certificate Number 14561090  
Average star rating 4.25 stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456  
Assessor Signature [Signature] Date 23/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



## NatHERS - THERMAL COMFORT CERTIFICATE



<b>Project Address:</b> Lot 107, Thornton Drive Penrith, NSW 2750			<p><b>Energy Rating</b> Certificate Number <u>14561090</u> Average star rating <u>4.25</u> stars</p> <p><input checked="" type="checkbox"/> multi-unit development</p> <p>Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without</p> <p>Assessor Name/Number <u>Thomas Ruck VIC/BDAV/12/1456</u> Assessor Signature <u>[Signature]</u> Date <u>23/10/14</u></p>
Accreditation #: <b>BDAV/12/1456</b>		Certificate #: <b>14561090</b>	
Software: <b>BERS 4.2 V110811/A</b>		Date: <b>23/10/2014</b>	
House: Heating load (MJ/m <sup>2</sup> ): <b>69.5</b>	Cooling load (MJ/m <sup>2</sup> ): <b>41.2</b>	Star rating: <b>5</b>	
<b>AVERAGE STAR RATING: 4.25 STARS</b>			
Loft: Heating load (MJ/m <sup>2</sup> ): <b>84.5</b>	Cooling load (MJ/m <sup>2</sup> ): <b>77.3</b>	Star rating: <b>3.5</b>	
Conditioned area (m <sup>2</sup> ): <b>149.5</b>		Unconditioned area (m <sup>2</sup> ): <b>0</b>	
Conditioned area (m <sup>2</sup> ): <b>37.9</b>		Unconditioned area (m <sup>2</sup> ): <b>1.76</b>	

Building Elements	Material	Detail
<b>External walls</b>	Brick Veneer	R1.5 Bulk insulation
	Light Weight Cladding	
<b>Internal walls</b>	Plasterboard on studs	-
<b>Ceiling</b>	Plasterboard	R3.5 bulk insulation to ceilings with roof above
<b>Floors</b>	Concrete-ground floor	Waffle pod
	Timber – first floor	-
<b>Roof</b>	Metal Roof	Foil (sisalation) to underside of roof
<b>Windows</b>	Aluminium frame, single glazed clear	U value 6.65 or less and SHGC of 0.70 +/- 10%
<b>Lighting:</b> This dwelling has been rated with a maximum of 29 (House) & 11 (Loft) non ventilated LED / Fluorescent downlights to insulated ceilings		
<b>Note:</b> Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA		

Building Elements	Material	Detail
<b>External walls</b>	Brick Veneer	R1.5 Bulk insulation
	Light Weight Cladding	
<b>Internal walls</b>	Plasterboard on studs	-
<b>Ceiling</b>	Plasterboard	R3.5 bulk insulation to ceilings with roof above
<b>Floors</b>	Concrete-ground floor	Waffle pod
	Timber – first floor	-
<b>Roof</b>	Metal Roof	Foil (sisalation) to underside of roof
<b>Windows</b>	Aluminium frame, single glazed clear	U value 6.65 or less and SHGC of 0.70 +/- 10%
<b>Lighting:</b> This dwelling has been rated with a maximum of 29 (House) & 11 (Loft) non ventilated LED / Fluorescent downlights to insulated ceilings		
<b>Note:</b> Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA		

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

Plot Date  
Tue 28 Oct 2014

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:		
EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	170	mm FROM F.F.L.
FRONT PORCH/VERANDAH	170	mm FROM F.F.L.
BALCONY	115	mm FROM F.F.L.

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**Champion Homes**  
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Revision	Date	Amendment
B	28.10.14	DA PLANS - BT
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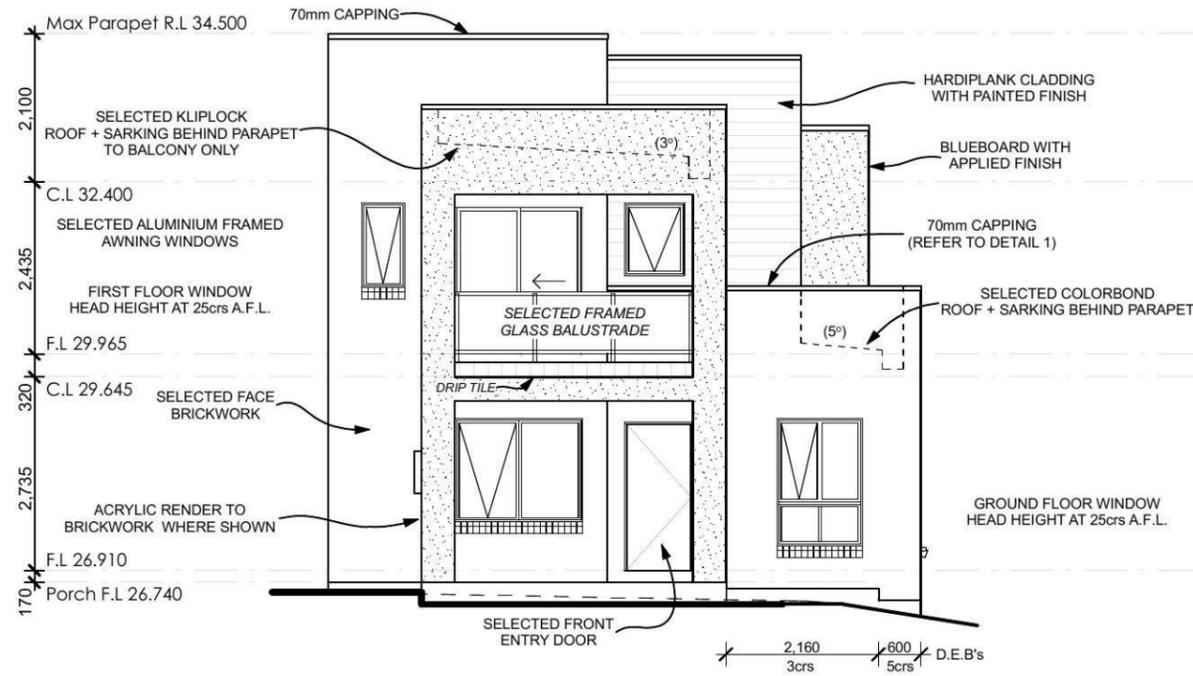
**Proposed Residence**  
at Lot: 107,  
Cnr Woodman Street & Thornton Drive,  
Penrith (Thornton)

Client :  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT

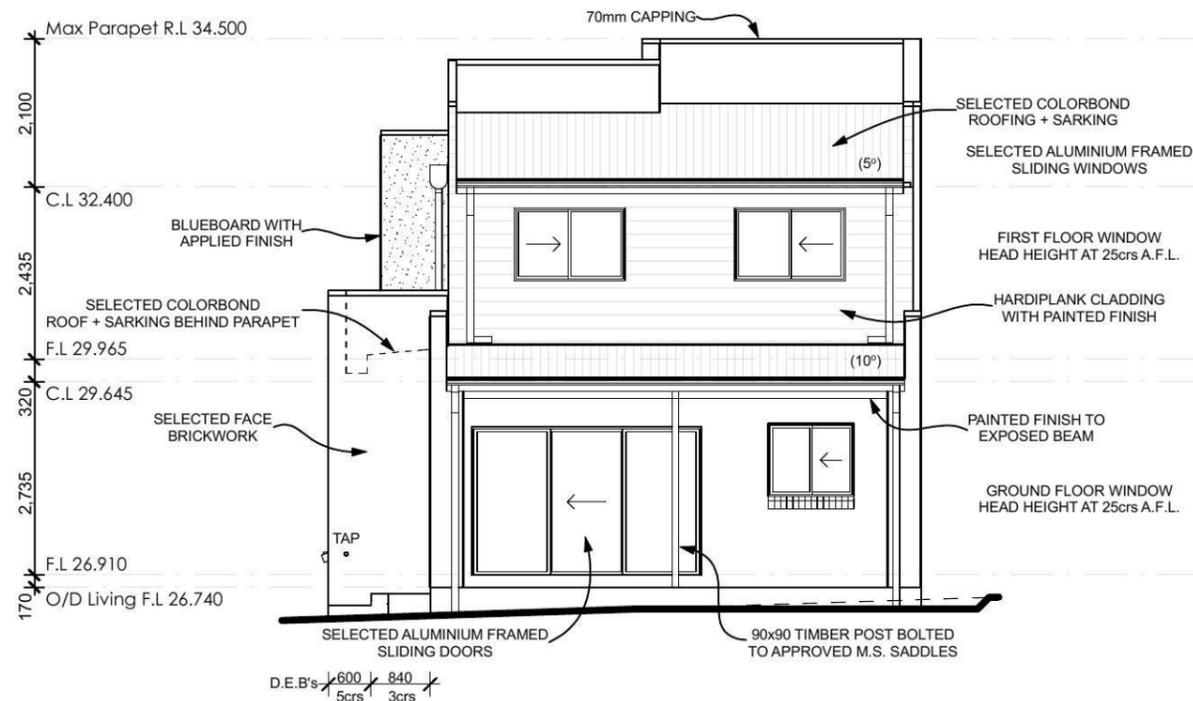
Design :  
**Custom Terrace**

Job No. **3286N** Sheet 5 of 13



## Southern Elevation

SCALE 1:100



## Northern Elevation

SCALE 1:100

**Energy Rating** Certificate Number **14561090**  
 Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDAV/12/1456**  
 Assessor Signature *T. Ruck* Date **23/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

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### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

Plot Date  
Tue 28 Oct 2014

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**  
 Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
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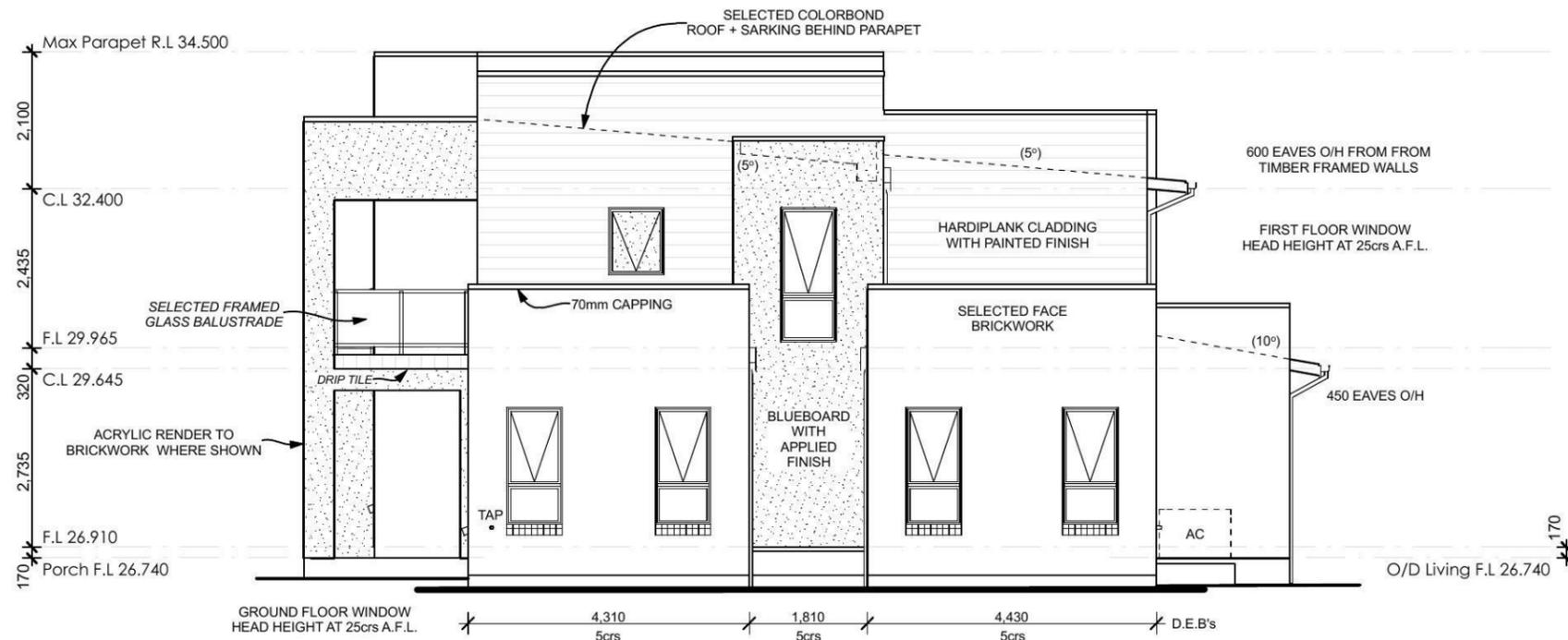
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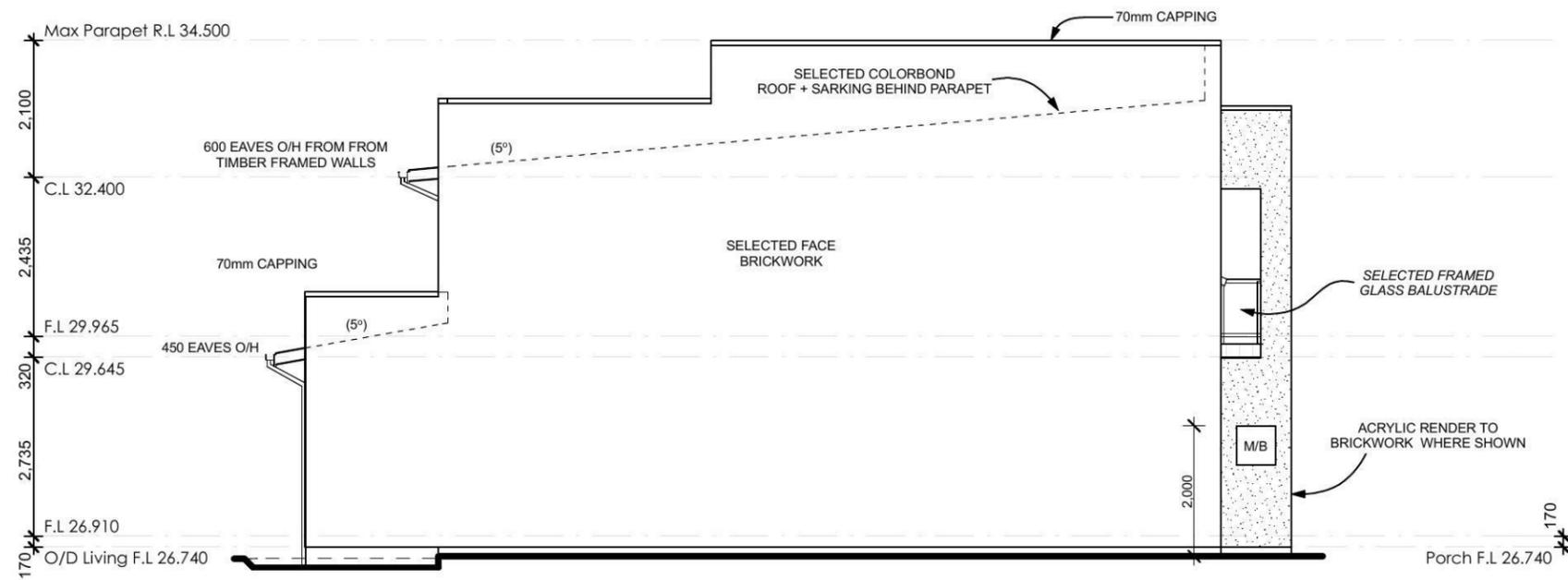
Sheet Size: A3 Date: 01.09.14 Drawn: MT  
Design:  
**Custom Terrace**

Job No. **3286N** Sheet 9 of 13



## Eastern Elevation

SCALE 1:100



## Western Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

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**Champion Homes**  
Sheet Size: A3 Date: 01.09.14 Drawn: MT  
Design:  
**Custom Terrace**  
Job No. **3286N** Sheet 10 of 13

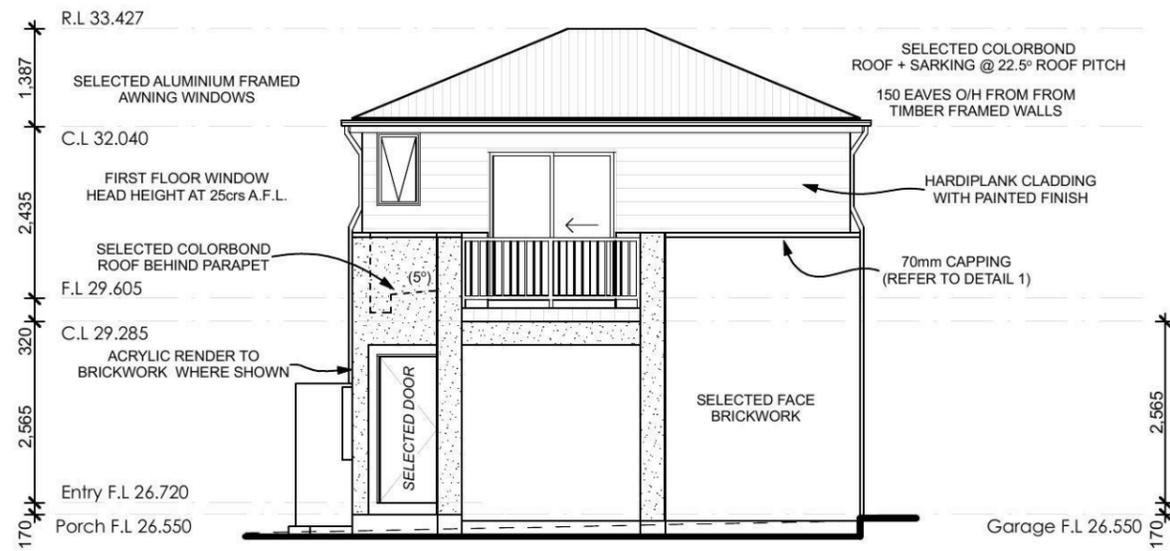
**Energy Rating** Certificate Number **14561090**  
Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

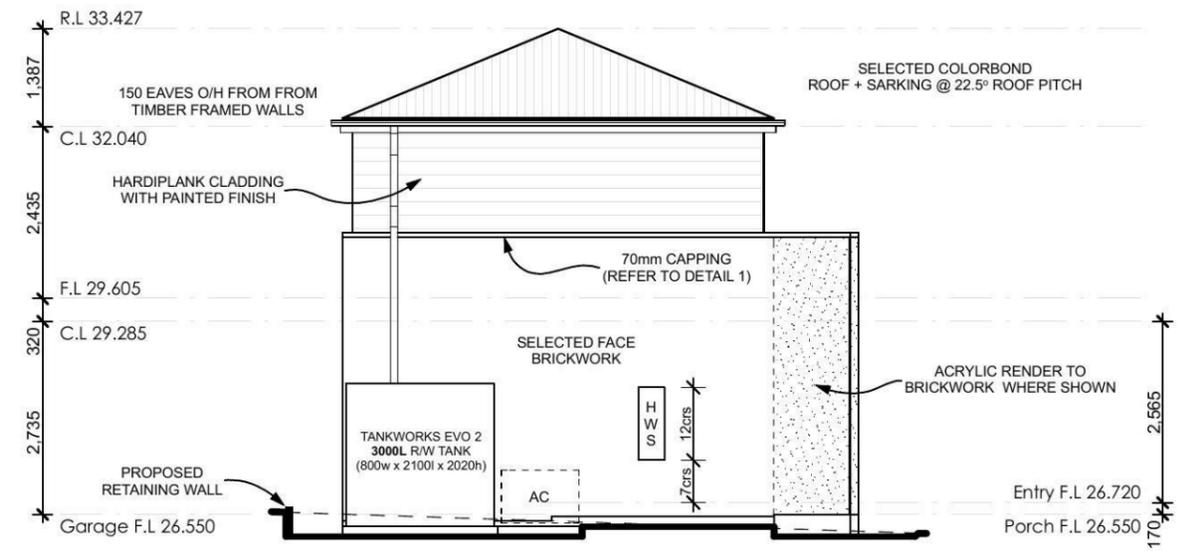
Assessor Name/Number **Thomas Ruck VIC/BDAV/12/1456**  
Assessor Signature *T. Ruck* Date **23/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



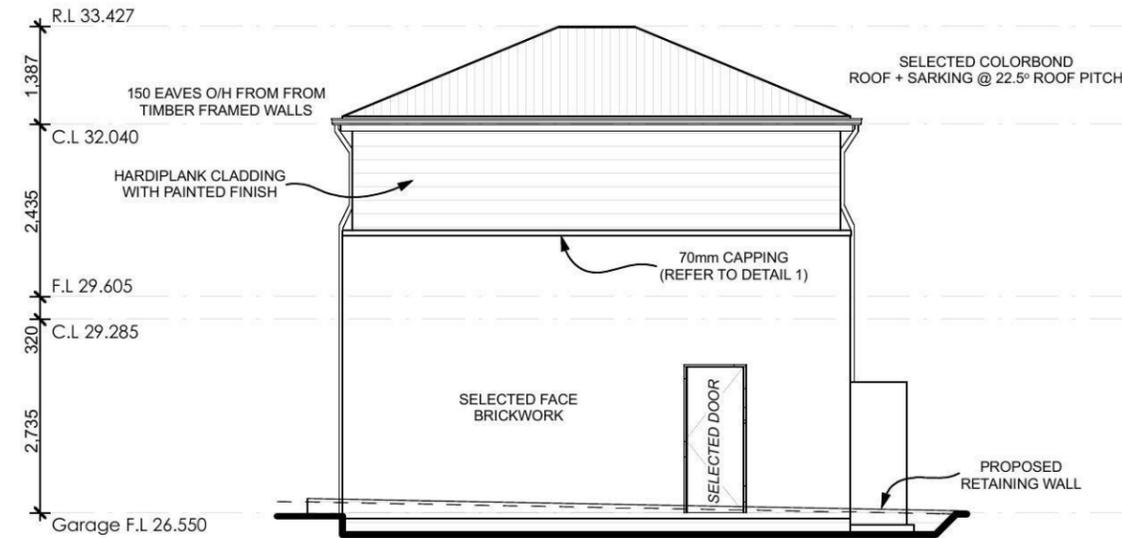
## Eastern Elevation

SCALE 1:100



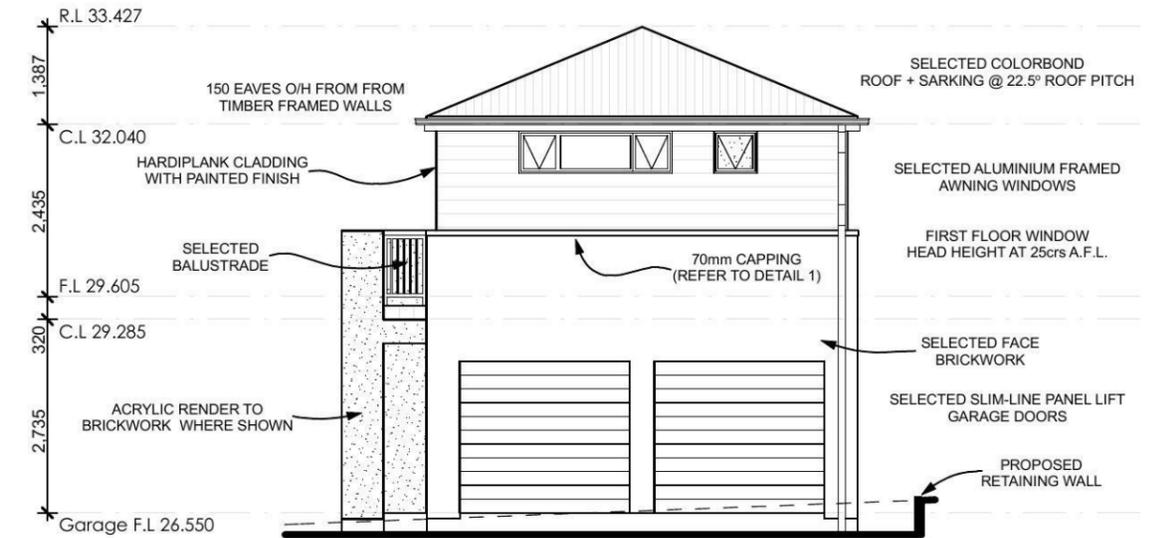
## Southern Elevation

SCALE 1:100



## Western Elevation

SCALE 1:100



## Northern Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

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	<b>Energy Rating</b>	Certificate Number <b>14561090</b>
		Average star rating <b>4.25</b> stars
<input checked="" type="checkbox"/> multi-unit development		
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Thomas Ruck VIC/BDAV/12/1456</b>		
Assessor Signature <i>T. Ruck</i>		Date <b>23/10/14</b>

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Plot Date  
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**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
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BALCONY	115 mm FROM F.F.L.



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Client:  
**Champion Homes**  
Sheet Size: A3 Date: 01.09.14 Drawn: MT  
Design:  
**Custom Terrace**  
Job No. **3286N** Sheet 11 of 13

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

**Energy Rating** Certificate Number **14561090**  
 Average star rating **4.25 stars**

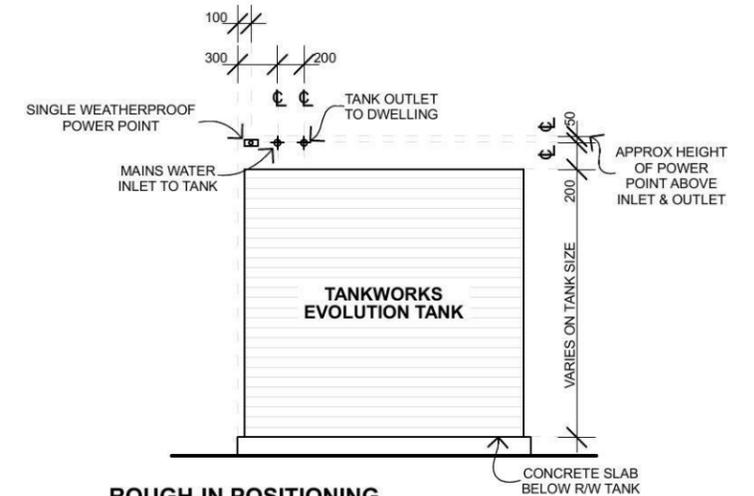
multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

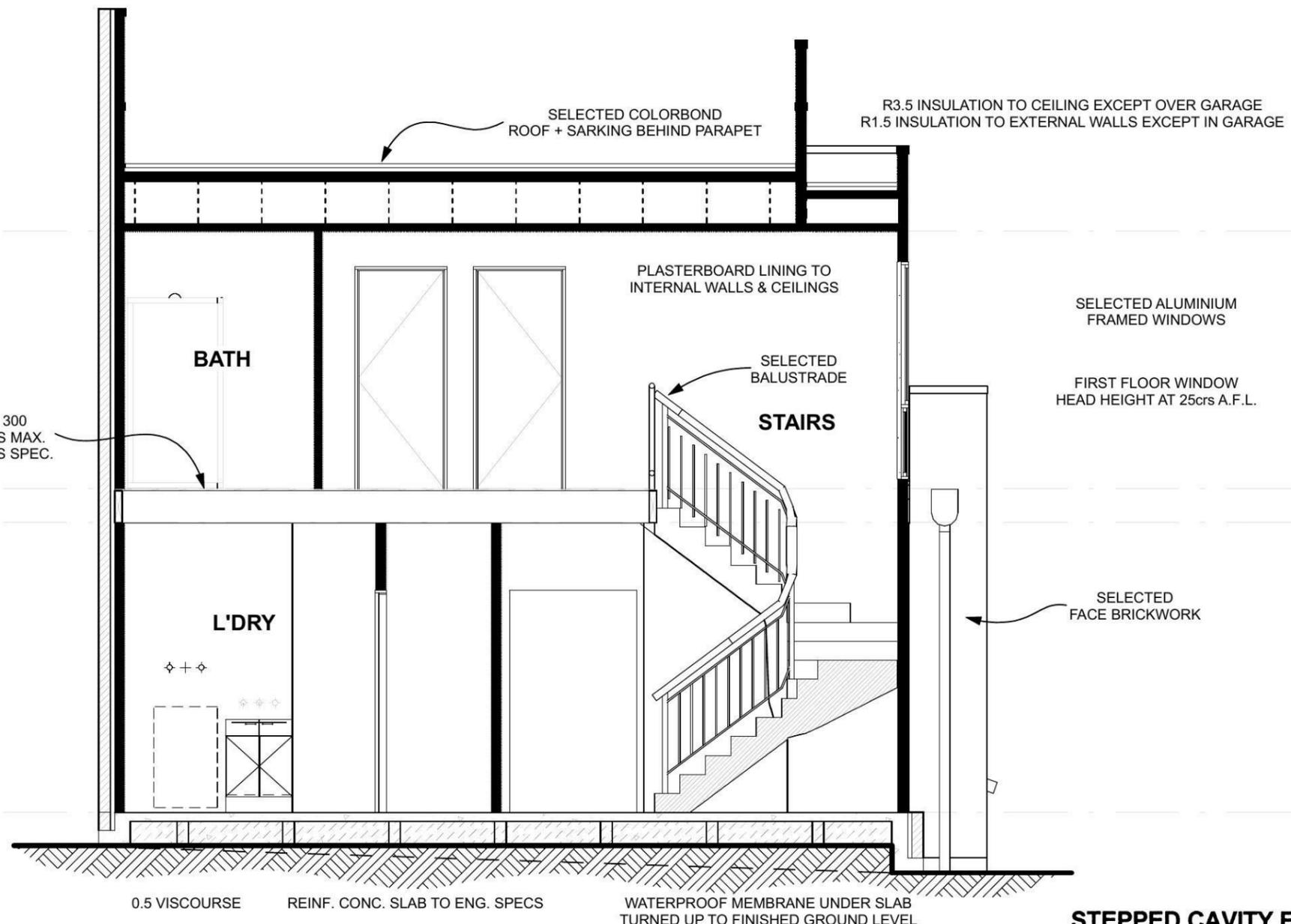
Assessor Name/Number **Thomas Ruck VIC/BDAV/12/1456**

Assessor Signature *T. Ruck* Date **23/10/14**

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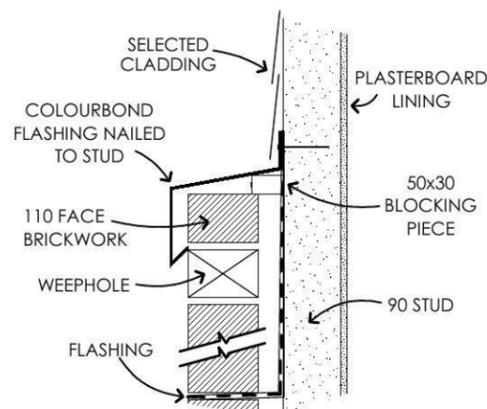
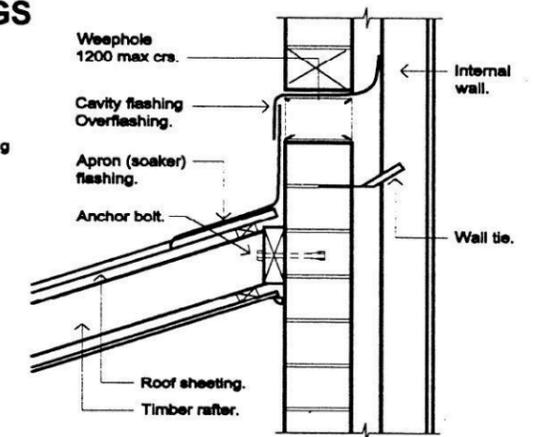
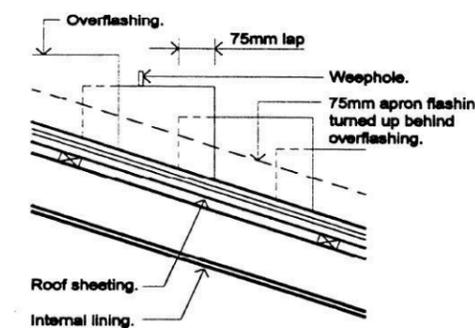
**ROUGH-IN POSITIONING "EVOLUTION SERIES 2 TANKS"**



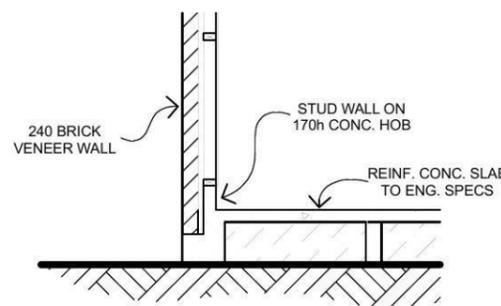
**Section 01**

SCALE 1:50

**STEPPED CAVITY FLASHINGS**



**DETAIL 1**



**GARAGE CONC. HOB DETAIL**

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date  
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**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**  
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Client:  
**Champion Homes**  
 Sheet Size: A3 Date: 01.09.14 Drawn: MT  
 Design:  
**Custom Terrace**  
 Job No. **3286N** Sheet 12 of 13

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

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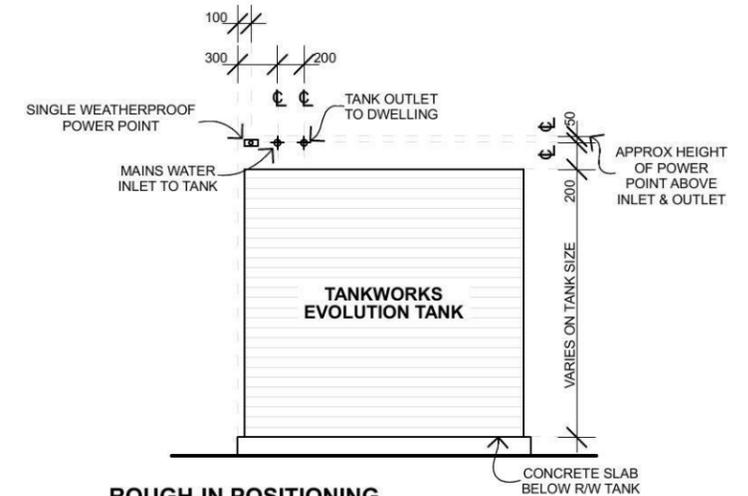
multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

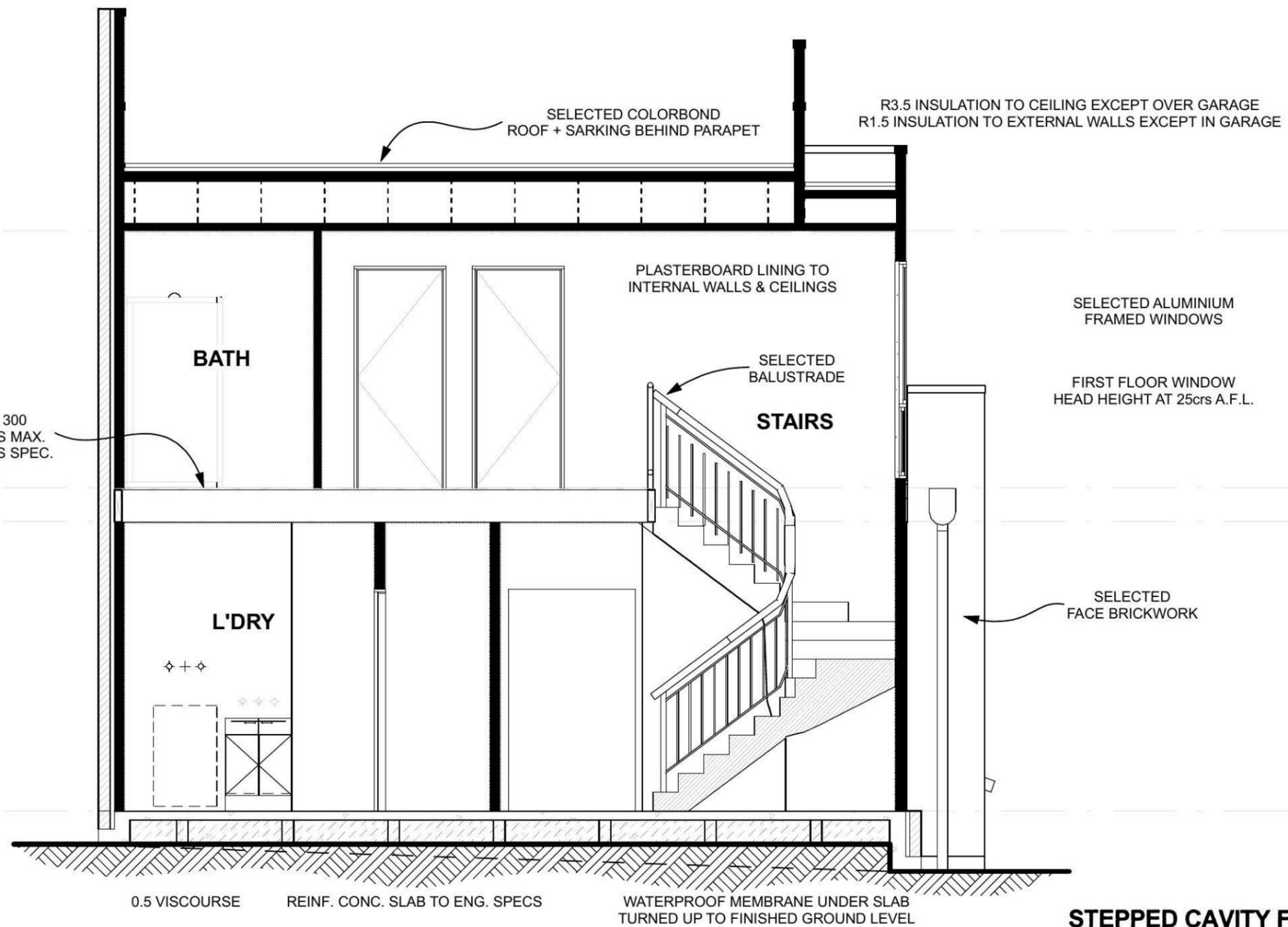
Assessor Name/Number **Thomas Ruck VIC/BDAV/12/1456**

Assessor Signature *T. Ruck* Date **23/10/14**

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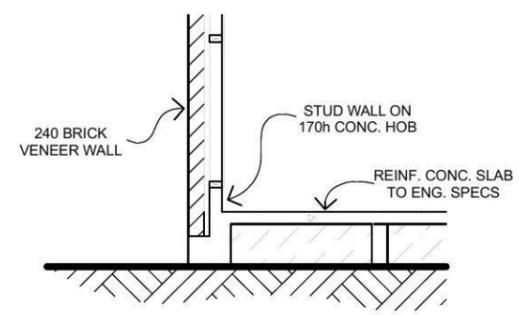
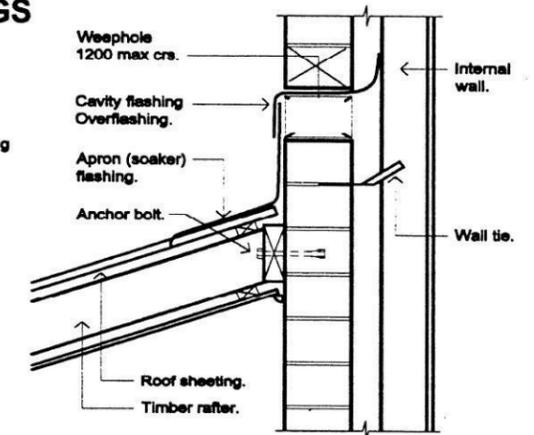
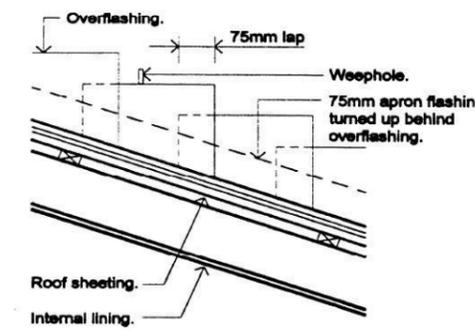
**ROUGH-IN POSITIONING "EVOLUTION SERIES 2 TANKS"**



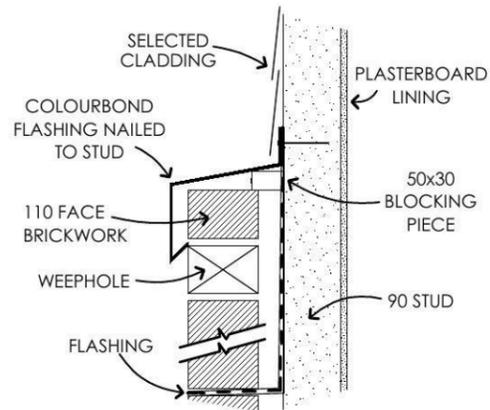
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SCALE 1:50

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Plot Date Tue 28 Oct 2014

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Client:  
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Sheet Size: A3 Date: 01.09.14 Drawn: MT

Design:  
**Custom Terrace**

Job No. **3286N** Sheet 12 of 13

# Proposed Site Plan & Drainage Plan

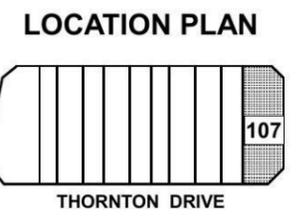
SCALE 1:200

**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR

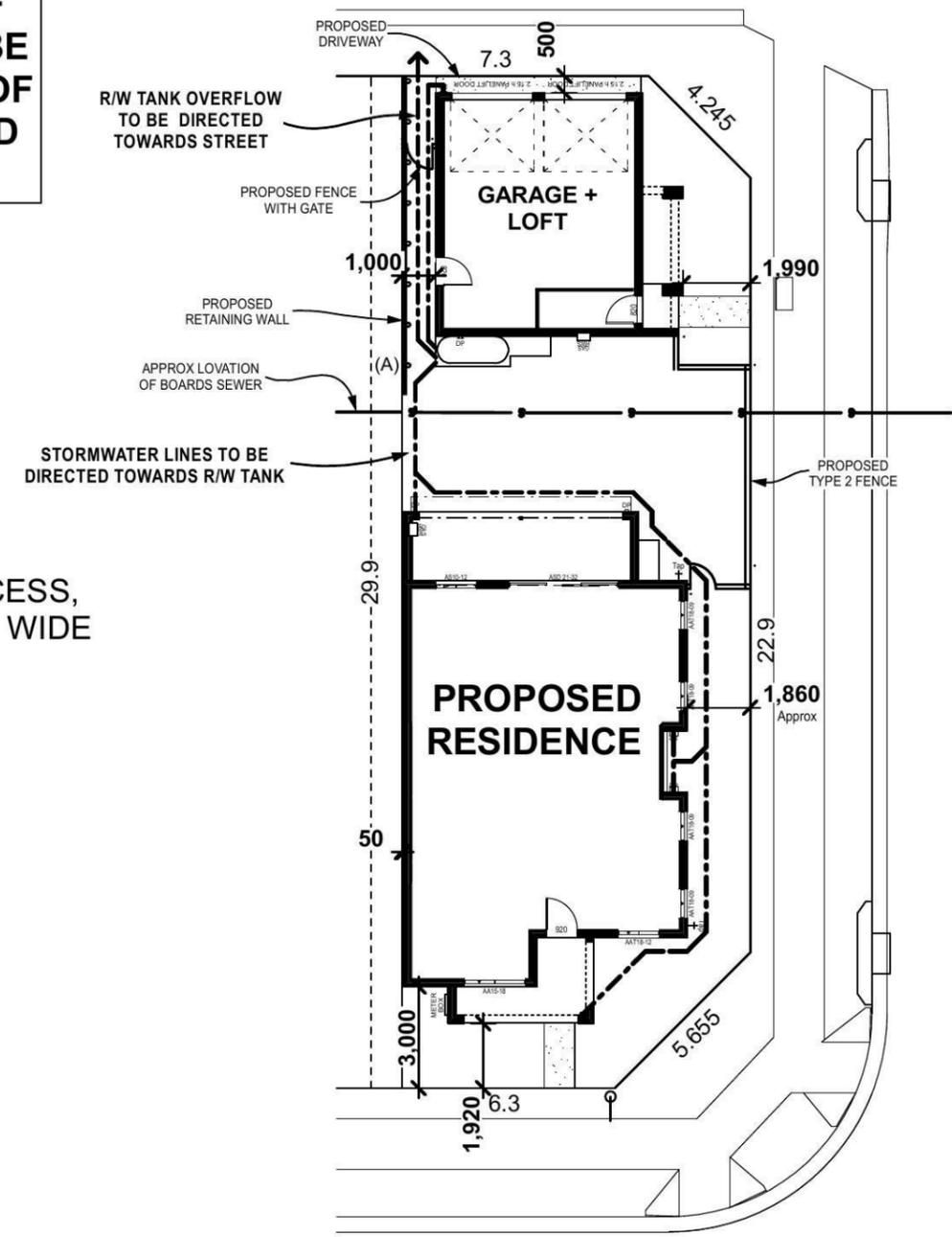


**LOT: 107**  
**295.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE



**STODDART LANE**



**WOODMAN STREET**

**THORNTON DRIVE**

**Energy Rating** Certificate Number **14561090**  
Average star rating **4.25** stars

multi-unit development

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDAV/12/1456**

Assessor Signature *T. Ruck* Date **23/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

**NOTE:**  
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY  $\pm 100$ mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
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Plot Date  
Tue 28 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 01.09.14 Drawn: MT

Design:  
**Custom Terrace**

Job No. **3286N** Sheet 1 of 13