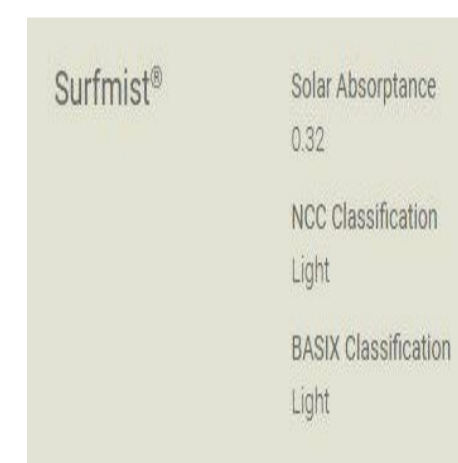




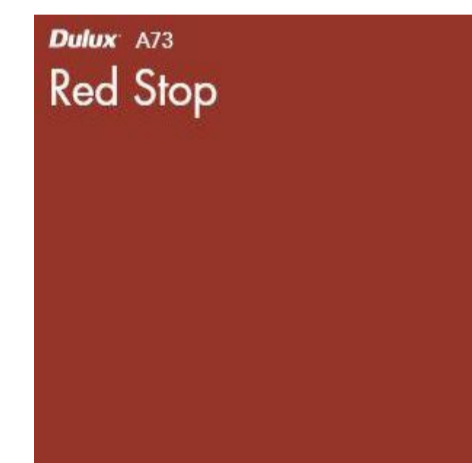
COLOUR SCHEDULE



TILT UP WALLS / WINDOW FRAMES / AWNINGS / COLUMNS



FIBRE CEMENT CLADDING



WINDOW SHADES



FASCIAS

PROPOSED LIGHT INDUSTRIAL DEVELOPMENT

LOT 11 DP525103 No.34-36 PRESTON ST, JAMISONTOWN

DAN DOCHERTY

DA ISSUE

| REVISION | REVISION DESCRIPTION | DATE |
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| A | DA ISSUE | 17.07.2020 |
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TYPICAL NOTES:

C.C SPECIFICATION:
All BCA references refer to National Construction Code 2019

DEMOLITION:
Demolition extent as shown on drawings.
All to be carried out in accordance with AS2601-2001
Make good any defect caused.

Provide weather protection to temporary openings.
Builder to take all necessary precautions when dealing with the removal of Asbestos.
All Asbestos removal and handling and disposal to be by builder in conformance with all required statutory safety standards.

EXCAVATION / EARTHWORKS:
Comply with BCA

TERMITE PROTECTION:

Comply with AS3660.1-2014
To prepare ground under new decks to resist termites.
Inspect existing structure and ensure adequate drainage and ventilation to subfloor area to inhibit termite activity. Ensure termite protection to all house timber framing to roof and wall and floor. Termite protection to be installed to manufacturers specification.

STORMWATER DRAINAGE:
Refer to Stormwater engineers drawings. (If available)
Comply with AS3500.3

CONCRETE WORKS, FOOTINGS & SLABS:
All concrete works to be in accord with Structural engineers specification.

MASONRY and LINTELS:
If required, Materials, construction and detailing to AS3700

INSULATION:
Refer to attached Basis / NatHers

TIMBER WALL & FLOOR & ROOF FRAMING:

Comply with AS1684 (2010) & AS1720.1
Refer to structural engineer dwgs & spec.

SUBFLOOR VENTILATION:
Comply with AS3660 & NCC part 3.4.1

STRUCTURAL STEEL:
Comply with AS4100 (1998)
Refer to structural engineers drawings & spec.

WALL CLADDING:
Comply with AS5113 & NCC parts 3.5.3

ROOF CLADDING:
Comply with AS1562.1

SARKING:
Comply with NCC parts 3.12.1.1

GUTTER and DOWNPIPES:

Comply with AS3500 & NCC parts 3.5.2

GLAZING:
Comply with AS1288. Materials and performance to comply with AS2047

WATERPROOFING:
Comply with AS3740
(Waterproofing of wet areas)

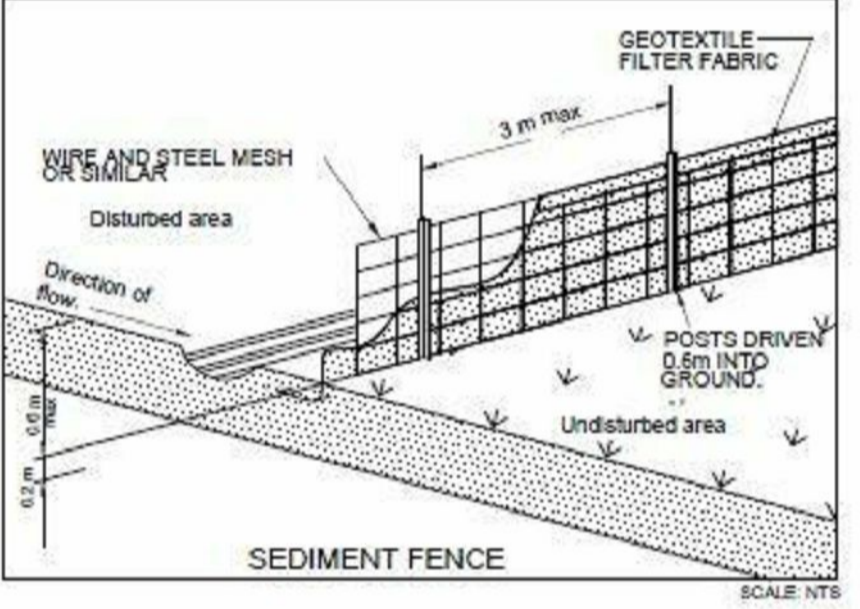
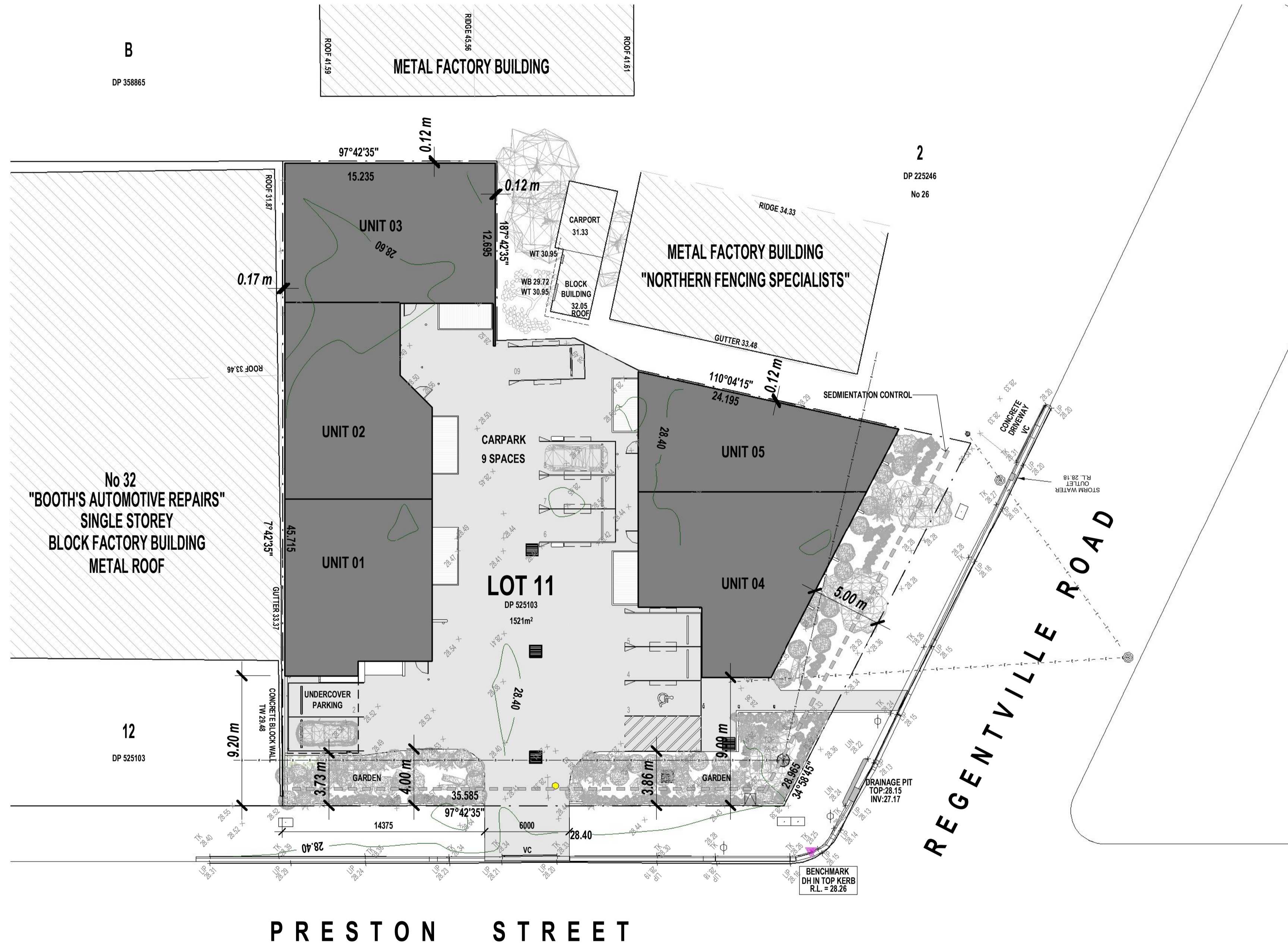
STAIRCASES / BALUSTRADES:
Comply with NCC part 3.9.1 and 3.9.2
All conditions of Council consent are to be adhered to.

MECHANICAL VENTILATION
Comply with NCC part 3.8.5
Flow rate & discharge of exhaust system
(i) 25 L/s for a bathroom or sanitary compartment; and
(ii) 40 L/s for a kitchen or laundry.



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| DATE NOV 19 | PROJECT No. KC1907 | | |
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Sediment & Erosion Control Notes

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- Conformity with this plan shall in no way reduce the responsibility of the contractor to protect against water damage during the course of the contract. It shall be the contractors responsibility to ensure that any necessary control is in place even though such control may not be shown on the plan.
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- Site access shall be restricted to a nominated point. The construction of a shake down area may be required depending upon soil conditions.
- The contractor shall maintain dust control throughout the duration of the project.

LEGEND

| | |
|-------|--|
| - - - | DEMOLITION WORK |
| SD | HARDWIRED INTERCONNECTED SMOKE DETECTORS |
| W | WINDOW TAG |
| D | DOOR TAG |

Area Schedule - LANDSCAPING

| Name | Area |
|-----------------------|----------------------------|
| LANDSCAPING | 251.0 m ² |
| Grand total: 4 | 251.0 m² |

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS FIGURED DIMENSIONS TO TAKE PREFERENCE TO SCALING.

PROJECT
PROPOSED LIGHT INDUSTRIAL DEVELOPMENT
LOT 11 DP525103 No.34-36 PRESTON ST, JAMISONTOWN

DRAWING
SITE PLAN

CLIENT
DAN DOCHERTY

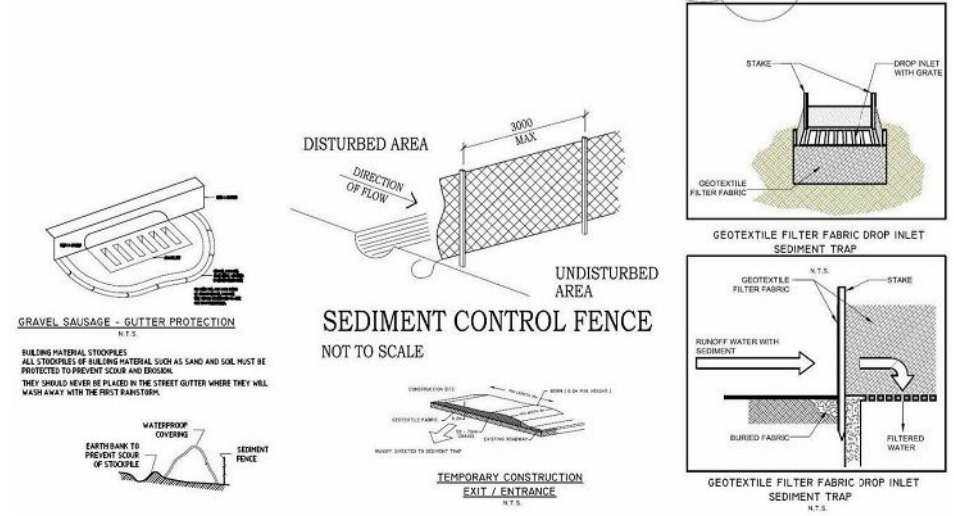
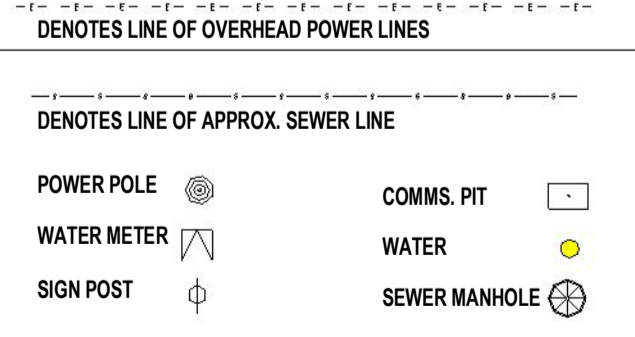
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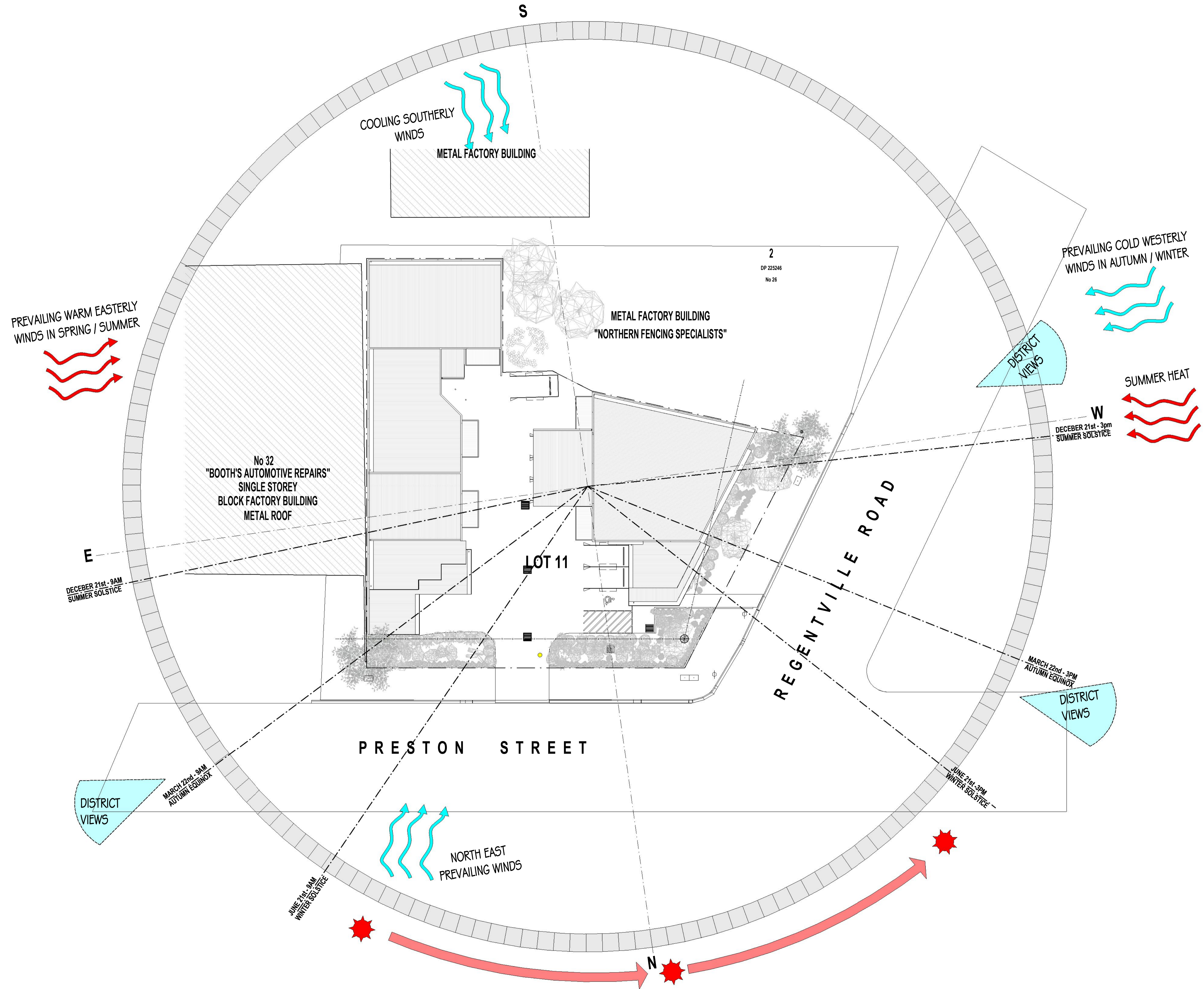
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PROJECT
PROPOSED LIGHT INDUSTRIAL DEVELOPMENT
 LOT 11 DP525103 No.34-36 PRESTON ST, JAMISONTOWN

DRAWING
SITE ANALYSIS PLAN

CLIENT
DAN DOCHERTY

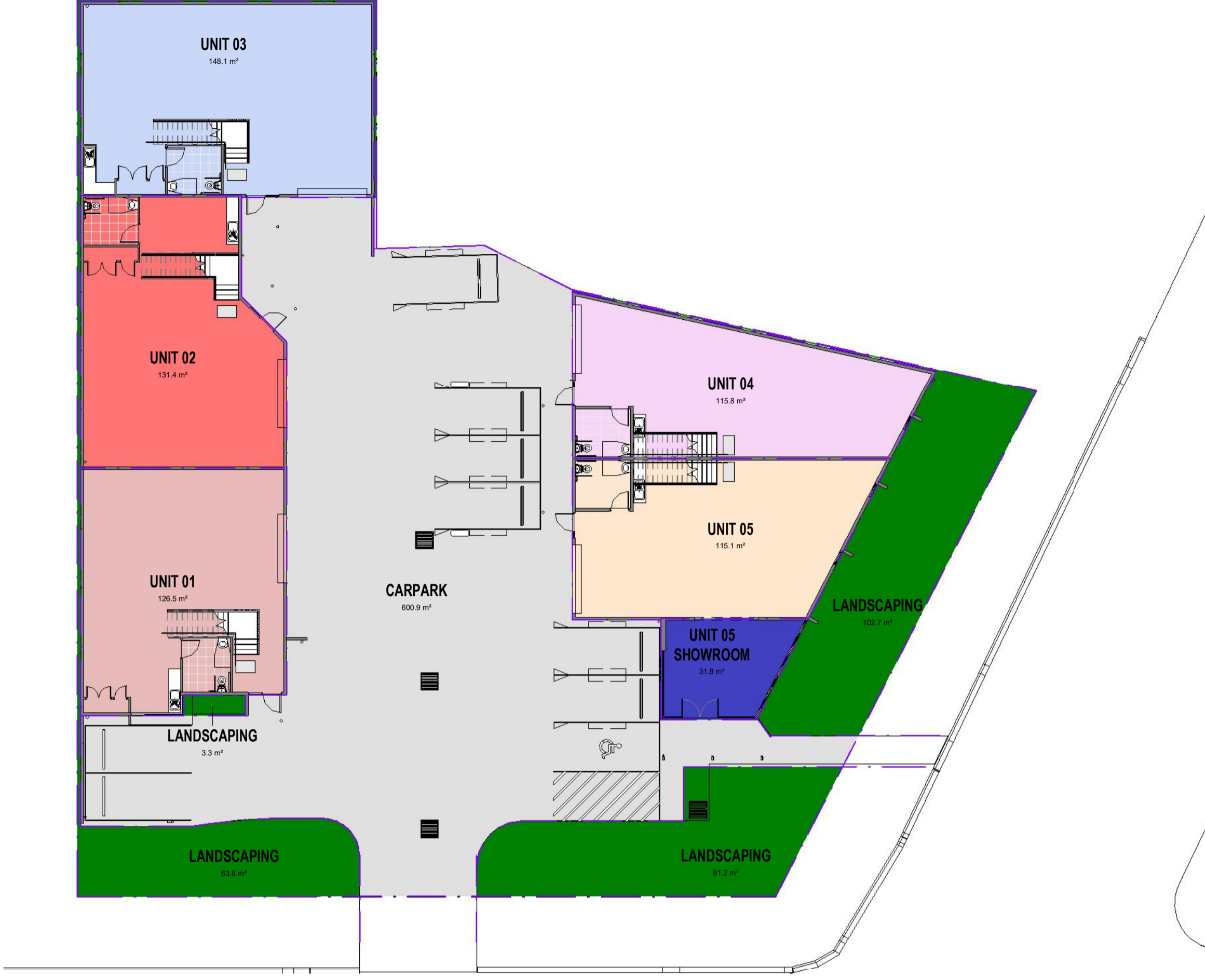
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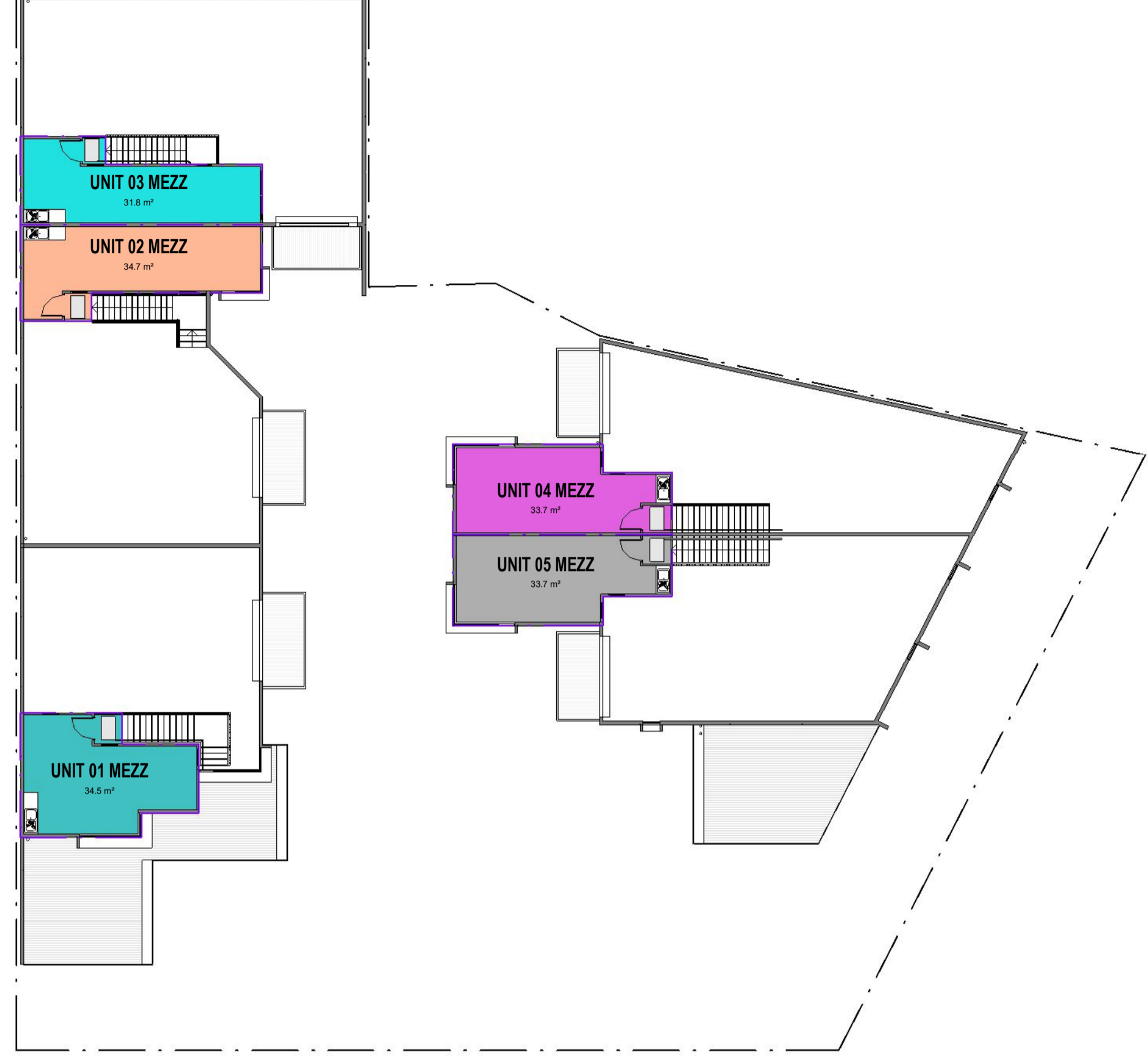
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01 GROUND FLOOR AREA PLAN
— 1 : 200



02 FIRST FLOOR AREA PLAN
— 1 : 200

| Area Schedule - LANDSCAPING | | Area Schedule - UNIT 01 | |
|-----------------------------|----------|-------------------------|----------|
| Name | Area | Name | Area |
| LANDSCAPING | 251.0 m² | UNIT 01 | 126.5 m² |
| Grand total: 4 | 251.0 m² | UNIT 01 MEZZ | 34.5 m² |
| | | Grand total: 2 | 160.9 m² |

| Area Schedule - CARPARK | | Area Schedule - UNIT 02 | |
|-------------------------|----------|-------------------------|----------|
| Name | Area | Name | Area |
| CARPARK | 600.9 m² | UNIT 02 | 131.4 m² |
| Grand total: 1 | 600.9 m² | UNIT 02 MEZZ | 34.7 m² |
| | | Grand total: 3 | 166.1 m² |

SITE AREA = 1521m²
UNITS-TOTAL GROUND FLOOR FOOTPRINT = 668.10m²
GFA: 0.55:1
IMPERVIOUS AREA = 1279.5m²
PERVIOUS = 240.60m²

| Area Schedule - UNIT 03 | | Area Schedule - UNIT 04 | |
|-------------------------|----------|-------------------------|----------|
| Name | Area | Name | Area |
| UNIT 03 | 148.1 m² | UNIT 04 | 115.8 m² |
| UNIT 03 MEZZ | 31.8 m² | UNIT 04 MEZZ | 33.7 m² |
| Grand total: 2 | 179.9 m² | Grand total: 2 | 149.5 m² |

| Area Schedule - UNIT 05 | | Area Schedule - UNIT 05 | |
|-------------------------|----------|-------------------------|----------|
| Name | Area | Name | Area |
| UNIT 05 | 115.1 m² | UNIT 05 | 115.1 m² |
| UNIT 05 MEZZ | 33.7 m² | UNIT 05 MEZZ | 33.7 m² |
| UNIT 05 SHOWROOM | 31.8 m² | UNIT 05 SHOWROOM | 31.8 m² |
| Grand total: 3 | 180.6 m² | Grand total: 3 | 180.6 m² |

TOTAL UNIT FLOOR AREA = 837m²

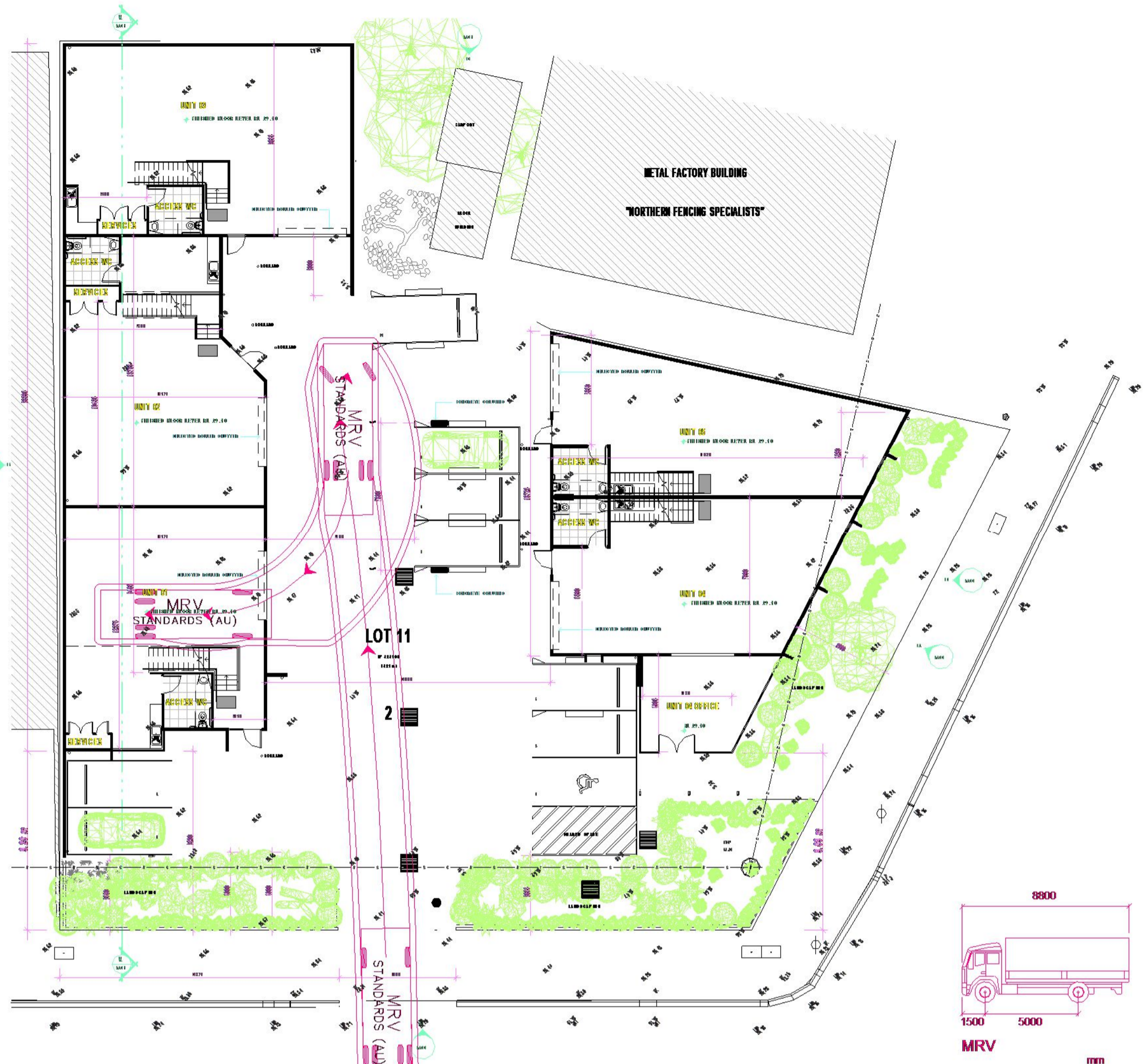
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PROJECT
PROPOSED LIGHT INDUSTRIAL DEVELOPMENT
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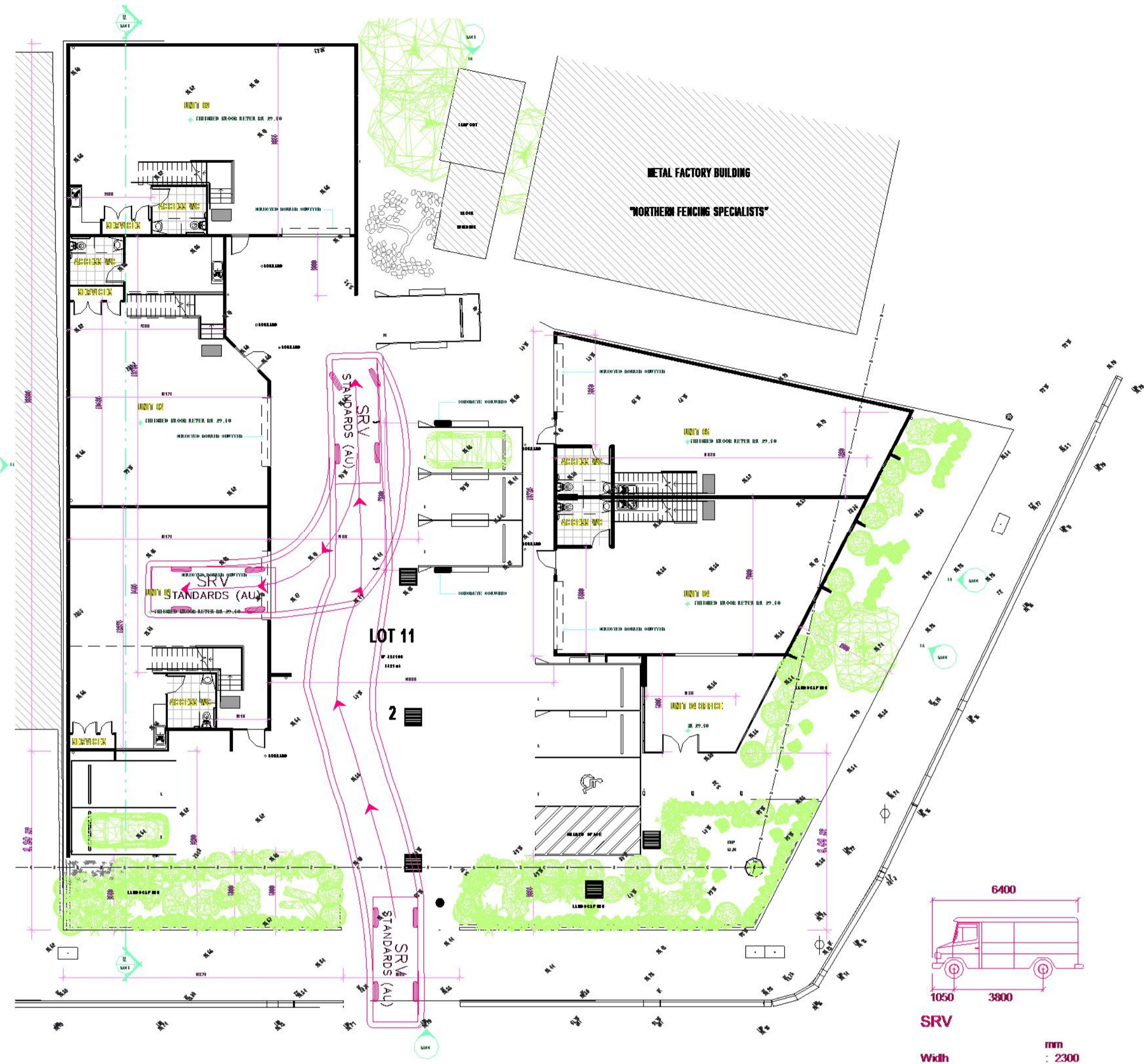
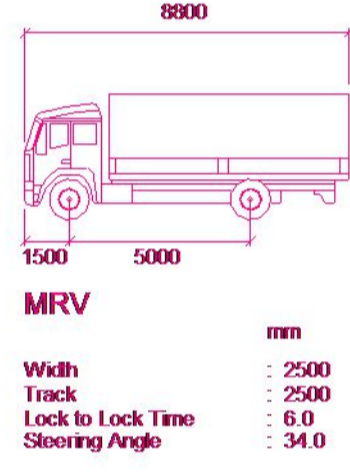
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AREA PLANS

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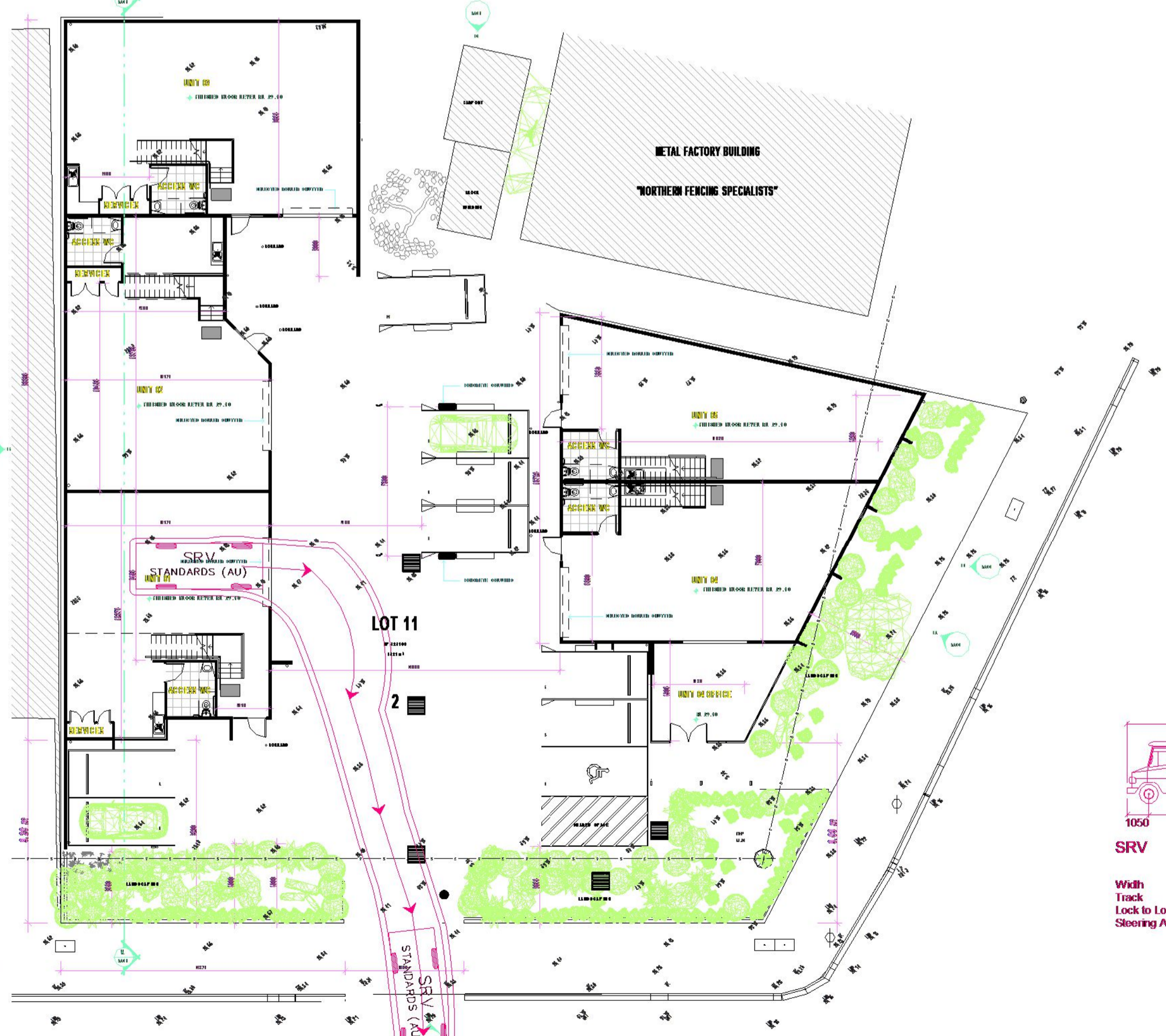
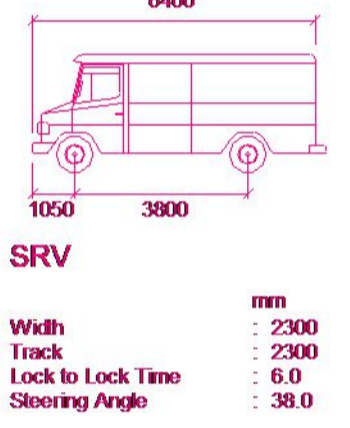
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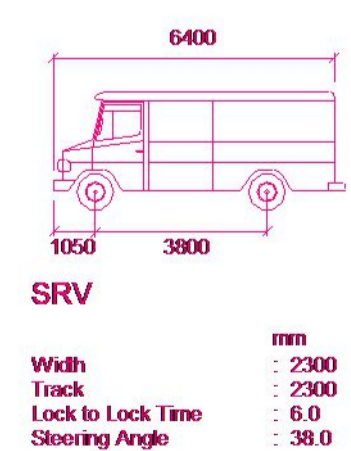
Reverse inbound for Unit 1 using MRV



Reverse inbound for Unit 1 using SRV



Forward Outbound for Unit 1 using SRV



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PROJECT
PROPOSED LIGHT INDUSTRIAL DEVELOPMENT
LOT 11 DP525103 No.34-36 PRESTON ST,
JAMISONTOWN

DRAWING
TURNING CIRCLES - UNIT 01

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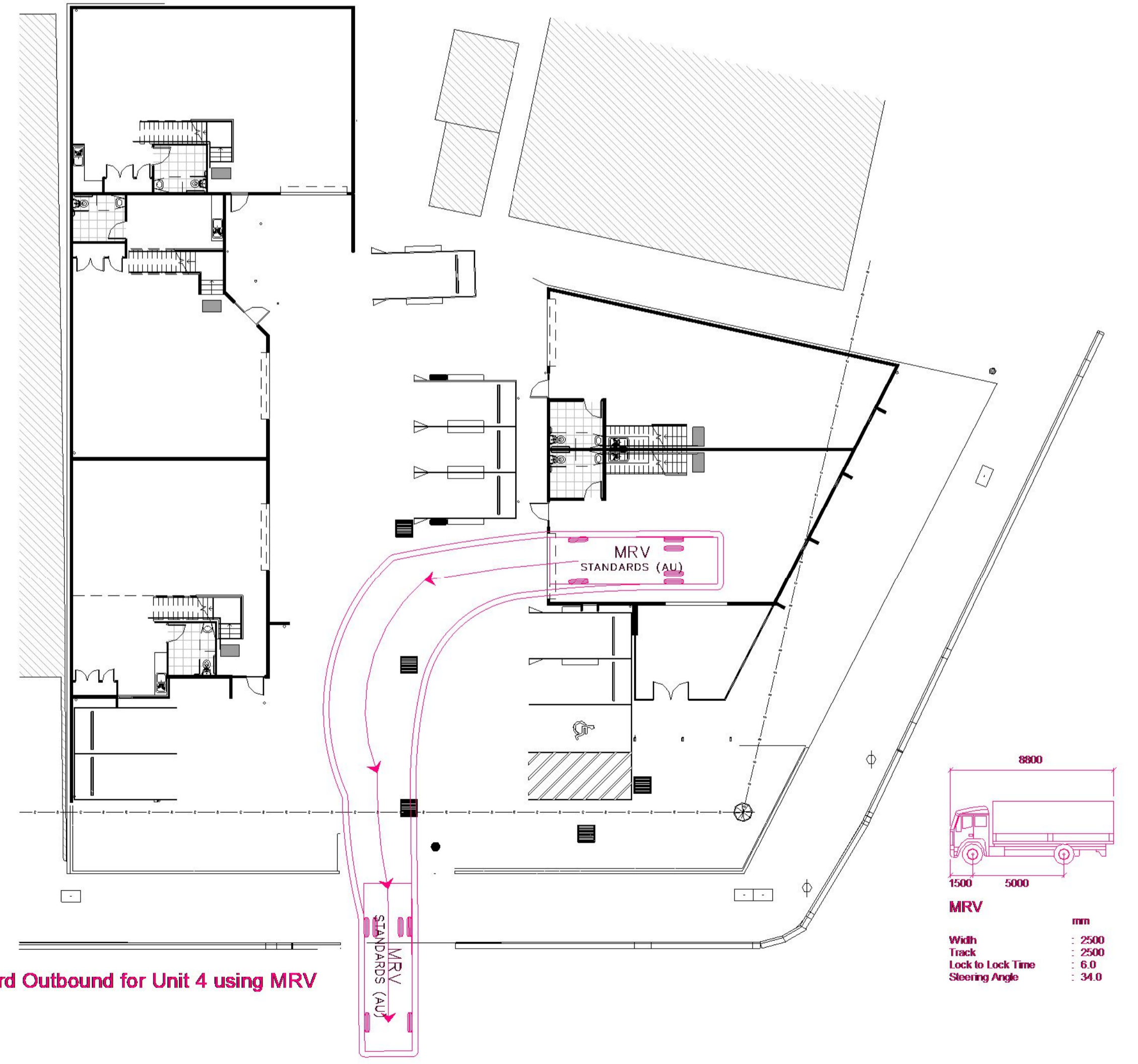
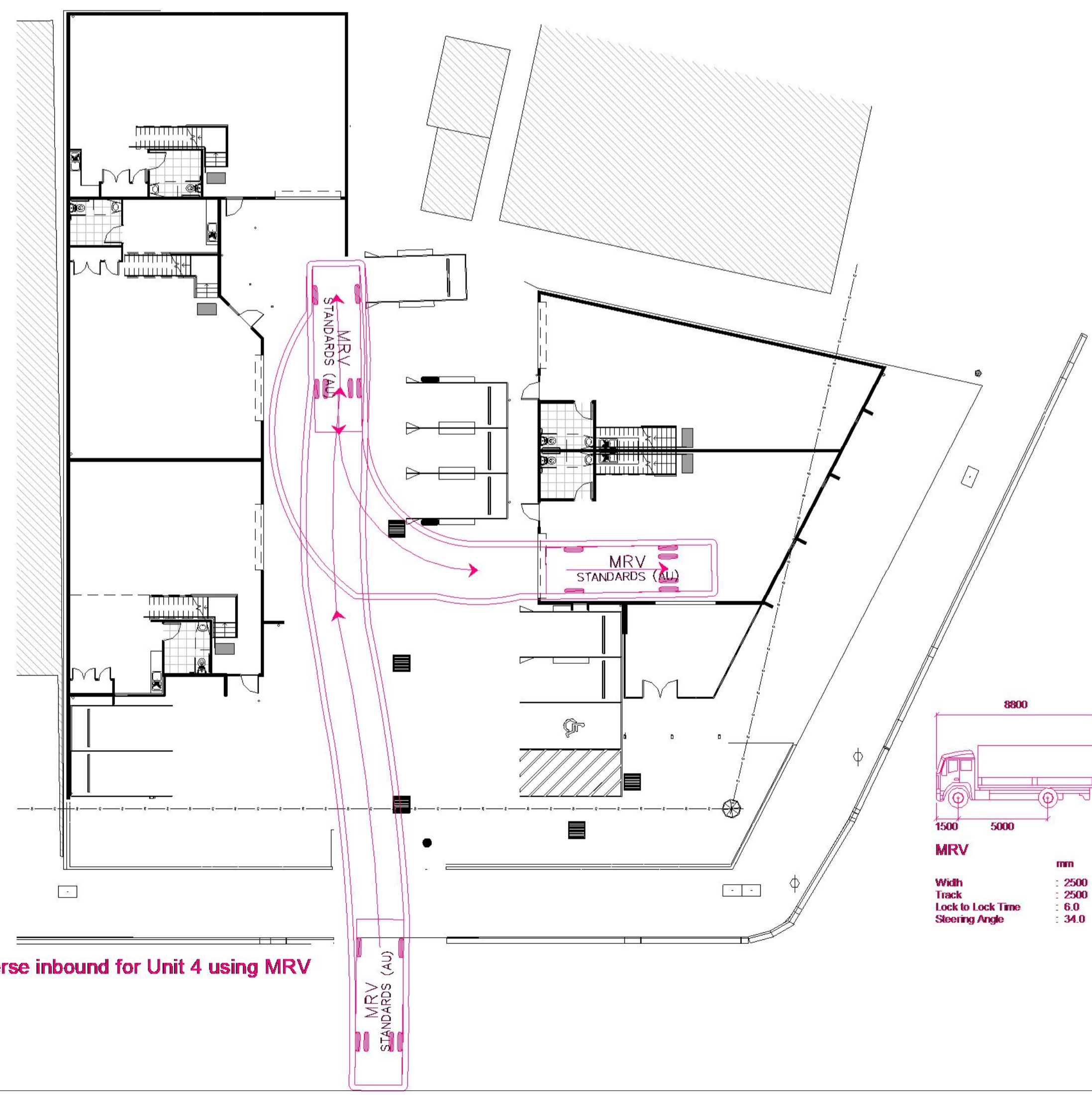
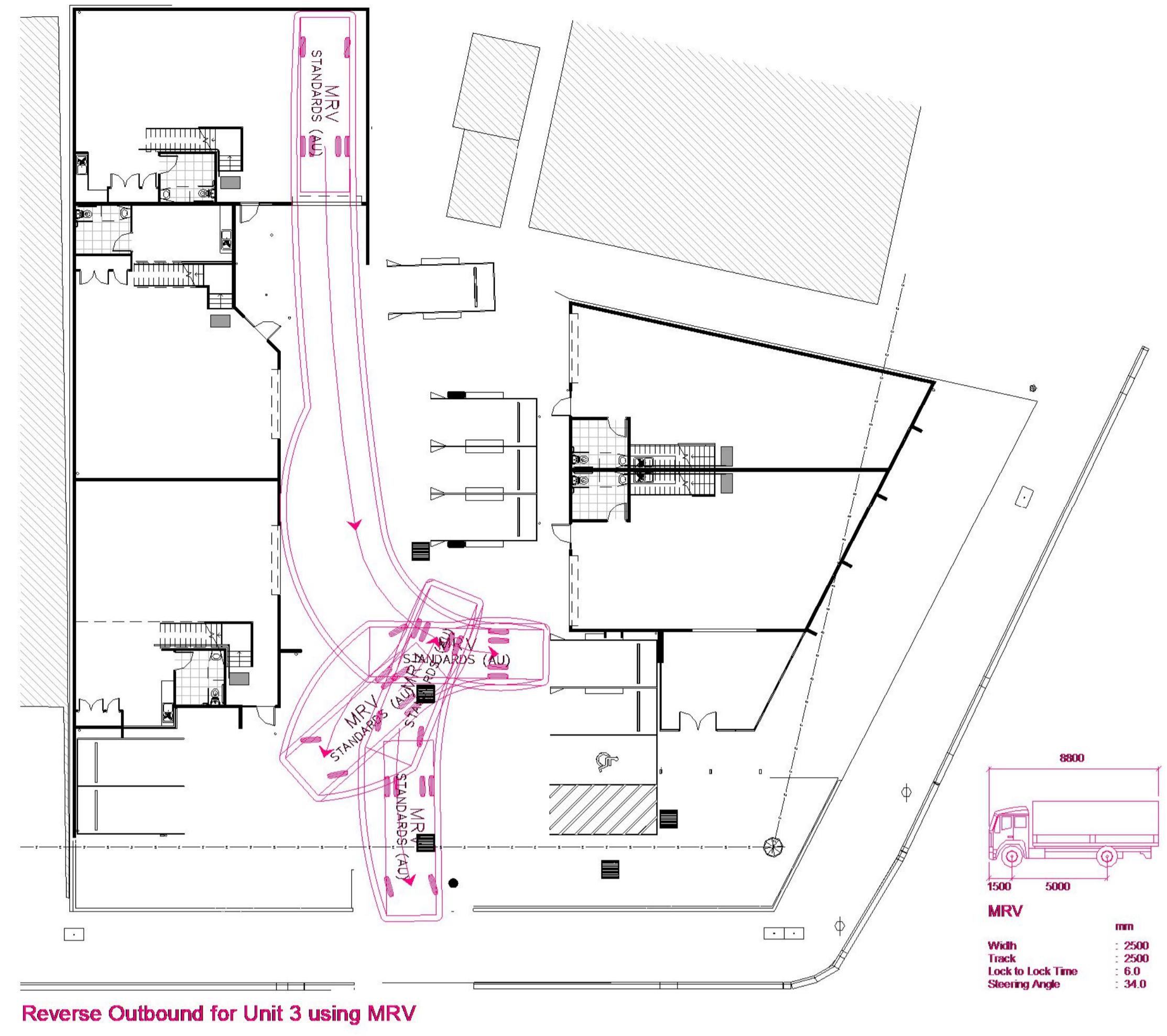
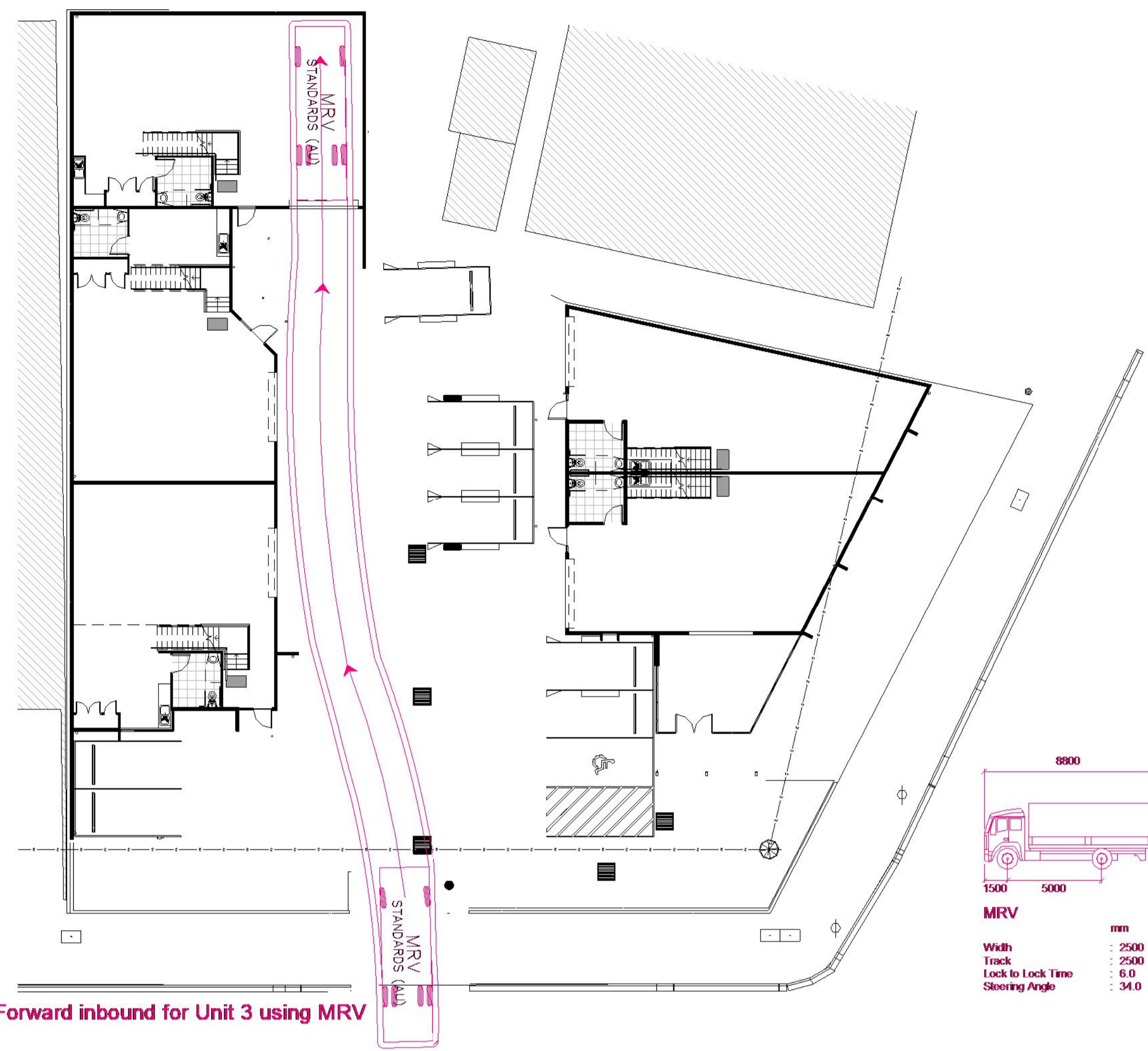
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PROPOSED LIGHT INDUSTRIAL DEVELOPMENT
LOT 11 DP525103 No.34-36 PRESTON ST,
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DRAWING
TURNING CIRCLES - UNITS 03 & 04

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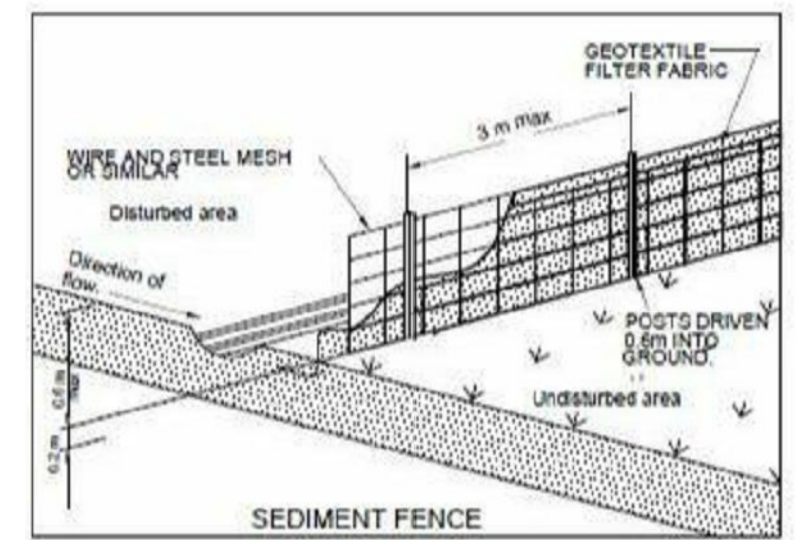
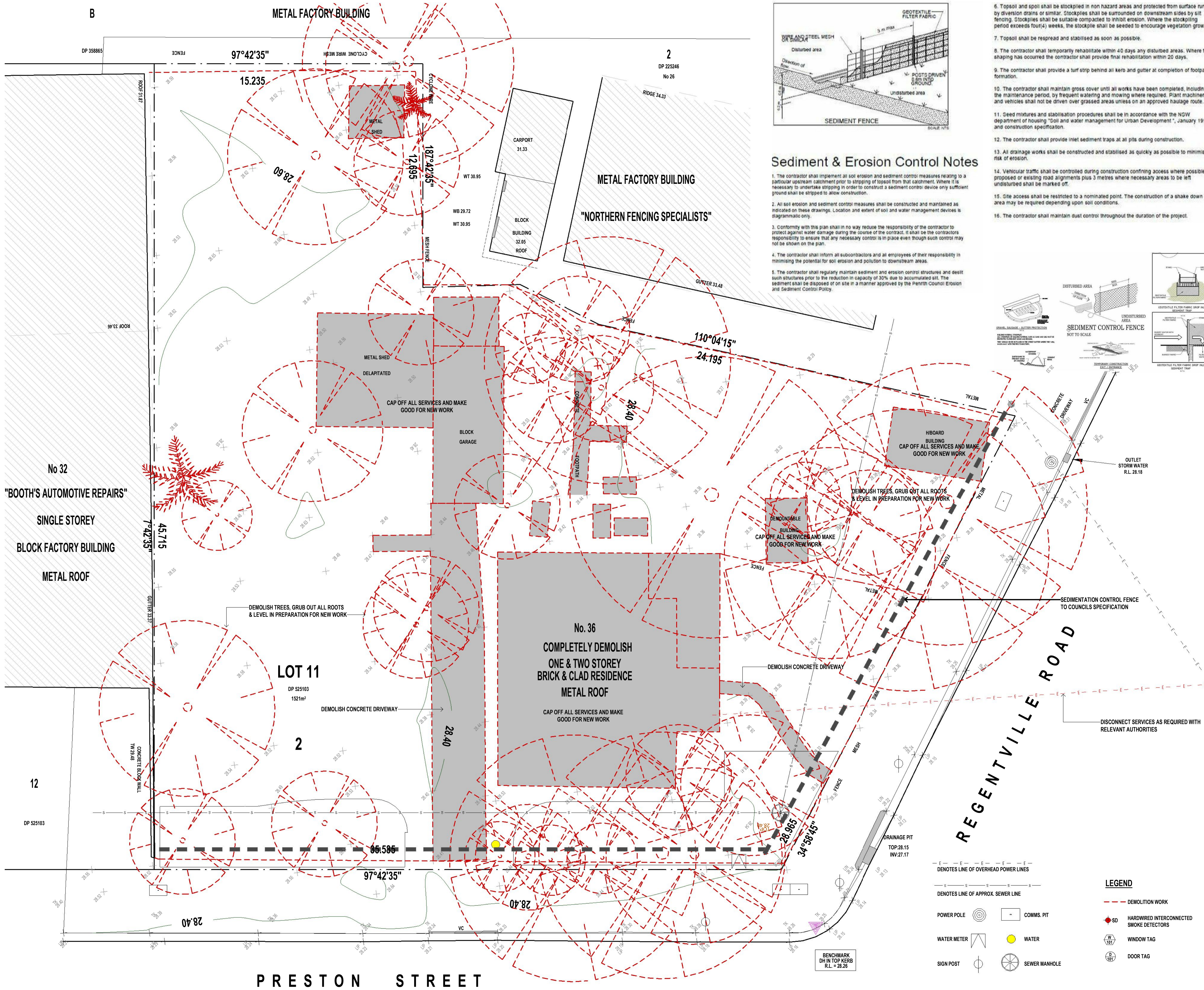
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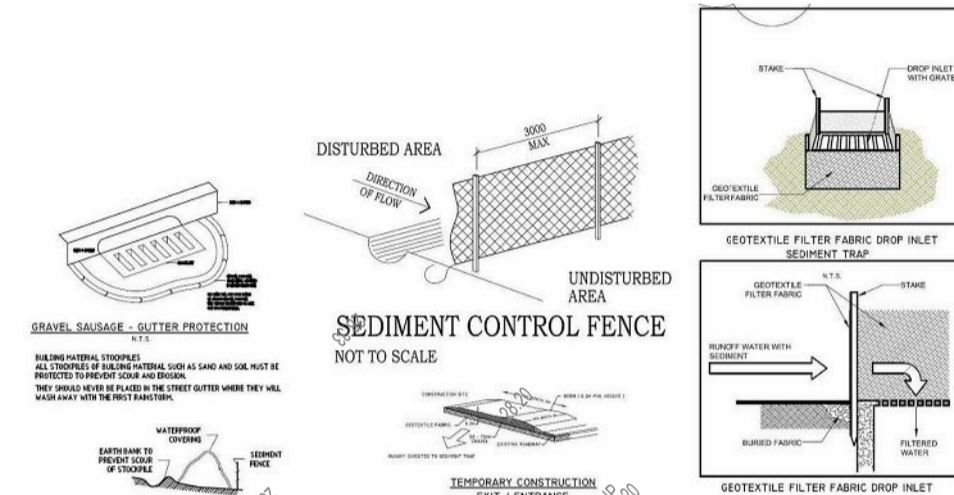
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Sediment & Erosion Control Notes

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DEMOLITION NOTES:
 PROTECT AND RETAIN ALL TREES. REFER TO ARBORIST'S REPORT.
 REFER TO CONSULTANTS DWG'S FOR SERVICES TO BE RETAINED OR DEMOLISHED.
 BUILDER IS TO BE RESPONSIBLE FOR PROVIDING ALL THE TEMPORARY SUPPORT DURING DEMOLITION & CONSTRUCTION.
 MAKE GOOD AS REQUIRED IN PREPARATION FOR NEW WORK.
 CARE IS TO BE TAKEN WHEN WORKING ON HERITAGE ITEMS SUCH AS BRICKWORK, WINDOWS AND ETC.

DISCLAIMER
 THE DEMOLITION DRAWINGS PROVIDE AN INDICATION OF THE SCOPE REQUIRED TO CARRY OUT THE ALTERATIONS & ADDITIONS AS PROPOSED. THE CONTRACTOR IS DEEMED TO HAVE INSPECTED THE SITE DURING THE TENDER PERIOD. IT IS THEREFORE ASSUMED THAT AN ALLOWANCE HAS BEEN MADE FOR ALL DEMOLITION WORKS INCLUDING SUNDRY WORKS NOT INDICATED ON THIS DRAWING THAT ARE REQUIRED IN ORDER TO CONSTRUCT THE WORKS.

NOTE:
 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS FIGURED DIMENSIONS TO TAKE PREFERENCE TO SCALING.

PROJECT
PROPOSED LIGHT INDUSTRIAL DEVELOPMENT
 LOT 11 DP525103 No.34-36 PRESTON ST, JAMISONTOWN

DRAWING
DEMOLITION PLAN

CLIENT
DAN DOCHERTY

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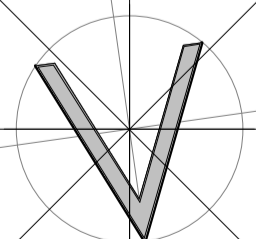
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PROJECT
PROPOSED LIGHT INDUSTRIAL DEVELOPMENT
LOT 11 DP525103 No.34-36 PRESTON ST, JAMISONTOWN

DRAWING
ROOF PLAN

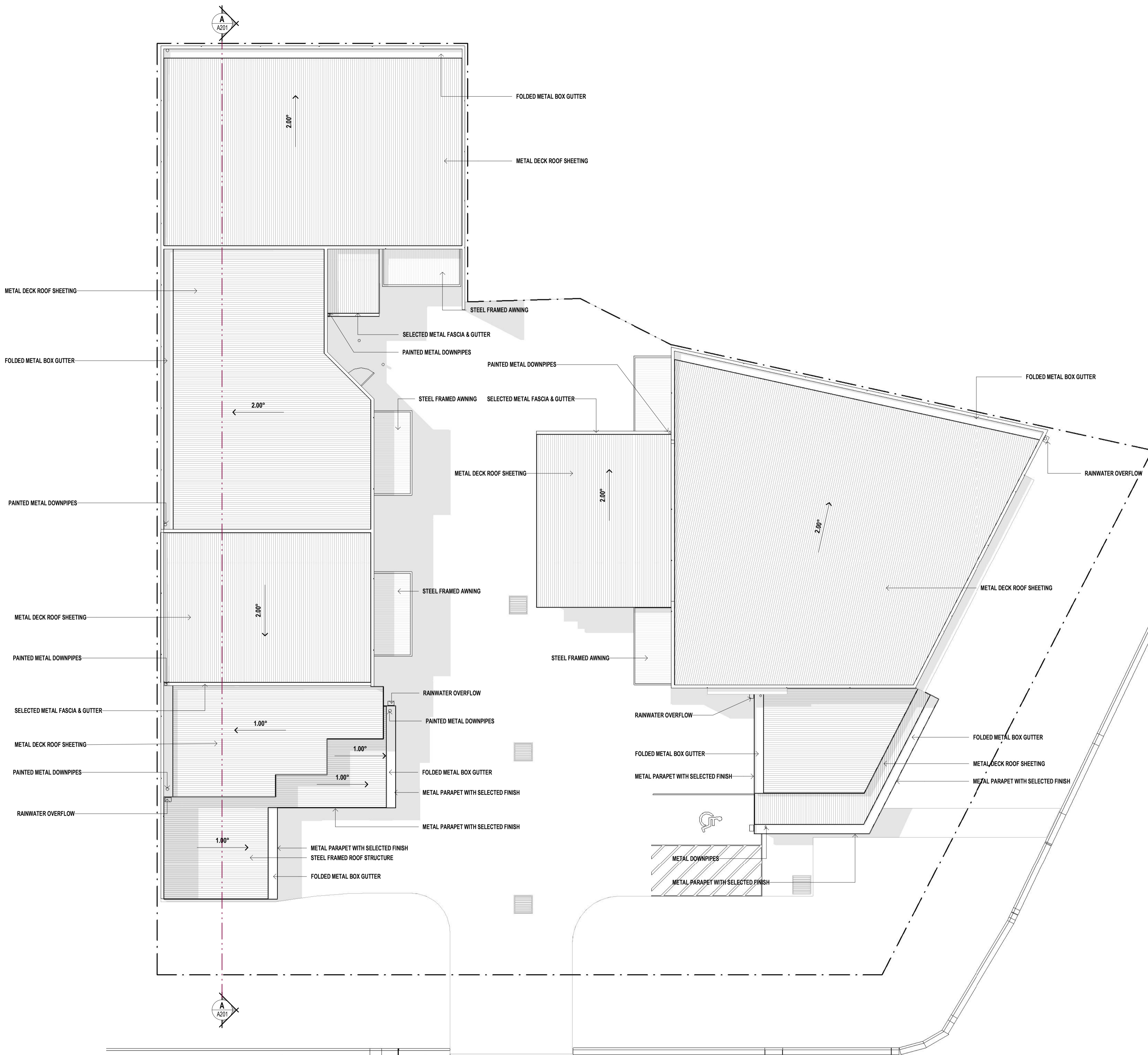
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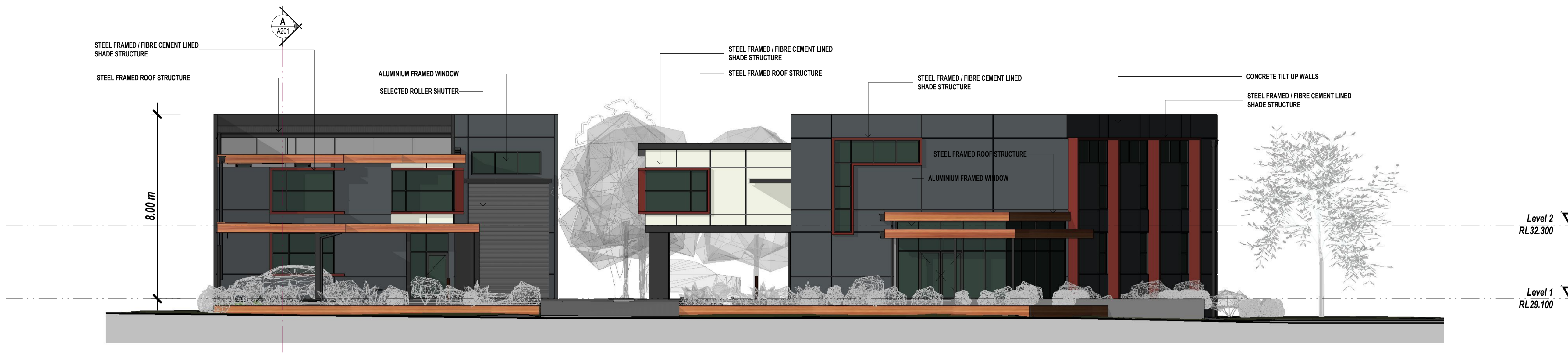
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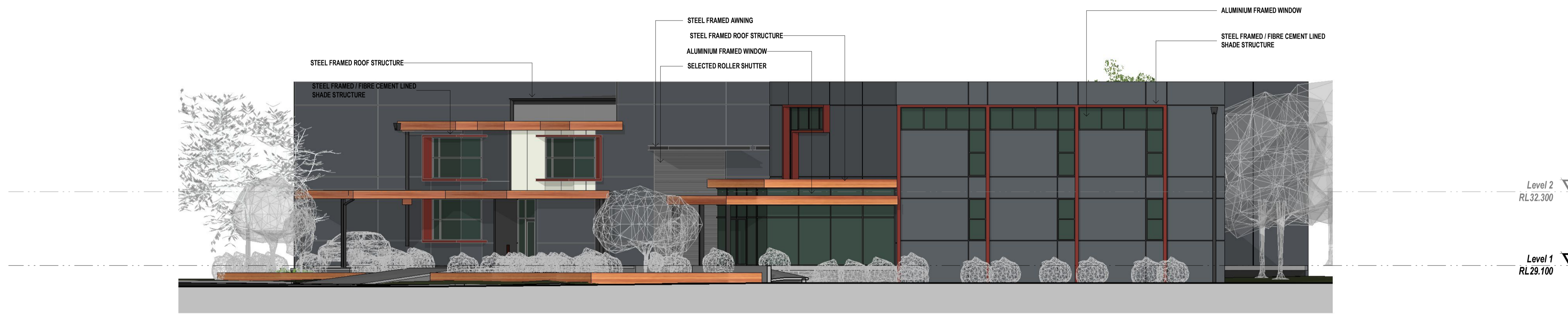
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01 ROOF PLAN
1 : 100



01 NORTH ELEVATION
A101 1 : 100



02 NORTH WEST ELEVATION
A101 1 : 100



03 WEST ELEVATION
A101 1 : 100

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LOT 11 DP525103 No.34-36 PRESTON ST,
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ELEVATIONS

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