

ASPECT DEVELOPMENT & SURVEY PTY LTD  
CONSULTING REGISTERED SURVEYORS  
ABN 80 078 649 000

SUITE 1  
103 VANESSA STREET  
KINGSGRANGE NSW 2208  
PHONE (02) 9554 8388  
FAX (02) 9554 8588

PO BOX 161  
KINGSGRANGE NSW 1480  
DX 11392  
HURSTVILLE

**BASIX LOTS 165**

= 95.89m<sup>2</sup> of roof area to discharge to water tank.  
= stormwater and overflow to discharge to existing street channel.  
o/a= 95.89m<sup>2</sup> of roof area.

**LEGEND:**

○ = SURFACE INLETS AS REQUIRED  
○ = SURFACE INLETS LINE  
--- = STORMWATER LINE

**LOT 165**

**EARTHWORKS TO AHD**

HOUSE: FFL: R.L: 28.500 AHD  
(LIVING) FGL: R.L: 28.100 AHD

GARAGE: FFL: R.L: 28.330 AHD  
FGL: R.L: 28.005 AHD

**GENERAL DRAINAGE NOTES**

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS3500
3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.

note:  
r.l. levels indicative to a building tolerance of +/- 90mm.

NOTE:  
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

**NOTE:**  
PROVIDE GRANITGARD TERMITE TREATMENT

**FIBRE OPTIC WIRING PACKAGE**

**NOTE**  
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER) 3-PHASE POWER

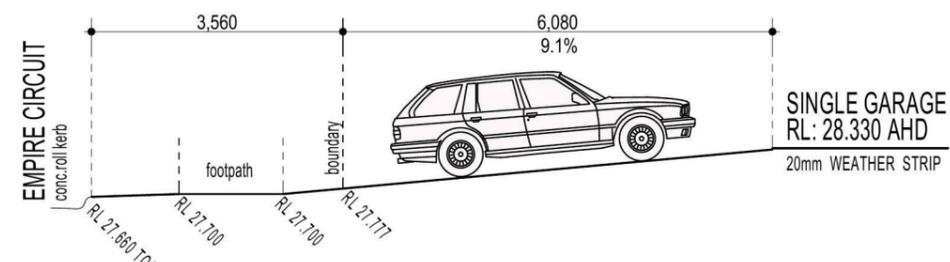
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**SYMBOLS & ABBREVIATIONS:**

GP GULLY PIT	-E- OVERHEAD ELEC LINE
HYD HYDRANT	-S- SEWER LINE
SIP SURFACE INLET PIT	GM GAS METER
SIC SEWER INSPECTION COVER	LP LIGHT POLE
SMH SEWER MANHOLE	EC ELECTRICITY CONDUIT
W/M WATER METER	ECT ELEC & TELE CONDUIT
EL ELECTRICITY BOX	TC TELECOM CONDUIT
TP TELECOM PIT	WC WATER CONDUIT
VC VEHICLE CROSSING	INV INVERT
SV STOP VALVE	KO KERB OUTLET
SWMH STORMWATER MANHOLE	TK TOP OF KERB

**LOCALITY SKETCH**

UBD AREA: SYD REVISION: 49  
MAP: 163 REF: J7  
GPS S  
E

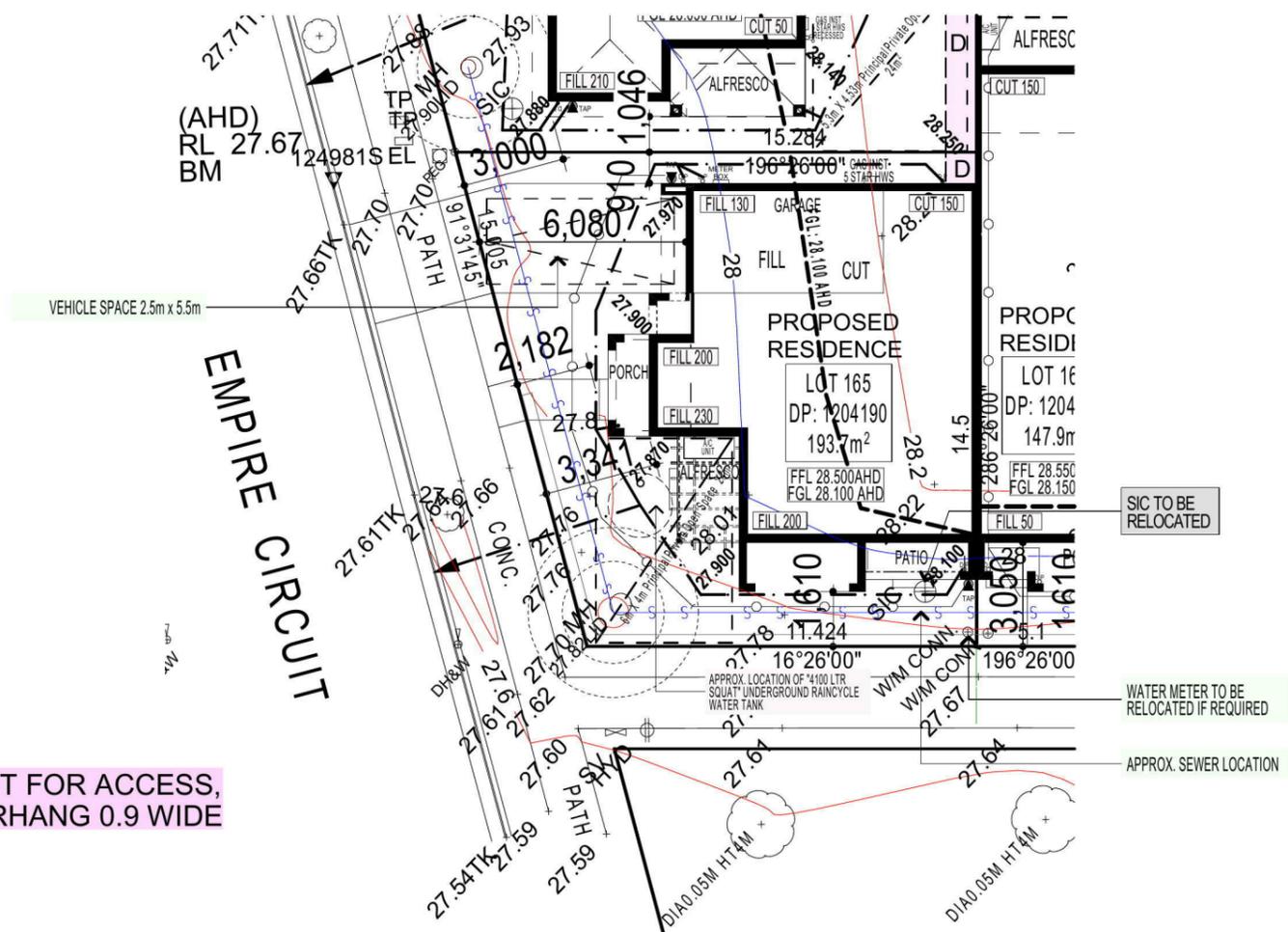


**DRIVEWAY GRADIENT**

SCALE 1:100

**NOTE:**  
DRIVEWAY DESIGN IN ACCORDANCE WITH AS/NZS 2890.1:2004 WITH COUNCIL DCP GUIDELINE  
SIGN:..... DATE:.....

**NOTE:**  
FINAL GARAGE LEVELS TO BE DETERMINED ON SITE



(D) PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE



**NOTE:**  
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

**PUBLIC RESERVE  
HOWELL PARK**  
↓  
**HUDSON STREET**



**SITE PLAN & STORMWATER CONCEPT PLAN**

**FIRSTYLE HOMES**

FIRSTYLE HOMES Pty.Ltd  
Lic No. 113412C  
ACN. 087 773 779  
PO BOX 171, HOXTON PARK 2171

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**DEVELOPMENT CALCULATIONS**

LOT: 165 NO: 00 OF SITE AREA: 193.7m<sup>2</sup>

Itemised Floor Areas:	Totals:
living ground floor:	69.88m <sup>2</sup>
first floor: (excl. void 3.31m <sup>2</sup> )	84.42m <sup>2</sup>
garage: (excess 00.000m <sup>2</sup> )	18.73m <sup>2</sup>
alfresco /patio:	4.83m <sup>2</sup> /3.77m <sup>2</sup>
porch:	3.59m <sup>2</sup>
balcony:	5.30m <sup>2</sup>
total floor area:	190.52m <sup>2</sup>

SITE AREA COVERAGE/LANDSCAPE:	
house ground floor:	69.88m <sup>2</sup>
garage:	18.73m <sup>2</sup>
porch/alfresco/patio:	12.19m <sup>2</sup>
driveway/paved area:	24.83m <sup>2</sup>
site coverage Area:	100.80m <sup>2</sup> (52.0%)
landscape area:	92.90m <sup>2</sup> (48.00%)
pervious areas (soft)	68.79m <sup>2</sup> (35.5%)
impervious areas (hard)	124.91m <sup>2</sup> (64.5%)
private open space o/a:	53.53m <sup>2</sup>
principal private open space:	24.0m <sup>2</sup>
total car space incl. carstand:	2 carspace

**COUNCIL ZONE: R1**

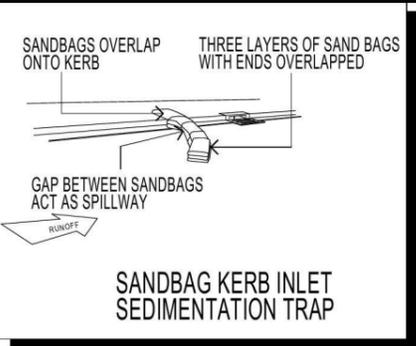
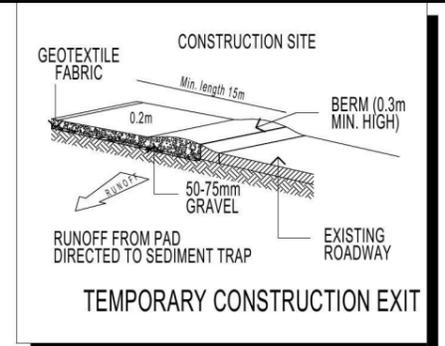
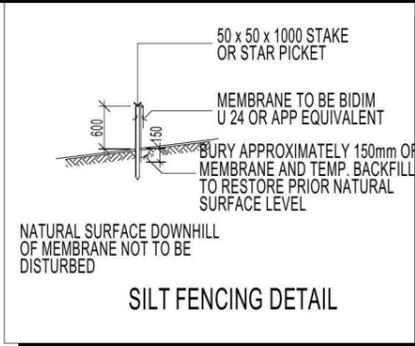
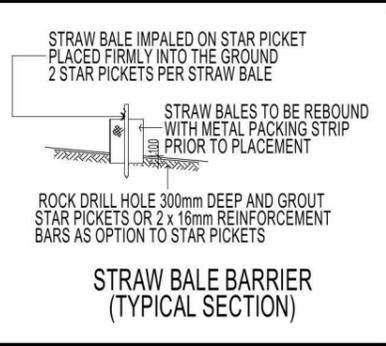
PROMOTION:  
**LIVING/STYLE COLLECTION**

CLIENT:  
**G. LI**

LOCATION:  
**LOT 165  
EMPIRE CIRCUIT  
NORTH PENRITH. NSW 2750**

DP: 1204190	council: PENRITH
model: PARKVIEW 18.5	facade: CUSTOM
date: 29/07/2015	quotation assessment: QA1
Sheet: 1 of 16	drawn: G.P / S.W
checked: P.D	scale: 1:200, 1:100
	<b>815-14</b>

CLIENTS SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ S.P. 00.



**DUST CONTROL MEASURES:**  
 IF THE SITE BECOMES DUSTY DURING HOTTER MONTHS (FIRSTYLE) WILL SPRINKLE WATER ON THE DUST

ANY AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY VEHICLES TO REDUCE & PROVIDE AN AREA TO WASH TRUCKS OFF (IF REQUIRED)

**NOISE & VIBRATION MEASURES:**  
 ALL EXCAVATION WILL BE CARRIED OUT BETWEEN THE TIME SETOUT IN THE COUNCIL CONDITIONS

MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIRED FOR THE JOB



KEY	① ②	NUMBER OF STOREY'S	EXISTING TREES	NOISE	PRIVATE OPEN SPACE	RAINWATER TANK (Underground)
SOLAR ACCESS	→	→	TREES TO BE REMOVED	VEHICULAR SITE ENTRY	OVERLOOKING	A/C UNIT (if required)
	→	→	DIRECTION & DISTANCES	VIEWS		
				HWS		

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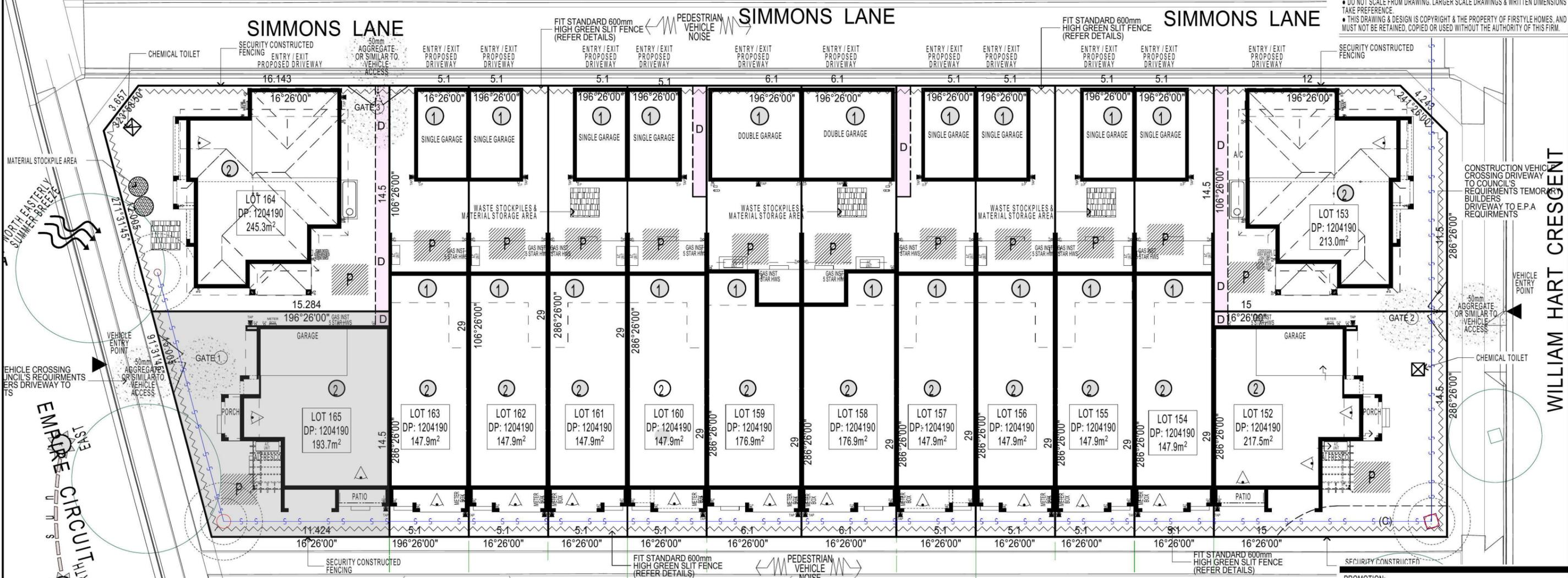
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- (A) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
- (B) RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- (C) RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- (D) PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE

**SITE ANALYSIS & WASTE MANAGEMENT PLAN**

PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **G. LI**

LOCATION: **LOT 165 EMPIRE CIRCUIT NORTH PENRITH. NSW 2750**

DP: 1204190 Council: PENRITH

model: PARKVIEW 18.5 facade: CUSTOM date: 29/07/2015 quotation assessment: QA1

Sheet: 2 of 16 drawn: G.P./S.W. checked: P.D. scale: 1:250

815-14

CLIENTS SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_ S.P. 00.

**KEY**

- FACE BRICK (AS SELECTED)
- MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
- CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

**NOTE:**  
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

**FIRSTSTYLE HOMES**

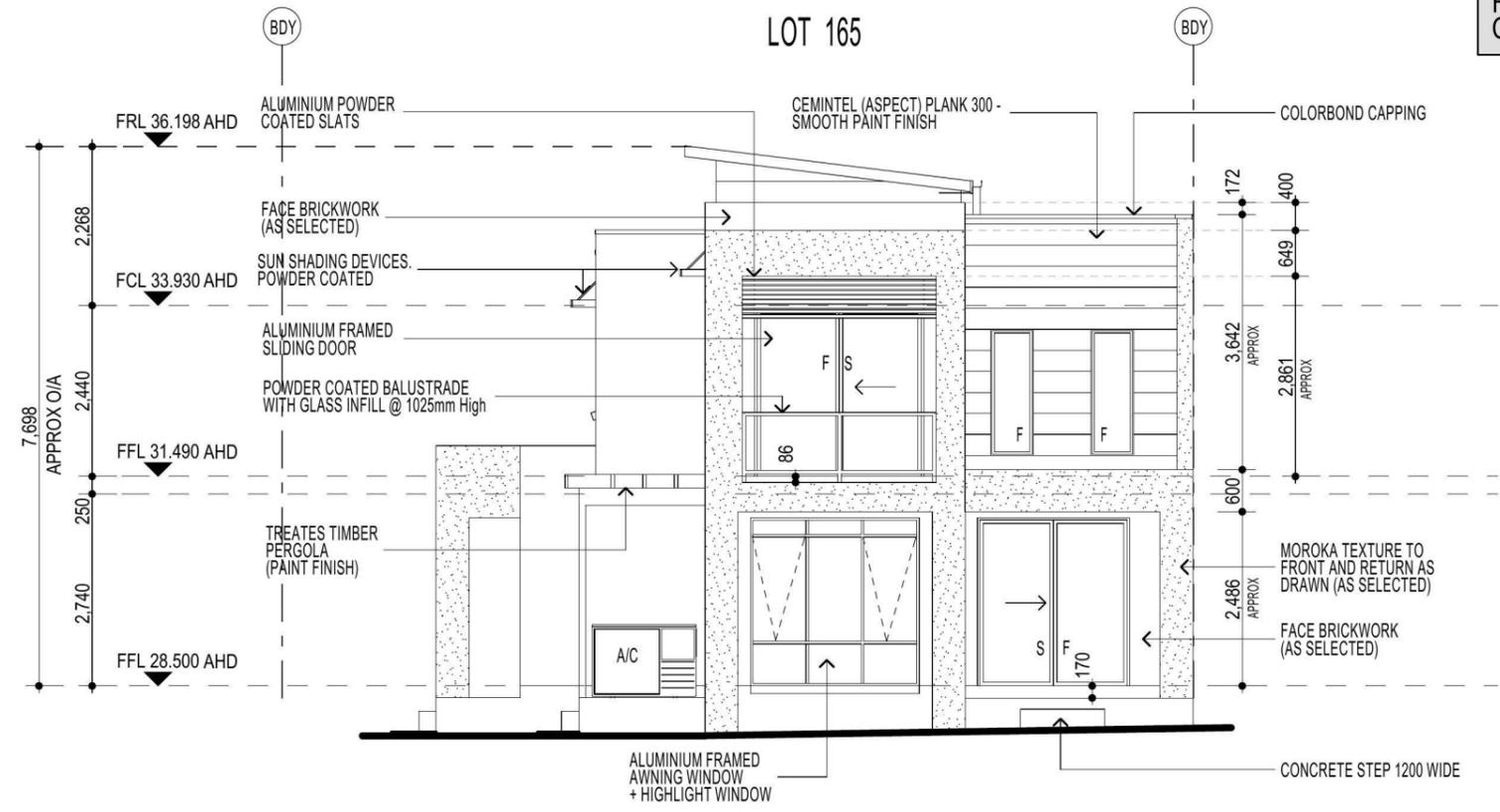
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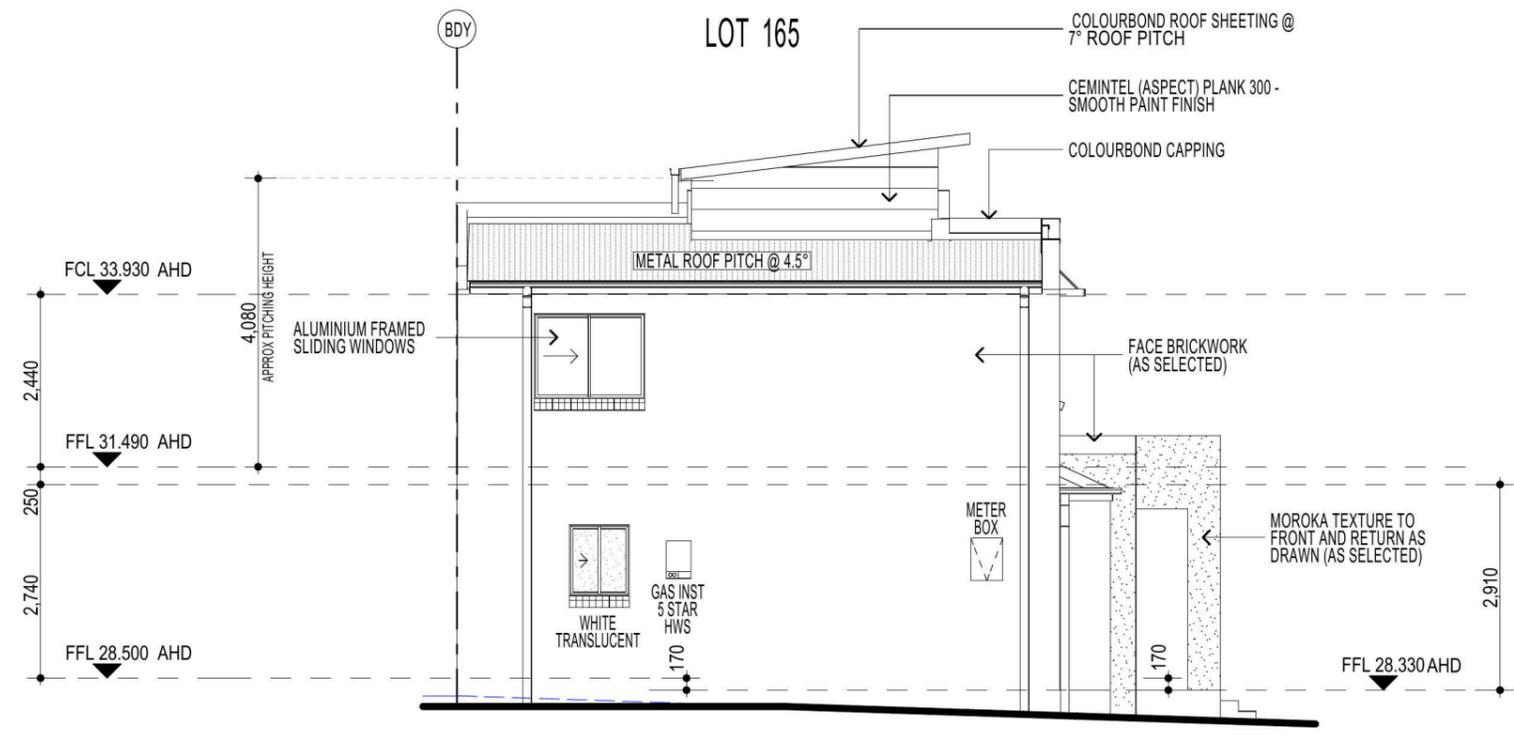
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**ELEVATION A**



**ELEVATION C**

- NOTE**  
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3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**  
PROVIDE GRANITGARD  
TERMITE TREATMENT
- NOTE:**  
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Sheet: 5 of 16	scale: 1:100	<b>815-14</b>	
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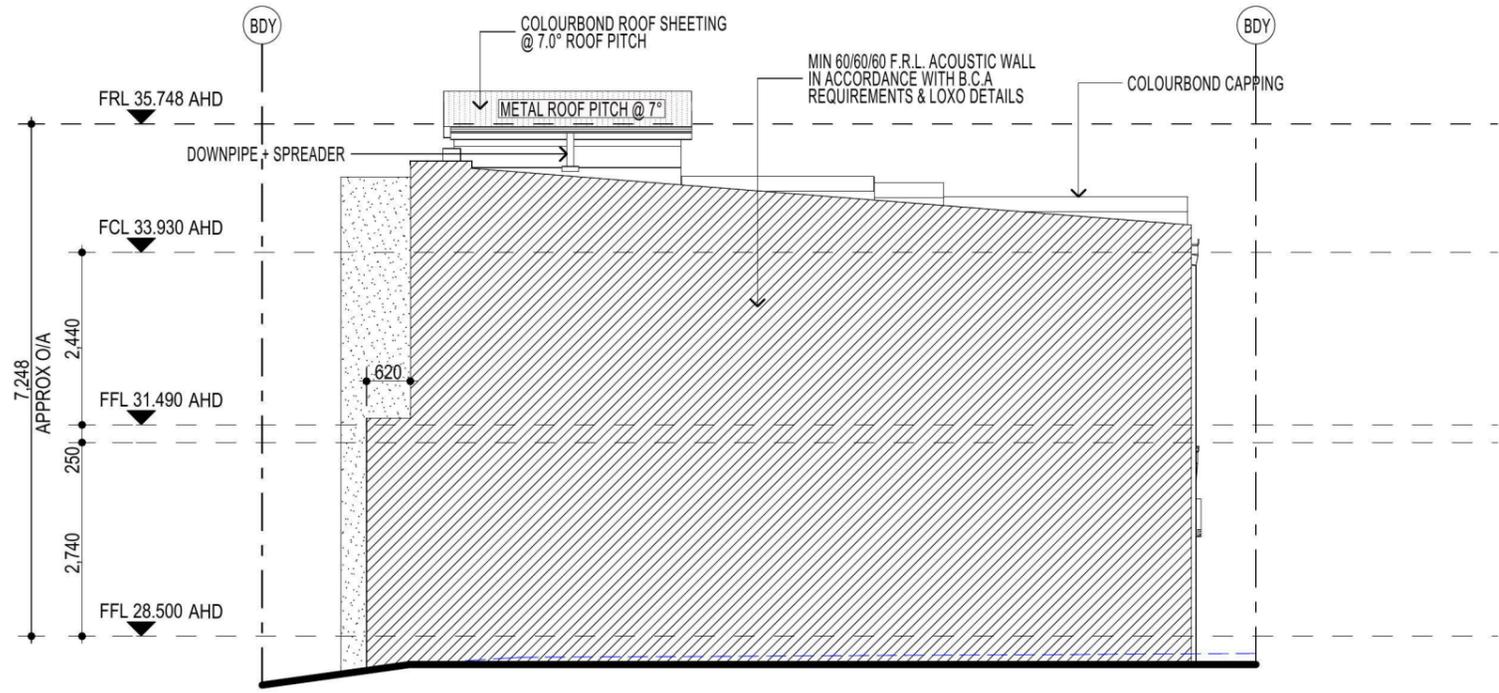
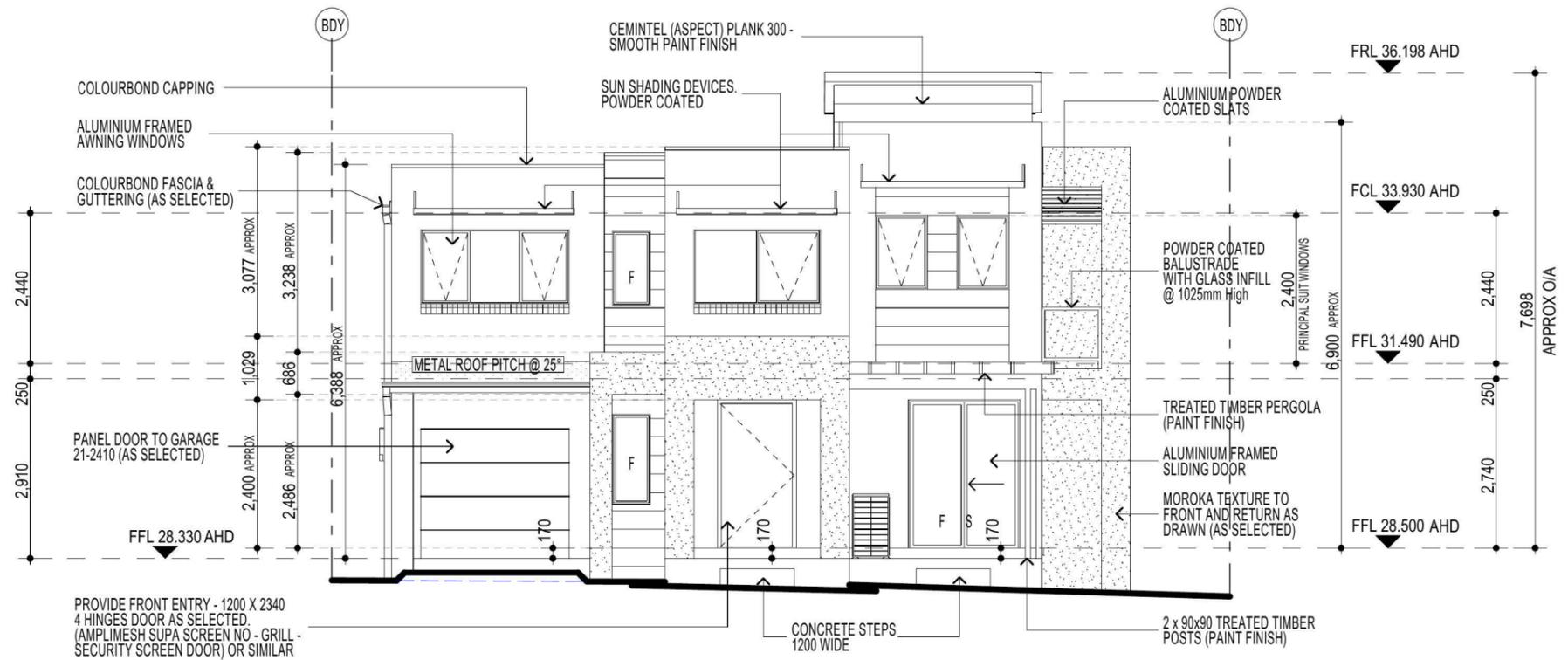
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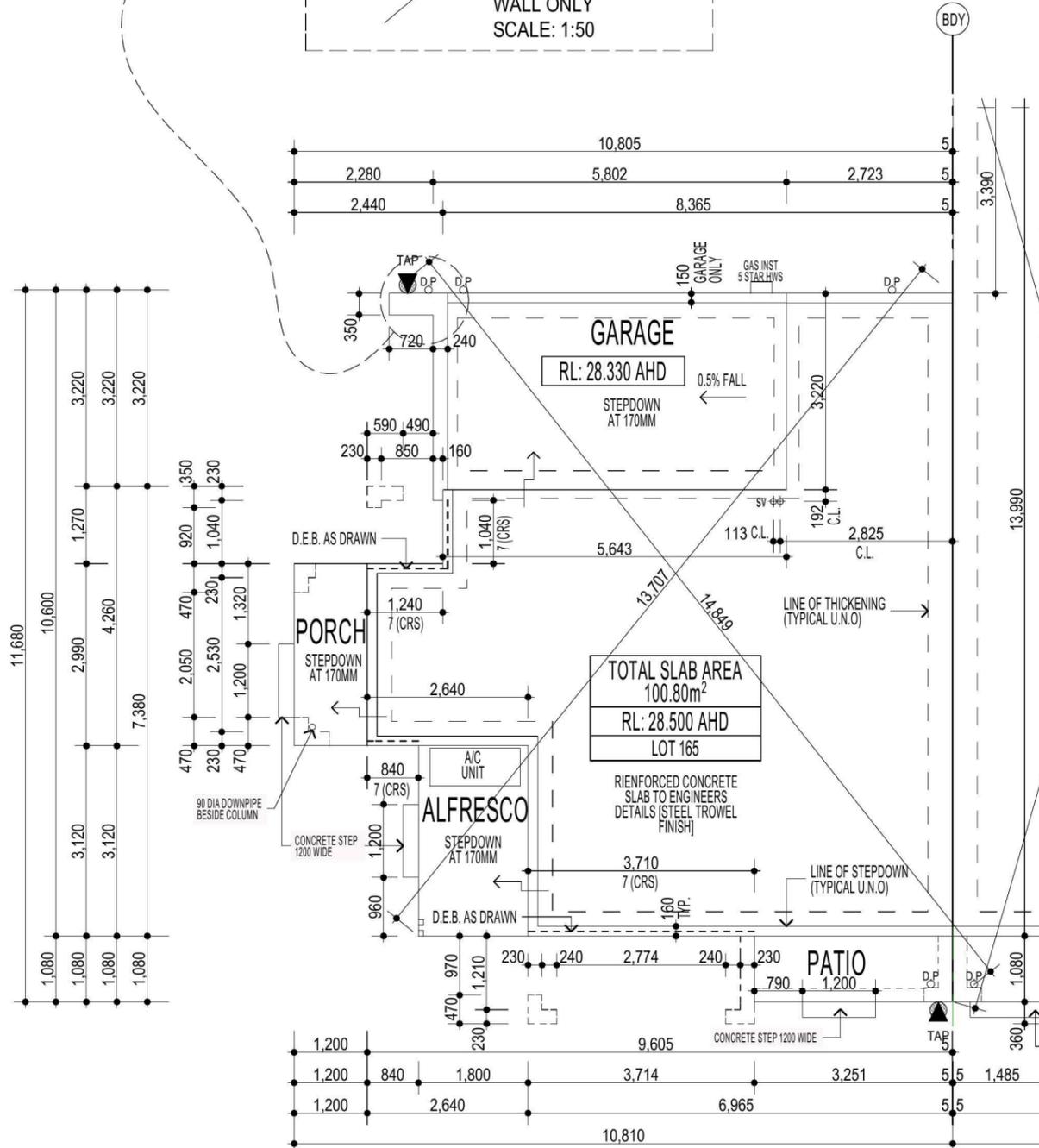
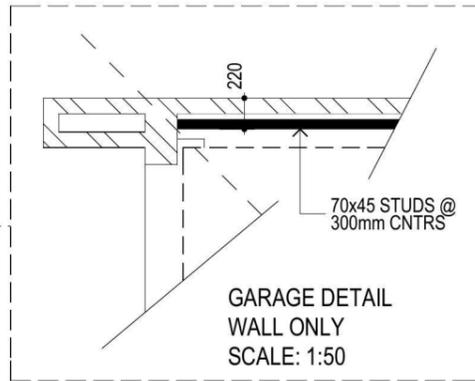
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CLIENT: <b>G. LI</b>			
LOCATION: <b>LOT 165 EMPIRE CIRCUIT NORTH PENRITH, NSW 2750</b>			
DP: 1204190	council: PENRITH		
model: PARKVIEW 18.5	facade: CUSTOM	date: 29/07/2015	quotation assessment: QA1
Sheet: 6 of 16	drawn: G.P / S.W	checked: P.D	scale: 1:100
			<b>815-14</b>
CLIENTS SIGNATURE		DATE	S.P. 00.

**ELEVATIONS**

**DROP EDGE BEAM CALCULATIONS**

Length (mm)	Depth (Courses)	Depth (mm)	Area (m <sup>2</sup> )
3710	7		2.23
840	7		0.50
1240	7		0.74
1040	7		0.62
<b>TOTAL</b>			<b>4.10</b>



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**SUPPLEMENTARY NOTES**

- THE "SLAB LAYOUT PLAN" IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FLOOR-PLANS.
- THE "SLAB LAYOUT PLAN" IS TO BE READ FOR THE SOLE PURPOSE OF "SETTING OUT" THE SLAB.
- THE "SLAB LAYOUT PLAN" SHALL NOT BE USED TO DETERMINE THE LOCATION OF THICKENING BEAMS AND OTHER STRUCTURAL ELEMENTS.
- QUERIES OR DISCREPANCIES ARE TO BE RESOLVED PRIOR TO THE COMMENCEMENT OF EXCAVATION.
- REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL DETAILS & CONCRETE SPECIFICATIONS.
- REFER TO ENGINEER'S DRAWINGS FOR PLUMBING & OTHER SERVICE PENETRATION DETAILS.
- IF IN DOUBT... CONTACT THE BUILDING DESIGNER PRIOR TO COMMENCEMENT OF WORKS.

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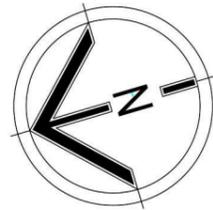
DP: 1204190 council: PENRITH

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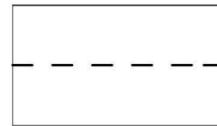
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**SLAB LAYOUT PLAN**

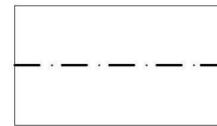


SHADOW DIAGRAM

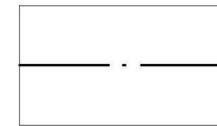
9:00am June 21st



12:00pm June 21st



3:00pm June 21st



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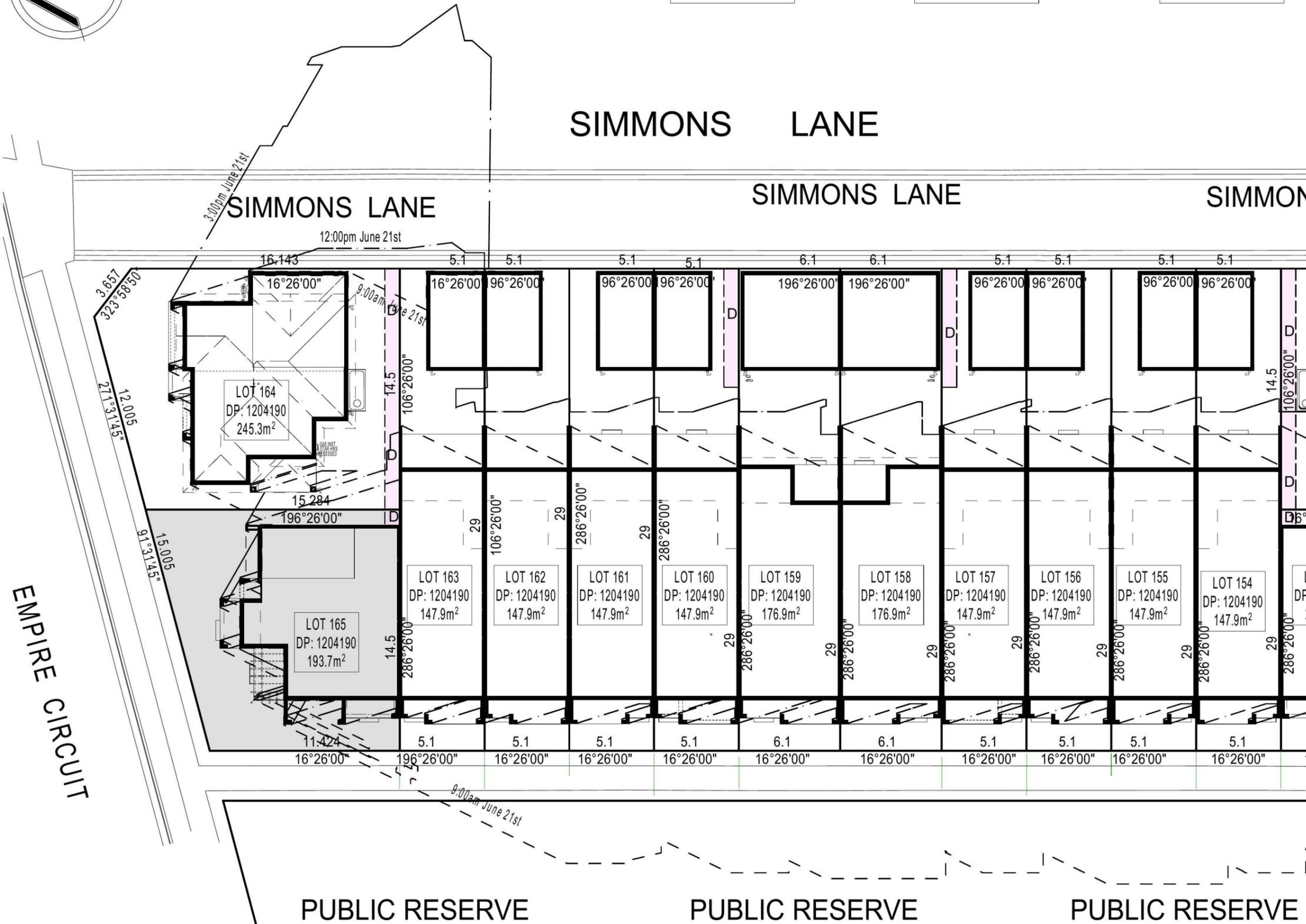
**MASTER BUILDERS ASSOCIATION**  
 MEMBER  
 MASTER BUILDER, BETTER BUILDER

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
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SIMMONS LANE

SIMMONS LANE

SIMMONS LANE



EMPIRE CIRCUIT

PUBLIC RESERVE

PUBLIC RESERVE

PUBLIC RESERVE

- NOTE**  
 AIR CONDITIONING ONLY  
 (EER 2.5-3.0 OR GREATER)  
 3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**  
 PROVIDE GRANITGARD  
 TERMITE TREATMENT
- NOTE:**  
 PLEASE REFER TO "ECO DESIGN"  
 LANDSCAPE PLANS ISSUE: 'F' DATED  
 10.09.14

**NOTE:**  
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 PLUMBING FITTINGS & FIXTURES; DOORS;  
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 COMMUNICATE APPROX SIZES. PLEASE REFER  
 TO YOUR SPECIFICATIONS FOR YOUR RELEVANT  
 INCLUSIONS.

- (A) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
- (B) RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- (C) RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- (D) PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE

SHADOW DIAGRAM

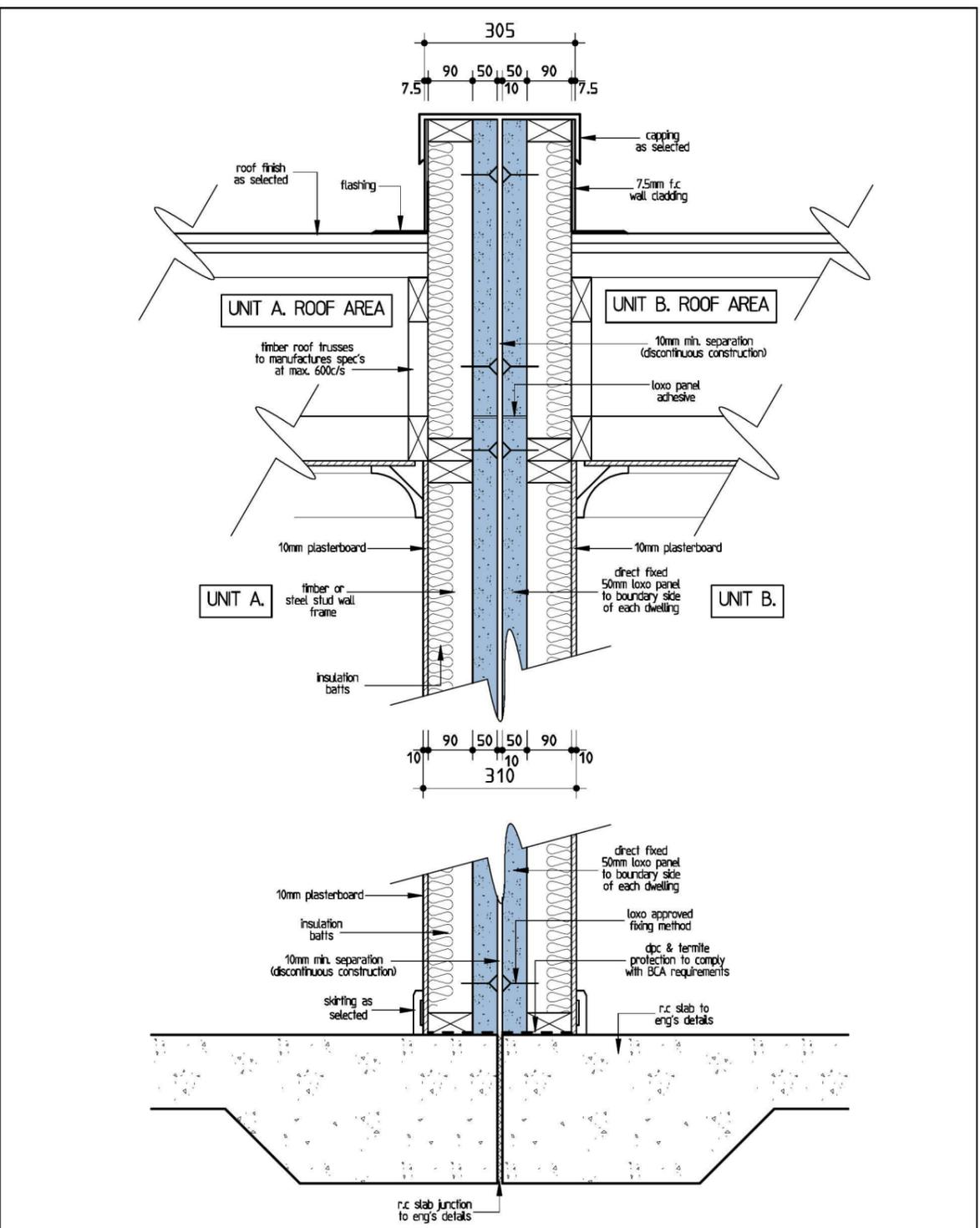
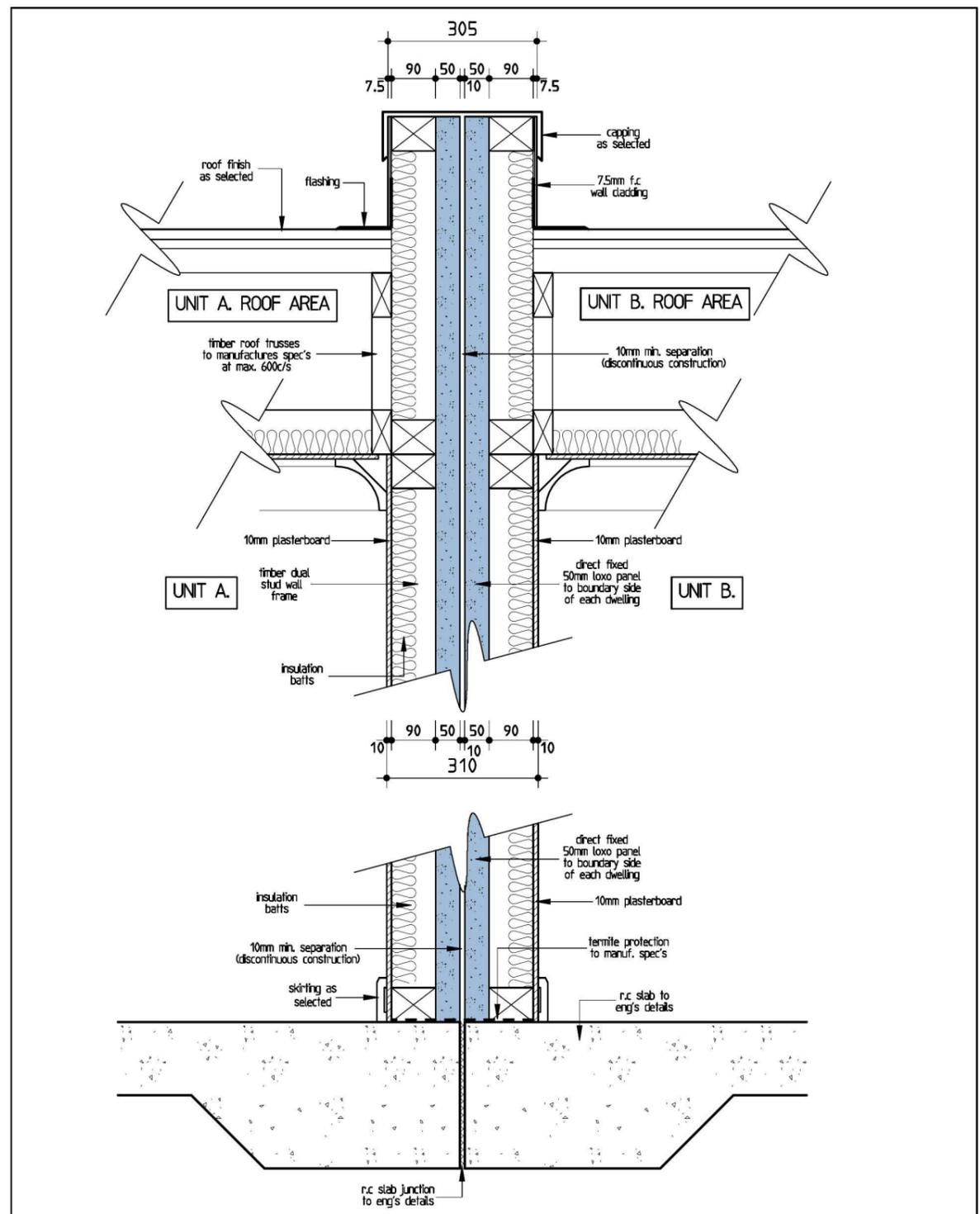
PROMOTION:  
 LIVING/STYLE COLLECTION

CLIENT:  
 G. LI

LOCATION:  
 PROPOSED LOT 164  
 EMPIRE CIRCUIT, PENRITH NSW 2750

DP: 1204190	council: PENRITH
model: PAF	facade: CUSTOM
date: 29/07/2015	quotation assessment: QA1
Sheet: 10 of 16	drawn: G.P / S.W checked: P.D scale: 1:250

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**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL**  
 FRL 120/120/90 | RW+CTR 53

**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL**  
 DUAL WALL ASSEMBLY - FRL 120/120/90 | RW+CTR 53

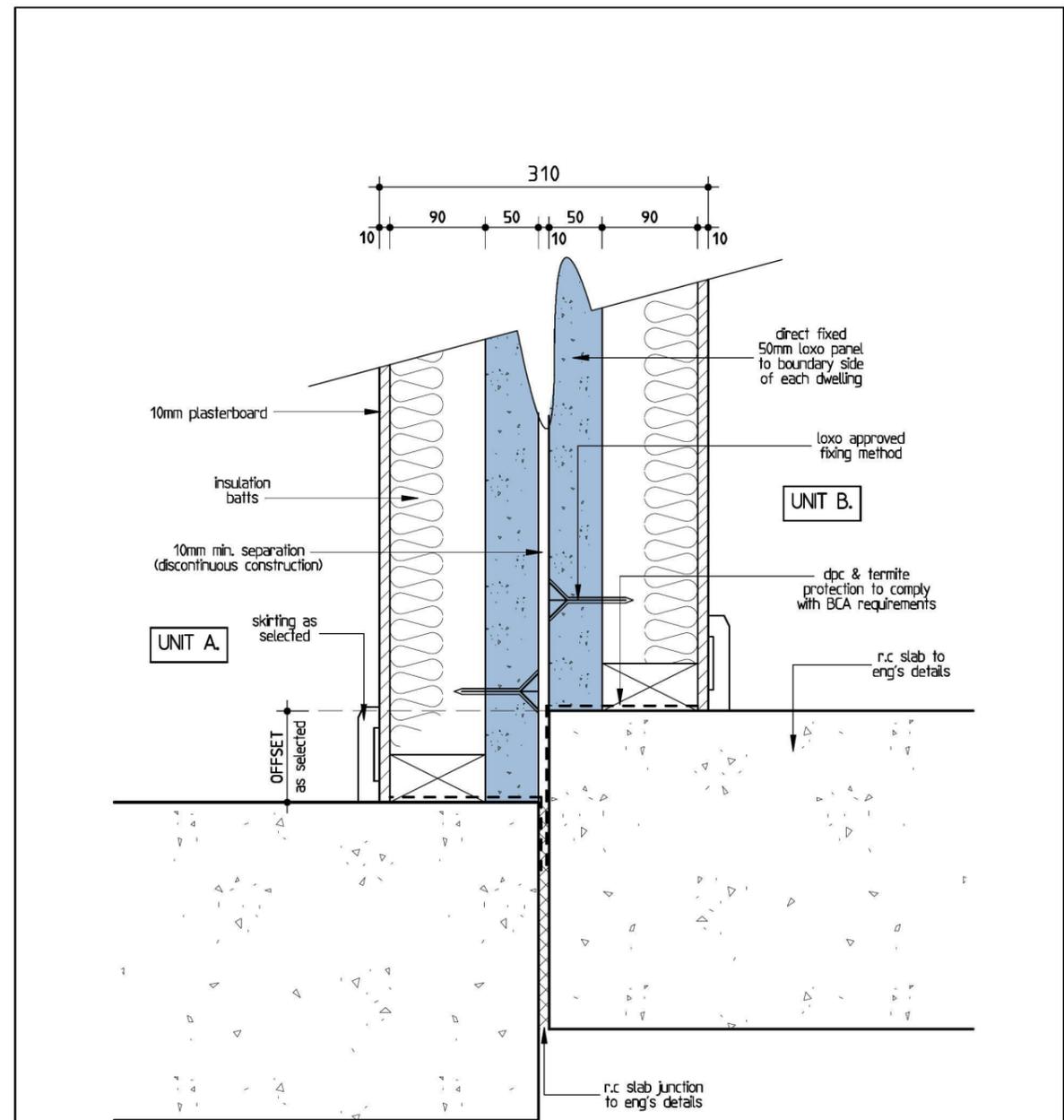


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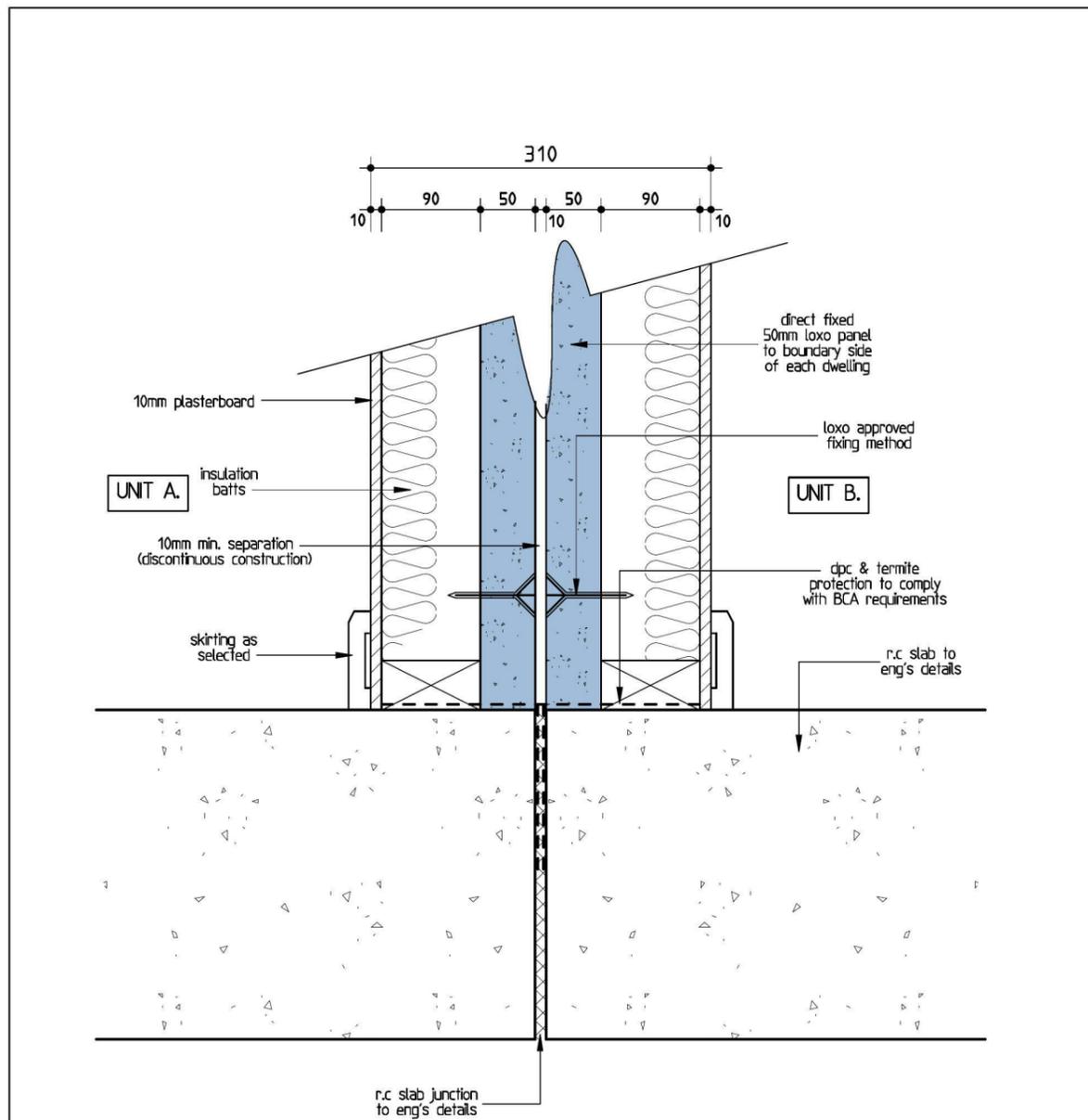
**LOXO SYSTEM**  
**FIRE RATED WALL & ACOUSTICS**

PROMOTION:	LIVING/STYLE COLLECTION		
CLIENT:	G. LI		
LOCATION:	LOT 165 EMPIRE CIRCUIT NORTH PENRITH. NSW 2750		
DP:	1204190	council:	PENRITH
model:	PARKVIEW 18.5	facade:	CUSTOM
Sheet:	drawn:	checked:	date: 29/07/2015
12 of 16	G.P / S.W	P.D	quotation assessment: QA1
scale:	NTS		815-14

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**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL**  
 BASE DETAIL WITH OFFSET - FRL 120/120/90 | RW+CTR 53  
 SCALE: NTS



**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL**  
 BASE DETAIL - FRL 120/120/90 | RW+CTR 53  
 SCALE: NTS

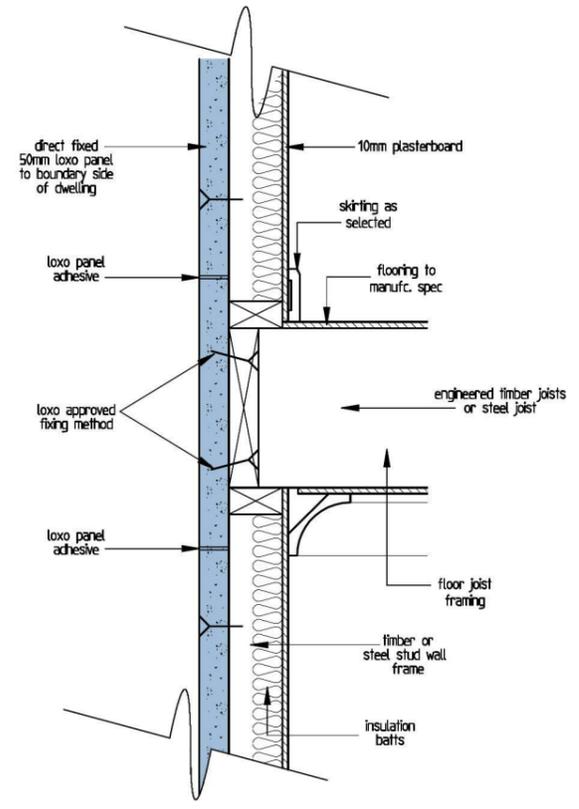


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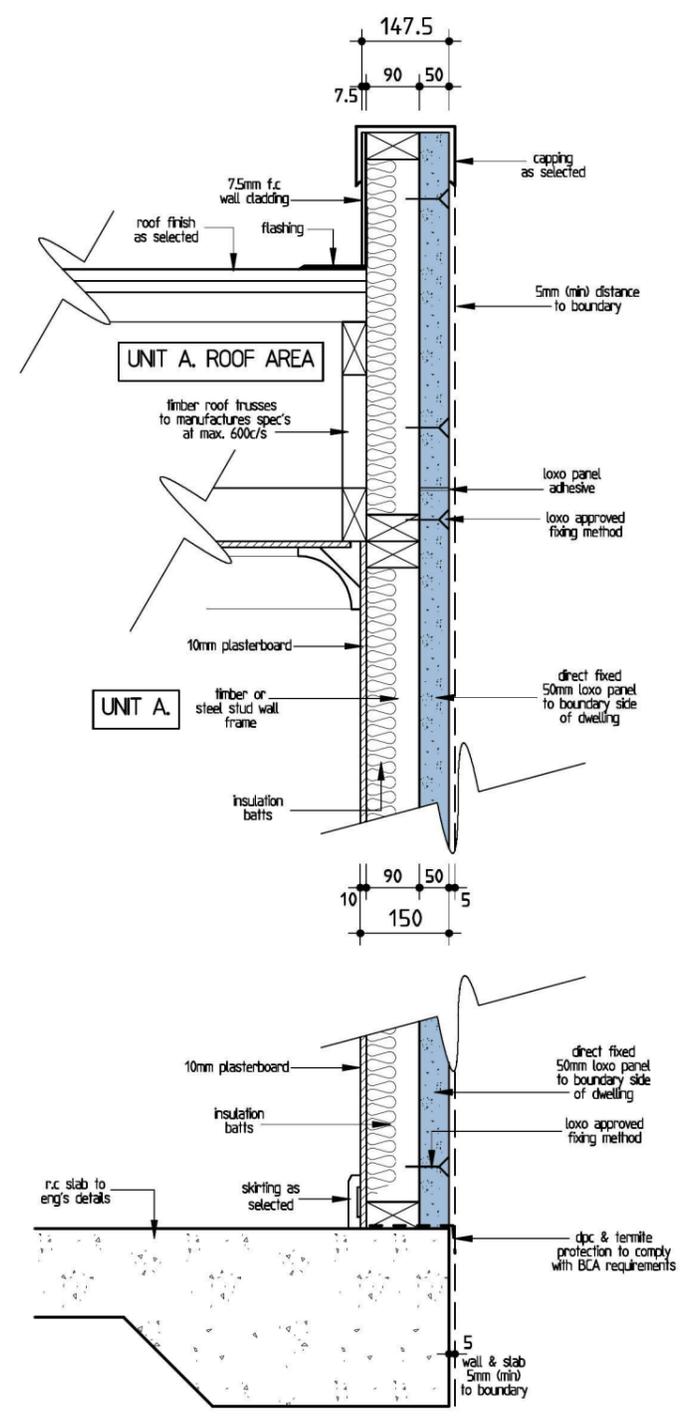
**LOXO SYSTEM**  
**FIRE RATED WALL & ACOUSTICS**

PROMOTION: <b>LIVING/STYLE COLLECTION</b>			
CLIENT: <b>G. LI</b>			
LOCATION: <b>LOT 165 EMPIRE CIRCUIT NORTH PENRITH, NSW 2750</b>			
DP: <b>1204190</b>	council: <b>PENRITH</b>		
model: <b>PARKVIEW 18.5</b>	facade: <b>CUSTOM</b>	date: <b>29/07/2015</b>	quotation assessment: <b>QA1</b>
Sheet: <b>13 of 16</b>	drawn: <b>G.P / S.W</b>	checked: <b>P.D</b>	<b>815-14</b>
scale: <b>NTS</b>			
CLIENTS SIGNATURE		DATE	

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**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL**  
 FLOOR JOIST JUNCTION - REAR FIX THROUGH PARALLEL JOIST OR BLOCKING  
 SCALE: NTS



**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL**  
 SINGLE WALL ASSEMBLY  
 SCALE: NTS

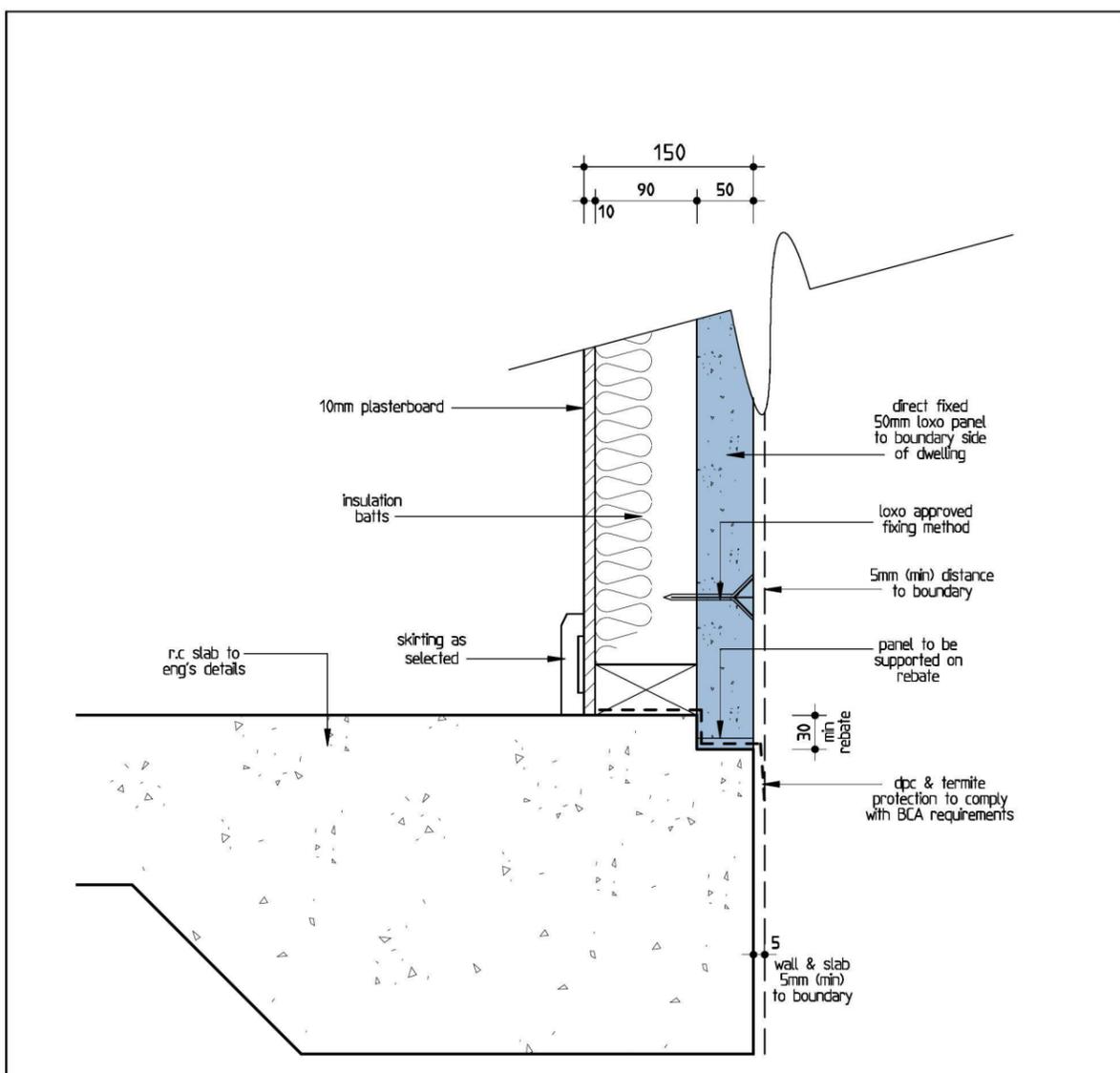


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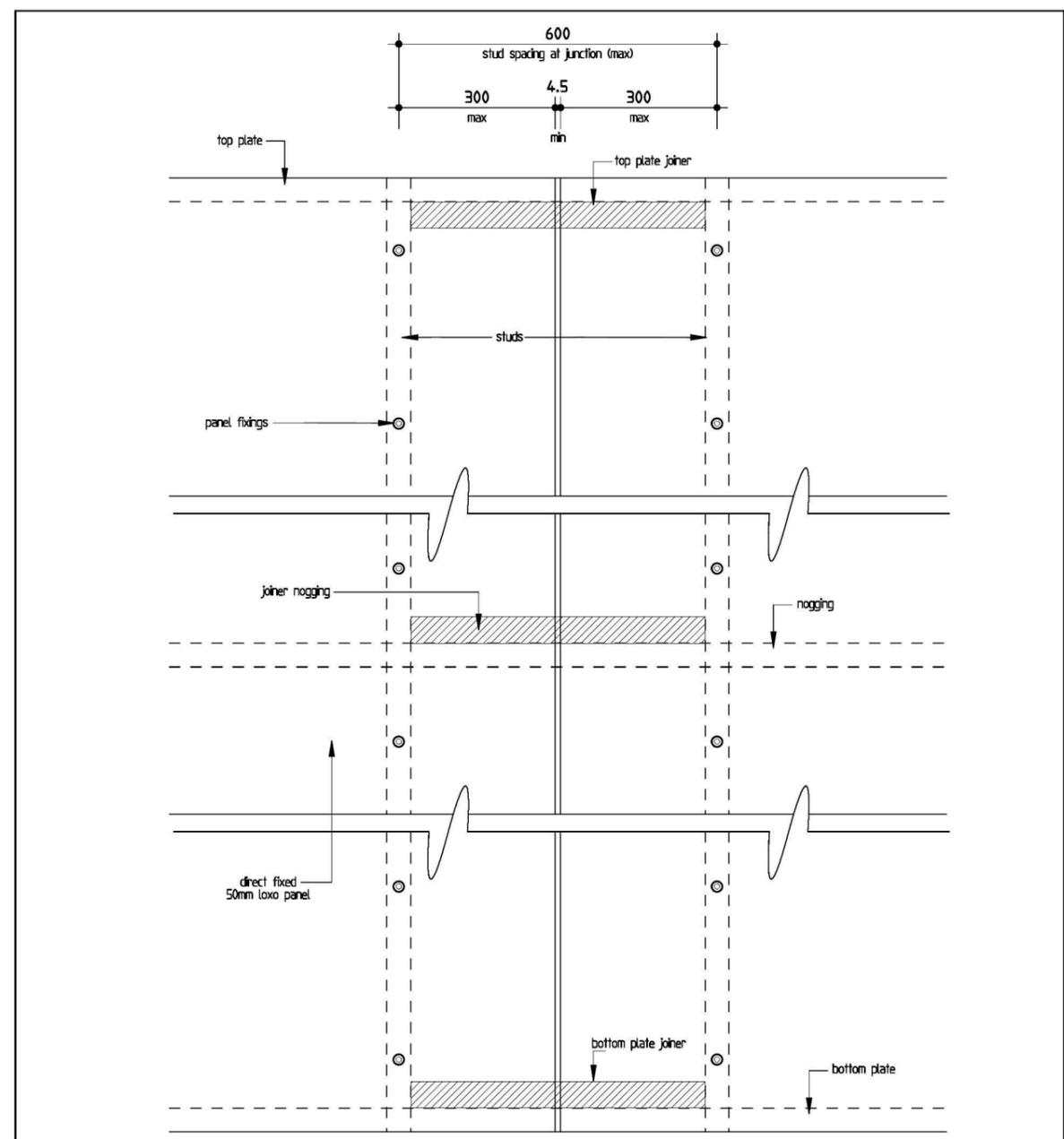
**LOXO SYSTEM**  
**FIRE RATED WALL & ACOUSTICS**

PROMOTION: <b>LIVING/STYLE COLLECTION</b>			
CLIENT: <b>G. LI</b>			
LOCATION: <b>LOT 165 EMPIRE CIRCUIT NORTH PENRITH. NSW 2750</b>			
DP: <b>1204190</b>	council: <b>PENRITH</b>		
model: <b>PARKVIEW 18.5</b>	facade: <b>CUSTOM</b>	date: <b>29/07/2015</b>	quotation assessment: <b>QA1</b>
Sheet: <b>14 of 16</b>	drawn: <b>G.P / S.W</b>	checked: <b>P.D</b>	<b>815-14</b>
scale: <b>NTS</b>			
CLIENTS SIGNATURE		DATE	S.P. 00

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**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL 1:10**  
 SINGLE WALL BASE DETAIL - REBATED SLAB  
 SCALE: NTS



**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL**  
 VERTICAL CONTROL JOINT  
 SCALE: NTS

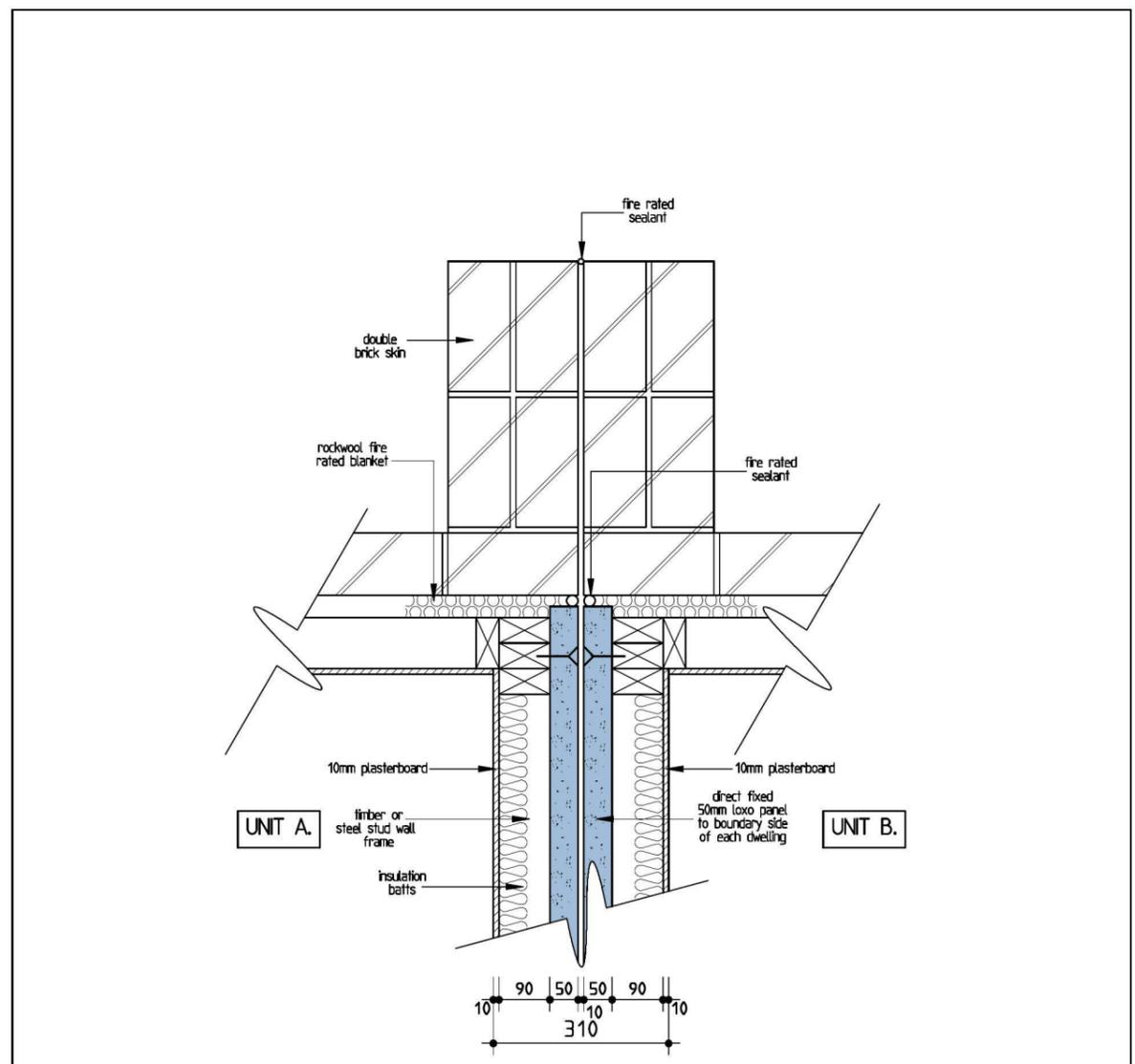


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**LOXO SYSTEM**  
**FIRE RATED WALL & ACOUSTICS**

PROMOTION: <b>LIVING/STYLE COLLECTION</b>			
CLIENT: <b>G. LI</b>			
LOCATION: <b>LOT 165 EMPIRE CIRCUIT NORTH PENRITH, NSW 2750</b>			
DP: <b>1204190</b>	council: <b>PENRITH</b>	date: <b>29/07/2015</b>	quotation assessment: <b>QA1</b>
model: <b>PARKVIEW 18.5</b>	facade: <b>CUSTOM</b>	drawn: <b>G.P / S.W</b>	checked: <b>P.D</b>
Sheet: <b>15 of 16</b>	scale: <b>NTS</b>	<b>815-14</b>	
CLIENTS SIGNATURE		DATE	

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**50MM LOXO PANEL - BOUNDARY TO BOUNDARY WALL DETAIL 1:10**  
 DUAL WALL JUNCTION  
 BRICK VENEER TO DOUBLE BRICK NIB WALL - FRL 120/120/90 | RW+CTR 53

SCALE: NTS

(IF REQUIRED)



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**LOXO SYSTEM**  
**FIRE RATED WALL & ACOUSTICS**

PROMOTION: <i>LIVING/STYLE COLLECTION</i>			
CLIENT: G. LI			
LOCATION: LOT 165 EMPIRE CIRCUIT NORTH PENRITH. NSW 2750			
DP: 1204190	council: PENRITH	date: 29/07/2015	quotation assessment: QA1
model: PARKVIEW 18.5	facade: CUSTOM	drawn: G.P / S.W	checked: P.D
Sheet: 16 of 16	scale: NTS	815-14	
CLIENTS SIGNATURE		DATE	