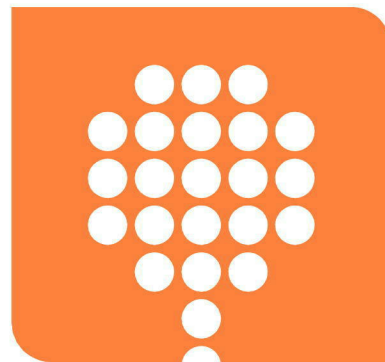


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- * DO NOT SCALE THE DRAWING - USE WRITTEN DIMENSIONS
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**RAWSON
HOMES**

SCHEDULE OF DRAWINGS:

SHEET	CONTENTS
01	COVER SHEET
02	SITE PLAN
03	FLOOR PLAN
04	ELEVATIONS 1-2
05	ELEVATIONS 3-4
06	SECTIONS
07	WET AREA DETAILS
08	SLAB SETOUT PLAN
09	EROSION CONTROL PLAN
10	STORMWATER PLAN

AMENDMENTS

ISS	DESCRIPTION	BY	DATE
A	CLIENT CHECK PLANS	WA	22.02.13
B	SUBMISSION PLANS V15-16	WA	14.06.13

SUBMISSION PLANS

SIGNATURE: _____			
DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE:	
JOB No: J002705	DRWG No: 01	ISSUE: B	

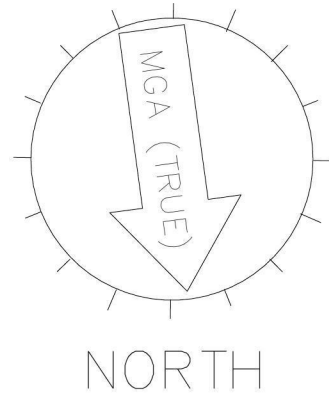
NOTES:
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UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
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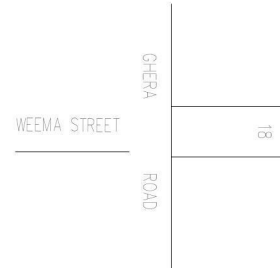


CLIENT:
MR PAINE & MS SUTTON
SITE ADDRESS:
LOT 18 DP1166546
GHERA ROAD
CADDENS

HOUSE TYPE
MODEL: FAIRVIEW MKIII
FACADE: REGAL
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + PLATINUM
DRAWING TITLE:
COVER SHEET



LOCATION PLAN
 UBD REF: 184, H4
 LAT: -33.77543
 LONG: 150.73327



F: EASEMENT TO DRAIN WATER 2 WIDE
 NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

SITE CALCULATIONS	
TOTAL LIVING AREA	168.84 m ²
SITE AREA	400.00 m ²
BUILDING FOOTPRINT	223.53 m ²
DRIVEWAY & PATH	36.77 m ²
LANDSCAPE AREA	139.70 m ²
FLOOR SPACE RATIO	0.42 :1
TOTAL BUILT UPON AREA	65.08 %

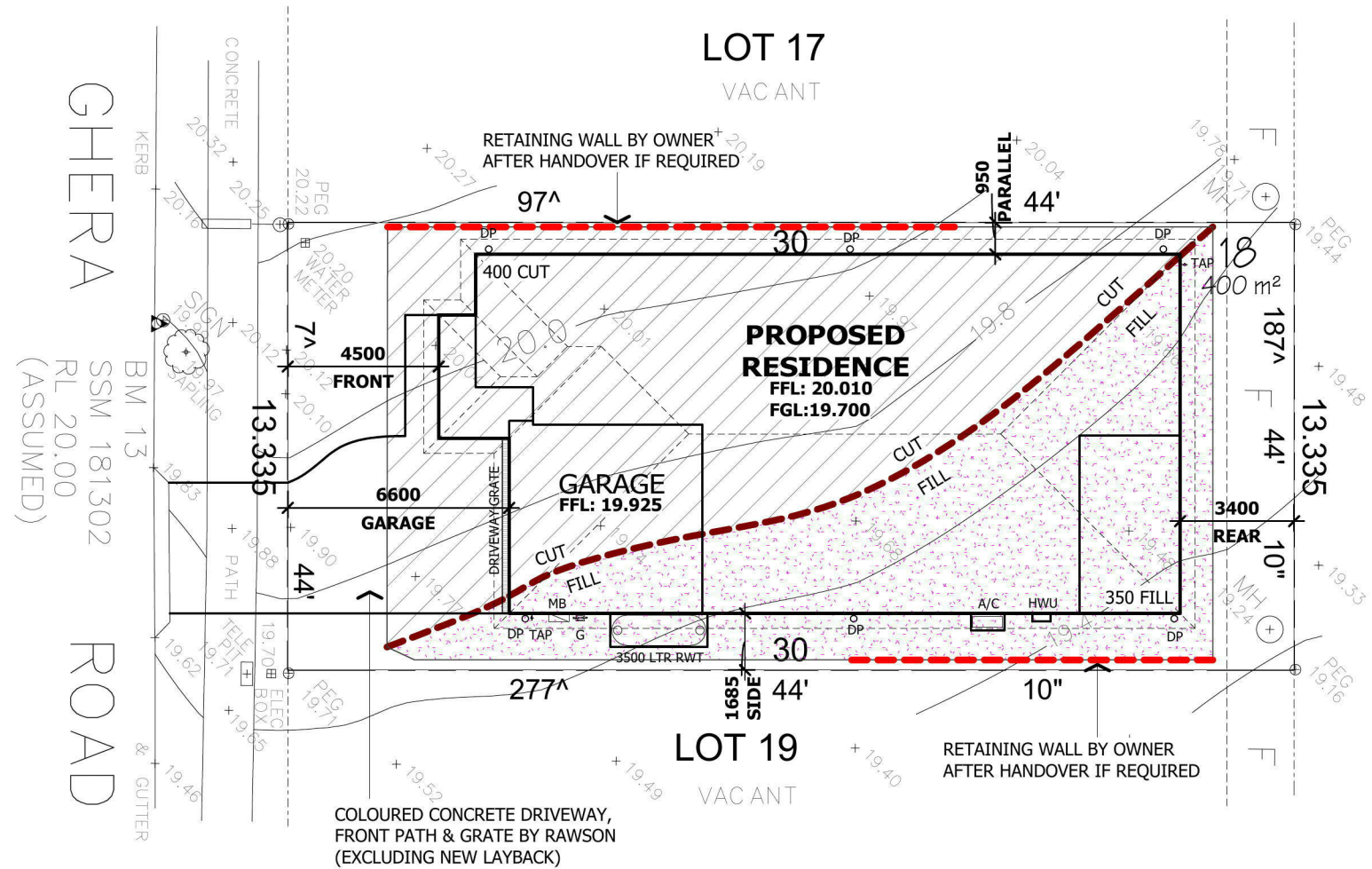
LEGEND
 KO: DENOTES KERB OUTLET
 WC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT

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DRIVEWAY GRADIENT
 SCALE:100

SITE PLAN

NOTES:
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CLIENT:
 MR PAINE & MS SUTTON

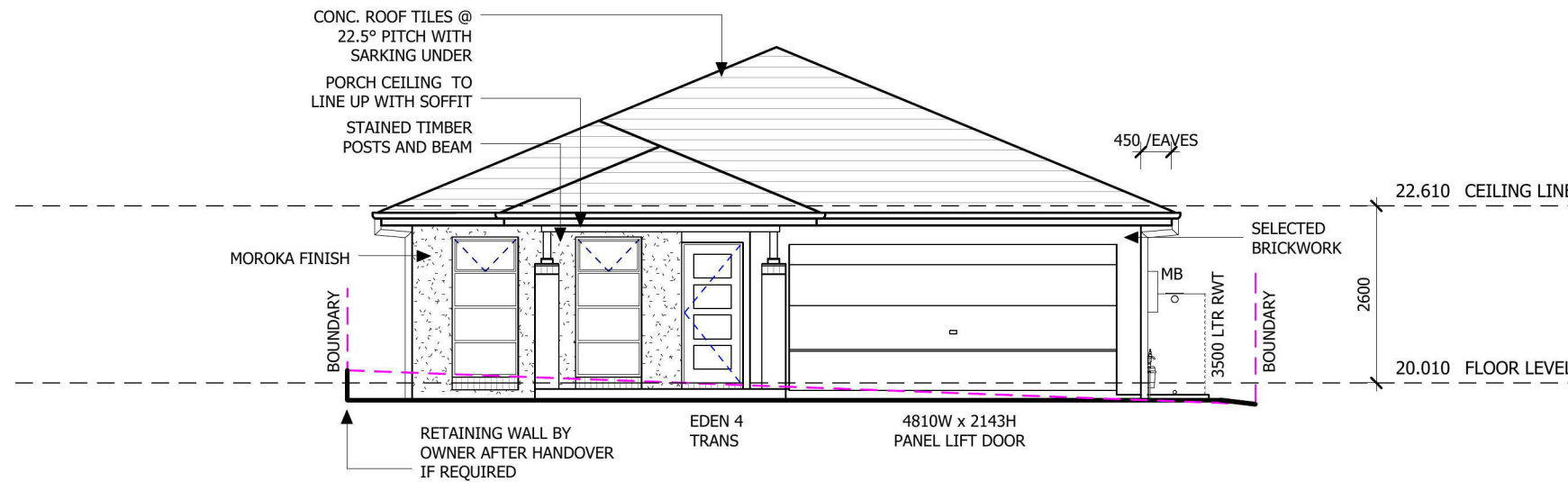
SITE ADDRESS:
 LOT 18 DP1166546
 GHERA ROAD
 CADDENS

HOUSE TYPE
 MODEL: FAIRVIEW MKIII
 FACADE: REGAL
 TYPE: DOUBLE GARAGE
 SPECIFICATION: LUXE + PLATINUM

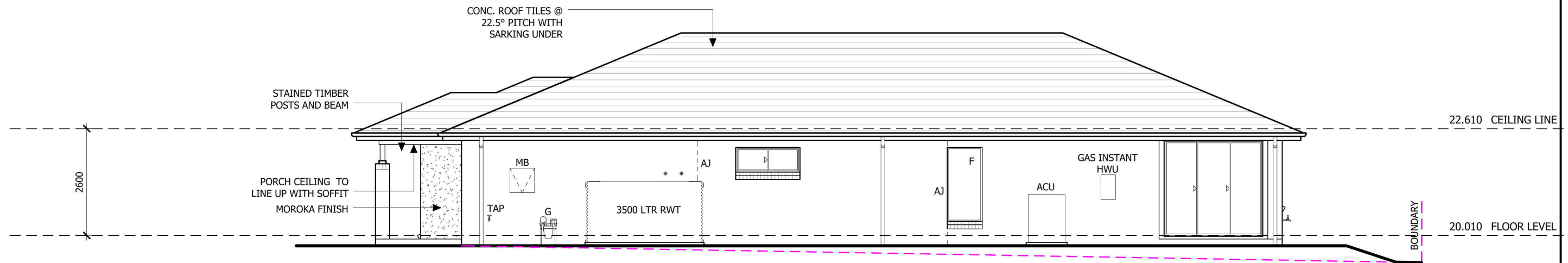
DRAWING TITLE:
 SITE PLAN

DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: As indicated	
JOB No: J002705	DRWG No: 02	ISSUE: B	

MESH FLY SCREENS TO ALL OPENING
WINDOWS AND SLIDING DOORS



ELEVATION 1



ELEVATION 2

NOTES:

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CLIENT:
MR PAINE & MS SUTTON

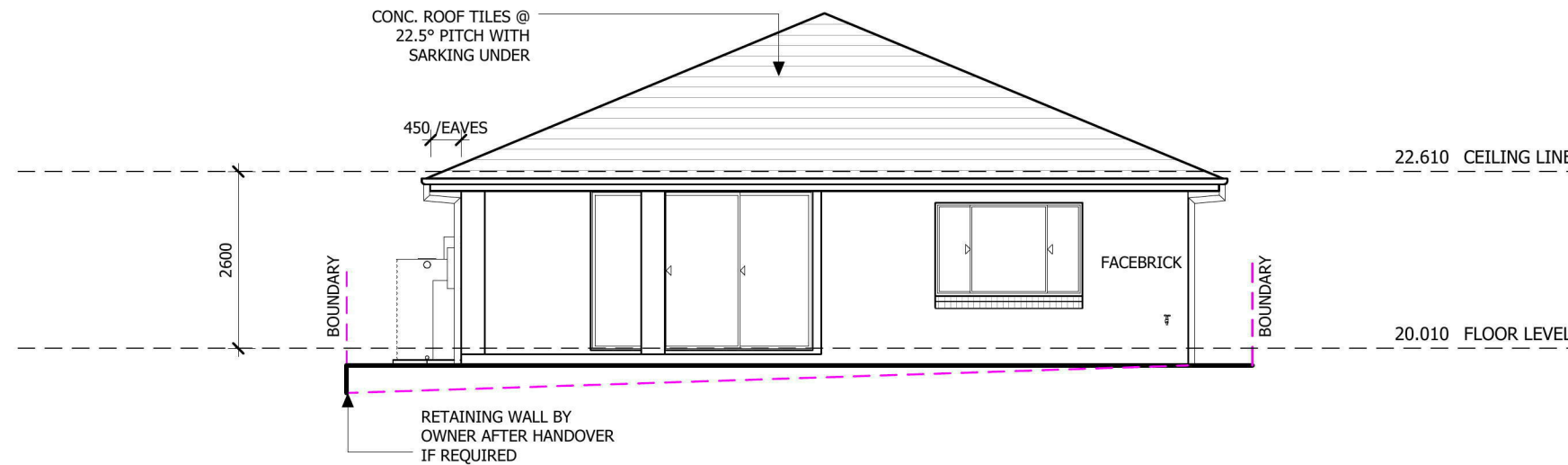
SITE ADDRESS:
**LOT 18 DP1166546
GHERRA ROAD
CADDENS**

HOUSE TYPE
MODEL: **FAIRVIEW MKIII**
FACADE: **REGAL**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUXE + PLATINUM**

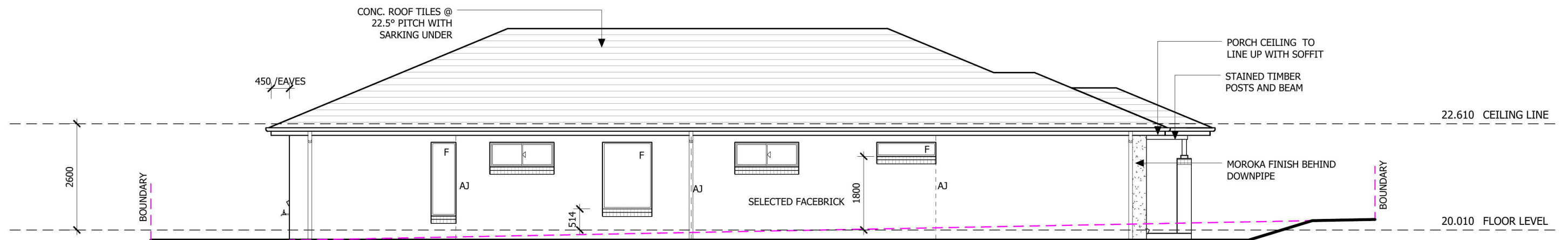
DRAWING TITLE:
ELEVATIONS 1-2

DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002705	DRWG No: 04	ISSUE: B	

MESH FLY SCREENS TO ALL OPENING
WINDOWS AND SLIDING DOORS



ELEVATION 3



ELEVATION 4

NOTES:

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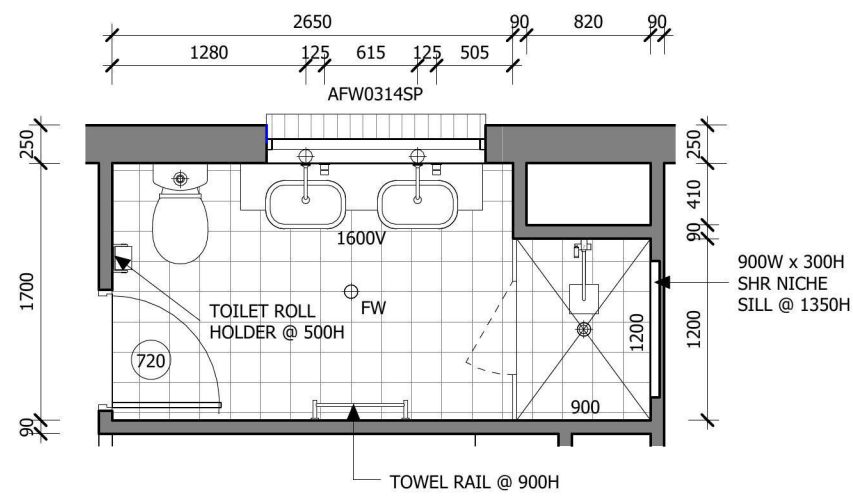
CLIENT:
MR PAINE & MS SUTTON

SITE ADDRESS:
**LOT 18 DP1166546
GHERRA ROAD
CADDENS**

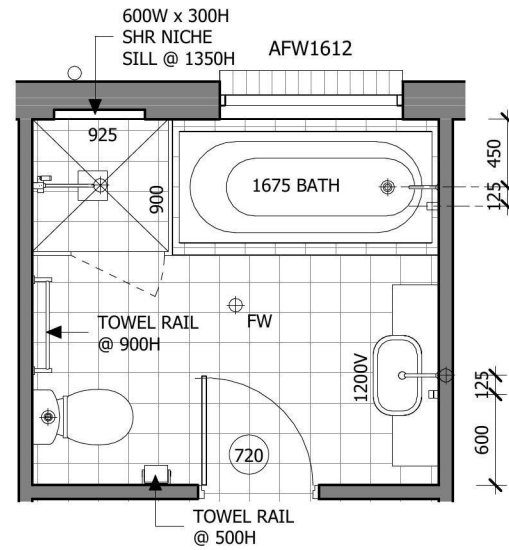
HOUSE TYPE
MODEL: **FAIRVIEW MKIII**
FACADE: **REGAL**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUXE + PLATINUM**

DRAWING TITLE:
ELEVATIONS 3-4

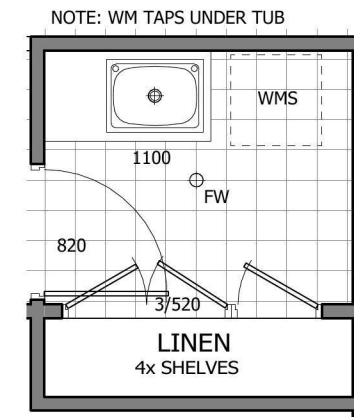
DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002705	DRWG No: 05	ISSUE: B	



ENSUITE



BATH



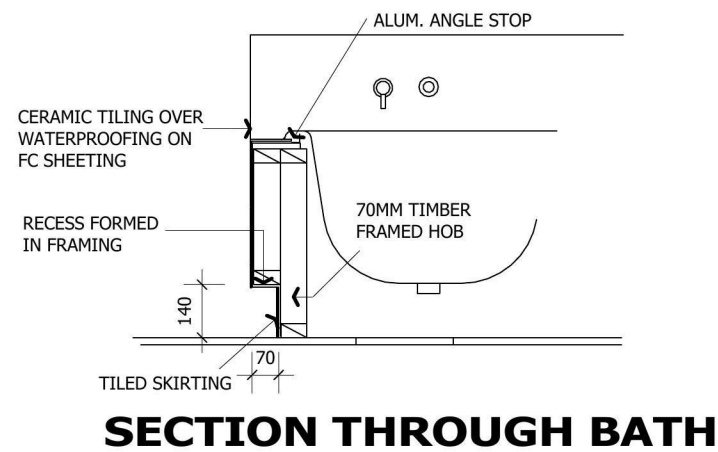
LAUNDRY

LAUNDRY / WC

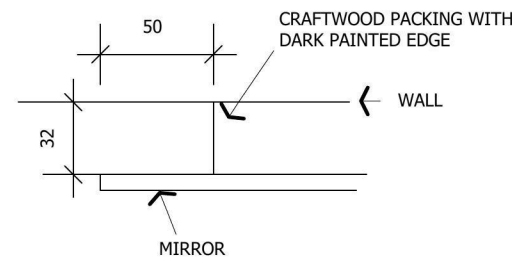
- PROVIDE SKIRTING TILE TO PERIMETERWALLS OF LAUNDRY
- TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 300mm HIGH

BATHROOM

- FULL HIEGHT TILING
- GRANGE SEMI FRAMELESS SHOWER SCREEN WITH PIVOT DOOR @ 2100 HIGH.
- TILED SPLASHBACKS TO THE TOP OF VANITIES WITH FLOATING MIRROR ON 32mm BOARD, 130mm FROM SIDE, TOP & MAX. 1800
- PROVIDE KICKER TO BATH HOB 140H x 70W
- FLOATING VANITIES.
- WALL MOUNTED TAPS & SPOUT TO VANITIES & BATH



SECTION THROUGH BATH



MIRROR EDGE DETAIL

NOTES:

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Builder's licence No. 33493C



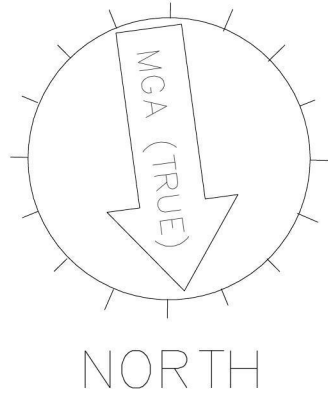
CLIENT:
MR PAINE & MS SUTTON

SITE ADDRESS:
LOT 18 DP1166546
GHERRA ROAD
CADDENS

HOUSE TYPE
MODEL: FAIRVIEW MKIII
FACADE: REGAL
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + PLATINUM

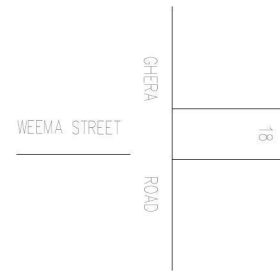
DRAWING TITLE:
WET AREA DETAILS

DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: As indicated	
JOB No: J002705	DRWG No: 07	ISSUE: B	



LOCATION PLAN

UBD REF: 184, H4
LAT: -33.77543
LONG: 150.73327



F: EASEMENT TO DRAIN WATER 2 WIDE

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

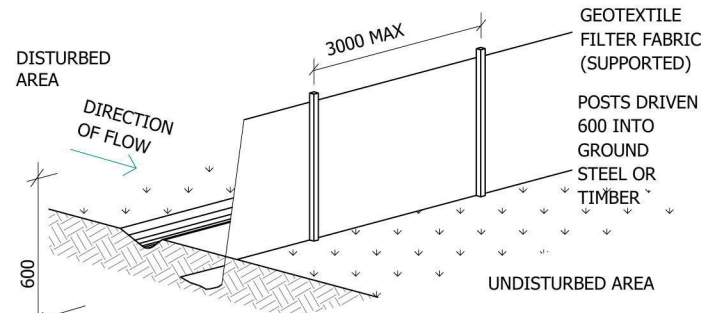
LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANGEMENT.



SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX

LEGEND

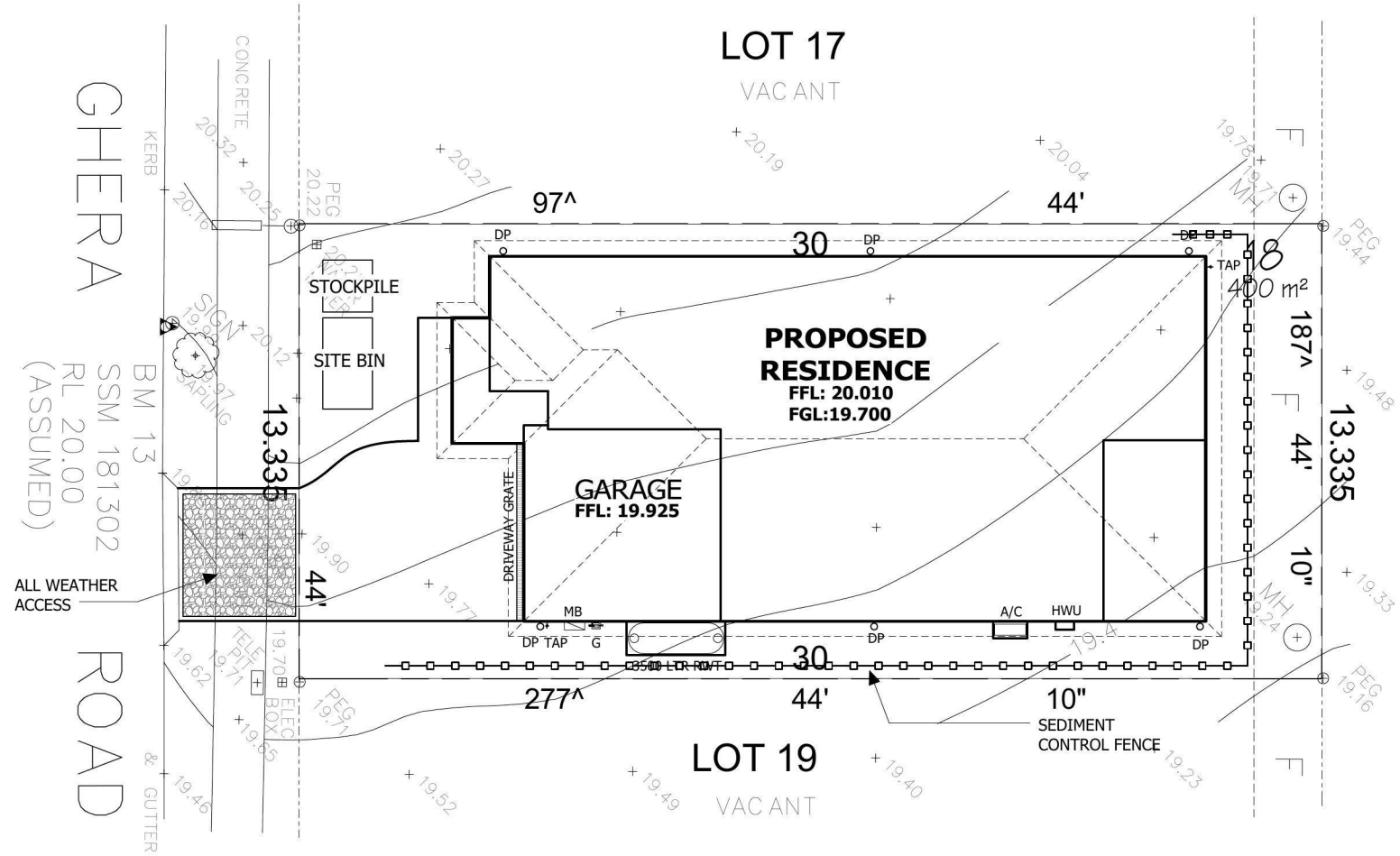
KO: DENOTES KERB OUTLET
WC, EC, TC: DENOTES SERVICE CONDUIT
SV: DENOTES STOP VALVE
HYD: DENOTES HYDRANT

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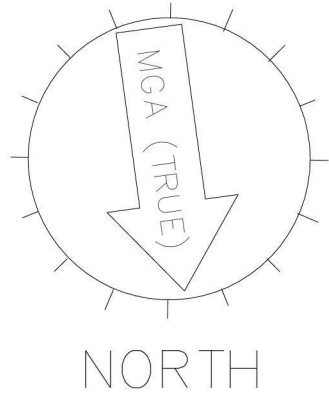
CLIENT:
MR PAINE & MS SUTTON

SITE ADDRESS:
**LOT 18 DP1166546
GHERA ROAD
CADDENS**

HOUSE TYPE
MODEL: **FAIRVIEW MKIII**
FACADE: **REGAL**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **LUXE + PLATINUM**

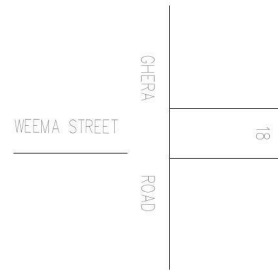
DRAWING TITLE:
EROSION CONTROL PLAN

DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002705	DRWG No: 09	ISSUE: B	



LOCATION PLAN

UBD REF: 184, H4
LAT: -33.77543
LONG: 150.73327



F: EASEMENT TO DRAIN WATER 2 WIDE

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

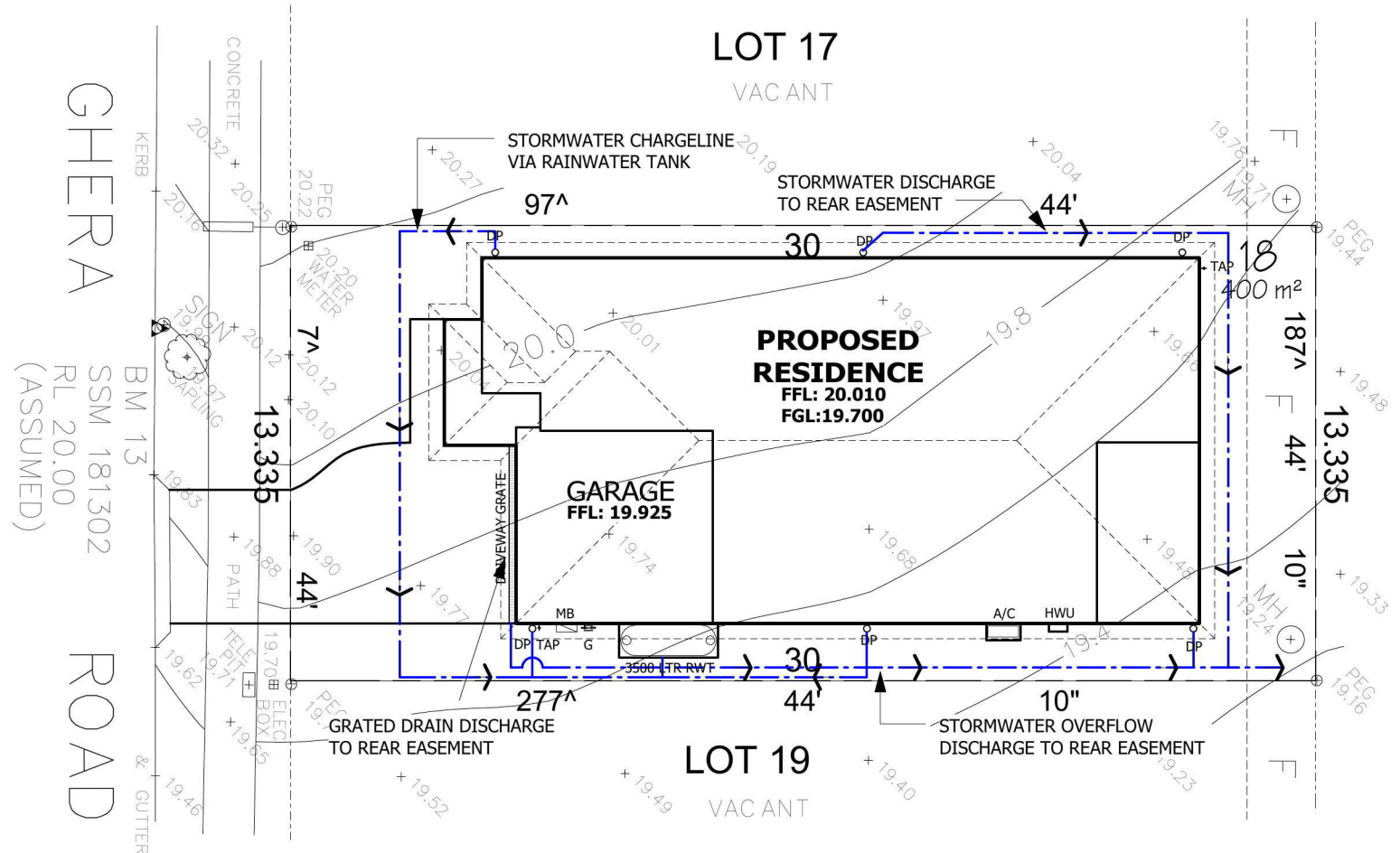
LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

LEGEND
K.O: DENOTES KERB OUTLET
W.C.E.C.T.C: DENOTES SERVICE CONDUIT
S.V: DENOTES STOP VALVE
HYD: DENOTES HYDRANT

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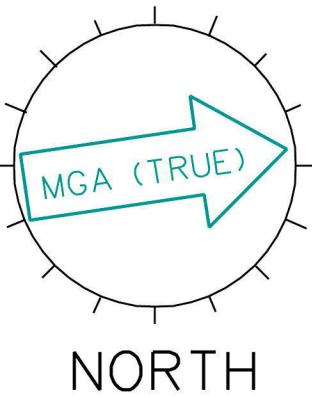
CLIENT:
MR PAINE & MS SUTTON

SITE ADDRESS:
LOT 18 DP1166546
GHERA ROAD
CADDENS

HOUSE TYPE
MODEL: FAIRVIEW MKIII
FACADE: REGAL
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + PLATINUM

DRAWING TITLE:
STORMWATER PLAN

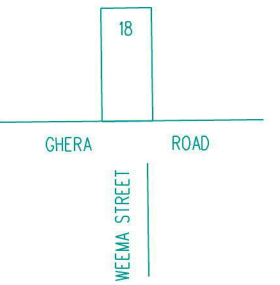
DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002705	DRWG No: 10	ISSUE: B	



F: EASEMENT TO DRAIN WATER 2 WIDE

LOCATION PLAN

UBD REF: 184, H4
LAT: -33.77543
LONG: 150.73327



99 DENOTES PHOTO POINT

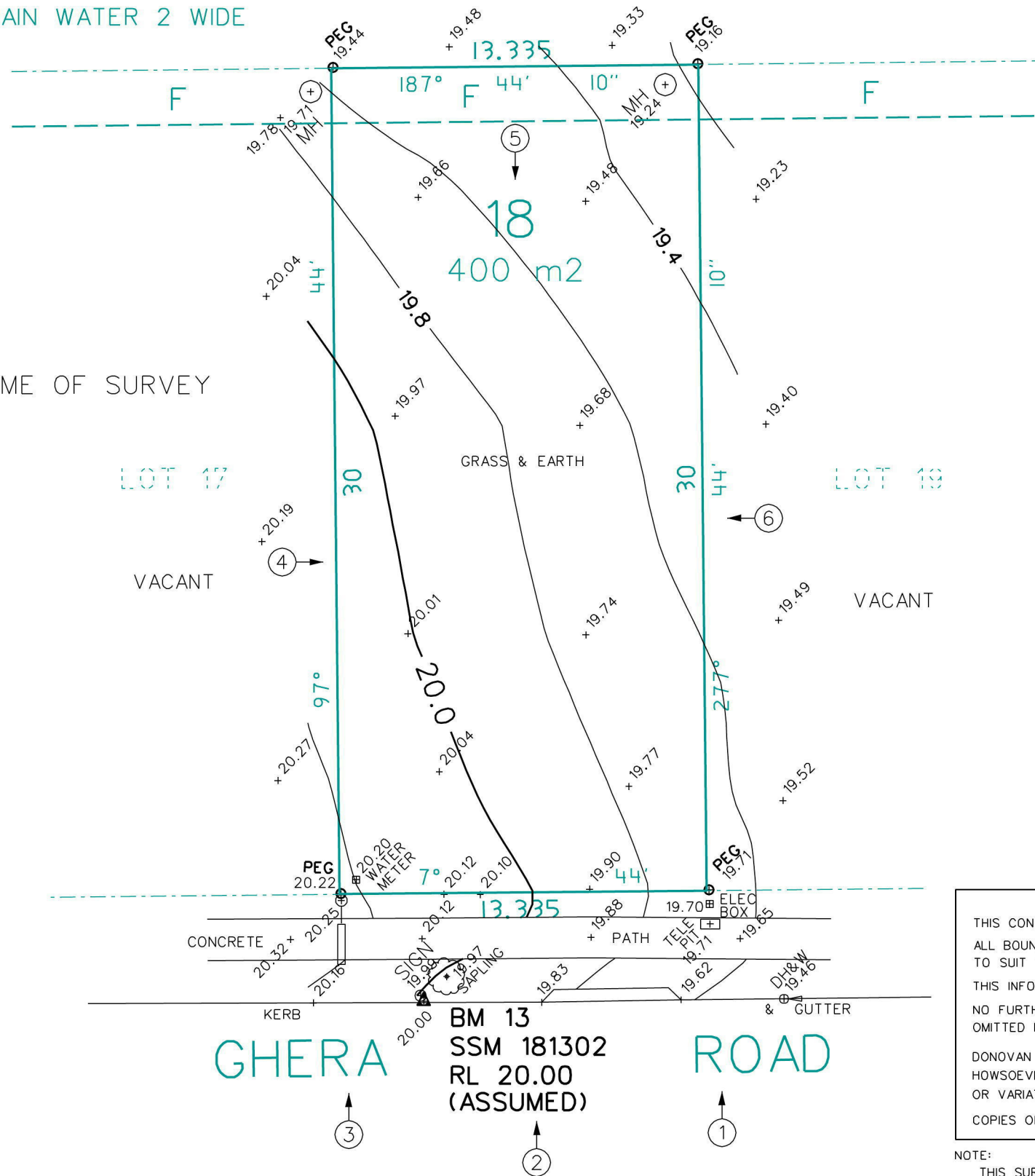
NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LEGEND

- WATER METER
- TELECOM PIT
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- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

LEGEND
KO: DENOTES KERB OUTLET
WC, EC, TC: DENOTES SERVICE CONDUIT
SV: DENOTES STOP VALVE
HYD: DENOTES HYDRANT

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WARNING - UNREGISTERED PLAN
THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN. ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE. THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION. NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN. DONOVAN ASSOCIATES CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN. COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE

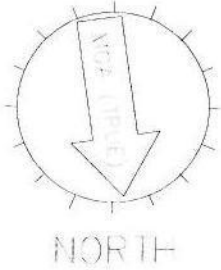
NOTE:
THIS SURVEY IS FOR CONTOUR PURPOSES ONLY
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.

DONOVAN ASSOCIATES
INCORPORATED ENGSURVEY PTY LTD ABN: 84 134 616 078
PH/ 9806 3000 F/9891 2806 www.donovanassociates.com
15 PARKES STREET PARRAMATTA NSW 2150
CIVIL, STRUCTURAL, HYDRAULIC ENGINEERS
REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS

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No.	DATE	NOTATION/AMENDMENT		
1				
SCALE 1: 200		DRAWN: IS	JOB 2052/132413	DATE: 21.01.2012
		CHECKED: GT	DGN 132413	DATUM: ASSUMED

CONTOUR PLAN
LOT 18 DP UNREGISTERED
AT GHERA ROAD, CADDENS
CLIENT: RAWSON HOMES
REF: SUTTON & PAINE



LOCATION PLAN
 1:20
 1:50
 1:100
 1:200
 1:500



FL EASEMENT TO DRAIN WATER 2' WIDE
 NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

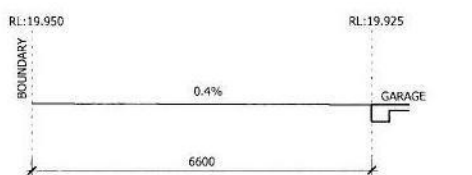
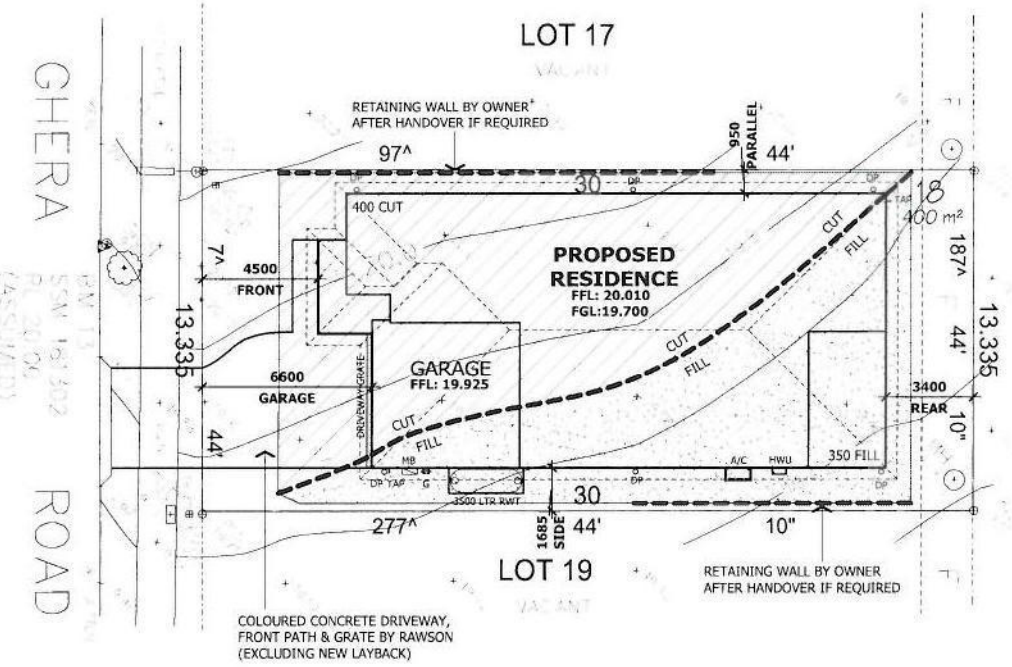
LEGEND

- [Symbol] PROPERTY BOUNDARY
- [Symbol] EASEMENT
- [Symbol] DRIVEWAY
- [Symbol] GARAGE
- [Symbol] DRIVEWAY GRATE
- [Symbol] A/C HWU
- [Symbol] SIDE DRIVE
- [Symbol] DRIVEWAY GRATE
- [Symbol] DRIVEWAY GRATE
- [Symbol] DRIVEWAY GRATE
- [Symbol] DRIVEWAY GRATE

SITE CALCULATIONS	
TOTAL LIVING AREA	168.84 m ²
SITE AREA	400.00 m ²
BUILDING FOOTPRINT	223.53 m ²
DRIVEWAY & PATH	36.77 m ²
LANDSCAPE AREA	139.70 m ²
FLOOR SPACE RATIO	0.42:1
TOTAL BUILT UPON AREA	65.08 %

LEGEND
 1:50
 1:100
 1:200
 1:500
 1:1000
 1:2000
 1:5000

NOTE: CONDITIONS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
 * ALL DIMENSIONS ARE IN MILLIMETRES
 * DO NOT SCALE - USE WRITTEN DIMENSIONS

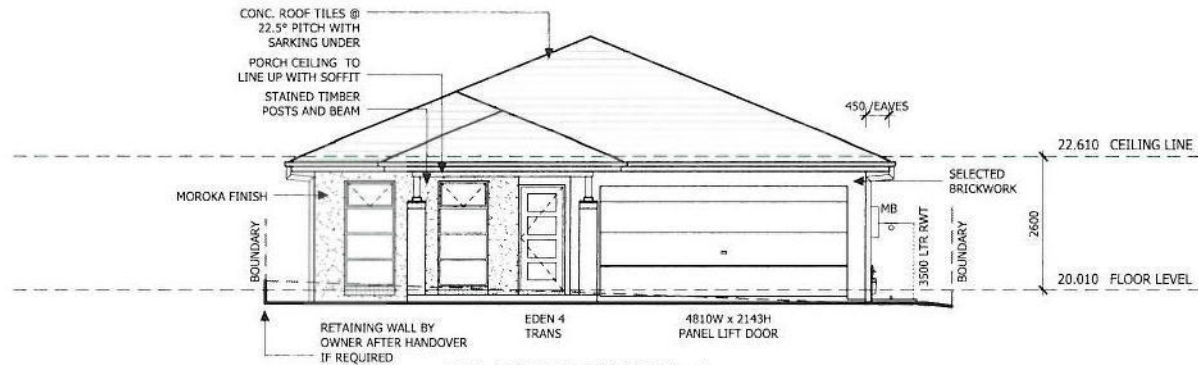


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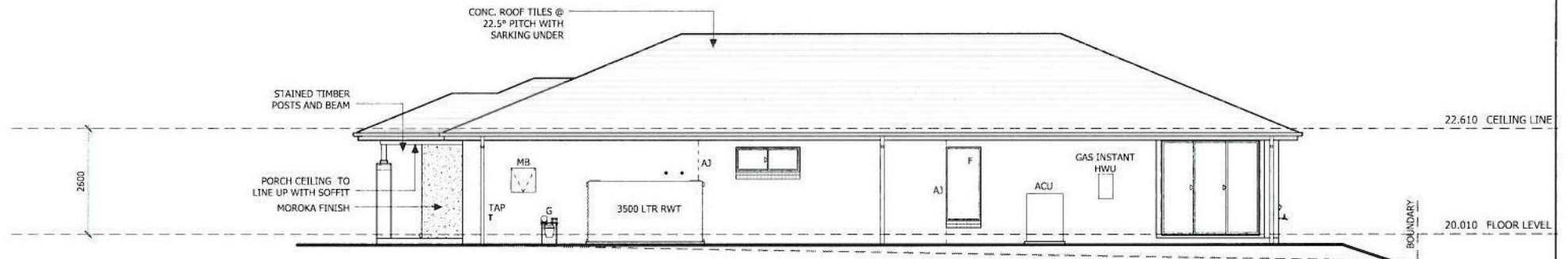
SITE PLAN

NOTES: PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS * ALL DIMENSIONS ARE IN MILLIMETRES * DO NOT SCALE - USE WRITTEN DIMENSIONS	RAWSON HOMES UNIT 34/11-21 UNDERWOOD ROAD HOMEBUSH NSW 2140 TELEPHONE 02 9764 6442 FAX 02 9764 6992 Builder's licence No. 33493C	CLIENT: MR PAINE & MS SUTTON SITE ADDRESS: LOT 18 DP1166546 GHERA ROAD CADDENS	HOUSE TYPE MODEL: FAIRVIEW MKIII FACADE: REGAL TYPE: DOUBLE GARAGE SPECIFICATION: LUXE + PLATINUM DRAWING TITLE: SITE PLAN	DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
				COUNCIL AREA: PENRITH		SCALE: As indicated	JOB No: J002705

MESH FLY SCREENS TO ALL OPENING
WINDOWS AND SLIDING DOORS



ELEVATION 1



ELEVATION 2

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

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RAWSON HOMES

UNIT 34/11-21 UNDERWOOD ROAD
HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's licence No. 33493C



CLIENT:
MR PAINE & MS SUTTON

SITE ADDRESS:
LOT 18 DP1166546
GHERA ROAD
CADDENS

HOUSE TYPE
MODEL: FAIRVIEW MKIII
FACADE: REGAL
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + PLATINUM

DRAWING TITLE:
ELEVATIONS 1-2

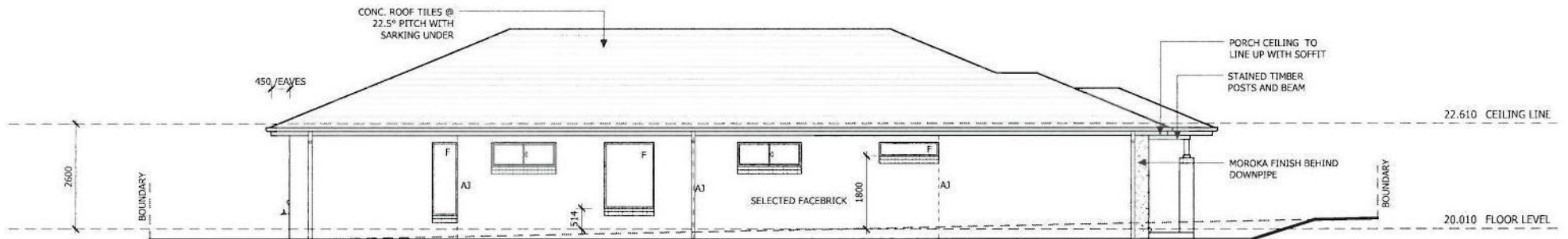
DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002705	DRWG No: 04	ISSUE: B	

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MESH FLY SCREENS TO ALL OPENING
WINDOWS AND SLIDING DOORS



ELEVATION 3



ELEVATION 4

NOTES:

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CLIENT:
MR PAINE & MS SUTTON

SITE ADDRESS:
LOT 18 DP1166546
GHERA ROAD
CADDENS

HOUSE TYPE
MODEL: FAIRVIEW MKIII
FACADE: REGAL
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE + PLATINUM

DRAWING TITLE:
ELEVATIONS 3-4

DRAWN BY: WA	DATE DRAWN: 22.02.13	CHECKED BY: Checker	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002705	DRWG No: 05	ISSUE: B	