

'B' - PROPOSED EASEMENT FOR SERVICES, OVERHANG, ACCESS & MAINTENANCE 0.9 WIDE

Lot 1154 Sydney Smith Drive, North Penrith - Thornton.

**SUMMARY OF BASIX COMMITMENTS**

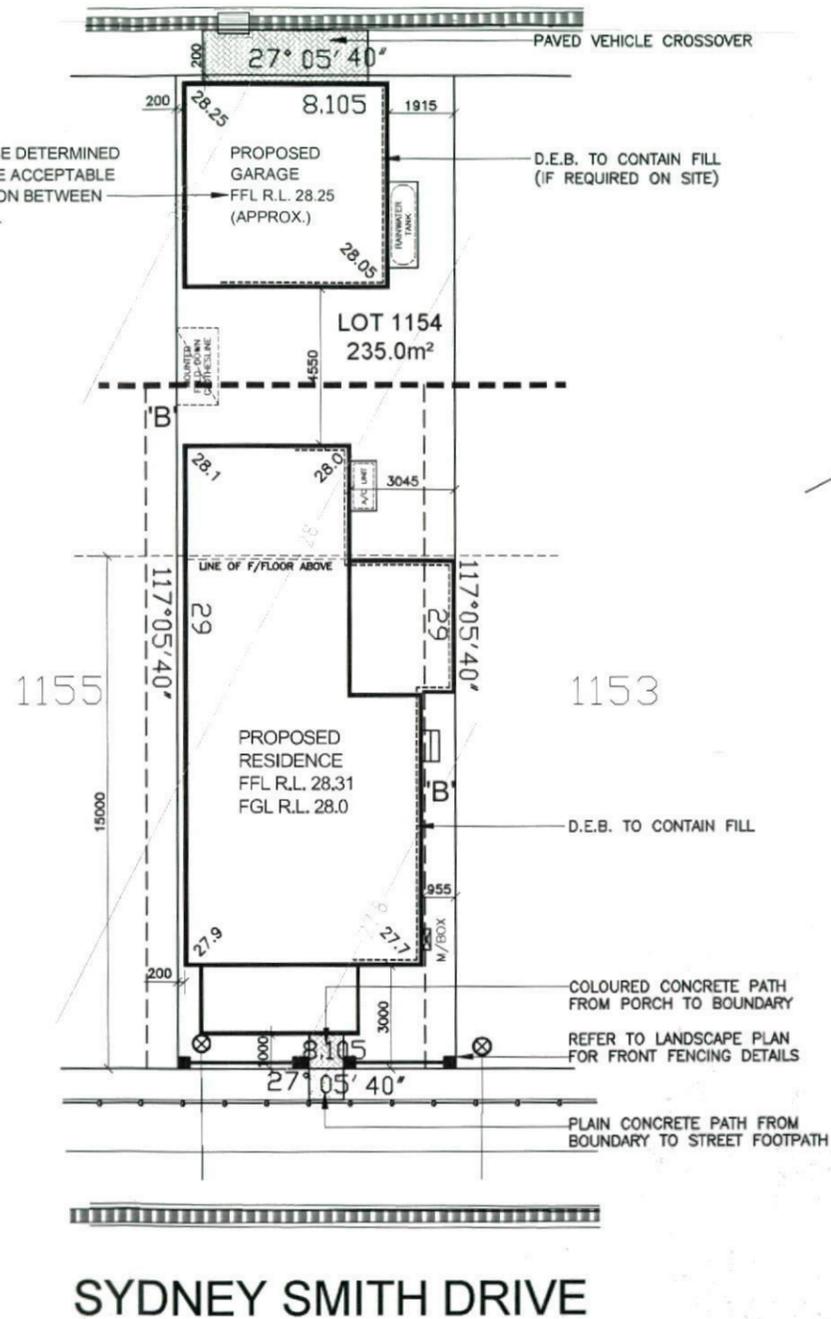
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS			
Fixtures			
3 Star Shower Heads	Yes	4 Star Toilet	Yes
4 Star Kitchen Taps	Yes	4 Star Basin Taps	Yes
Alternative Water			
Minimum Tank Size (L)	3000	Collected From Roof Area (m <sup>2</sup> )	159.08
Alternative Water Supply Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	No
1 x Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to next table			
ENERGY COMMITMENTS			
Hot Water	Gas Instantaneous - 5.5 Star		
Cooling System	Living	3 Phase Air Conditioning	EER 3.0-3.5
	Bedrooms	3 Phase Air Conditioning	EER 3.0-3.5
Heating System	Living	3 Phase Air Conditioning	EER 3.5-4.0
	Bedrooms	3 Phase Air Conditioning	EER 3.5-4.0
Ventilation	Bathroom	Individual Fan (Ducted)	Interlocked to light
	Kitchen	Individual Fan (Not Ducted)	Manual On / Off
	Laundry	Natural ventilation	Natural
Natural Lighting	Window / Skylight in Kitchen		No
	Window/Skylight in Bathrooms/Toilets	Yes / No	1
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms/study	4	Yes / No
	Number of Living/Dining rooms	0	No / No
	Kitchen	0	No / No
	All Bathrooms/Toilets	3	Yes / No
	Laundry	1	Yes / No
All Hallways	2	Yes / No	
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Gas Cooktop	Yes

**Thermal Performance Specifications - BASIX COMMITMENTS**

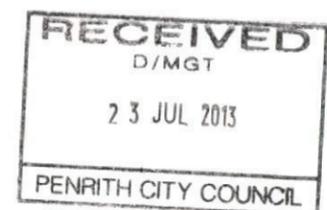
External Wall Construction	Insulation	Colour (Solar Absorptance)	Detail
Brick Veneer	Min. R2.0	Any	
Internal Wall Construction			
Plasterboard on studs	none		
Ceiling Construction			
Plasterboard	Min. R3.0 to ceilings adjacent to roof space		
Roof Construction			
Concrete roof tiles	Foil / Sarking	Dark	
Floor Construction			
Concrete	none	As drawn (if not noted default values used)	
Windows			
Single clear	Timber	5.71	0.66
Single clear	Improved Aluminium	6.44	0.75
Single clear	Standard Aluminium	7.63	0.75
U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.			
External Window Cover			
Fixed shading - Eaves	Width includes guttering, offset is distance above windows		
Width: 450	Offset: 0	Nominal only, refer to plan for detail	
Fixed shading			
Shaded areas as drawn			
Ventilation and Infiltration to Habitable Rooms			
Open fire no damper	no	Exhaust fans no dampers	no
Door and window seals	no	Vented skylights	no
Vented downlights	no	Fixed wall or ceiling vents	no
*No* means that the item was not included in the assessment and shall not be installed.			

CLEVELAND LANE



**GENERAL NOTES:**

- This drawing is to be read in conjunction with all other architectural & consultants drawings & specifications for the works.
- Dimensions in preference to scale.
- Verify all dimensions on site prior to construction.
- All ground lines are approximate.
- All work to be carried out in accordance with Local Council Codes, the B.C.A., Australian Standards and any relevant authorities.
- Wind Rating refer to framing manufacturer's specification.



**AREAS**

SITE:	235.0m <sup>2</sup>
GROUND FLOOR:	90.8m <sup>2</sup>
FIRST FLOOR:	82.71m <sup>2</sup>
GARAGE:	35.88m <sup>2</sup>
PORCH:	9.28m <sup>2</sup>
ALFRESCO:	8.23m <sup>2</sup>
BALCONY:	9.28m <sup>2</sup>
TOTAL:	236.18m <sup>2</sup>

**LANDSCAPE AREA**

SITE AREA:	235.0m <sup>2</sup>
TOTAL HARD SURFACE AREAS:	172.86m <sup>2</sup>
REMAINING SOFT AREA:	62.14m <sup>2</sup>
LANDSCAPE AREA:	26.44%
MINIMUM REQUIRED BY COUNCIL:	N.A.%

P.O.S. AREA 59.1m<sup>2</sup> (25.15%)

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D	16.11.12	AIR CONDITION DUCTING AND UNIT ADDED	C.V.
E	29.01.13	AMENDMENTS TO SUIT COUNCIL FEED BACK	C.V.
F	06.05.13	NOTES ADDED FOR COUNCIL & CONSTRUCTION	C.V.
G	22.05.13	CONSTRUCTION CERTIFICATE NOTES ADDED FOR COUNCIL	C.V.
H	15.07.13	ADD ACOUSTIC NOTES TO DRAWINGS	D.L.



Product:  
**8.1m PRODUCT**  
Facade 1  
Rear Loaded Garage

Client:  
**SMITH AND SHEARER**

Site Address:  
LOT 1154 D.P. 1171491  
SYDNEY SMITH DRIVE  
NORTH PENRITH - THORNTON

Dwg Title:  
**Site Plan**

Date:  
24.08.12

Council:  
PENRITH COUNCIL

Sheet:  
A3

Scale:  
1:200

Sheet No.  
1

Issue:  
H

Job No:  
210199

Master Issue: Revision A Date: 23.08.12

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**SEDIMENT FENCE**  
N.T.S.

**SEDIMENT CONTROL NOTES**

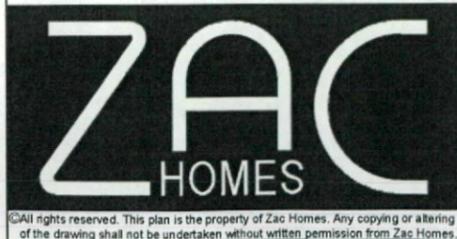
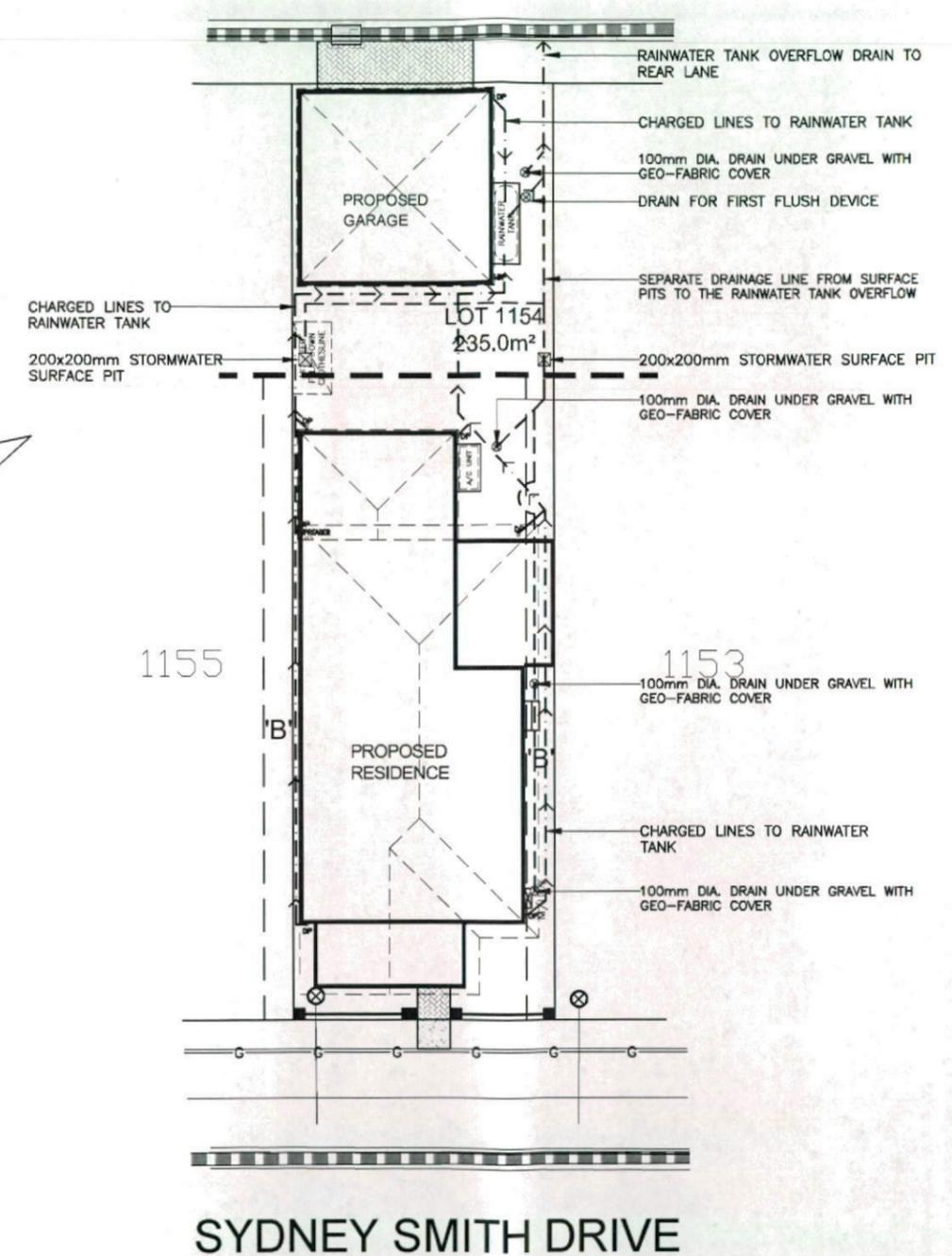
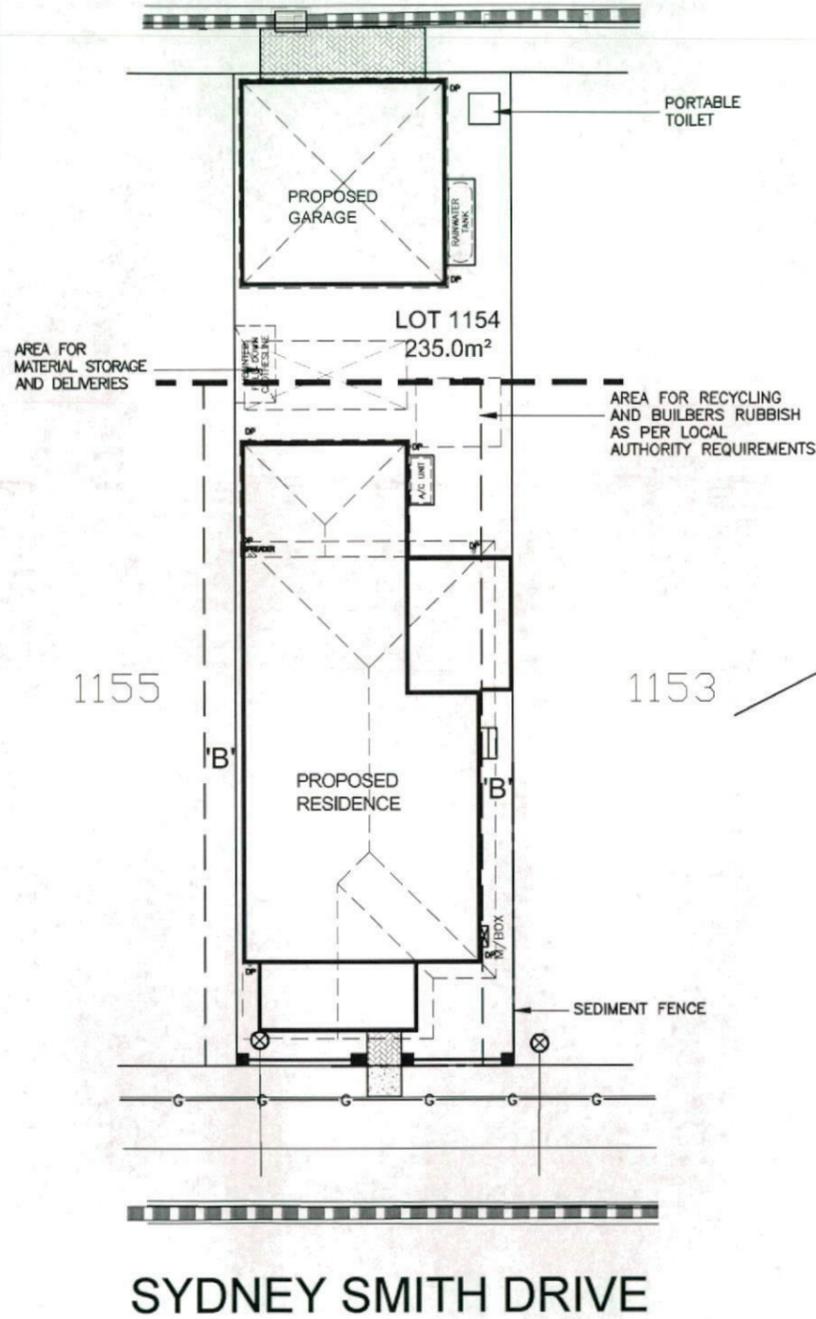
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

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**STORMWATER DRAINAGE  
LINES TO REAR LANE  
(VIA CHARGED LINES TO RAINWATER TANK)**

**CLEVELAND LANE**

**CLEVELAND LANE**



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**SMITH AND SHEARER**

Site Address:  
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SYDNEY SMITH DRIVE  
NORTH PENRITH - THORNTON

Dwg Title:  
**SITE MANAGEMENT & STORMWATER PLAN**

Date:  
**24.08.12**

Council:  
**PENRITH COUNCIL**

Sheet:  
**A3**

Scale:  
**1:200**

Sheet No.  
**1A**

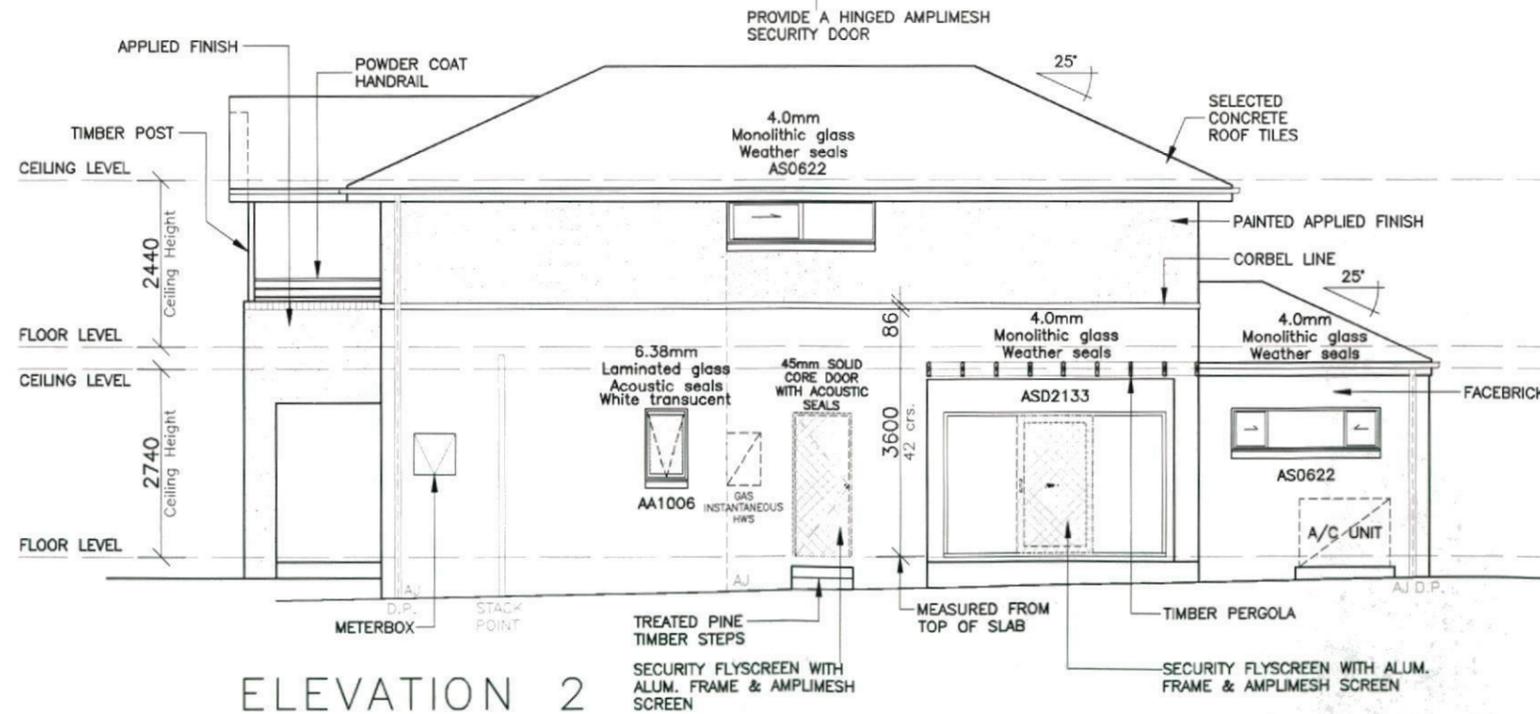
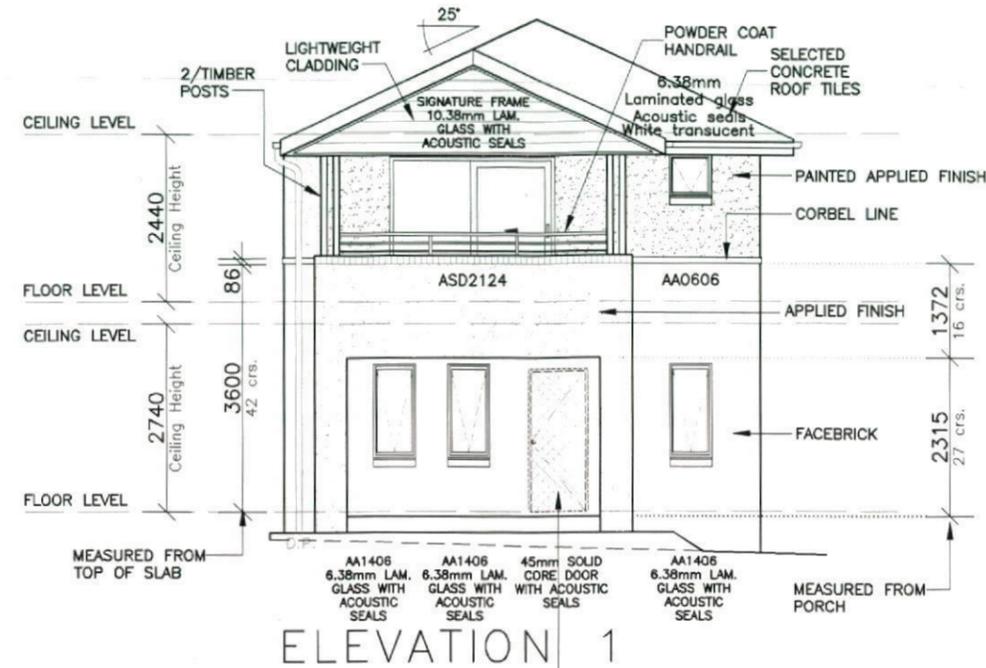
Issue:  
**H**

Job No:  
**210199**

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Master Issue: Revision A Date: 23.08.12



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 Facade 1  
 Rear Loaded Garage

Client:  
**SMITH AND SHEARER**  
 Site Address:  
 LOT 1154 D.P. 1171491  
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 NORTH PENRITH - THORNTON

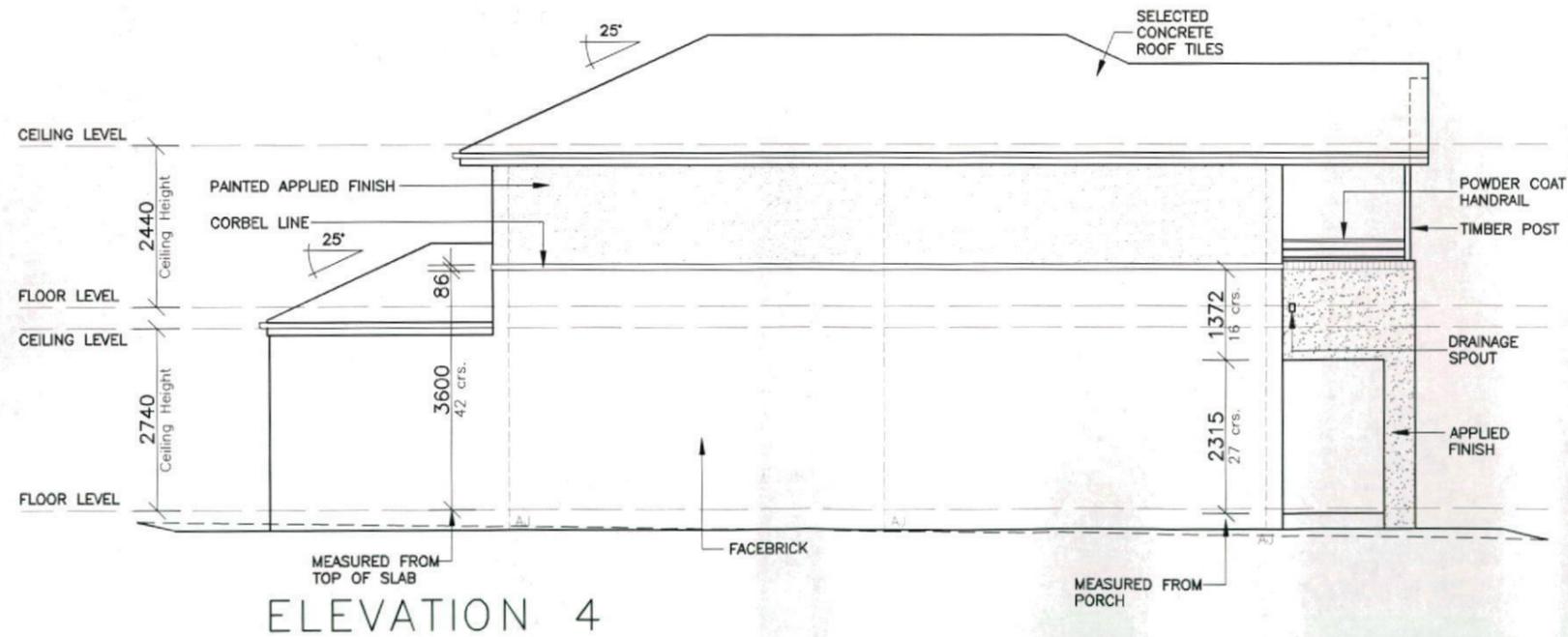
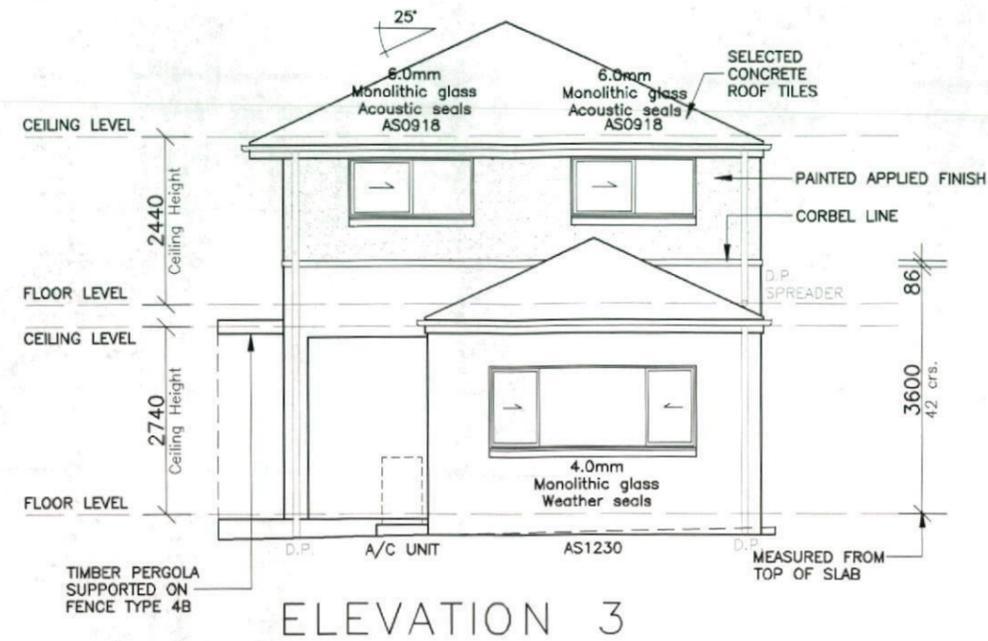
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 Date:  
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 Council:  
 PENRITH COUNCIL

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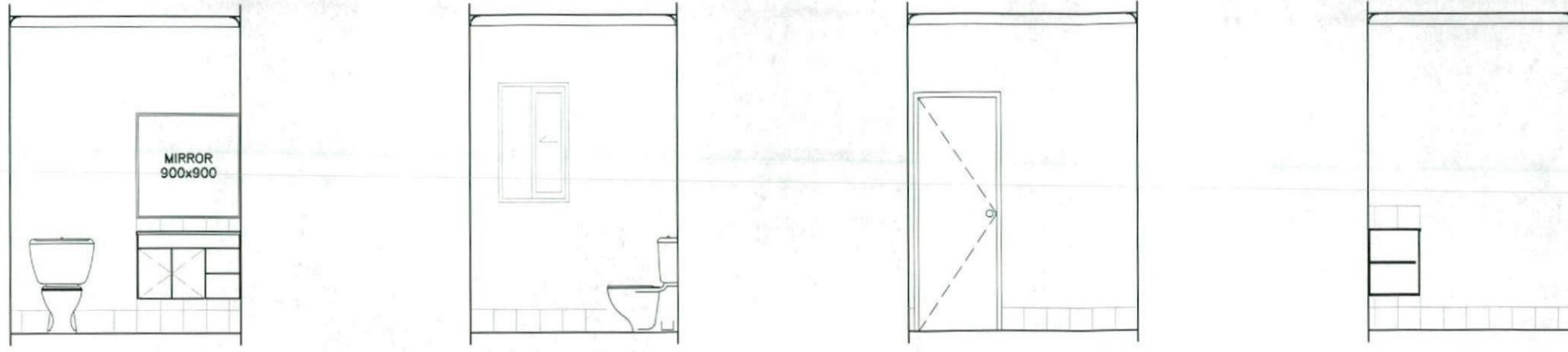
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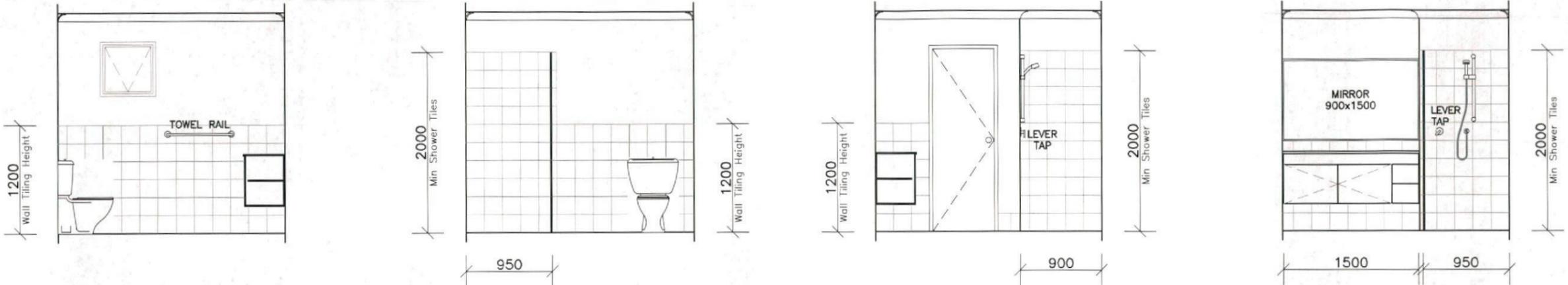
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 DETAILS, No.013,017-019  
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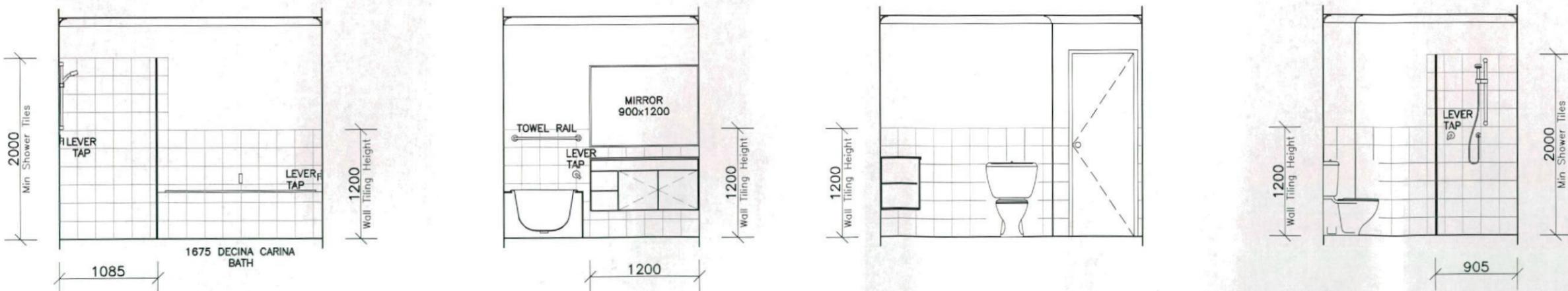


900

POWDER DETAILS



ENSUITE DETAILS



BATHROOM DETAILS



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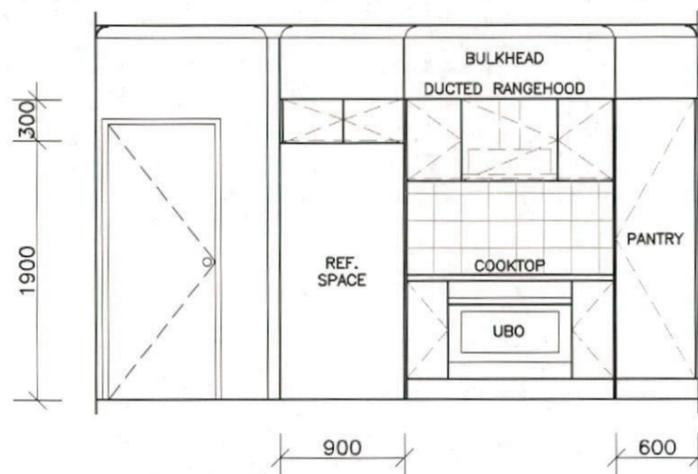
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 24.08.12  
 Council:  
**PENRITH COUNCIL**

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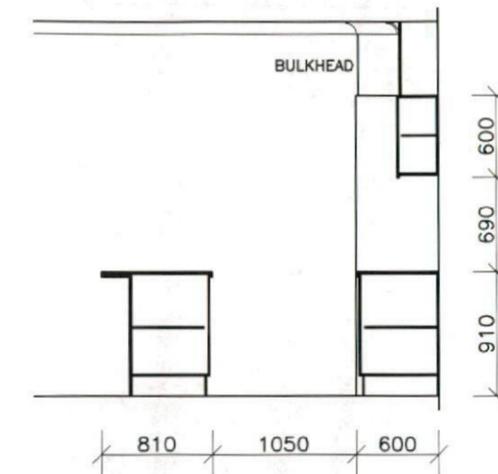
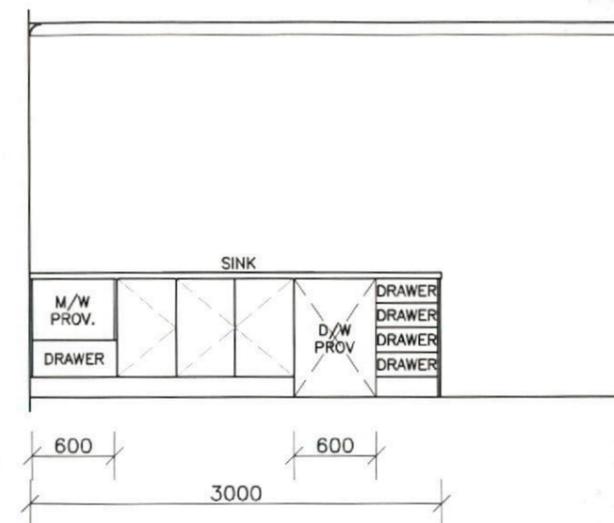
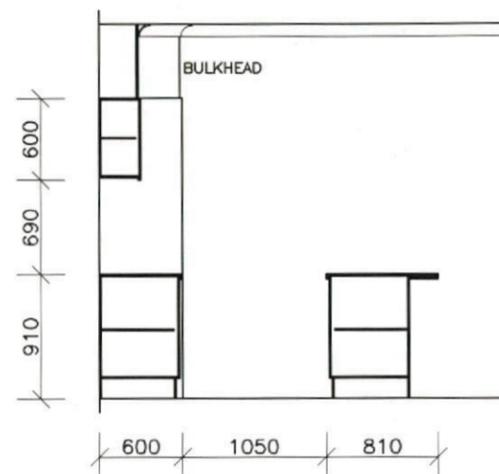
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 DETAILS, No.013,017-019  
 FOR BATHROOM AND  
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KITCHEN DETAILS



Product:  
**8.1m PRODUCT**  
 Facade 1  
 Rear Loaded Garage

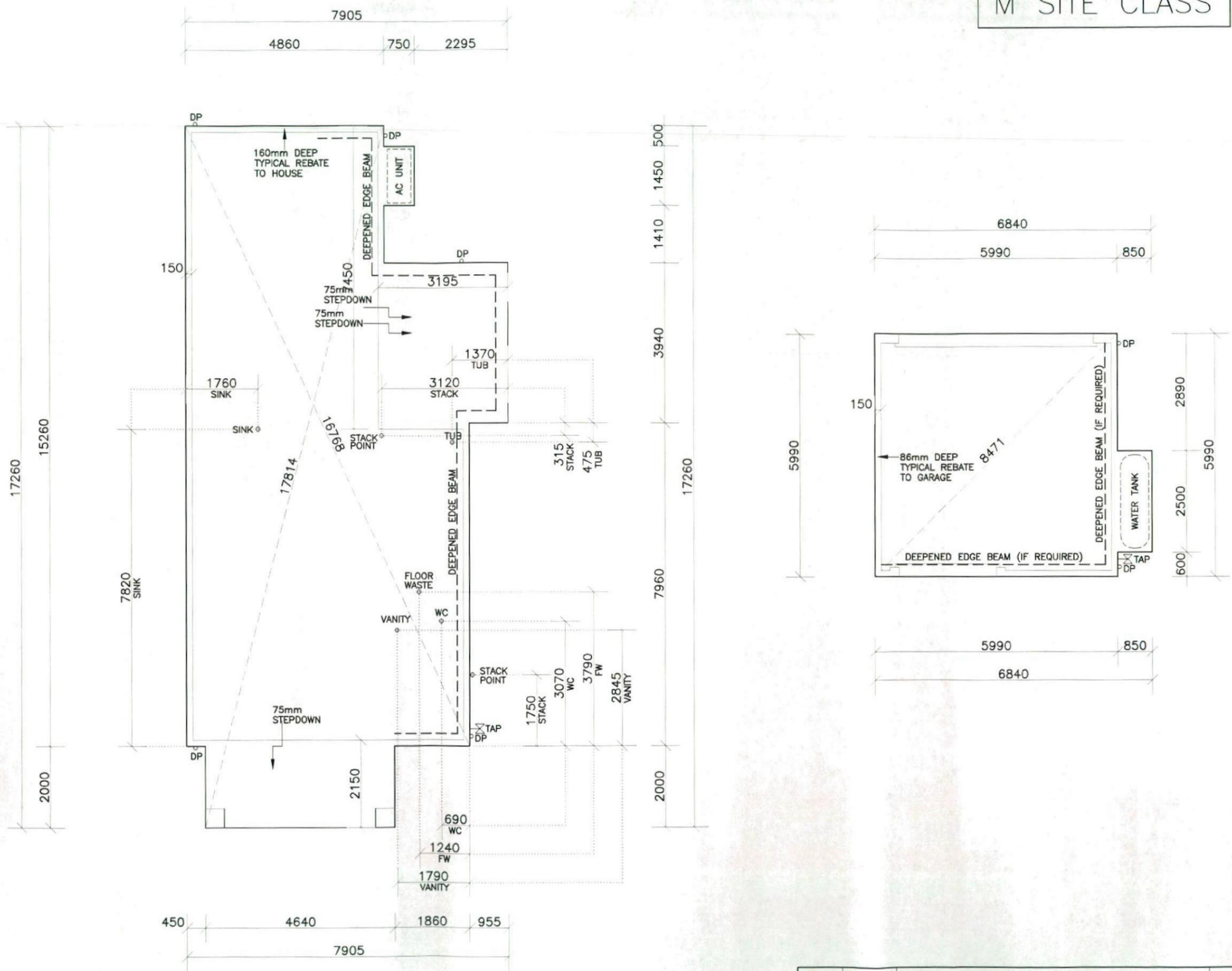
Client:  
**SMITH AND SHEARER**  
 Site Address:  
 LOT 1154 D.P. 1171491  
 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

Dwg Title:  
**KITCHEN DETAILS**  
 Date:  
 24.08.12  
 Council:  
 PENRITH COUNCIL

Sheet:  
 A3  
 Scale:  
 1:50  
 Sheet No.  
 8  
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 H  
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Dwg Title:  
**SLAB PLAN**  
 Date:  
 24.08.12  
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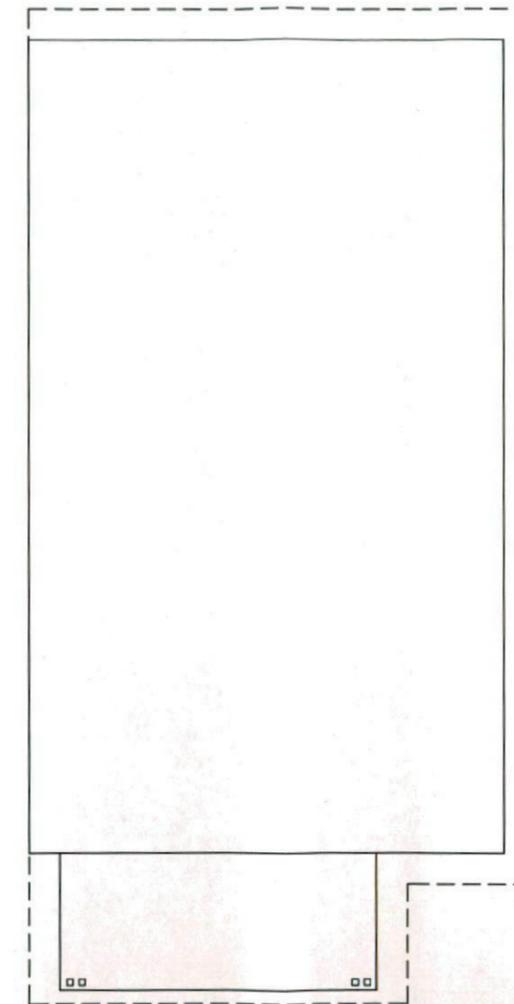
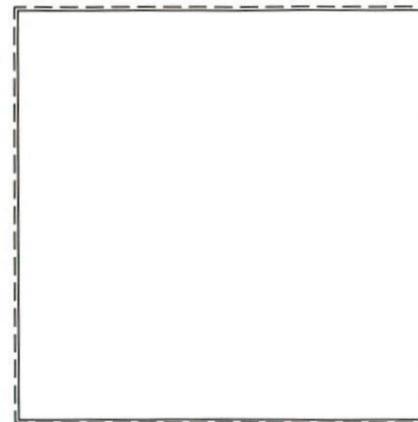
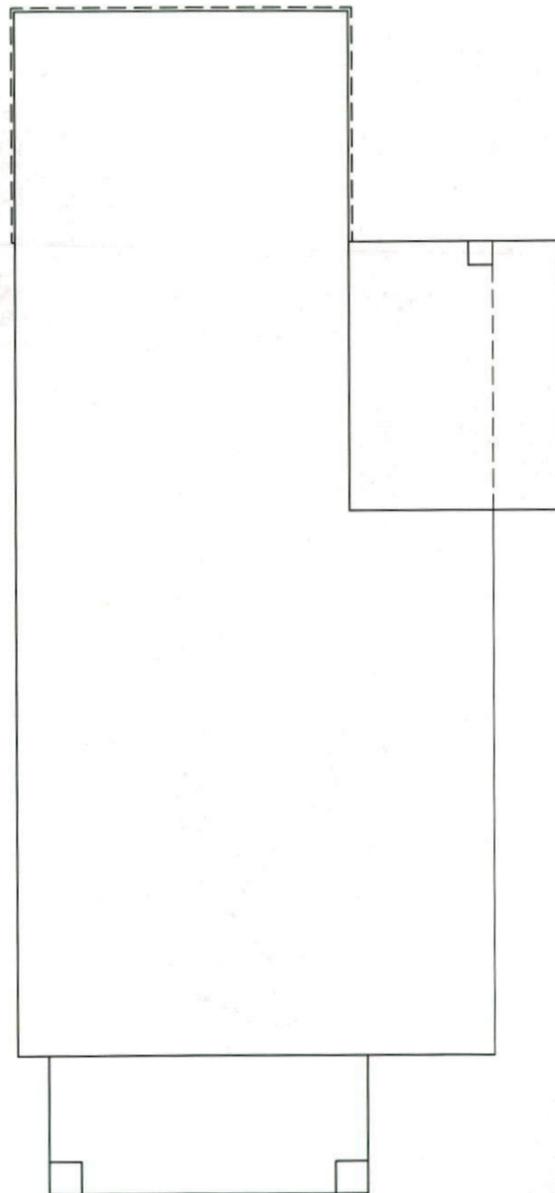
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**1:100**  
 Sheet No.  
**9**  
 Issue:  
**H**  
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GROUND FLOOR EAVE LAYOUT

GARAGE EAVE LAYOUT

FIRST FLOOR EAVE LAYOUT



Product:  
**8.1m PRODUCT**  
 Facade 1  
 Rear Loaded Garage

Client:  
**SMITH AND SHEARER**  
 Site Address:  
 LOT 1154 D.P. 1171491  
 SYDNEY SMITH DRIVE  
 NORTH PENRITH - THORNTON

Dwg Title:  
**EAVE LAYOUT**  
 Date:  
**24.08.12**  
 Council:  
**PENRITH COUNCIL**

Sheet:  
**A3**  
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**1:100**  
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**13**  
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