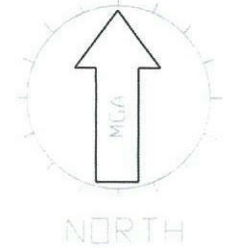


LOT 2155
D.P.: 1168992
L.G.A.: PENRITH

C EASEMENT TO DRAIN WATER 2 WIDE
L RESTRICTION ON THE USE OF LAND
K RESTRICTION ON THE USE OF LAND
J RESTRICTION ON THE USE OF LAND

LOCATION PLAN
UBD REF 144 H13

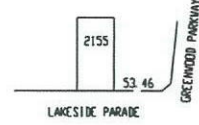


Developer Approval
Required

- PRIVATE OPEN SPACE
- PRINCIPAL PRIVATE OPEN SPACE

PRIVATE OPEN SPACE	
SITE AREA:	450.0m ²
PRIVATE OPEN SPACE AREA:	135.90m ²
PRIVATE OPEN SPACE:	18.68%
MINIMUM REQUIRED BY COUNCIL:	30.2%
ORIVATE OPEN SPACE REQUIRED:	67.5m ²
PRINCIPLE PRIVATE OPEN SPACE:	24m ²

BUSH FIRE PRONE LAND BAL 29, BAL 19, & BAL 12.5



PROVIDE T2 FRAMES, TRUSSES,
FLOOR JOISTS & GARAGE BEAMS
IN LIEU OF STANDARD



PROVIDE TURF TO REAR BY OWNER
IN ACCORDANCE WITH LANDSCAPE
PLAN

LOCATION OF A/C UNIT

TREATED PINE STEPS
TO ALUNDRY BY
OWNER

LYSAGHT "SMARTASCREEN" 1.8m
HIGH FENCING IN "RIVERSAND"
COLOUR OR EQUIVALENT REQUIRED
FOR INTERNAL FENCING BY OWNER.
TO SIDES AND REAR. NOT
PERMITTED FOR STREET FENCING

PROVIDE MULCHED ACCESS
PATHWAY TO THE SIDE OF
RESIDENCE

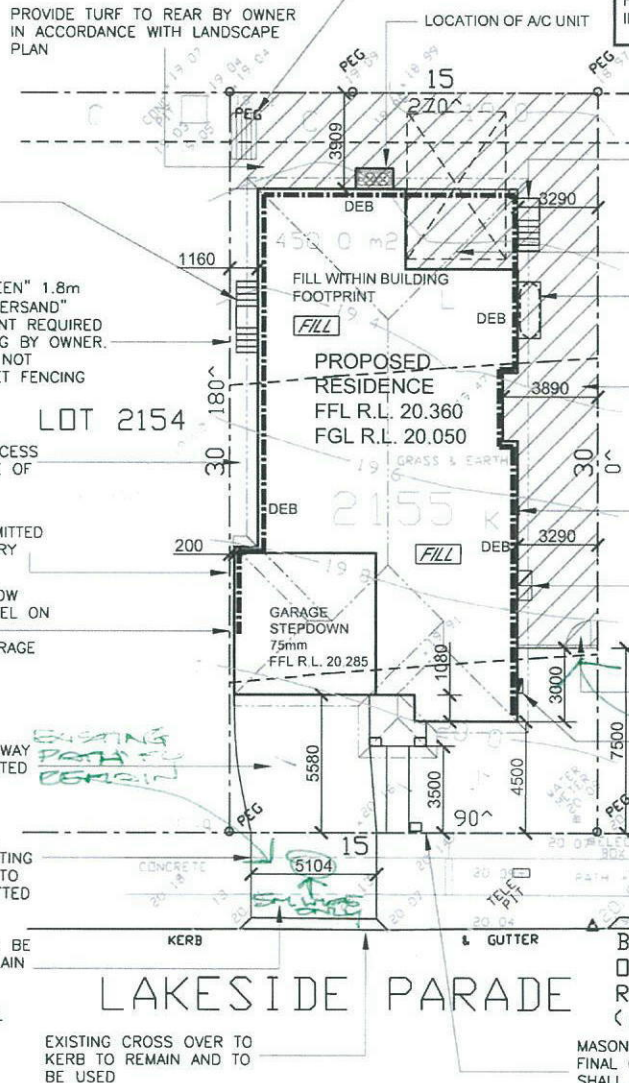
FENCING IS NOT PERMITTED
ALONG ZERO BOUNDARY
WALL

PROVIDE 650mm BELOW
NATURAL GROUND LEVEL ON
ALL BOUNDARY
CONSTRUCTION TO GARAGE
PORTION

REIN CONCRETE DRIVEWAY
AND FINISH AS SELECTED
BY KURMOND HOMES

PORTION OF THE EXISTING
CONCRETE FOOTPATH TO
REMOVED. SHOWN DOTTED

VEHICLE CROSSING TO BE
CONSTRUCTED OUT PLAIN
CONCRETE FINISH BY
KURMOND HOMES TO
PENRITH CITY COUNCIL
SPECIFICATION



TREATED PINE STEPS
TO ALFRESCO BY
OWNER

(6000X4000) P.O.S
USABLE RECTANGLE
AS PER COUNCIL

LOCATION OF 3,000 LITRE
ABOVE GROUND RAINWATER
TANK TO MANUFACTURE
SPECIFICATION

PROVIDE TURF TO SIDE BY OWNER
IN ACCORDANCE WITH LANDSCAPE
PLAN

LOCATION OF HOT
WATER SYSTEM

BIN LOCATION TO THE
RESIDENCE LOCATED BEHIND
SIDE GATE/FENCE

SIDE GATE AND RETURN
FENCING TO BE 7.5m FROM
THE THE FRONT AS PER
DEVELOPER REQUIREMENTS

LOCATION OF METER BOX

BM 07
ON DH&W
RL 20.00
(ASSUMED)

MASONRY PIER LETTER BOX
FINAL COLOUR AND FINISH
SHALL MATCH RESIDENCE
BY OWNER AND IN
ACCORDANCE WITH
AUSTRALIA POST
REQUIREMENTS

SITE PLAN

SCALE 1:200

NOTES

1 Bearings and distances are by Title and/or Deed only
This detail survey is not a "survey" as defined by the Surveyors Act 1929

NOTE:

Any retaining wall along boundaries or to the street are to masonry construction.

Construction Notes;

water to drain to the above ground 3,000 litre rainwater tank, in
be with Basix Certificate.
ternal wall insulation in accordance with Basix Certificate.
ling insulation in accordance with Basix Certificate.
and Cooling loads / system to have a EER of 3.0 - 3.5 max.
e set opening to be 2350mm as 2750mm ceiling height proposed.

www.dialbeforeyoudig.com.au



SITE INDUCTION

Before entering site please review and make yourself familiar with Emergency Contacts, Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS
* FOOTPATH / PEDESTRIAN TRAFFIC

I accept and understand the plans and documents that have been provided to me by Kurmond Homes.

GROUND LINES ARE APPROXIMATE.
T OF CUT AND FILL BATTERS
BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE TO BE
CUSTOMISED SITE SPECIFIC

kurmondhomes
BL No. 205 457C
ABN 481 288 211 98
Kurmond Homes PTY LTD
10 Sovereign Place, South Windsor 2756
T: 1300 764 761
F: (02) 45714015

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PREFERENCE TO SCALING

HOUSE NAME
NEWPORT 24.7
FACADE
TRADITIONAL
Diamond Inclusion
SCALE
1:200

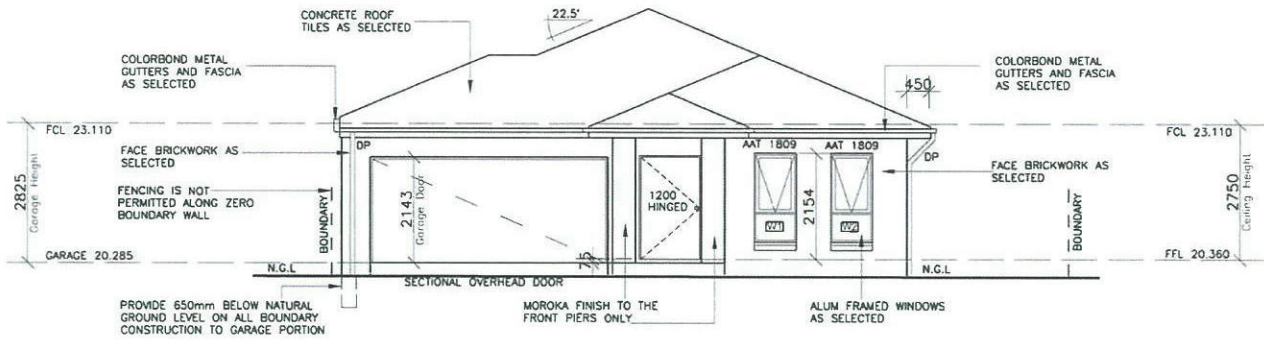
CLIENT:
MR & MRS PARR
SITE ADDRESS:
LOT 2155 in DP 1168992,
LAKESIDE PARADE
JORDAN SPRINGS NSW 2747

JOB No: 13010
DRAWN: ME DATE: 31.05.13 Rev:
CHECKED: Checked By SHEET: 2 E
DA STAGE

Construction Notes;

- * All roof water to drain to the above ground 3,000 litre rainwater tank, in accordance with Basix Certificate.
- * R 2.0 external wall insulation in accordance with Basix Certificate.
- * R 3.0 ceiling insulation in accordance with Basix Certificate.
- * Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
- * All square set opening to be 2350mm as 2750mm ceiling height proposed.

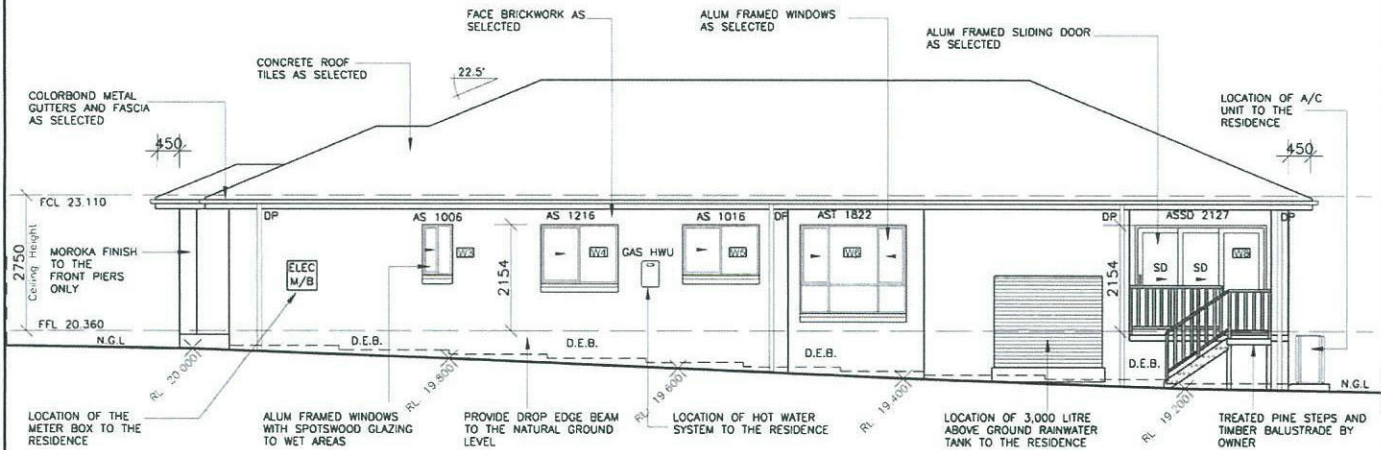
PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD



SOUTHERN ELEVATION

Front Elevation

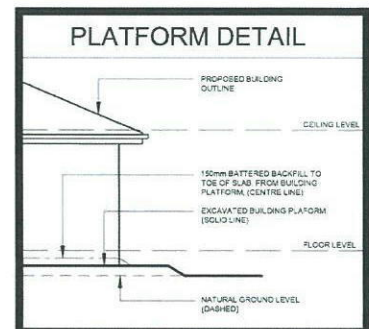
Scale 1:100



EASTERN ELEVATION

Side Elevation

Scale 1:100



CLIENT'S SIGNATURE: _____ DATE: _____

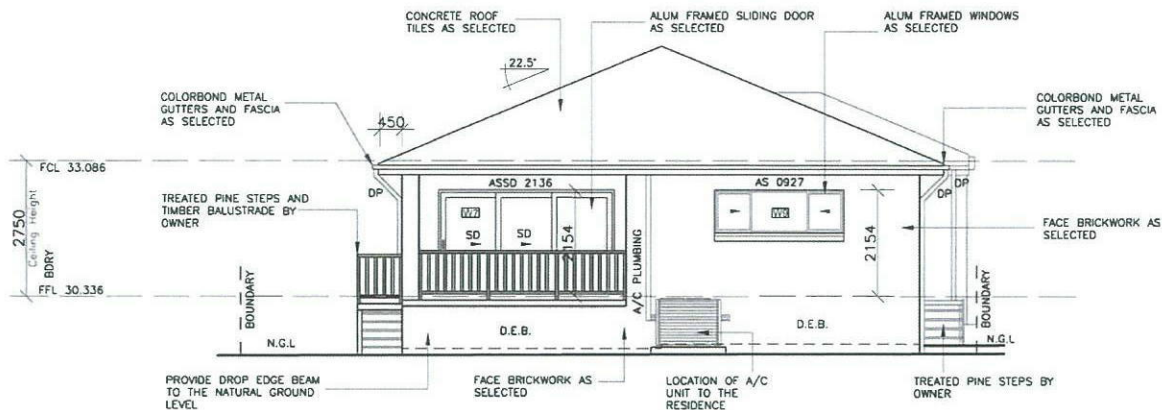
I accept and understand the plans and documents that have been provided to me by Kurmond Homes.

	kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015	ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD Copyright in this document is owned by KURMOND HOMES PTY LTD Under the provisions of the Copyright ACT 1968 and is intended for use only as authorized by KURMOND HOMES PTY LTD © COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALE	HOUSE NAME NEWPORT 24.7	CLIENT: MR & MRS PARR	JOB No: 13010		
			FACADE: TRADITIONAL	SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747	DRAWN: ME	DATE: 31.05.13	Rev: E
			SCALE: 1:100	SHEET NO: L/H	CHECKED BY: Checked By	SHEET: 5	DA STAGE

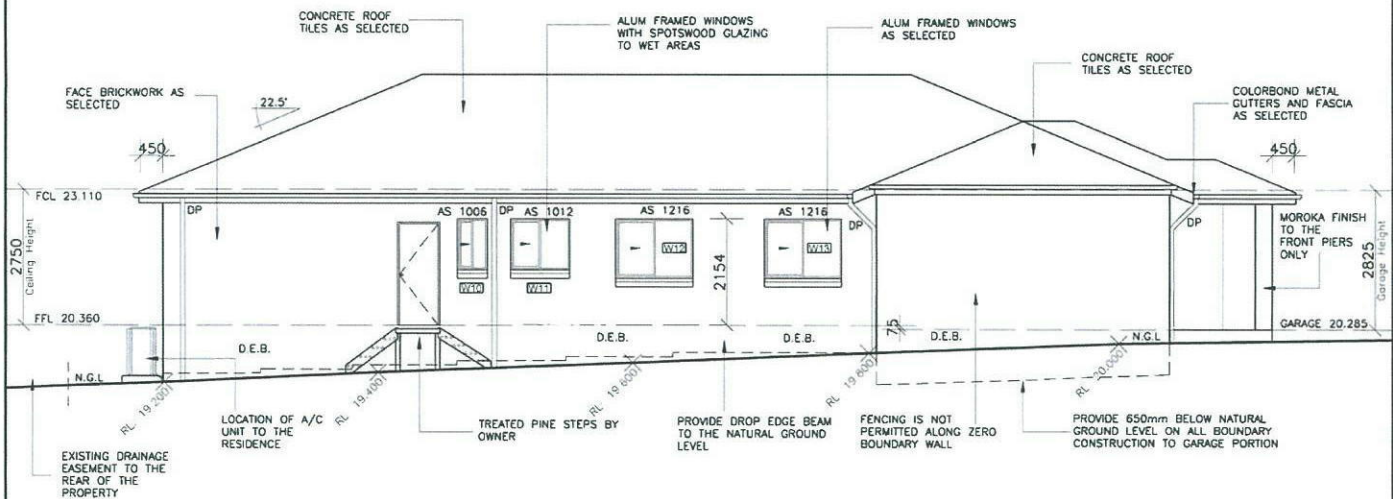
Construction Notes;

- * All roof water to drain to the above ground 3,000 litre rainwater tank, in accordance with Basix Certificate.
- * R 2.0 external wall insulation in accordance with Basix Certificate.
- * R 3.0 ceiling insulation in accordance with Basix Certificate.
- * Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
- * All square set opening to be 2350mm as 2750mm ceiling height proposed.

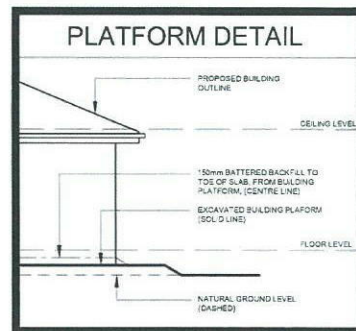
PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD



NORTHERN ELEVATION
Rear Elevation Scale 1:100



WESTERN ELEVATION
Side Elevation Scale 1:100



CLIENT'S SIGNATURE: _____ DATE: _____

I accept and understand the plans and documents that have been provided to me by Kurmond Homes.

Reviewed by J. JORDAN SPRINGS
LANDSLIPS
- 6 JUL 2013

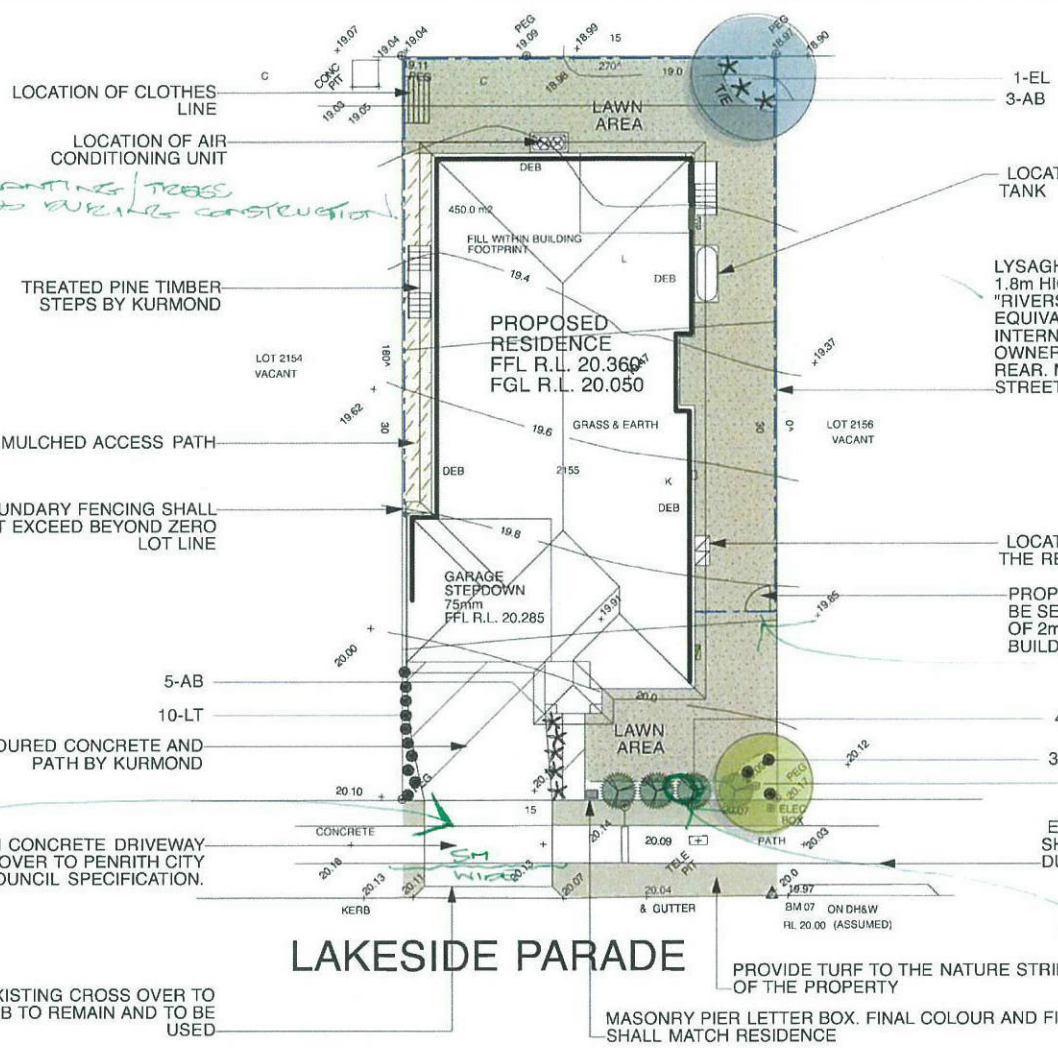
kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015	ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright Act 1968 and is intended for use only as authorized by KURMOND HOMES PTY LTD. © COPYRIGHT DIMENSIONS TO BE RELIED UPON PREFERENCE TO SCALING	HOUSE NAME: NEWPORT 24.7 FACADE: TRADITIONAL SPECIAL FINISH: Diamond Inclusion SCALE: 1:100	CLIENT: MR & MRS PARR SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747	JOB No: 13010 DRAWN: ME CHECKED: Checked By	DATE: 31.05.13 SHEET: 6	Rev: E DA STAGE
	CURMONT HOMES PTY LTD			DA STAGE		

LEGEND

- PROPOSED LEVEL FFL R.L. 20.360
- EXISTING LEVEL 20.30
- MULCHED ACCESS PATH
- PROPOSED PAVED AREA
- LAWN AREA
- TIMBER LAWN EDGE T/E

NOTE:
 - ANY RETAINING WALLS VISIBLE FROM THE STREET OR CONSTRUCTED GREATER THAN 900mm HIGH SHALL BE OF MASONRY CONSTRUCTION
 - ANY GARDEN EDGING VISIBLE FROM THE STREET SHALL BE OF BRICK OR COLOURED CONCRETE. NO TIMBER EDGING IS PERMITTED

EXISTING VERGE PLANTING TREES ARE TO BE PROTECTED DURING CONSTRUCTION



LYSAGHT "SMARTASCREEN" 1.8m HIGH FENCING IN "RIVERSAND" COLOUR OR "EQUIVALENT" REQUIRED FOR INTERNAL FENCING BY OWNER. TO SIDES AND REAR. NOT PERMITTED FOR STREET FENCING



BEFORE FENCING TO BE INSTALLED FENCING IN ACCORDANCE WITH GUIDELINES FOR INCREASED SETBACK

EXISTING STREET TREES SHALL BE PROTECTED DURING CONSTRUCTION

PROVIDE 1 ADDITIONAL PLANT ALONG FRONT BOUNDARY



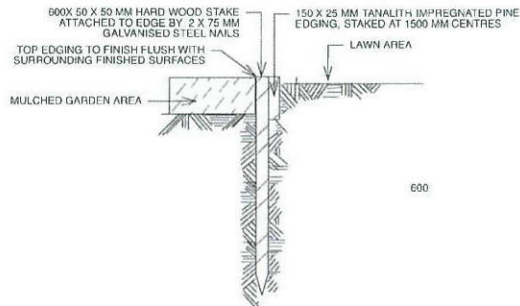
DO NOT NOTE: PATH TO REMAIN CONTINUOUS

PLANTING SCHEDULE

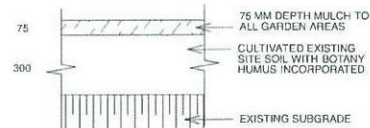
- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 2. All detailing of drainage to paved areas shall be by others.
 3. All levels shall be determined by others and approved on site by client.
 4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
 5. Do not scale from drawings.
 6. If in doubt contact the Landscape Architect.
 7. All boundaries shall be surveyed prior to commencement of construction work.
 8. This plan is for DA purposes only. It has not been detailed for construction.
 9. All dimensions, levels and boundaries are normal only.
 10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
ACS	Acmena smithii	Lillypilly	1	25lt	4000	8000
AB	Anigozanthos flavidus	Kangaroo Paw	8	5lt	800	800
EL	Elaeocarpus reticulatus	Blueberry Ash	1	25lt	5000	12000
LT	Lomandra 'Tanika'	Dwarf Lomandra	13	5lt	500	500
SH	Syzygium 'Cascade'	Lillypilly	4	15lt	1500	2500

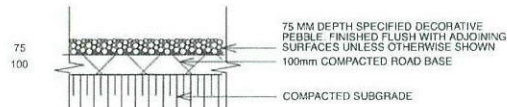
DATE	REVISION
PROPOSED LANDSCAPE PLAN	
ADDRESS	PROJECT #
LOT 2155 LAKESIDE PDE, JORDAN SPRINGS	Kurmond
CLIENT	DATE #
MR & MRS PARR	31/05/13
	DWGS #
	L/01
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fax: (02) 9957 5922	
SCALE @ A3	1:200
DRAWN	JB
CHECKED	SW



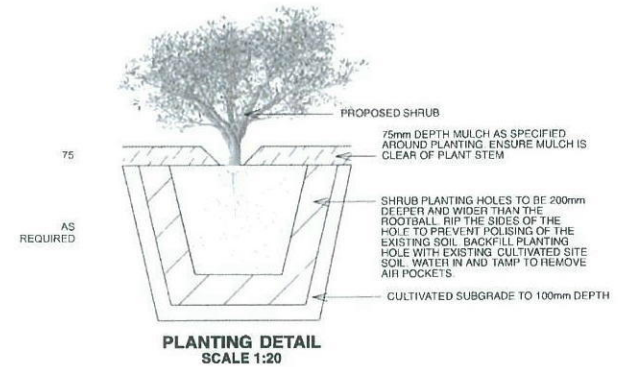
TYPICAL TIMBER EDGE DETAIL
SCALE 1:10
DO NOT SCALE



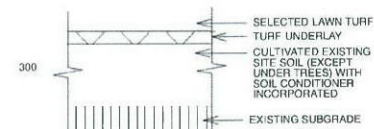
SOIL TO GARDEN AREAS
SCALE 1:20



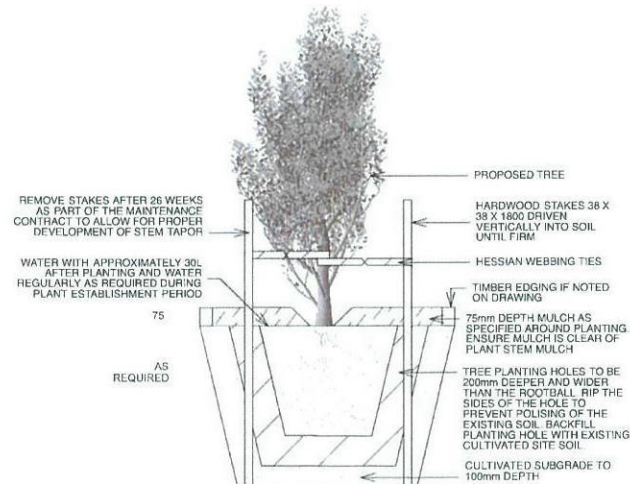
PEBBLE PATHWAY
SCALE 1:10



PLANTING DETAIL
SCALE 1:20



TYPICAL TURF DETAIL
SCALE 1:20



TREE PLANTING & STAKING DETAIL
SCALE 1:20

Notes:

1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. All detailing of drainage to paved areas shall be by others.
3. All levels shall be determined by others and approved on site by client.
4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
5. Do not scale from drawings.
6. If in doubt contact the Landscape Architect.
7. All boundaries shall be surveyed prior to commencement of construction works.
8. This plan is for DA purposes only. It has not been detailed for construction.
9. All dimensions, levels and boundaries are nominal only.
10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A. Total Concept Landscape Architects.

DATE	REVISION		
LANDSCAPE DETAILS			
DRAWING ADDRESS		PROJECT #	
LOT 2155 LAKESIDE PDE, JORDAN SPRINGS		Kurmond	
CLIENT	DATE #	SCALE @ A3	DWG #
MR & MRS PARR	31/05/13	as shown	L/02
DRAWN		REVISION	
A Total Concept Landscape Architects & Swimming Pool Designers		6W	
65 West Street, North Sydney NSW 2060			
Tel: (02) 9957 5122 Fx: (02) 9957 5922			
 <small>a total concept</small>			

OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones: (i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firming into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and return councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) **Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) **Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) **Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) **Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) **Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) **Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) **Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.


(h) **Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

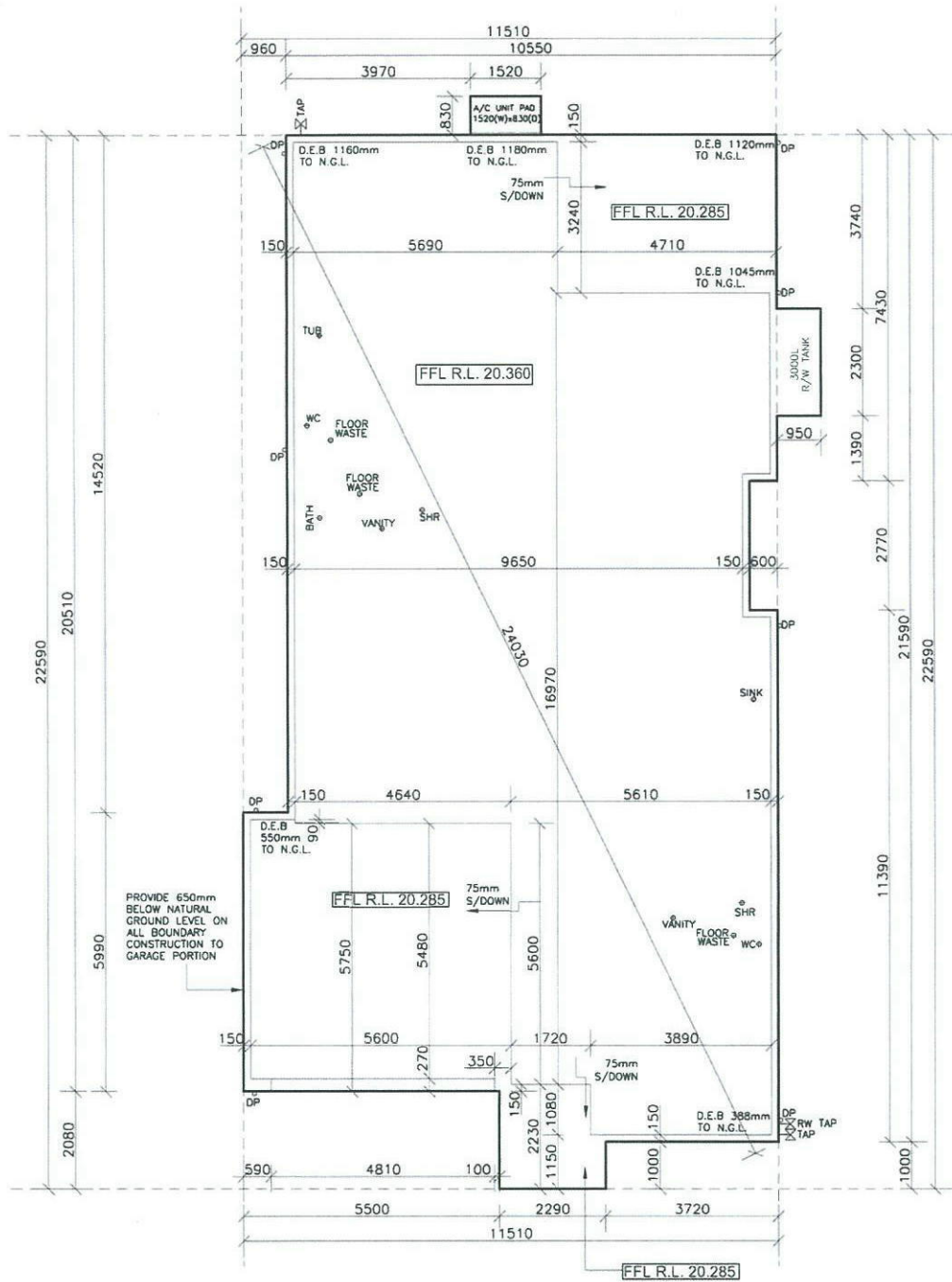
(i) **Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) **Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Notes:

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- All levels shall be determined by others and approved on site by client.
- Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
- Do not scale from drawings.
- If in doubt contact the Landscape Architect.
- All foundations shall be surveyed prior to commencement of construction works.
- This plan is for DA purposes only it has not been detailed for construction.
- All dimensions, levels and boundaries are nominal only.
- This design shall not be copied, altered or reproduced in any way without prior written permission of A. Total Concept Landscape Architects.

DATE	REVISION	
DRAWING	LANDSCAPE SPECIFICATION	
ADDRESS	LOT 2155 LAKESIDE PDE, JORDAN SPRINGS	PROJECT # Kurmond
CLIENT	MR & MRS PARR	DATE # 31/05/13 SCALE @ A3 DWG # L/03
A Total Concept Landscape Architects & Swimming Pool Designers		DRAWN JB CHKD SW REVISION
65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fax: (02) 9957 5922		



SLAB PLAN

CLIENT'S SIGNATURE: _____ DATE: _____



kurmondhomes
 BL No. 205 457C
 ABN 481 288 211 98
 Kurmond Homes PTY LTD
 10 Sovereign Place, South Windsor 2756
 T: 1300 764 761
 F: (02) 45714015

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 DIMENSIONS TO BE READ IN
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HOUSE NAME
NEWPORT 24.7
 FACADE
TRADITIONAL
 CONSTRUCTION
Diamond Inclusion
 SCALE
1:100 L/H

CLIENT
MR & MRS PARR
 SITE ADDRESS:
**LOT 2155 in DP 1168992,
 LAKESIDE PARADE
 JORDAN SPRINGS NSW 2747**

JOB No
13010
 DRAWN
ME DATE
31.05.13 Rev.
 CHECKED: SHEET: **8** **E**
 Checked By: _____
DA STAGE

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star at each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 200.05 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
- all toilets in the development		✓	✓
- the cold water tap that supplies each clothes washer in the development		✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
Floor - concrete slab on ground	nil	
external wall - brick veneer	1.00 (or 2.20 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 3 (sp), roof: bit/sarking	unventilated, dark (solar absorptance > 0.70)

Note: Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed doors (<0.7 square metres) which are not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			
• Except where the glass is 'single clear' or 'single toned', each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓
• The leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or glazed door, except that a projection greater than 500 mm and up to 1500 mm above the head must be twice the value in the table.	✓	✓	✓
• Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
• Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1,W2	S	3.96	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed
W3,W4,W5	E	4.11	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed
W6	E	3.9	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)	eave/verandah/pergola/balcony 901-1,200 mm	not overshadowed
W7	N	7.7	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)	eave/verandah/pergola/balcony >2,000 mm	not overshadowed
W8	E	5.76	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)	eave/verandah/pergola/balcony >2,000 mm	not overshadowed
W9	N	2.27	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W10,W11,W12,W13	W	5.62	standard aluminium, single clear (or U-value 7.63, SHGC 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating, gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend

In these commitments, "applicant" means the person carrying out the development.
 Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
 Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
 Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

CLIENT'S SIGNATURE: _____ DATE: _____

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REV	DATE	AMENDMENTS	BY
E	31.05.13	Plans ready for developer and DA lodgement	BAC
D	24.05.13	PROVIDED WET AREA DETAILS FOR COLOURS	BAC
C	18.02.13	AMENDED PLANS AND ELEVATIONS.	ME
B	11.03.13	AMENDED PLANS AS PER CLIENT'S EMAIL	ME
A	05.02.13	PRELIMINARY DRAWINGS	DS

2.7	ELECTRICAL LAYOUT
2.6	NEIGHBOURS NOTIFICATION
2.5	CUT & FILL PLAN
2.4	SITE COVERAGE PLAN
2.3	STORMWATER CONCEPT PLAN
2.2	CONS. WASTE MANAGEMENT & SEDIMENT & EROSION CTRL. PLAN
2.1	SITE ANALYSIS
11	WET AREAS
10	WET AREAS
9	DOOR SCHEDULE
8	SLAB PLAN
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	ROOF PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION



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HOUSE NAME:
NEWPORT 24.7
 FACADE:
TRADITIONAL
 SPECIFICATION:
Diamond Inclusion
 WALL:
 NTS
 GARAGE FLOOR:
 L/H

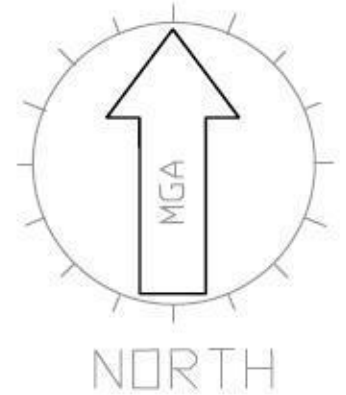
CLIENT:
MR & MRS PARR
 SITE ADDRESS:
**LOT 2155 in DP 1168992,
 LAKESIDE PARADE
 JORDAN SPRINGS NSW 2747**

JOB No: **13010**
 DRAWN: ME
 CHECKED: ME
 DATE: 31.05.13
 SHEET: 1
 Rev: **E**
DA STAGE

LOT 2155
D.P: 1168992
L.G.A: PENRITH

C) EASEMENT TO DRAIN WATER 2 WIDE
L) RESTRICTION ON THE USE OF LAND
K) RESTRICTION ON THE USE OF LAND
J) RESTRICTION ON THE USE OF LAND

LOCATION PLAN
UBD REF: 144, H13

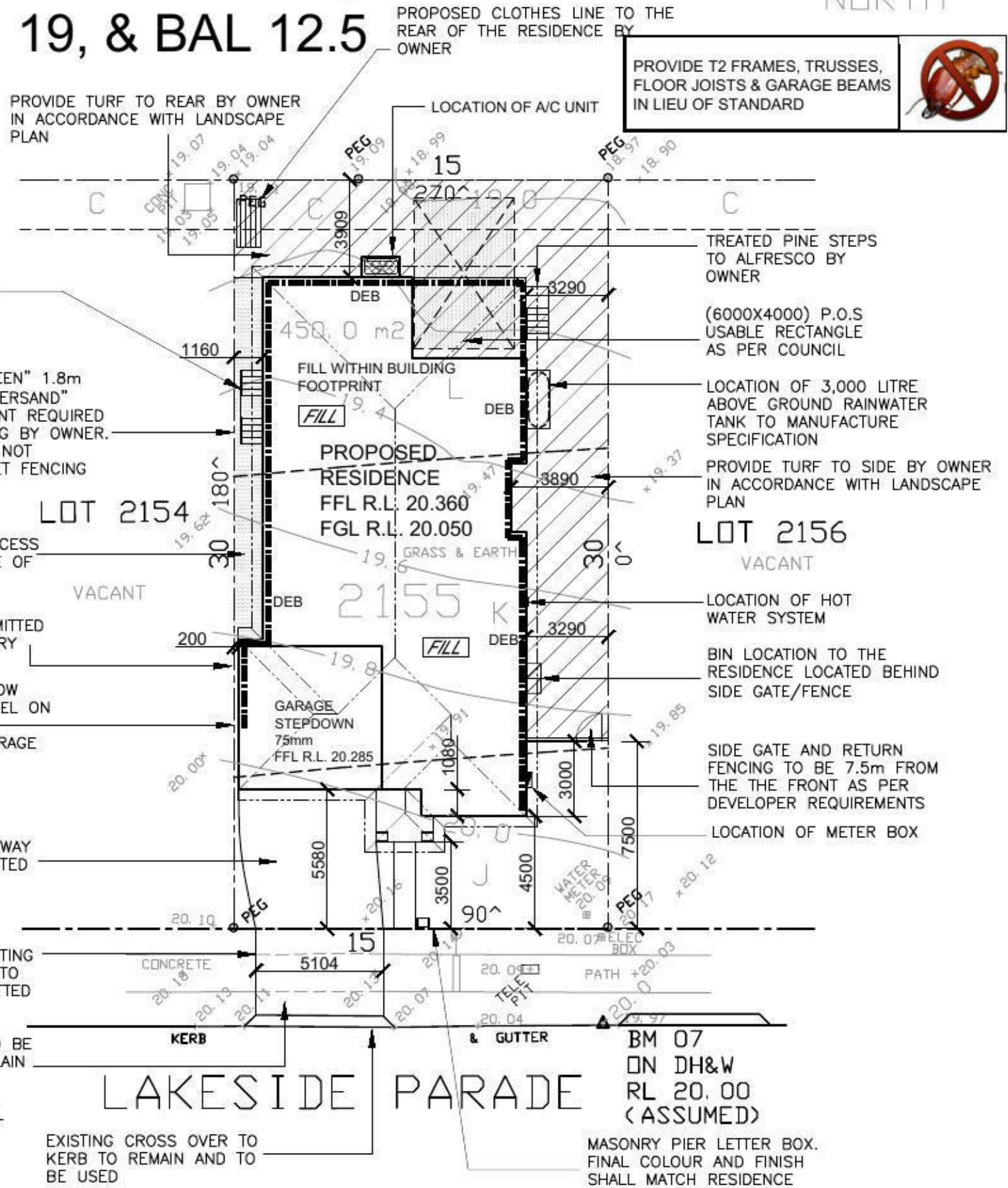
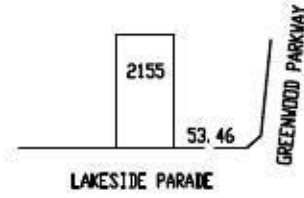


Developer Approval Required

- PRIVATE OPEN SPACE
- PRINCIPAL PRIVATE OPEN SPACE

PRIVATE OPEN SPACE	
SITE AREA:	450.0m ²
PRIVATE OPEN SPACE AREA:	135.90m ²
PRIVATE OPEN SPACE:	18.68%
MINIMUM REQUIRED BY COUNCIL:	30.2%
PRIVATE OPEN SPACE REQUIRED:	67.5m ²
PRINCIPLE PRIVATE OPEN SPACE:	24m ²

**BUSH FIRE PRONE
LAND BAL 29, BAL
19, & BAL 12.5**



SITE PLAN

SCALE 1:200

NOTES

- Bearings and distances are by Title and/or Deed only. This detail survey is not a "survey" as defined by the Surveyors Act, 1929. If any construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.
- Relationship of improvements to boundaries is diagrammatic only. Where offsets are critical they should be confirmed by further survey.
- Contours shown depict the topography, except at spot levels shown they do not represent the exact level at any particular point.
- Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.
- Australian Height Datum was established from SSM 168755 RL 69.056
- Tree locations are accurate to +/- 0.30m
- The information is only to be used at a scale accuracy of 1:200.

NOTE:
Any retaining wall along boundaries or to the street are to masonry construction.

WIND CLASSIFICATION: " N2 "
SLAB CLASSIFICATION: " M "

Construction Notes;
* All roof water to drain to the above ground 3,000 litre rainwater tank, in accordance with Basix Certificate.
* R 2.0 external wall insulation in accordance with Basix Certificate.
* R 3.0 ceiling insulation in accordance with Basix Certificate.
* Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
* All square set opening to be 2350mm as 2750mm ceiling height proposed.

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC



SITE INDUCTION
Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.
SITE SPECIFIC HAZARDS
* FOOTPATH / PEDESTRIAN TRAFFIC

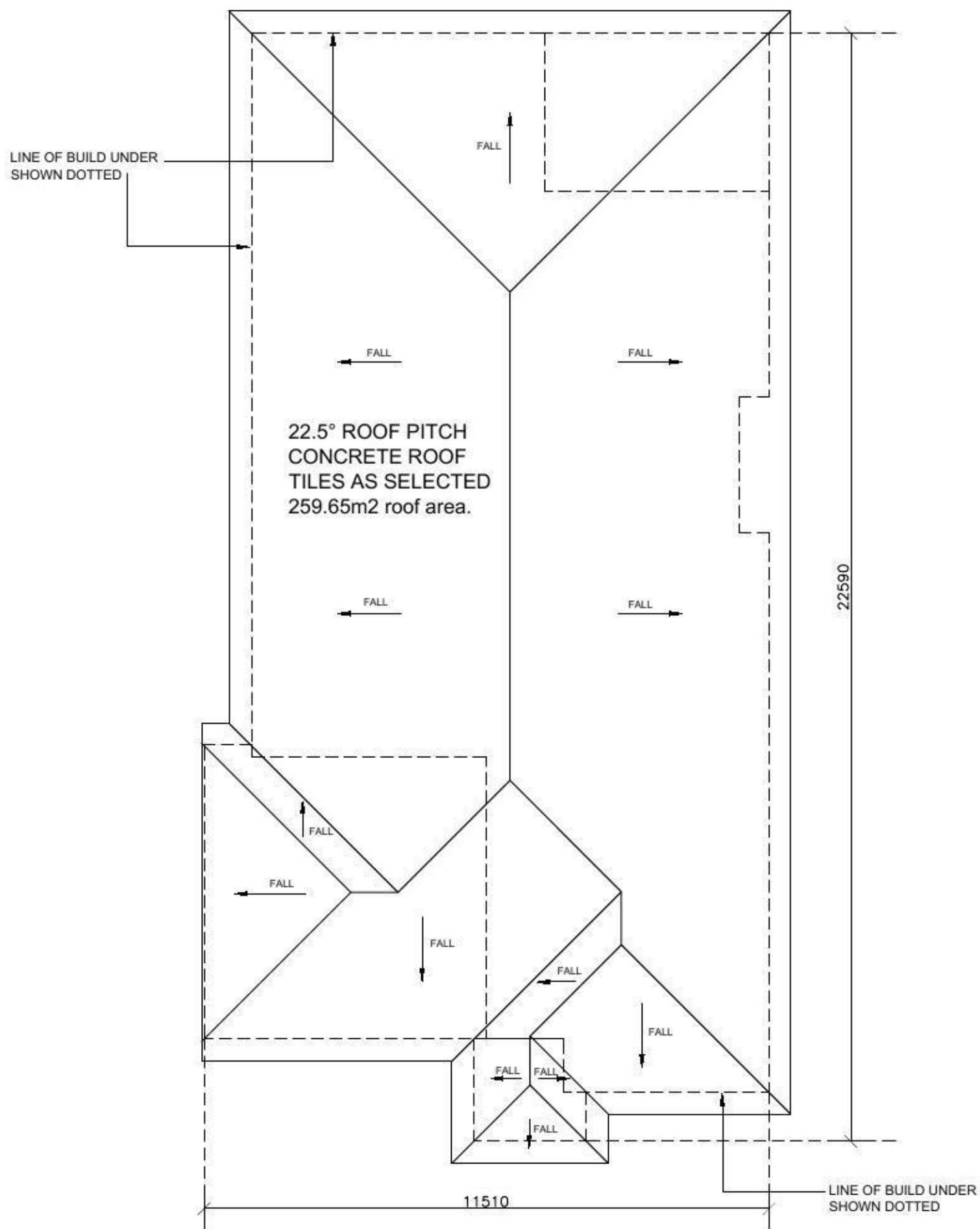
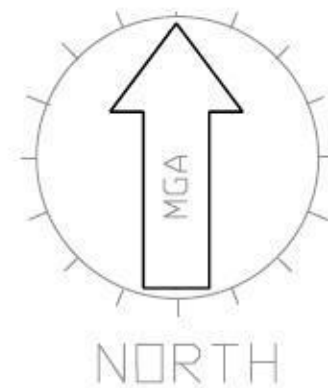
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		<p>FACADE: TRADITIONAL</p>	<p>SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE</p>	<p>DRAWN: ME</p>
<p>DESCRIPTION: Diamond Inclusion</p>	<p>SCALE: 1:200</p>	<p>CHECKED: Checked By</p>	<p>SHEET: 2</p>	<p>E</p>

Construction Notes;

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- * Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
- * All square set opening to be 2350mm as 2750mm ceiling height proposed.

PROVIDE T2 FRAMES, TRUSSES,
FLOOR JOISTS & GARAGE BEAMS
IN LIEU OF STANDARD



ROOF PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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DESCRIPTION: Diamond Inclusion

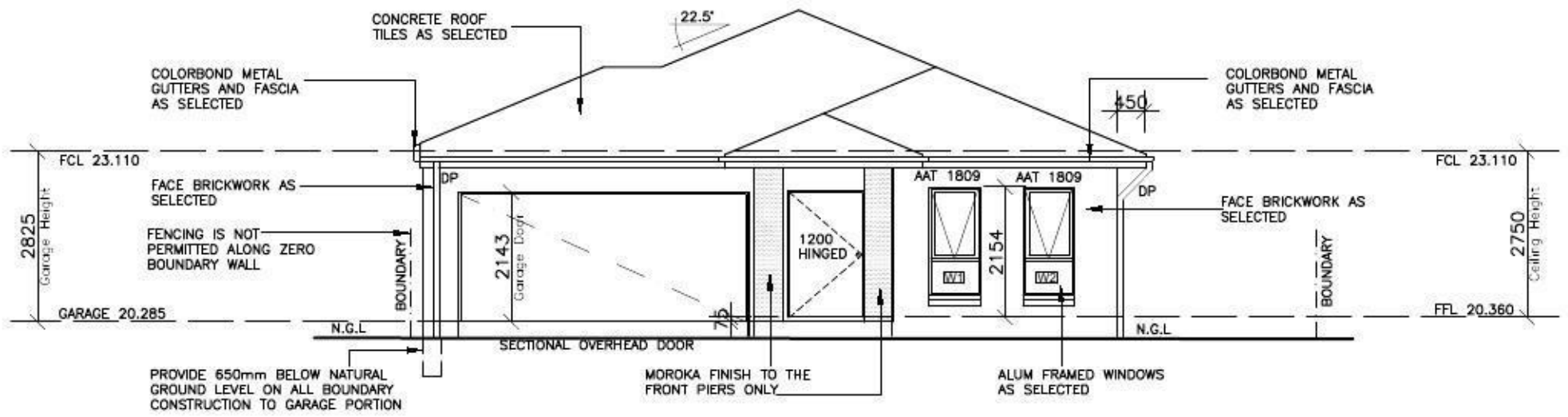
CLIENT: MR & MRS PARR
SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE

JOB No: 13010		
DRAWN: ME	DATE: 31.05.13	Rev:
CHECKED: Checked By	SHEET: 4	E

Construction Notes;

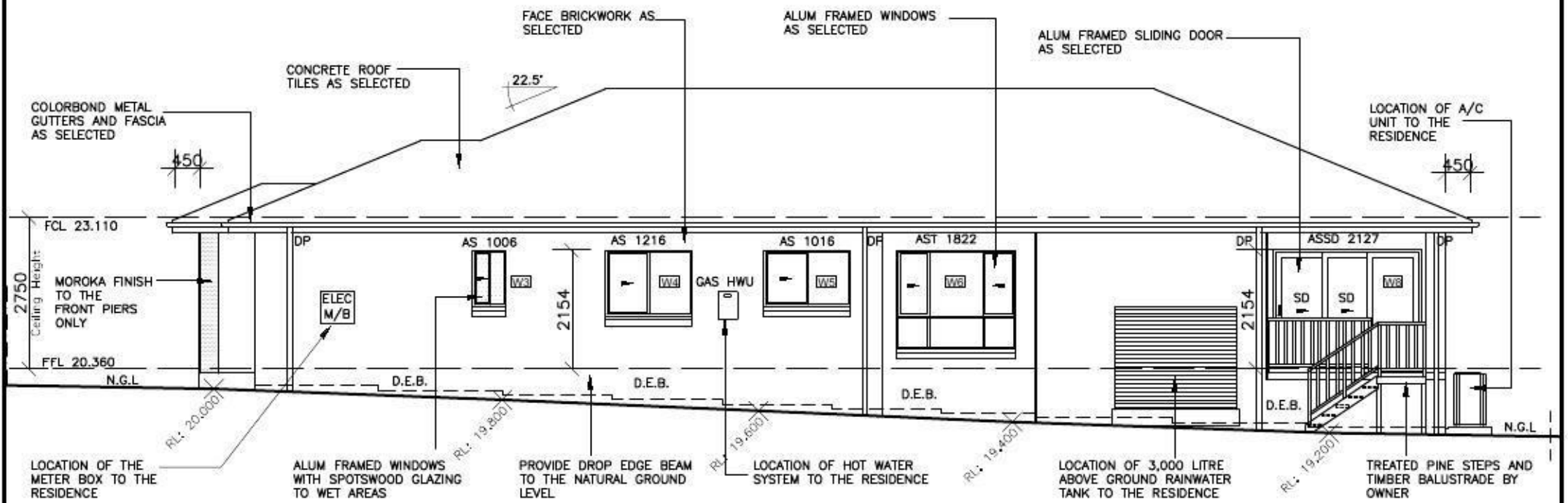
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- * All square set opening to be 2350mm as 2750mm ceiling height proposed.

PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD



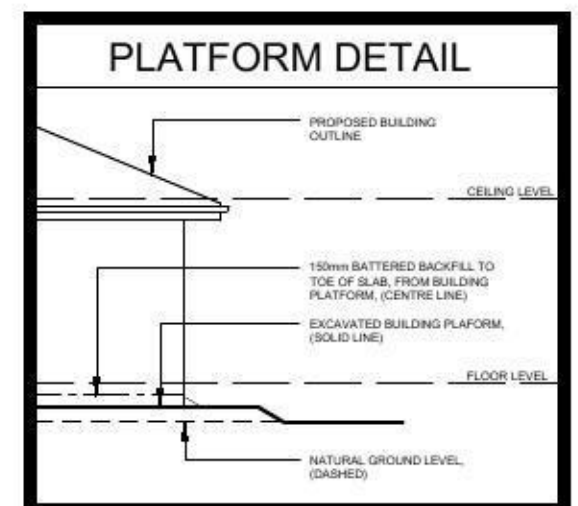
SOUTHERN ELEVATION
Front Elevation

Scale 1:100



EASTERN ELEVATION
Side Elevation

Scale 1:100



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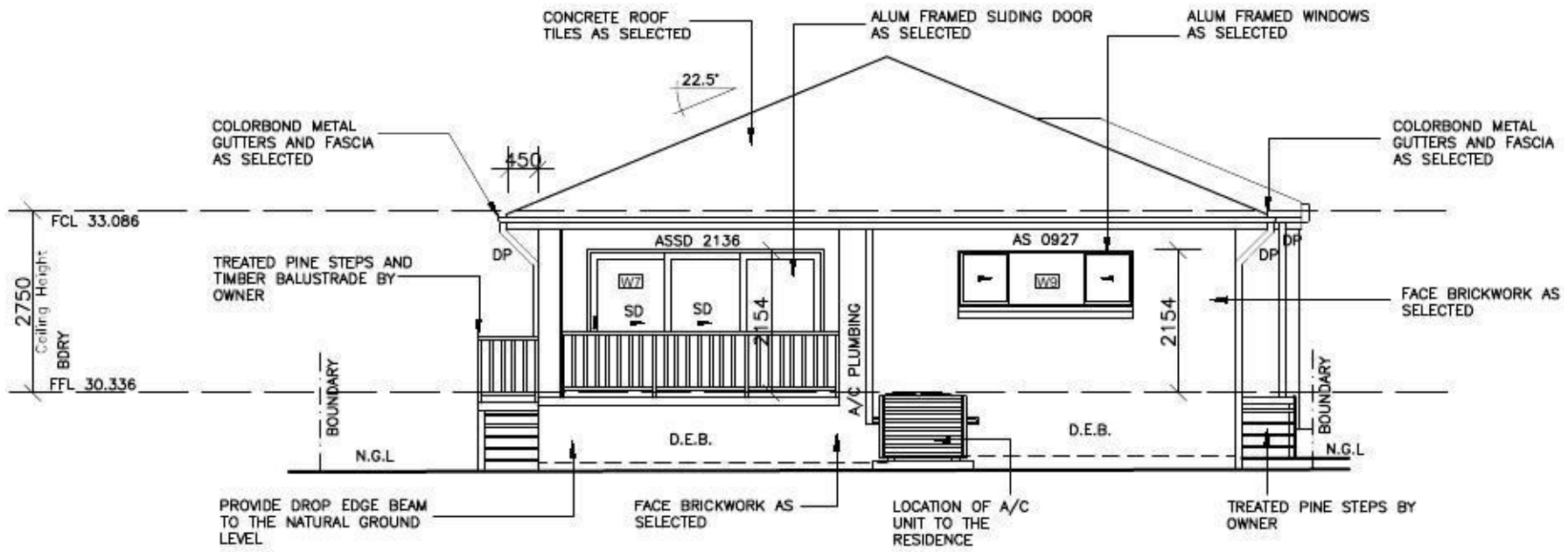
CLIENT: MR & MRS PARR
SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE

JOB No: 13010	Rev: E
DRAWN: ME	DATE: 31.05.13
CHECKED: Checked By	SHEET: 5

Construction Notes;

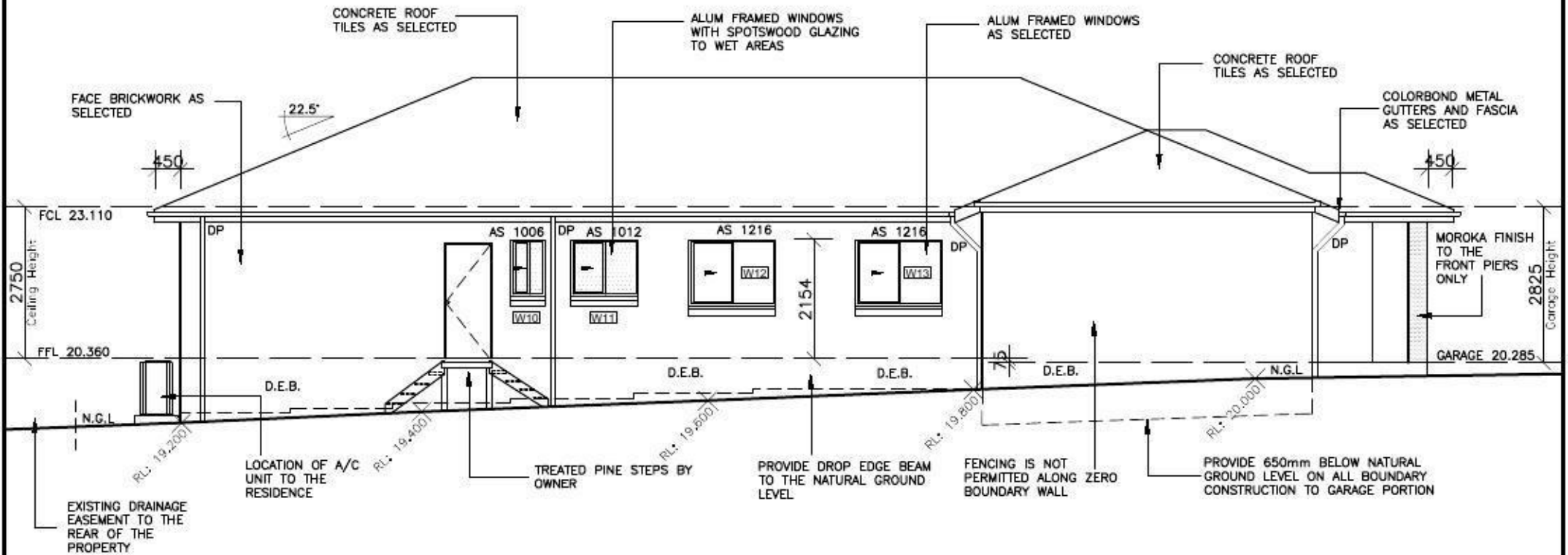
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PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD



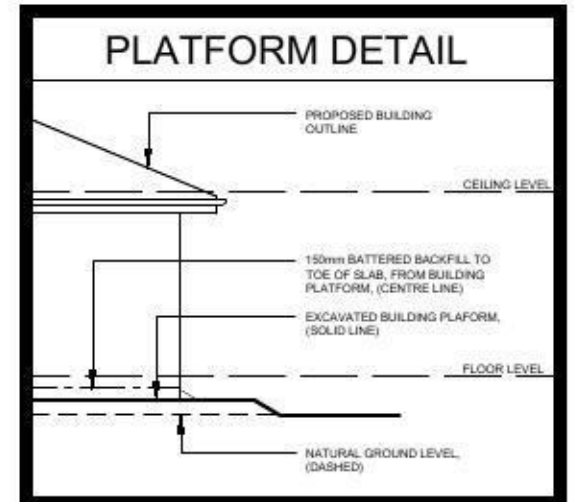
NORTHERN ELEVATION
Rear Elevation

Scale 1:100



WESTERN ELEVATION
Side Elevation

Scale 1:100



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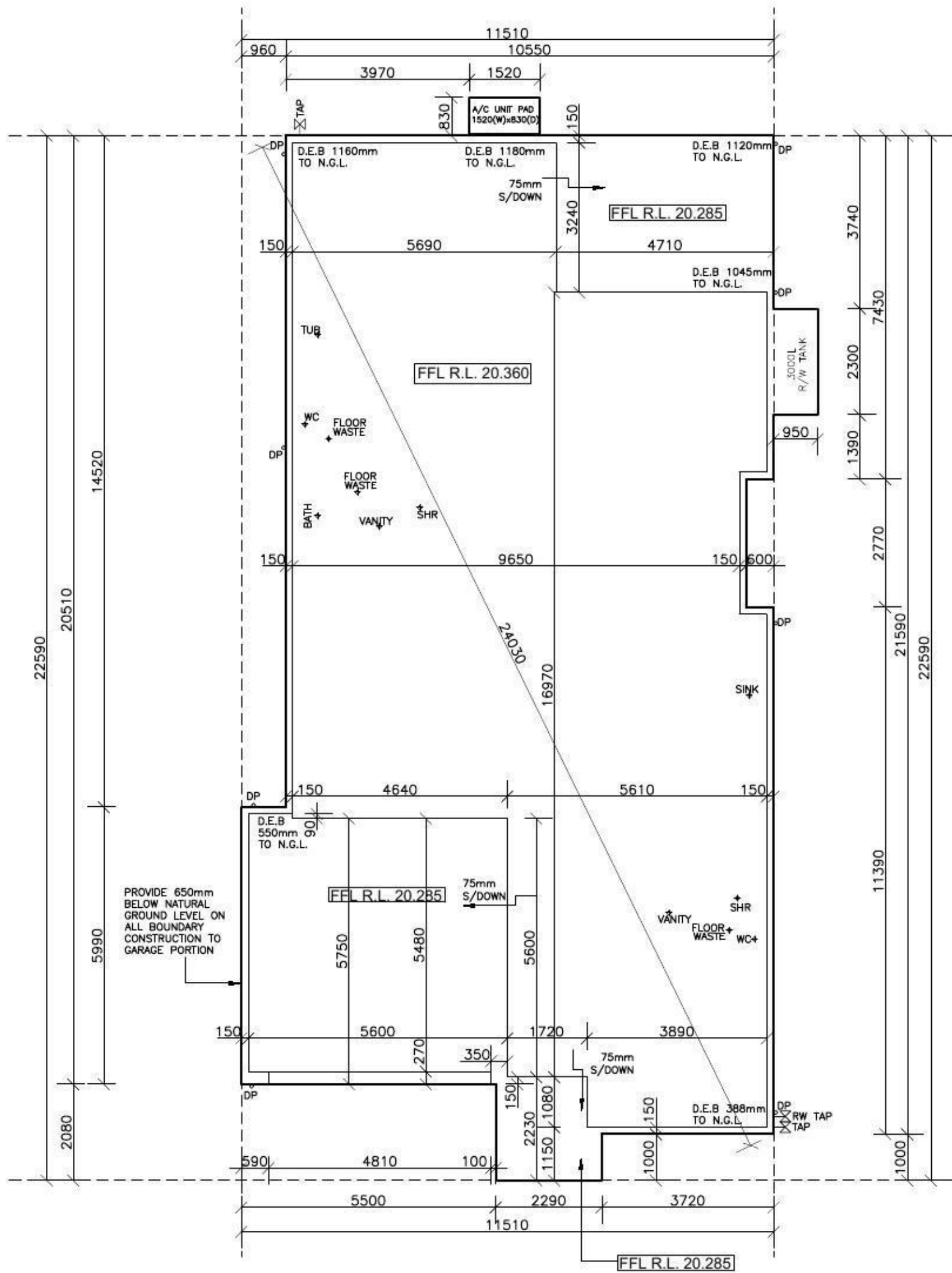
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CLIENT:	MR & MRS PARR
SITE ADDRESS:	LOT 2155 in DP 1168992, LAKESIDE PARADE

JOB No:	13010		
DRAWN:	ME	DATE:	31.05.13
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Rev:	E		



SLAB PLAN

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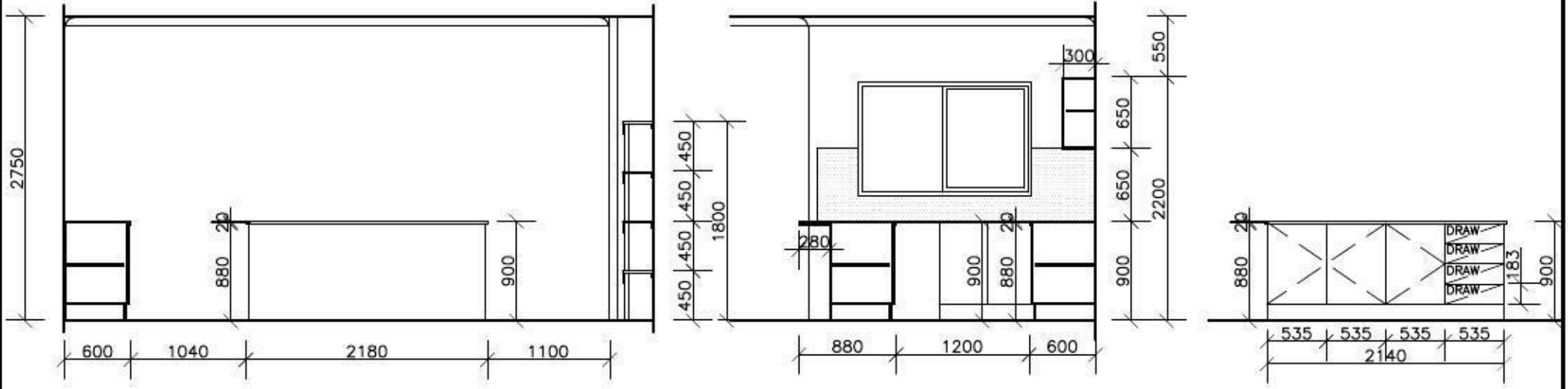
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Diamond Inclusion

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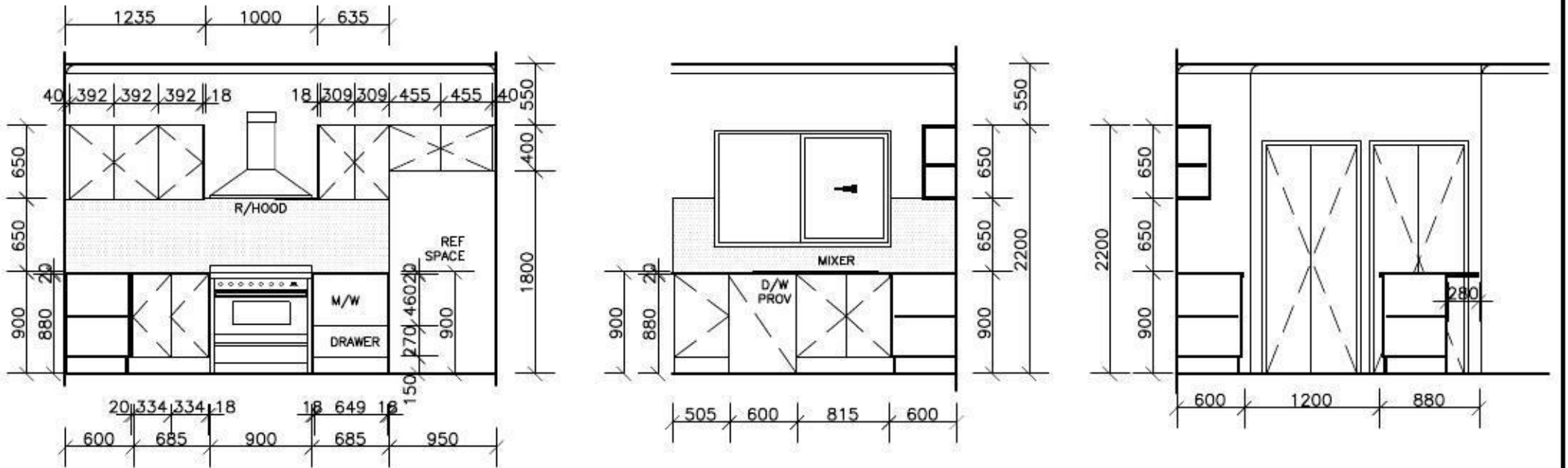
SITE ADDRESS:
**LOT 2155 in DP 1168992,
 LAKESIDE PARADE**

JOB No: **13010**

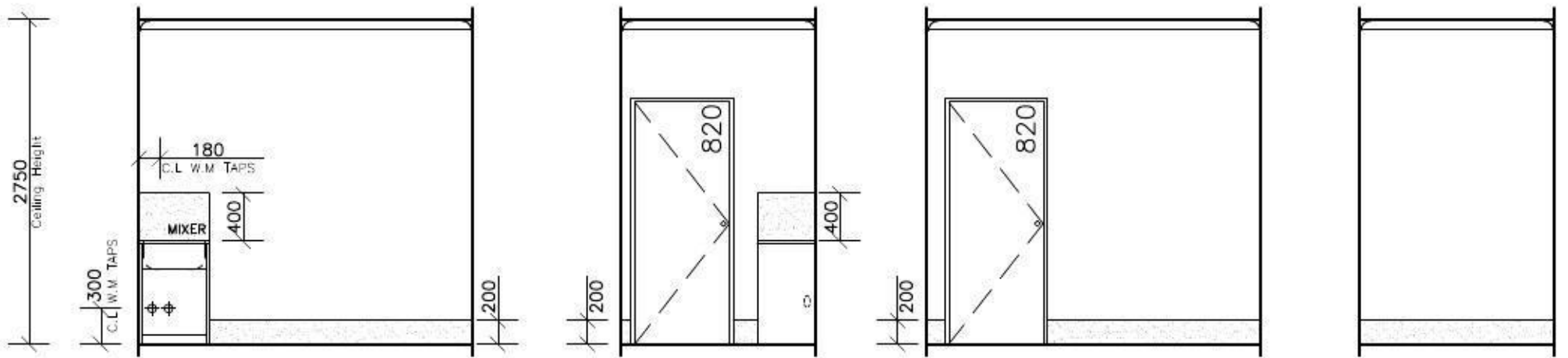
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KITCHEN DETAILS



KITCHEN DETAILS continued



LAUNDRY DETAILS

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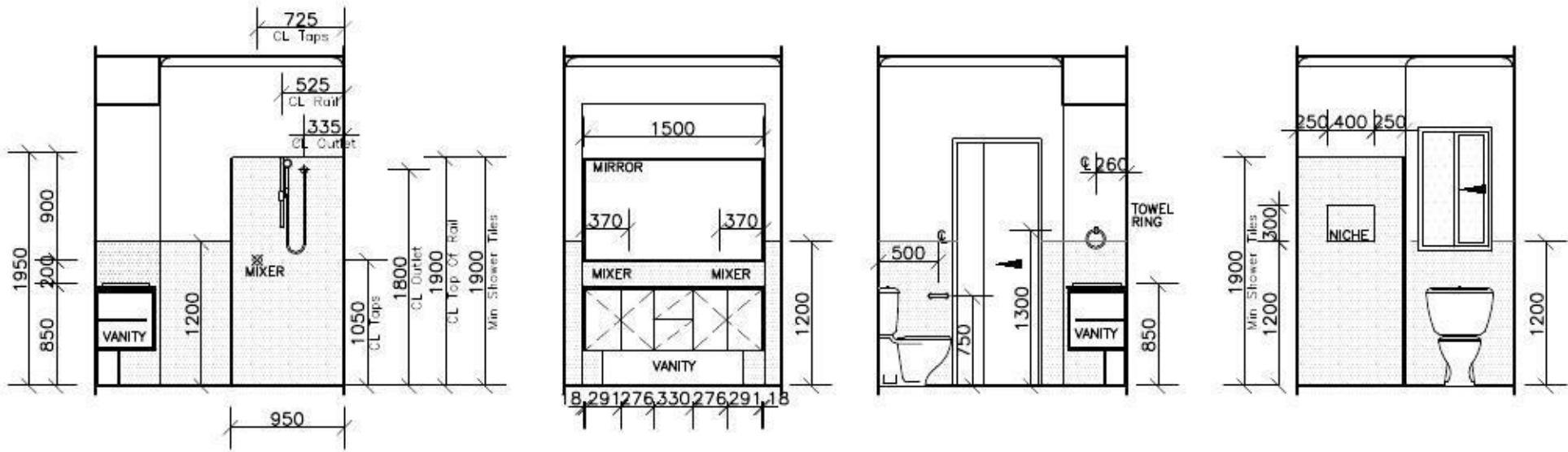
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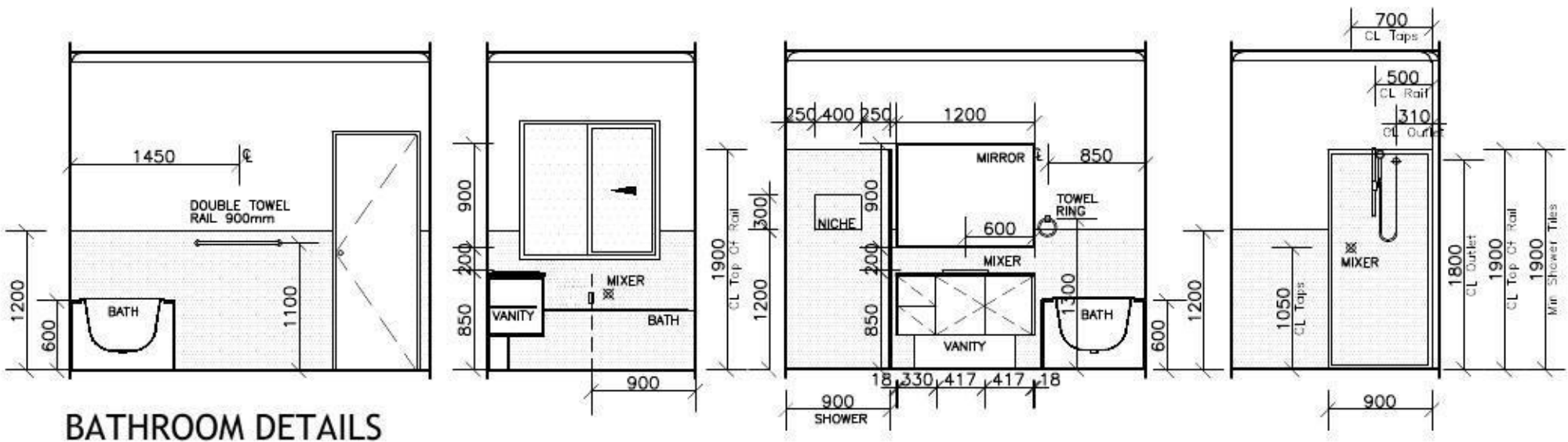
HOUSE NAME: NEWPORT 24.7
FACADE: TRADITIONAL
DESCRIPTION: Diamond Inclusion
SCALE: 1:50

CLIENT: MR & MRS PARR
SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE

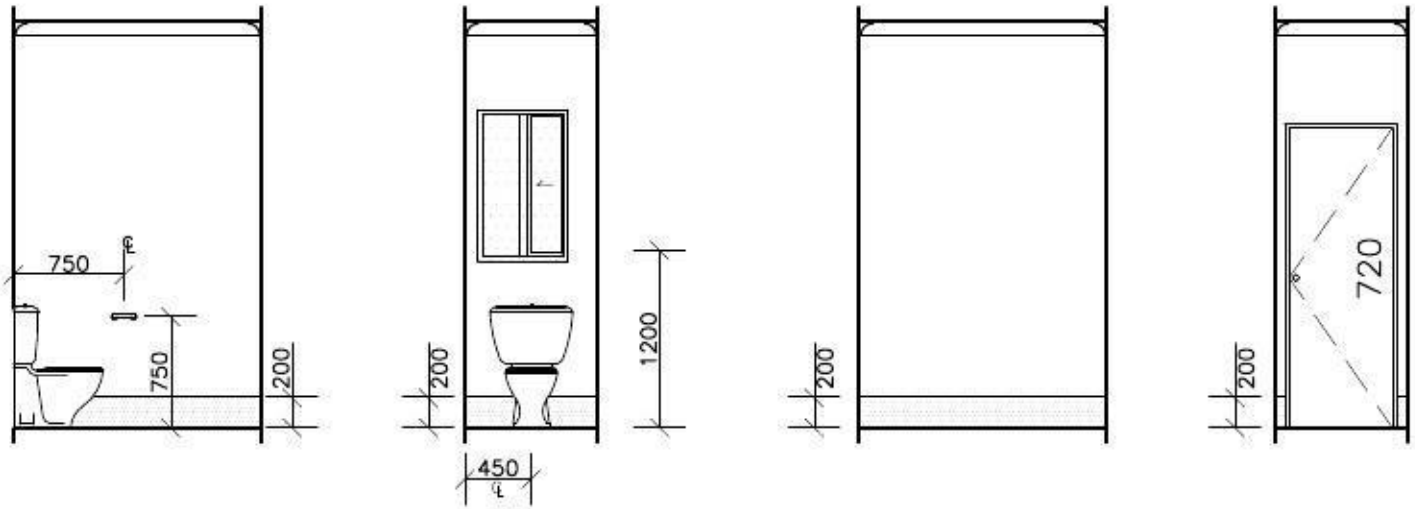
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DRAWN: ME	DATE: 31.05.13
CHECKED: Checked By	SHEET: 10




ENSUITE DETAILS



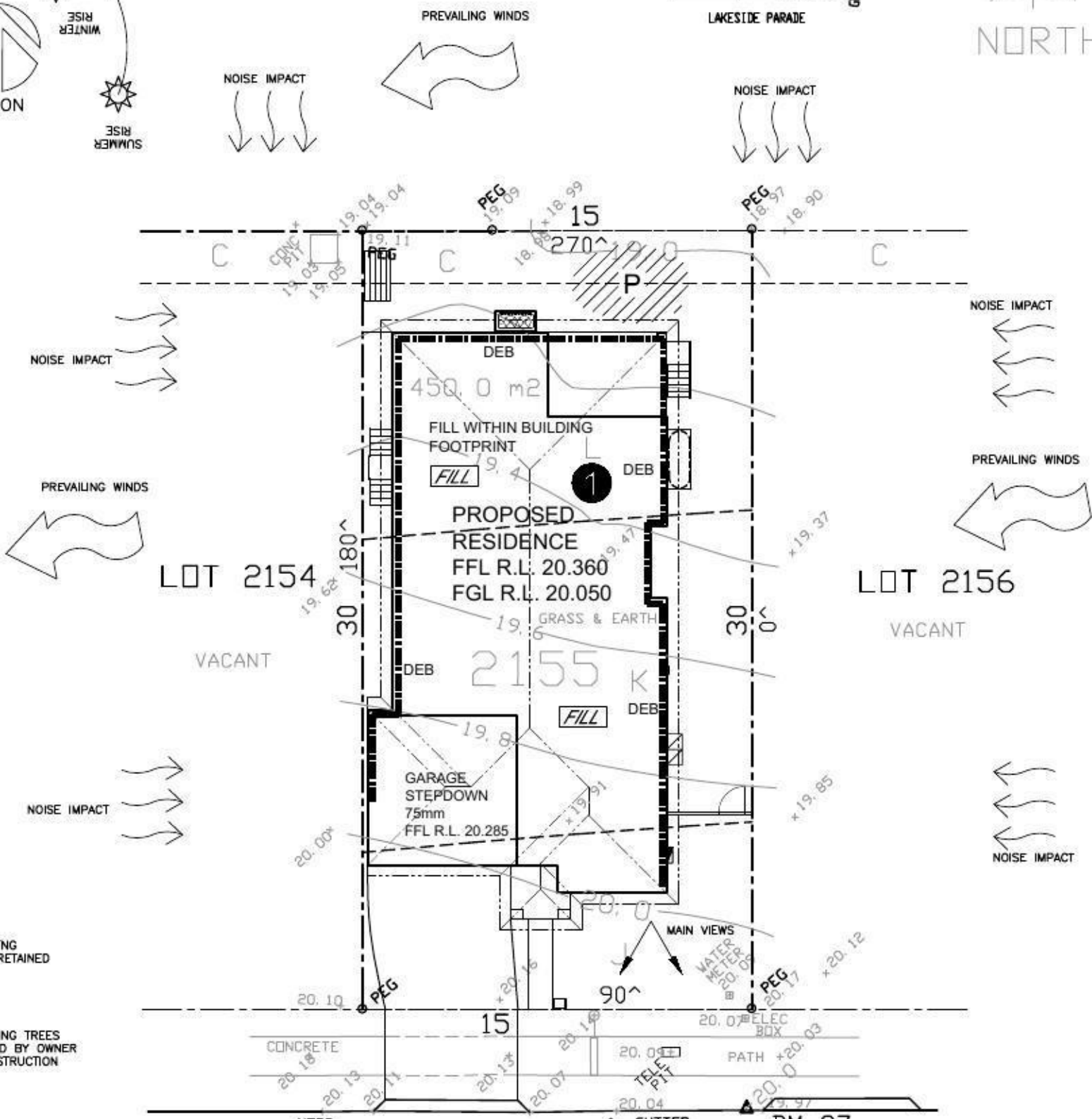
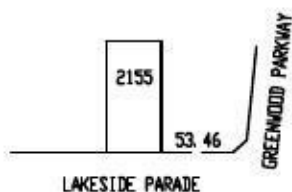
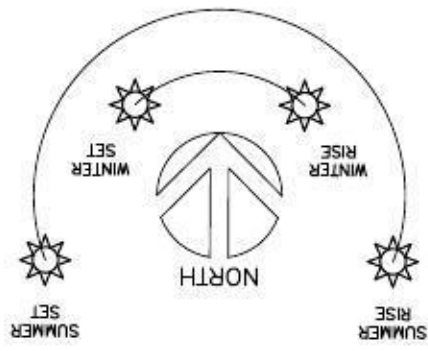
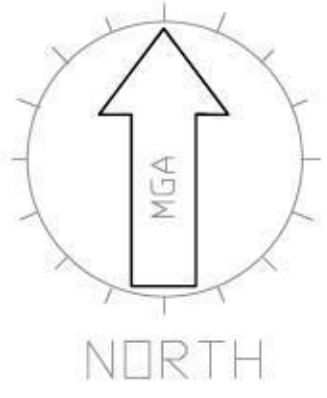
BATHROOM DETAILS



WC DETAILS

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 <p>kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015</p>									

LOCATION PLAN
UBD REF: 144, H13



Legend

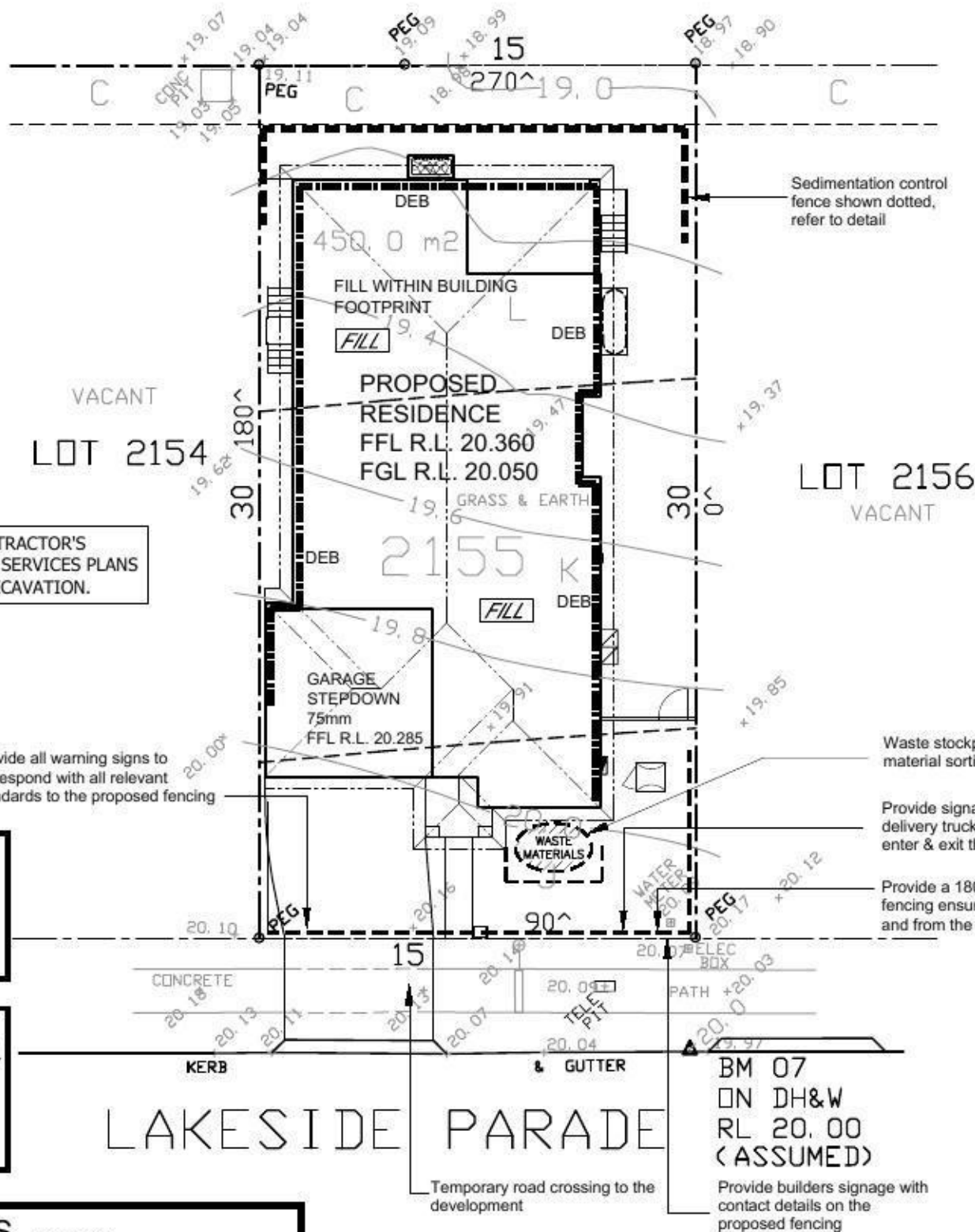
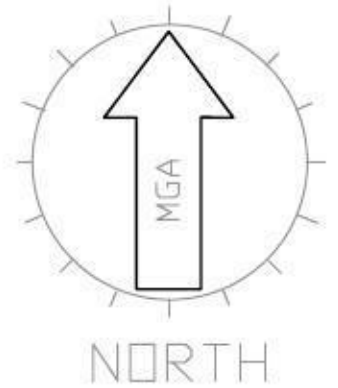
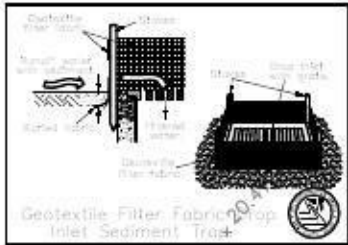
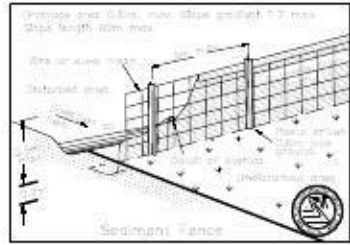
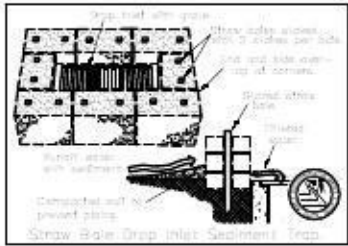
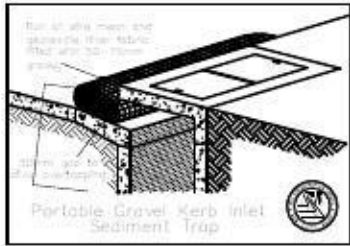
- DENOTES EXISTING TREES TO BE RETAINED
- DENOTES EXISTING TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION
- NUMBER OF STOREYS
- PRINCIPAL PRIVATE OPEN SPACE
- MAIN VIEWS
- NOISE IMPACT
- PREVAILING WINDS

LAKESIDE PARADE

BM 07
ON DH&W
RL 20.00
(ASSUMED)

SITE ANALYSIS PLAN

<p>kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015</p>	<p>ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorized by KURMOND HOMES PTY LTD. © COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</p>	HOUSE NAME: NEWPORT 24.7	CLIENT: MR & MRS PARR	JOB No: 13010		
		FACADE: TRADITIONAL	SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747	DRAWN: ME	DATE: 31.05.13	Rev:
		DESCRIPTION: Diamond Inclusion	SCALE: 1:200	CHECKED: Checked By	SHEET: 2.1	E
		DATE: L/H	DA STAGE			



PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.



Provide all warning signs to correspond with all relevant standards to the proposed fencing

Waste stockpiles and material sorting area

Provide signage to site to allow delivery trucks to know where to enter & exit the site

Provide a 1800mm chain wire fencing ensure safe access to and from the site

NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

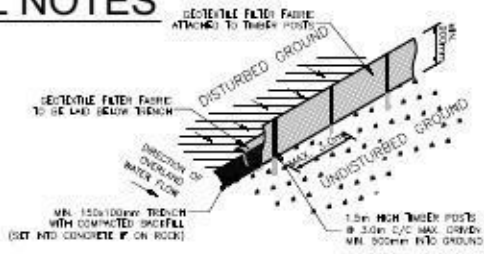
Temporary road crossing to the development

BM 07
ON DH&W
RL 20.00
(ASSUMED)

Provide builders signage with contact details on the proposed fencing

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

- C: EASEMENT TO DRAIN WATER 2 WIDE
- L: RESTRICTION ON THE USE OF LAND
- K: RESTRICTION ON THE USE OF LAND
- J: RESTRICTION ON THE USE OF LAND

SITE INDUCTION

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS

* FOOTPATH / PEDESTRIAN TRAFFIC

CONSTRUCTION MANAGEMENT PLAN EROSION & SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____



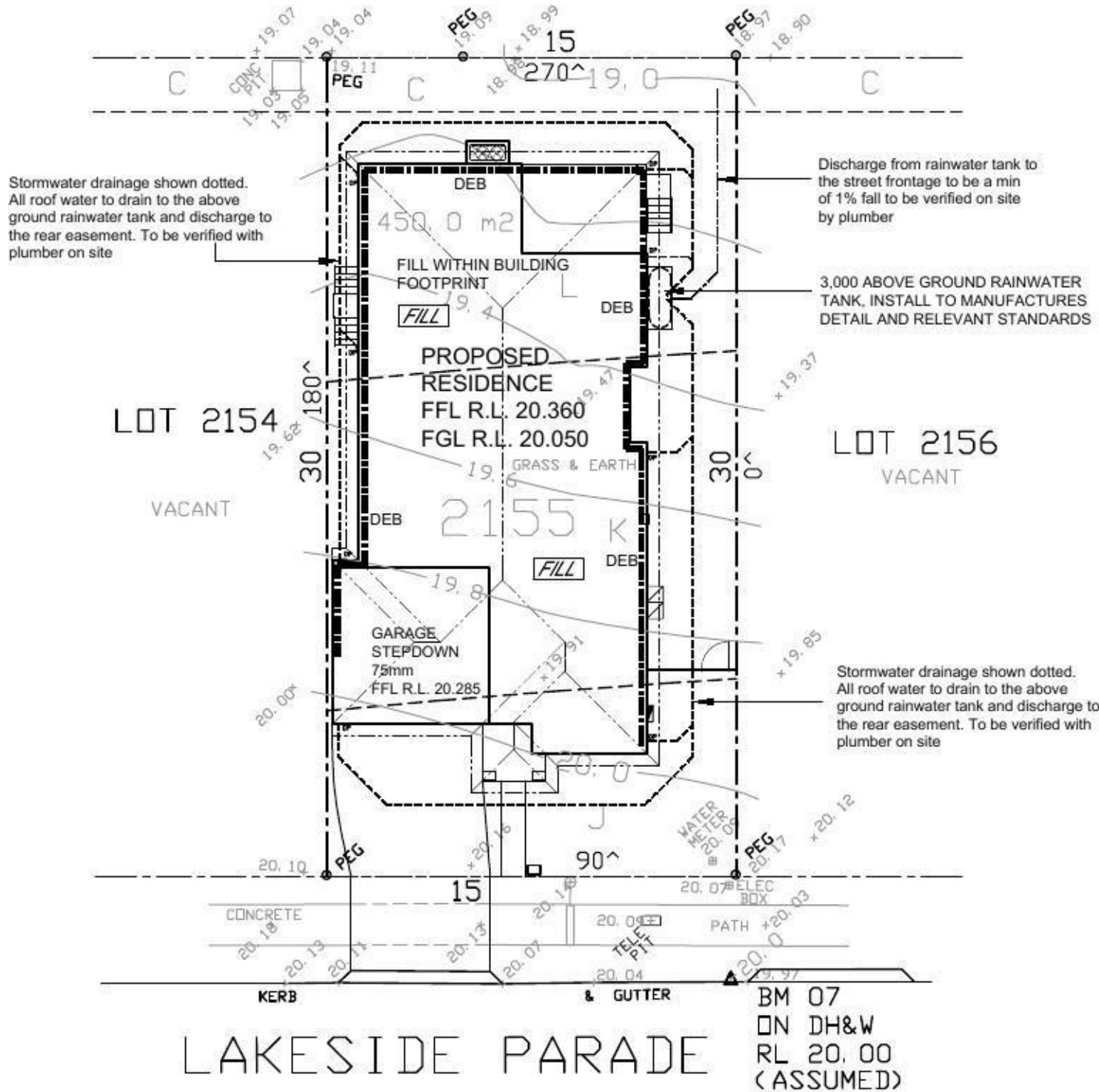
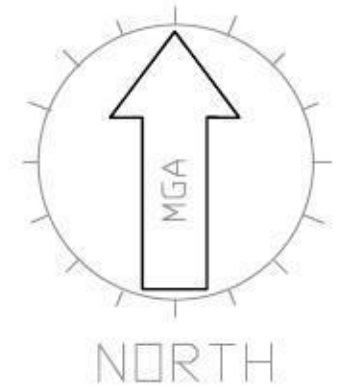
kurmondhomes
BL No. 205 457C
ABN 481 288 211 98
Kurmond Homes PTY LTD
10 Sovereign Place, South Windsor 2756
T: 1300 764 761
F: (02) 45714015

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

HOUSE NAME:
NEWPORT 24.7
FACADE:
TRADITIONAL
SPECIFICATION:
Diamond Inclusion
SCALE:
1:200

CLIENT:
MR & MRS PARR
SITE ADDRESS:
**LOT 2155 in DP 1168992,
LAKESIDE PARADE
JORDAN SPRINGS NSW 2747**

JOB No:
13010
DRAWN:
ME
DATE:
31.05.13
CHECKED:
Checked By
SHEET:
2.2
Rev:
E
DA STAGE



STORMWATER TO REAR EASEMENT VIA RAINWATER TANK

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.



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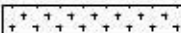
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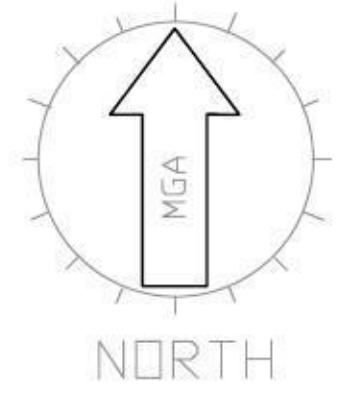
SITE SPECIFIC HAZARDS
* FOOTPATH / PEDESTRIAN TRAFFIC

CONCEPT STORMWATER MANAGEMENT PLAN

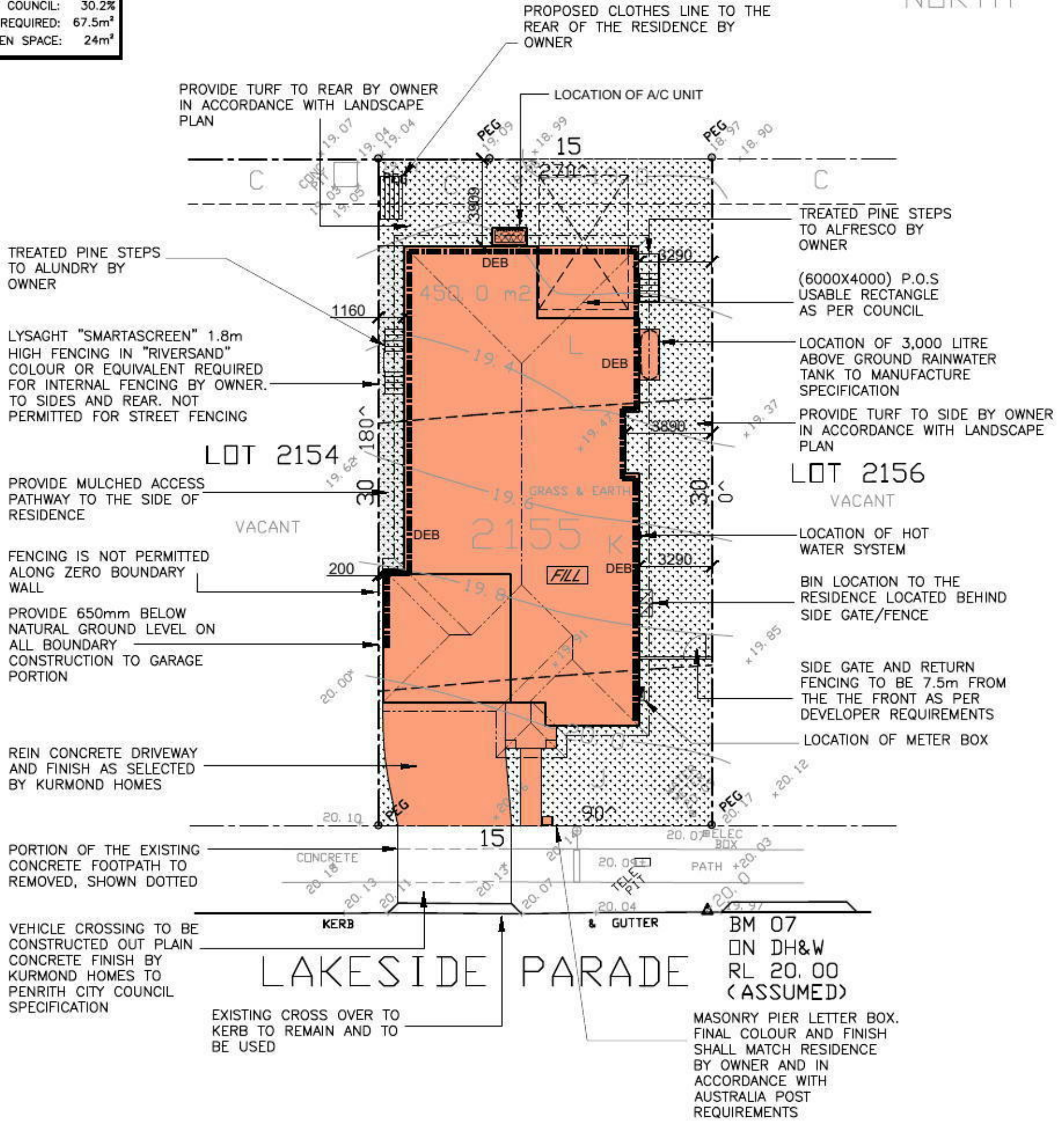
CLIENT'S SIGNATURE: _____ DATE: _____		HOUSE NAME: NEWPORT 24.7		CLIENT: MR & MRS PARR		JOB No: 13010	
<p>kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015</p>	<small>ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorized by KURMOND HOMES PTY LTD.</small>		<small>FAÇADE:</small> TRADITIONAL		<small>SITE ADDRESS:</small> LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747		<small>Rev:</small> E
	<small>© COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</small>		<small>SCALE:</small> 1:200		<small>SHEET:</small> L/H		<small>Checked By</small> ME
					<small>DATE:</small> 31.05.13		<small>SHEET:</small> 2.3
						DA STAGE	

Legend:

Hardstand Area: 
 Landscape Area: 




PRIVATE OPEN SPACE	
SITE AREA:	450.0m ²
PRIVATE OPEN SPACE AREA:	135.90m ²
PRIVATE OPEN SPACE:	18.68%
MINIMUM REQUIRED BY COUNCIL:	30.2%
PRIVATE OPEN SPACE REQUIRED:	67.5m ²
PRINCIPLE PRIVATE OPEN SPACE:	24m ²

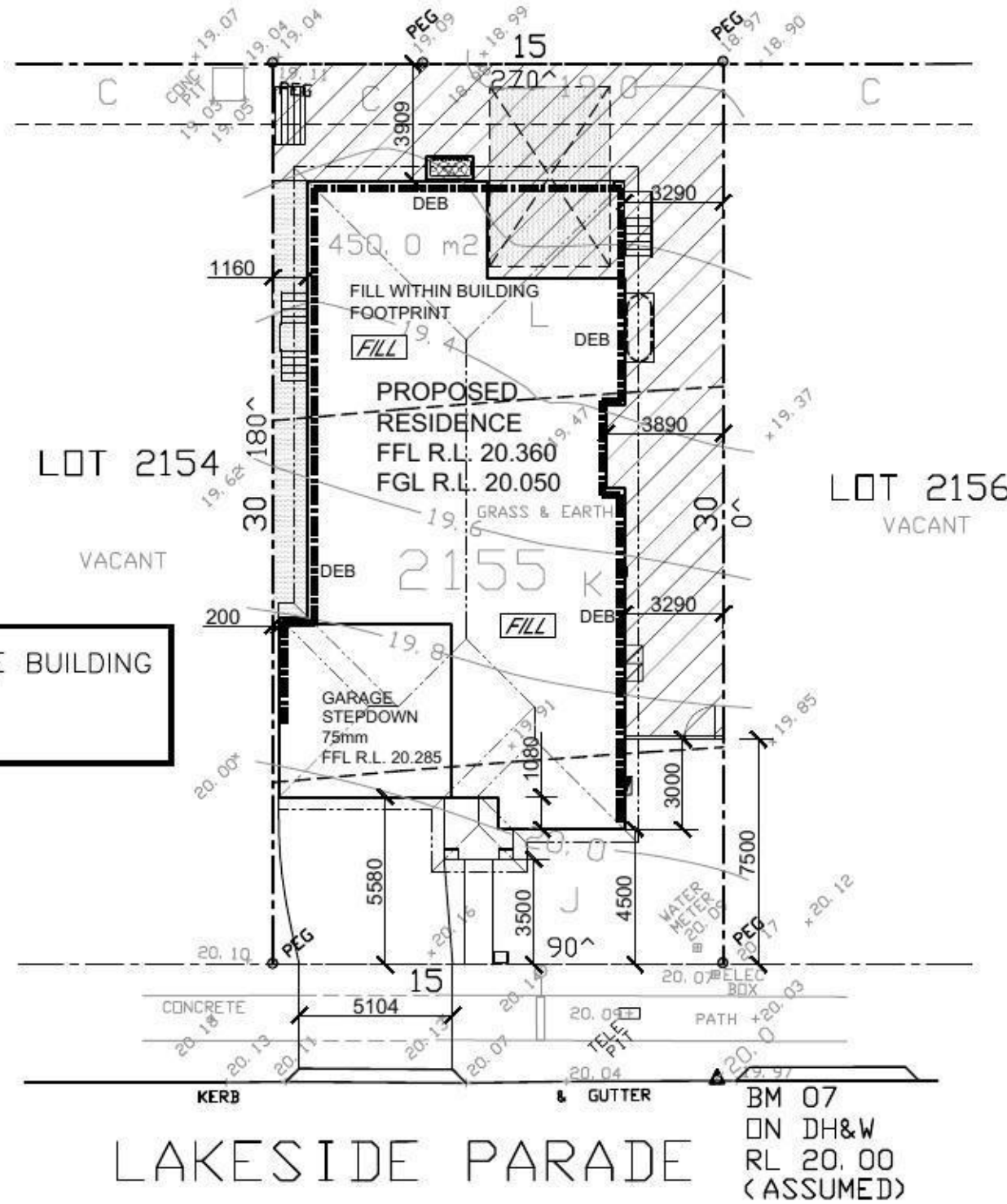
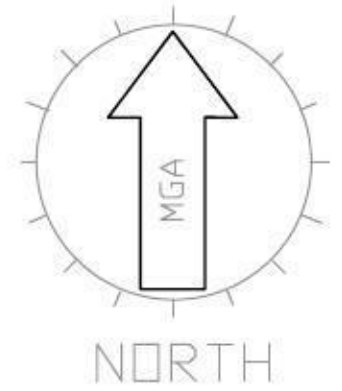


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SITE SPECIFIC HAZARDS
 * FOOTPATH / PEDESTRIAN TRAFFIC

SITE COVERAGE PLAN

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			DESCRIPTION: Diamond Inclusion	SCALE: 1:200	DRAWN BY: L/H	CHECKED: Checked By	SHEET: 2.4	E
			DA STAGE					



FILL WITHIN THE BUILDING FOOTPRINT
CUT N/A

STORMWATER TO REAR EASEMENT VIA RAINWATER TANK

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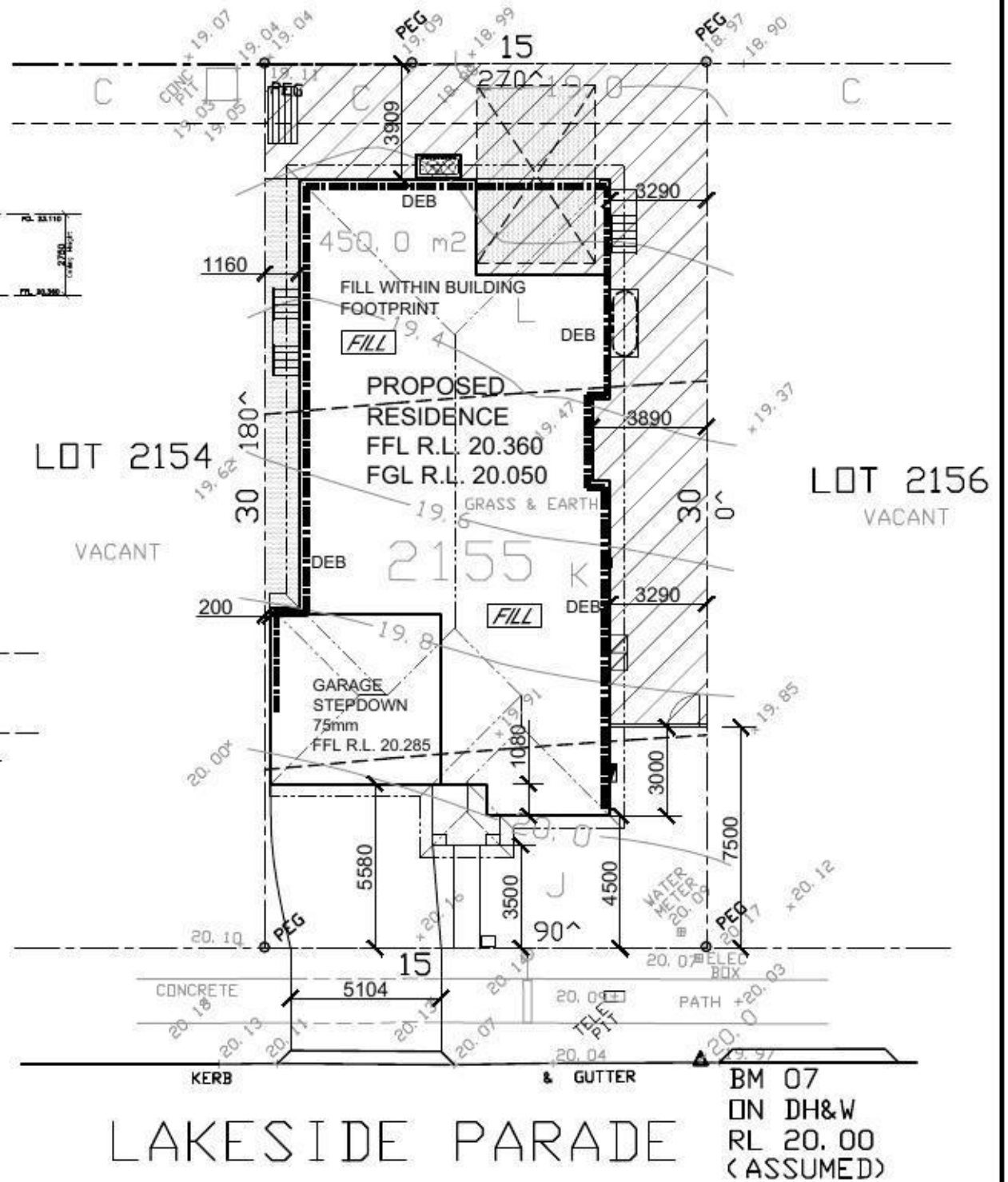
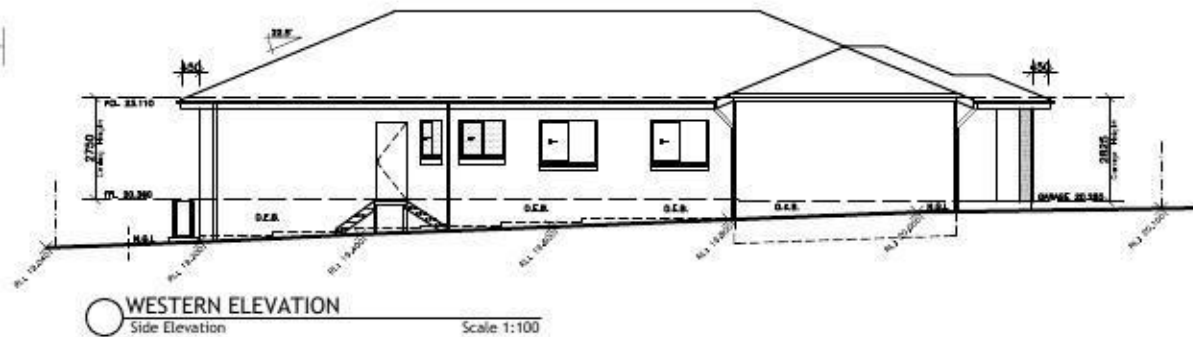
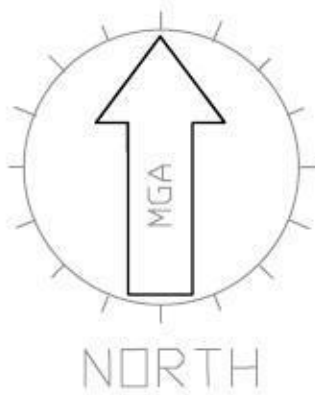
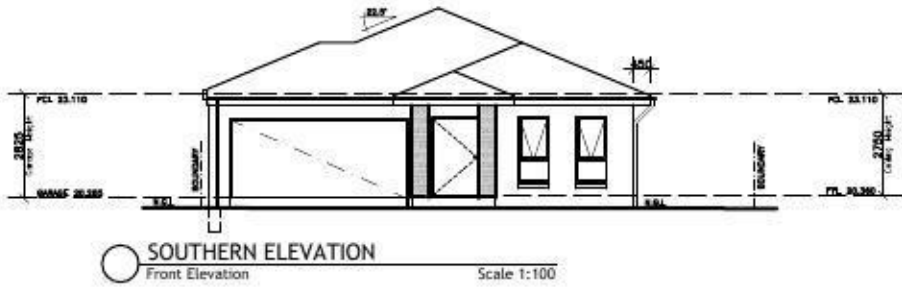
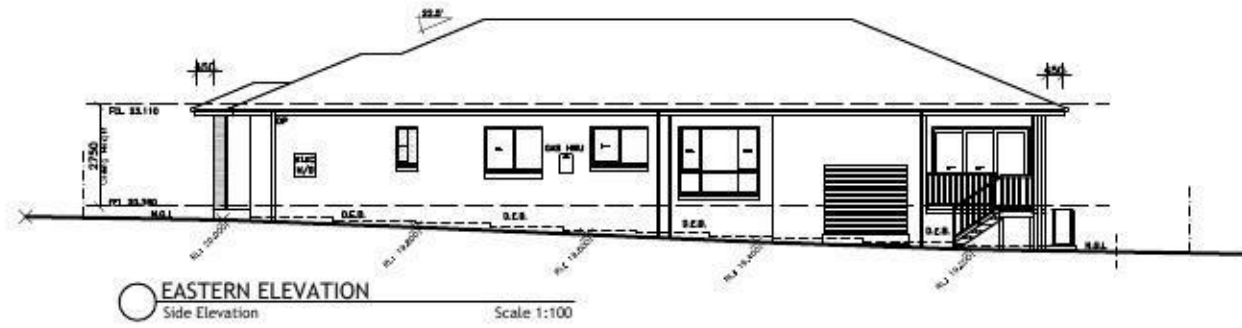
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SITE SPECIFIC HAZARDS
* FOOTPATH / PEDESTRIAN TRAFFIC

CUT & FILL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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	<p>DA STAGE</p>			



NEIGHBOURS NOTIFICATION

CLIENT'S SIGNATURE: _____ DATE: _____



kurmondhomes
BL No. 205 457C
ABN 481 288 211 98
Kurmond Homes PTY LTD
10 Sovereign Place, South Windsor 2756
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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

HOUSE NAME:
NEWPORT 24.7

FACADE:
TRADITIONAL

DESCRIPTION:
Diamond Inclusion

SCALE:
1:200

DATE: _____

CLIENT:
MR & MRS PARR

SITE ADDRESS:
**LOT 2155 in DP 1168992,
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JORDAN SPRINGS NSW 2747**

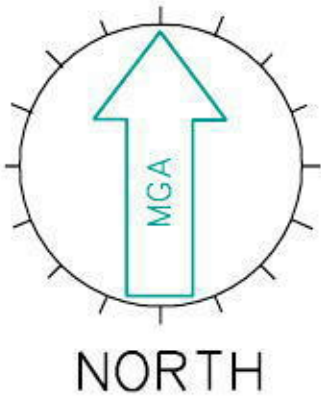
JOB No: **13010**

DRAWN: ME
CHECKED: Checked By

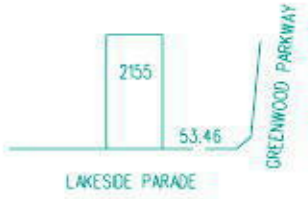
DATE: 31.05.13
SHEET: 2.6

Rev: **E**

DA STAGE



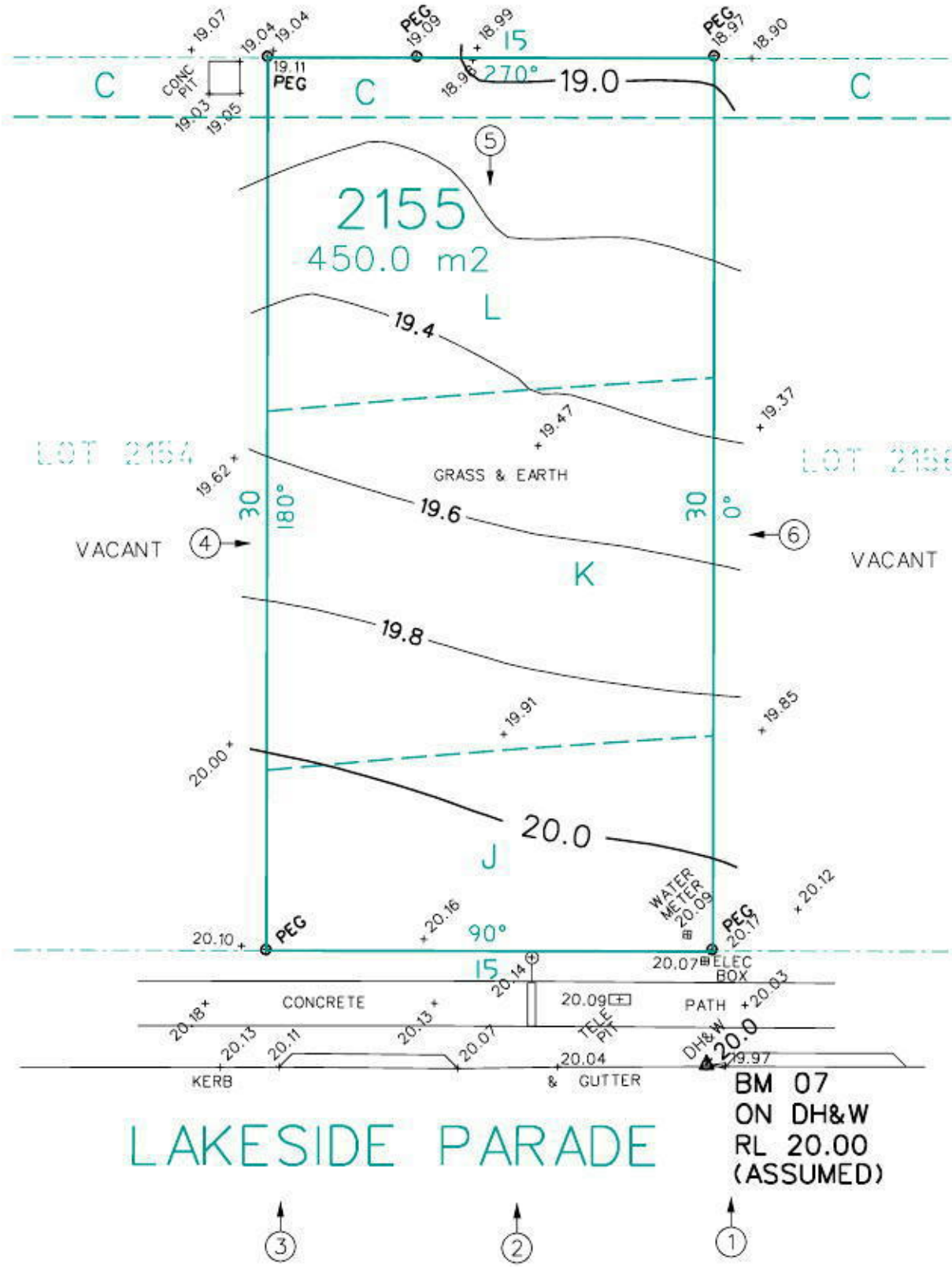
LOCATION PLAN
UBD REF: 144, H13



C: EASEMENT TO DRAIN WATER 2 WIDE
L: RESTRICTION ON THE USE OF LAND
K: RESTRICTION ON THE USE OF LAND
J: RESTRICTION ON THE USE OF LAND

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR BOX
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE



LEGEND
KO: DENOTES KERB OUTLET
WC, EC, TC: DENOTES SERVICE CONDUIT
SV: DENOTES STOP VALVE
HYD: DENOTES HYDRANT

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DONOVAN ASSOCIATES
INCORPORATED ENGSURVEY PTY LTD ABN: 84 134 616 078
PH/ 9806 3000 F/9891 2806 www.donovanassociates.com
15 PARKES STREET PARRAMATTA NSW 2150
CIVIL, STRUCTURAL, HYDRAULIC ENGINEERS
REGISTERED SURVEYORS & LAND INFORMATION CONSULTANTS

NOTE: CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.

DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.

SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.

DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

No.	DATE	NOTATION/AMENDMENT	
1			
SCALE 1: 200		DRAWN: IS	JOB 2020/134207
		CHECKED: RM	DATE: 16.05.2013
			DGN 134207
			DATUM: ASSUMED

CONTOUR PLAN
LOT 2155 DP 1168992
AT LAKESIDE PARADE, JORDAN SPRINGS
CLIENT: KURMOND HOMES
REF: PARR 13010

OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.


(h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

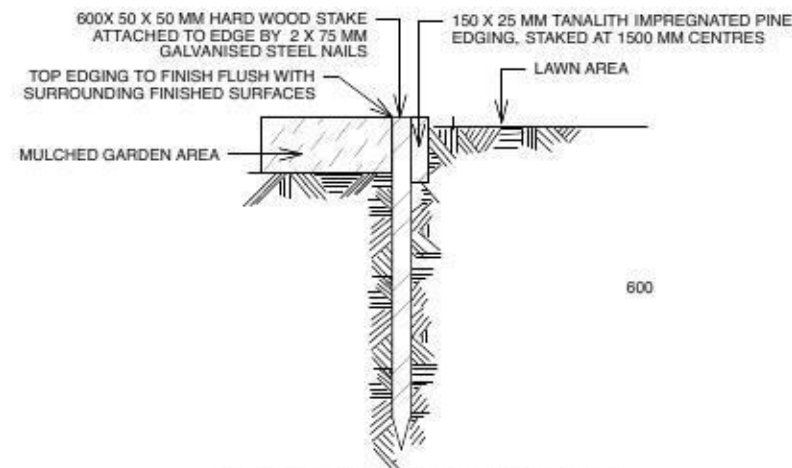
(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

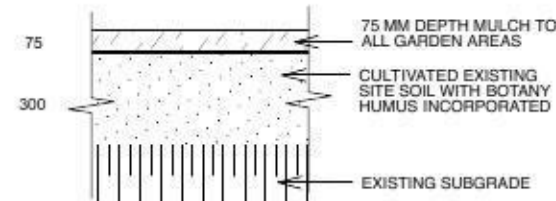
Notes:

- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
- All detailing of drainage to paved areas shall be by others.
- All levels shall be determined by others and approved on site by client.
- Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
- Do not scale from drawings.
- If in doubt contact the Landscape Architect.
- All boundaries shall be surveyed prior to commencement of construction works.
- This plan is for DA purposes only. It has not been detailed for construction.
- All dimensions, levels and boundaries are nominal only.
- This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

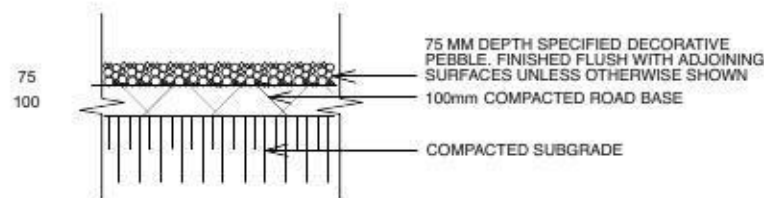
DATE	REVISION		
DRAWING		LANDSCAPE SPECIFICATION	
ADDRESS		LOT 2155 LAKESIDE PDE, JORDAN SPRINGS	
CLIENT		MR & MRS PARR	
DATE #	31/05/13	PROJECT #	Kurmond
SCALE @ A3		DWG #	L/03
DRAWN	JS		
CHKD	SW	REVISION	
A Total Concept Landscape Architects & Swimming Pool Designers			
65 West Street, North Sydney NSW 2060			
Tel: (02) 9957 5122 Fax: (02) 9957 5922			
 a total concept landscape architects & swimming pool designers			



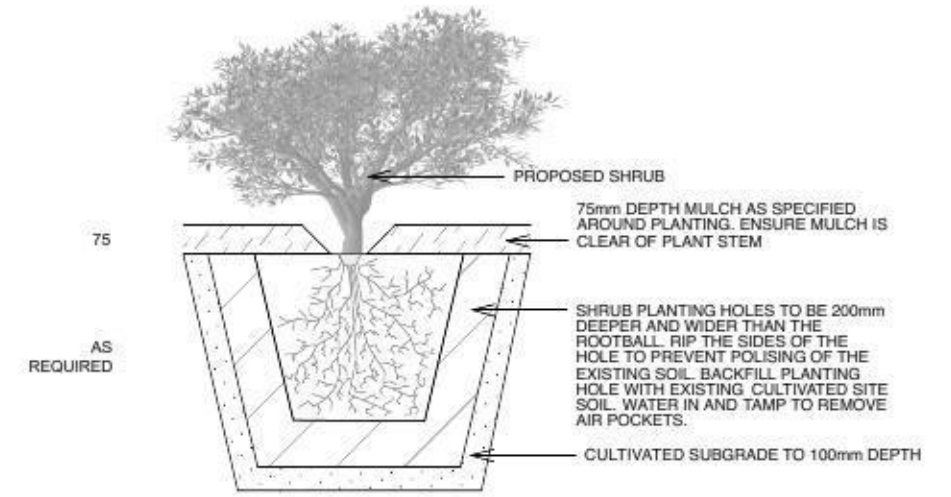
TYPICAL TIMBER EDGE DETAIL
SCALE 1:10
DO NOT SCALE



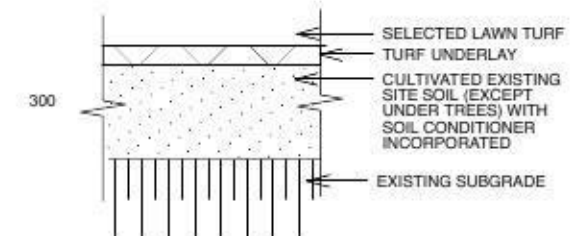
SOIL TO GARDEN AREAS
SCALE 1:20



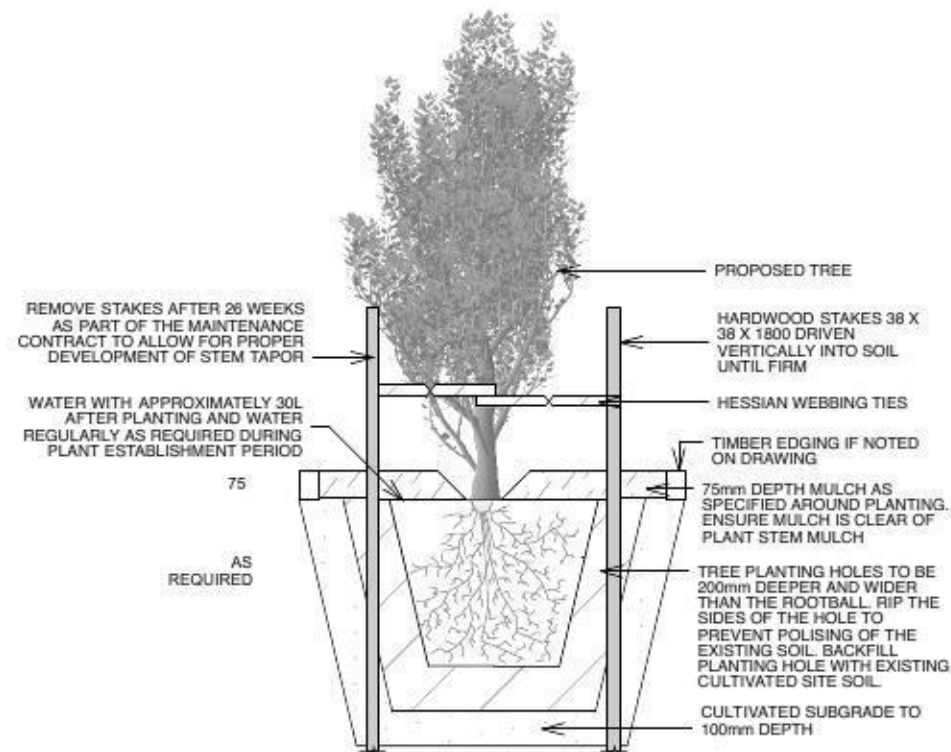
PEBBLE PATHWAY
SCALE 1:10



PLANTING DETAIL
SCALE 1:20



TYPICAL TURF DETAIL
SCALE 1:20



TREE PLANTING & STAKING DETAIL
SCALE 1:20

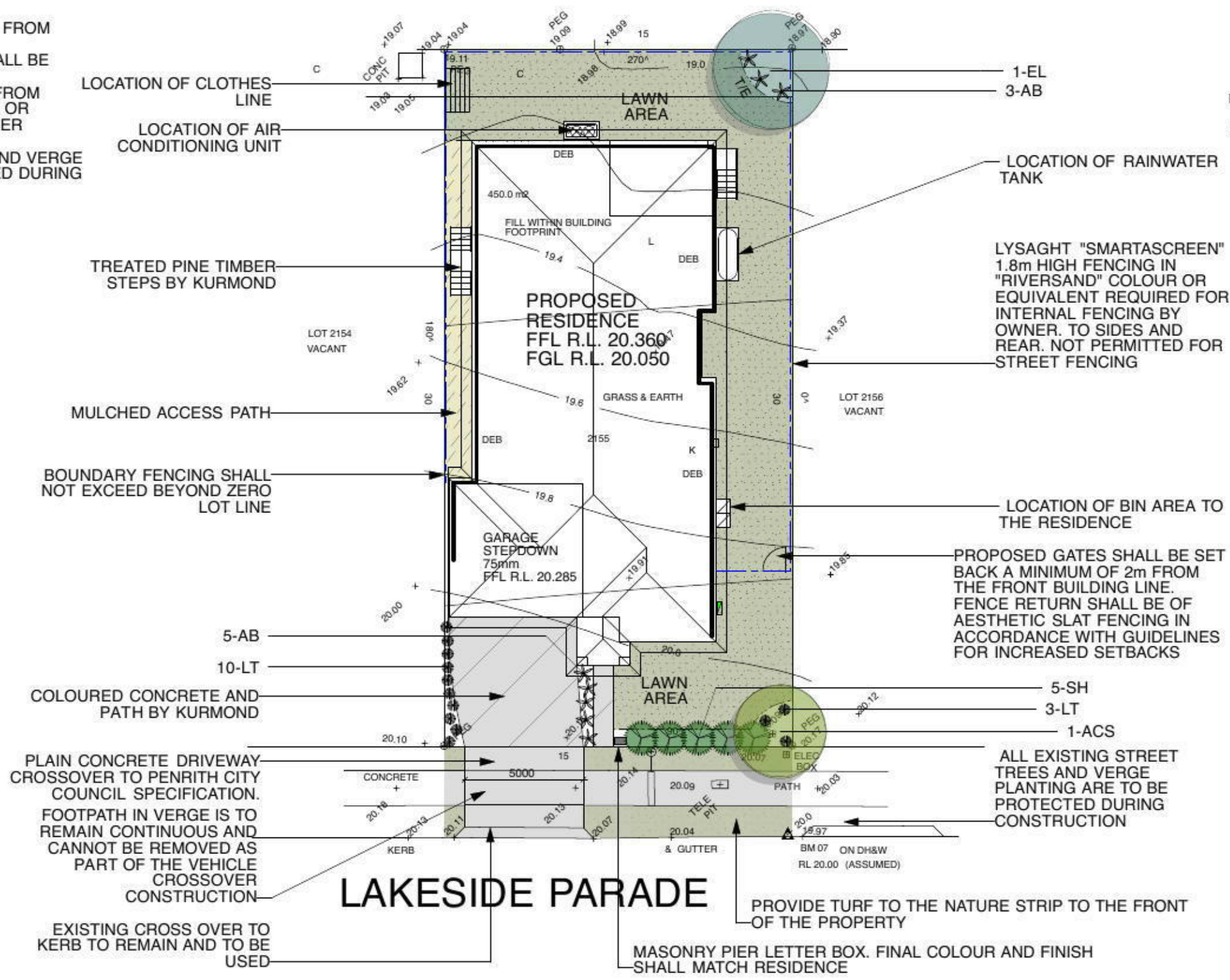
- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 2. All detailing of drainage to paved areas shall be by others.
 3. All levels shall be determined by others and approved on site by client.
 4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
 5. Do not scale from drawings.
 6. If in doubt contact the Landscape Architect.
 7. All boundaries shall be surveyed prior to commencement of construction works.
 8. This plan is for DA purposes only. It has not been detailed for construction.
 9. All dimensions, levels and boundaries are nominal only.
 10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DATE	REVISION		
DRAWING		LANDSCAPE DETAILS	
ADDRESS		LOT 2155 LAKESIDE PDE, JORDAN SPRINGS	
CLIENT		MR & MRS PARR	
DATE #	31/05/13	PROJECT #	Kurmond
SCALE @ A3	as shown	DWG #	L/02
DRAWN	JS		
CHKD	SW	REVISION	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fax: (02) 9957 5922			

NOTE:
 - ANY RETAINING WALLS VISIBLE FROM THE STREET OR CONSTRUCTED GREATER THAN 900mm HIGH SHALL BE OF MASONRY CONSTRUCTION
 - ANY GARDEN EDGING VISIBLE FROM THE STREET SHALL BE OF BRICK OR COLOURED CONCRETE. NO TIMBER EDGING IS PERMITTED
 - ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION

LEGEND

- PROPOSED LEVEL FFL.R.L. 20.360
- EXISTING LEVEL 20.30
- MULCHED ACCESS PATH
- PROPOSED PAVED AREA
- LAWN AREA
- TIMBER LAWN EDGET/E



PLANTING SCHEDULE

ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
ACS	Acmena smithii	Lillypilly	1	25lt	4000	8000
AB	Anigozanthos flavidus	Kangaroo Paw	8	5lt	800	800
EL	Elaeocarpus reticulatus	Blueberry Ash	1	25lt	5000	12000
LT	Lomandra 'Tanika'	Dwarf Lomandra	13	5lt	500	500
SH	Syzygium 'Cascade'	Lillypilly	5	15lt	1500	2500

- Notes:**
- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 - All detailing of drainage to paved areas shall be by others.
 - All levels shall be determined by others and approved on site by client.
 - Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
 - Do not scale from drawings.
 - If in doubt contact the Landscape Architect.
 - All boundaries shall be surveyed prior to commencement of construction works.
 - This plan is for DA purposes only. It has not been detailed for construction.
 - All dimensions, levels and boundaries are nominal only.
 - This design shall not be copied, utilised or reproduced in any way without prior written permission of A. Total Concept Landscape Architects.

DATE: 22/07/13 REVISION 'A' Amendments made as per developers request

PROPOSED LANDSCAPE PLAN

ADDRESS: **LOT 2155 LAKESIDE PDE, JORDAN SPRINGS** PROJECT # Kurmond

CLIENT: **MR & MRS PARR** DATE # 31/05/13 DWG # L/01

SCALE @ A3: **1:200**

A Total Concept Landscape Architects & Swimming Pool Designers

65 West Street, North Sydney NSW 2060
 Tel: (02) 9957 5122 Fax: (02) 9957 5922

DRAWN: **JS** CHKD: **SW** REVISION: **A**

atc
 a total concept
 landscape architect & swimming pool designers



Schedule of BASIX commitments

The commitments set out below regulate the proposed development to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 250.65 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - brick veneer	1.66 (or 2.20 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 3 (up), roof: foil/sarking	unventilated, dark (solar absorbance > 0.70)

Note: Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed doors (<0.7 square metres) which are not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			
• Except where the glass is 'single clear' or 'single tinted', each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓
• The leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or glazed door, except that a projection greater than 500 mm and up to 1500 mm above the head must be twice the value in the table.	✓	✓	✓
• Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
• Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1,W2	S	3.06	standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed
W3,W4,W5	E	4.11	standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed
W6	E	3.9	standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)	eave/verandah/pergola/balcony 901-1,200 mm	not overshadowed
W7	N	7.7	standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)	eave/verandah/pergola/balcony >2,000 mm	not overshadowed
W8	E	5.76	standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)	eave/verandah/pergola/balcony >2,000 mm	not overshadowed
W9	N	2.27	standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W10,W11,W12,W13	W	5.62	standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed

REV	DATE	AMENDMENTS	BY
F	15.07.13	AMENDED SITE PLAN TO DEVELOPER'S REQUIREMENT	MC
E	31.05.13	Plans ready for developer and DA lodgement	BAC
D	24.05.13	PROVIDED WET AREA DETAILS FOR COLOURS	BAC
C	18.02.13	AMENDED PLANS AND ELEVATIONS.	ME
B	11.03.13	AMENDED PLANS AS PER CLIENT'S EMAIL	ME
A	05.02.13	PRELIMINARY DRAWINGS	DS

CLIENT'S SIGNATURE: _____ DATE: _____


I accept and understand the plans and documents that have been provided to me by Kurmond Homes.

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER < 2.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted, Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting	✓	✓	✓
Other			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
 In these commitments, "applicant" means the person carrying out the development.
 Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
 Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
 Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

SHEET	DESCRIPTION
2.7	ELECTRICAL LAYOUT
2.6	NEIGHBOURS NOTIFICATION
2.5	CUT & FILL PLAN
2.4	SITE COVERAGE PLAN
2.3	STORMWATER CONCEPT PLAN
2.2	CONS. WASTE MANAGEMENT & SEDIMENT & EROSION CTRL. PLAN
2.1	SITE ANALYSIS
11	WET AREAS
10	WET AREAS
9	DOOR SCHEDULE
8	SLAB PLAN
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	ROOF PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

 kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015	ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by KURMOND HOMES PTY LTD. • COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING	HOUSE NAME: NEWPORT 24.7 FACADE: TRADITIONAL SPECIFICATION: Diamond Inclusion SCALE: NTS GARAGE HAND: L/H	CLIENT: MR & MRS PARR SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747	JOB No: 13010 DRAWN: ME DATE: 15.07.13 CHECKED: SHEET: 1 DA STAGE	Rev: F
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LOT 2155
 D.P: 1168992
 L.G.A: PENRITH

C: EASEMENT TO DRAIN WATER 2 WIDE
 L: RESTRICTION ON THE USE OF LAND
 K: RESTRICTION ON THE USE OF LAND
 J: RESTRICTION ON THE USE OF LAND

LOCATION PLAN
 UBD REF: 144, H13

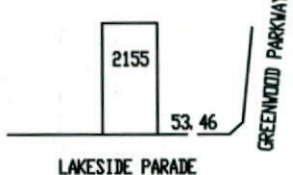


Developer Approval Required

- PRIVATE OPEN SPACE
- PRINCIPAL PRIVATE OPEN SPACE

PRIVATE OPEN SPACE	
SITE AREA:	450.0m ²
PRIVATE OPEN SPACE AREA:	135.90m ²
PRIVATE OPEN SPACE:	18.68%
MINIMUM REQUIRED BY COUNCIL:	30.2%
PRIVATE OPEN SPACE REQUIRED:	67.5m ²
PRINCIPLE PRIVATE OPEN SPACE:	24m ²

**BUSH FIRE PRONE
 LAND BAL 29, BAL
 19, & BAL 12.5**



TREATED PINE STEPS TO ALFRESCO BY OWNER

LYSAGHT "SMARTASCREEN" 1.8m HIGH FENCING IN "RIVERSAND" COLOUR OR EQUIVALENT REQUIRED FOR INTERNAL FENCING BY OWNER. TO SIDES AND REAR. NOT PERMITTED FOR STREET FENCING

PROVIDE MULCHED ACCESS PATHWAY TO THE SIDE OF RESIDENCE

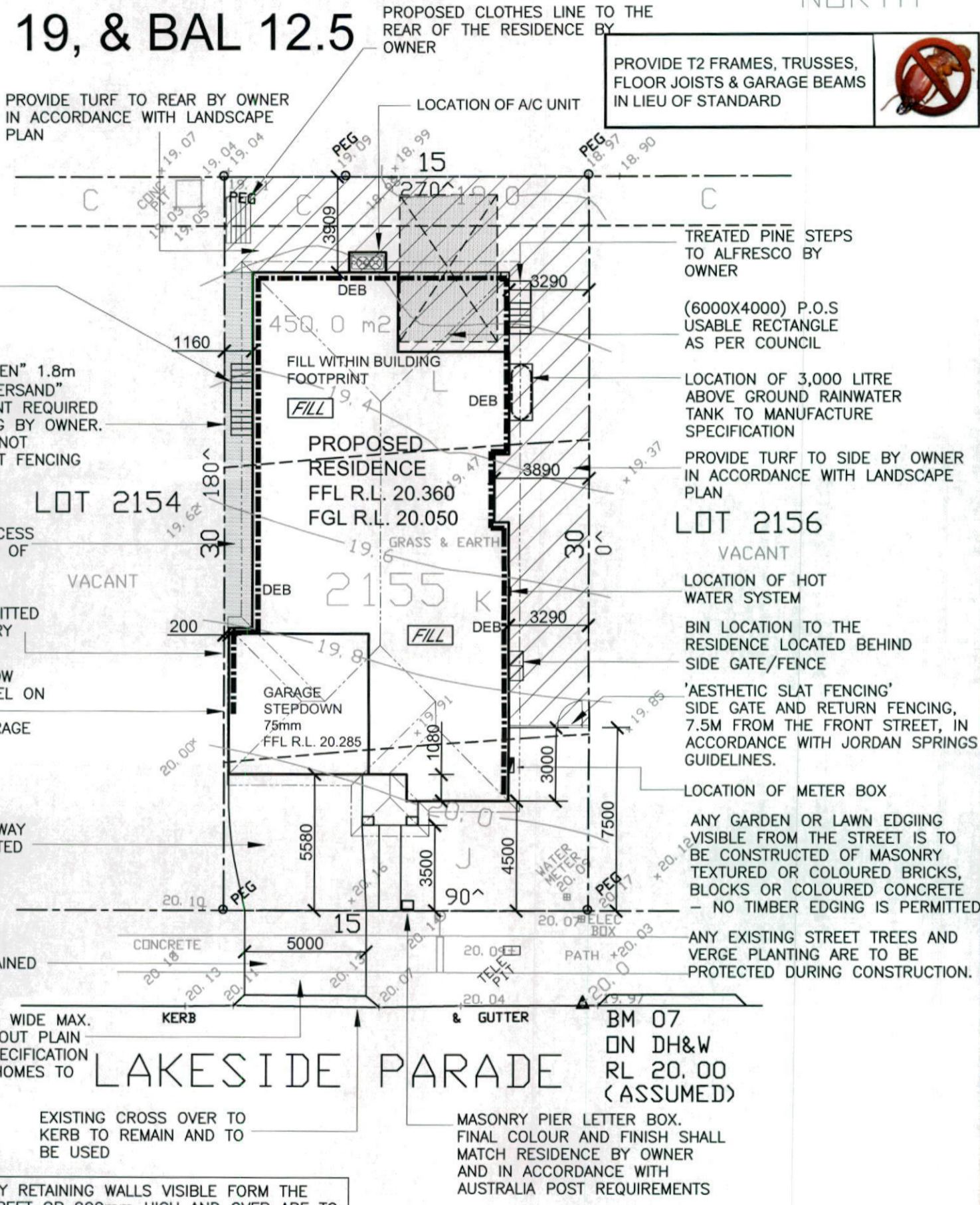
FENCING IS NOT PERMITTED ALONG ZERO BOUNDARY WALL

PROVIDE 650mm BELOW NATURAL GROUND LEVEL ON ALL BOUNDARY CONSTRUCTION TO GARAGE PORTION

REIN CONCRETE DRIVEWAY AND FINISH AS SELECTED BY KURMOND HOMES

EXISTING CONCRETE FOOTPATH TO BE REMAINED

VEHICLE CROSSING 5M WIDE MAX. TO BE CONSTRUCTED OUT PLAN CONCRETE TO PCC SPECIFICATION FINISH BY KURMOND HOMES TO PENRITH CITY COUNCIL SPECIFICATION



PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD

SITE PLAN

SCALE 1:200

- NOTES**
- Bearings and distances are by Title and/or Deed only. This detail survey is not a "survey" as defined by the Surveyors Act, 1929. If any construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.
 - Relationship of improvements to boundaries is diagrammatic only. Where offsets are critical they should be confirmed by further survey.
 - Contours shown depict the topography, except at spot levels shown they do not represent the exact level at any particular point.
 - Services shown hereon have been determined from visual evidence only. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.
 - Australian Height Datum was established from SSM 168755 RL 69.056
 - Tree locations are accurate to +/- 0.30m
 - The information is only to be used at a scale accuracy of 1:200.

ANY RETAINING WALLS VISIBLE FORM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

WIND CLASSIFICATION: "N2"
 SLAB CLASSIFICATION: "M"

Construction Notes;

- * All roof water to drain to the above ground 3,000 litre rainwater tank, in accordance with Basix Certificate.
- * R 2.0 external wall insulation in accordance with Basix Certificate.
- * R 3.0 ceiling insulation in accordance with Basix Certificate.
- * Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
- * All square set opening to be 2350mm as 2750mm ceiling height proposed.

NOTE:
 ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC



SITE INDUCTION
 Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction Information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS
 * FOOTPATH / PEDESTRIAN TRAFFIC

CLIENT'S SIGNATURE: _____ DATE: _____

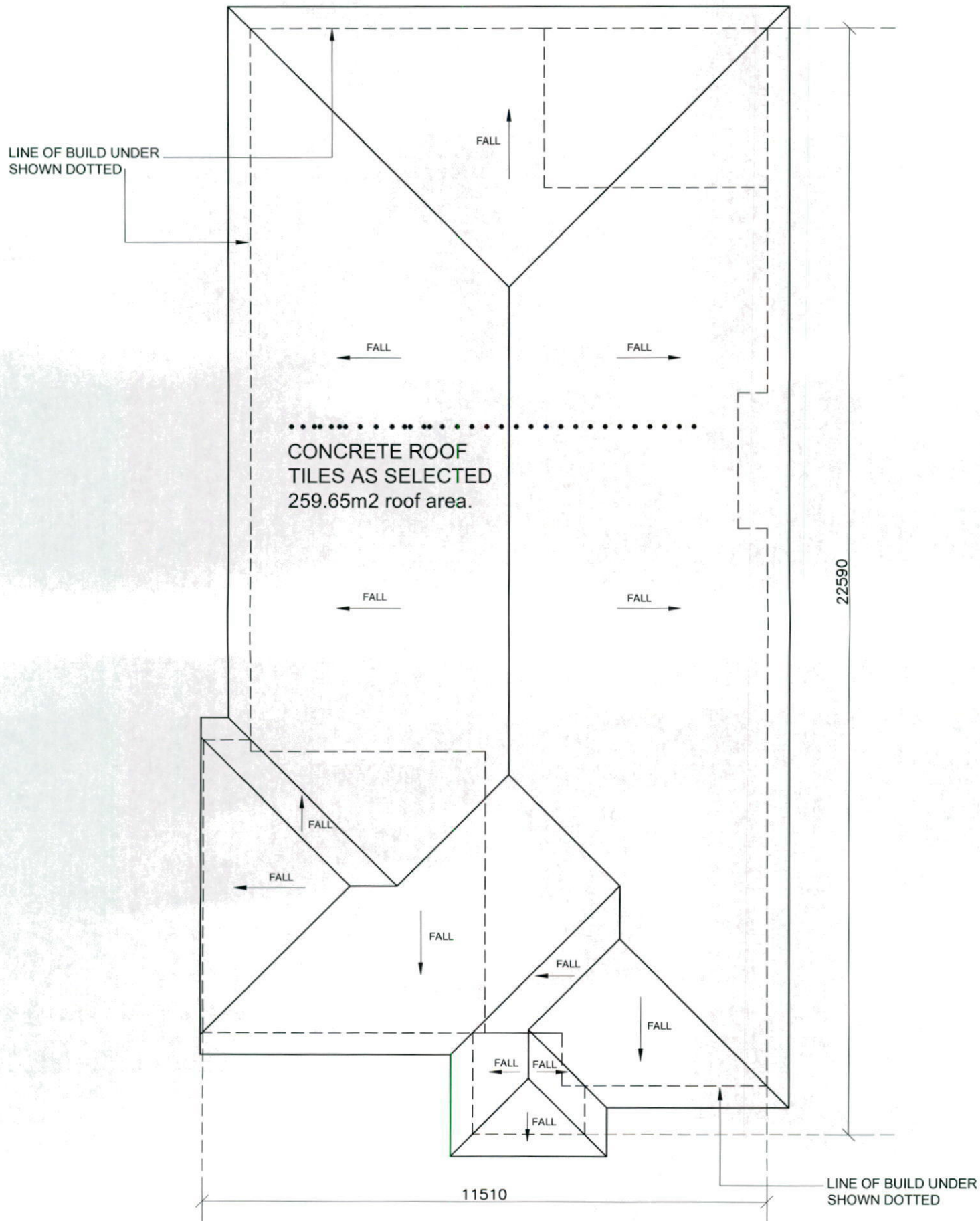
I accept and understand the plans and documents that have been provided to me by Kurmond Homes.

<p>kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015</p>	<p>ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright Act 1968 and is intended for use only as authorised by KURMOND HOMES PTY LTD.</p>	<p>HOUSE NAME: NEWPORT 24.7</p>	<p>CLIENT: MR & MRS PARR</p>	<p>JOB No: 13010</p>
	<p>FACEADE: TRADITIONAL</p>	<p>SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747</p>	<p>DRAWN: ME</p>	<p>DATE: 15.07.13</p>
<p>SCALE: 1:200</p>	<p>DESCRIPTION: Diamond Inclusion</p>	<p>DATE: 15.07.13</p>	<p>CHECKED: Checked By</p>	<p>SHEET: 2</p>
<p>• COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</p>	<p>HOUSE NAME: NEWPORT 24.7</p>	<p>DATE: 15.07.13</p>	<p>DA STAGE</p>	<p>Rev: F</p>

Construction Notes;

- * All roof water to drain to the above ground 3,000 litre rainwater tank, in accordance with Basix Certificate.
- * R 2.0 external wall insulation in accordance with Basix Certificate.
- * R 3.0 ceiling insulation in accordance with Basix Certificate.
- * Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
- * All square set opening to be 2350mm as 2750mm ceiling height proposed.


PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD



ROOF PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

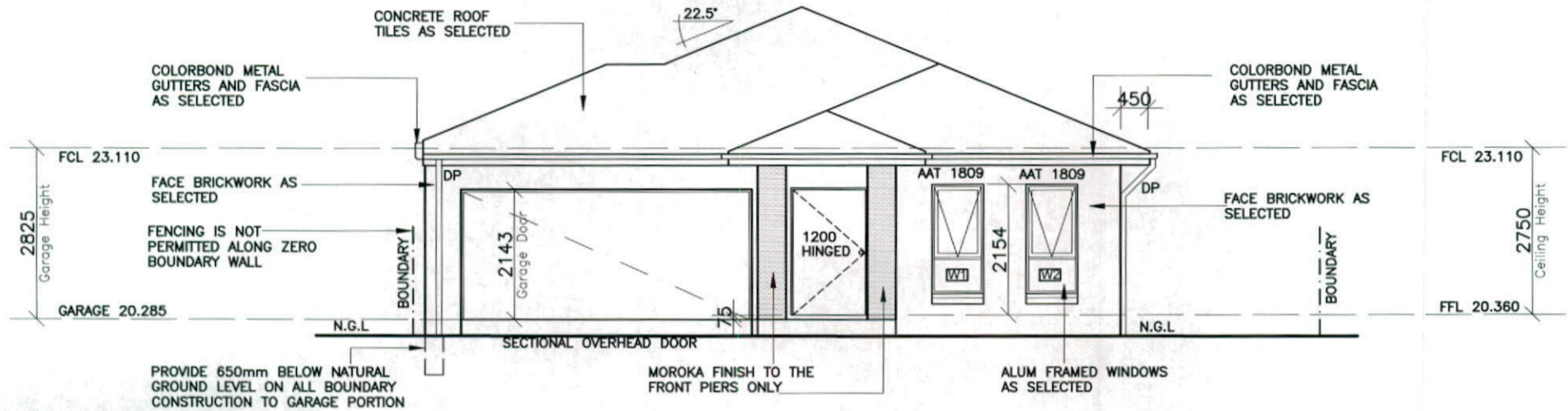
I accept and understand the plans and documents that have been provided to me by Kurmond Homes.

 <p>kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015</p>	<p>ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by KURMOND HOMES PTY LTD.</p> <p>• COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</p>	<p>HOUSE NAME: NEWPORT 24.7</p> <p>FACADE: TRADITIONAL</p> <p>DESCRIPTION: Diamond Inclusion</p> <p>SCALE: 1:100</p> <p>GARAGE FLOOR: L/H</p>	<p>CLIENT: MR & MRS PARR</p> <p>SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747</p>	<p>JOB No: 13010</p> <table border="1"> <tr> <td>DRAWN: ME</td> <td>DATE: 15.07.13</td> <td>Rev:</td> </tr> <tr> <td>CHECKED: Checked By</td> <td>SHEET: 4</td> <td>F</td> </tr> </table> <p>DA STAGE</p>	DRAWN: ME	DATE: 15.07.13	Rev:	CHECKED: Checked By	SHEET: 4	F
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	CHECKED: Checked By	SHEET: 4	F							

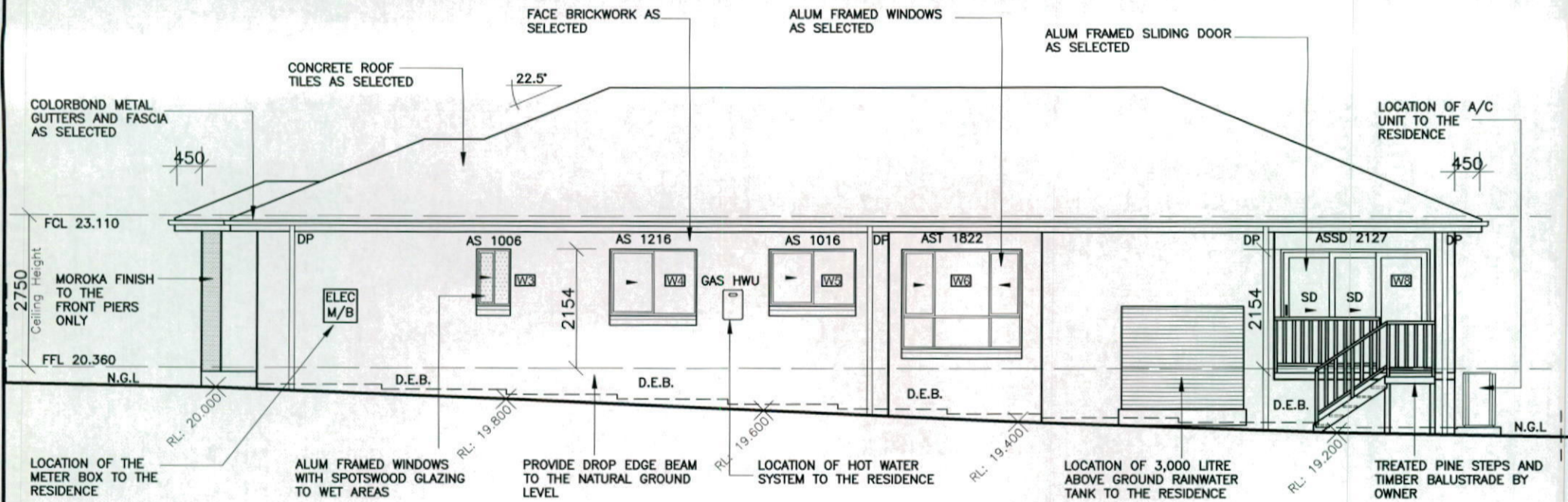
Construction Notes;

- * All roof water to drain to the above ground 3,000 litre rainwater tank, in accordance with Basix Certificate.
- * R 2.0 external wall insulation in accordance with Basix Certificate.
- * R 3.0 ceiling insulation in accordance with Basix Certificate.
- * Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
- * All square set opening to be 2350mm as 2750mm ceiling height proposed.

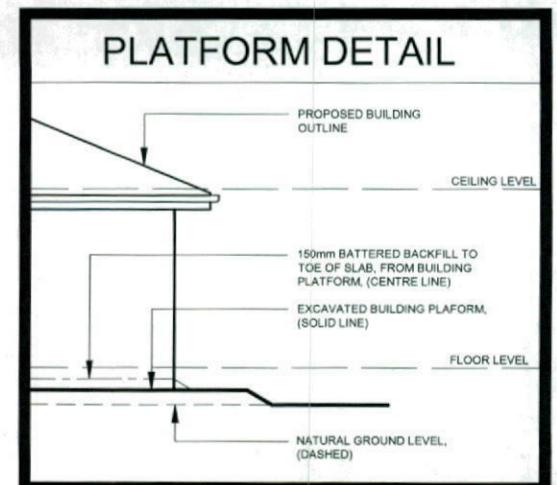
PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD



SOUTHERN ELEVATION
Front Elevation Scale 1:100



EASTERN ELEVATION
Side Elevation Scale 1:100



CLIENT'S SIGNATURE: _____ DATE: _____

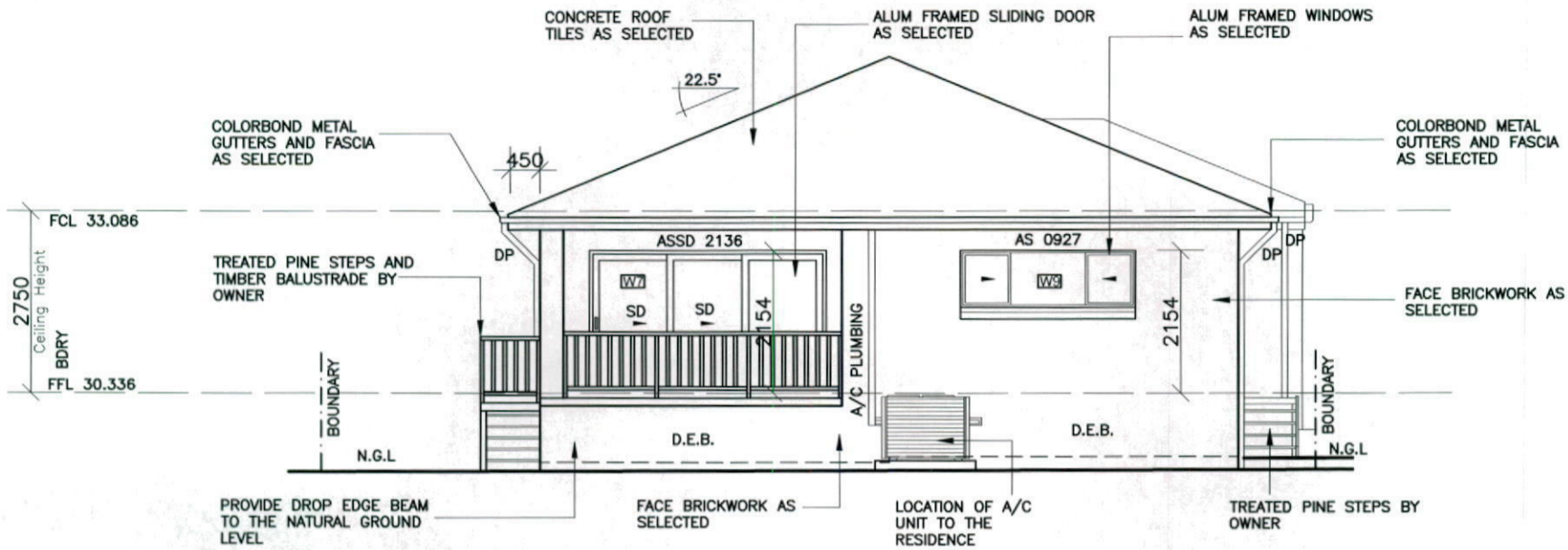
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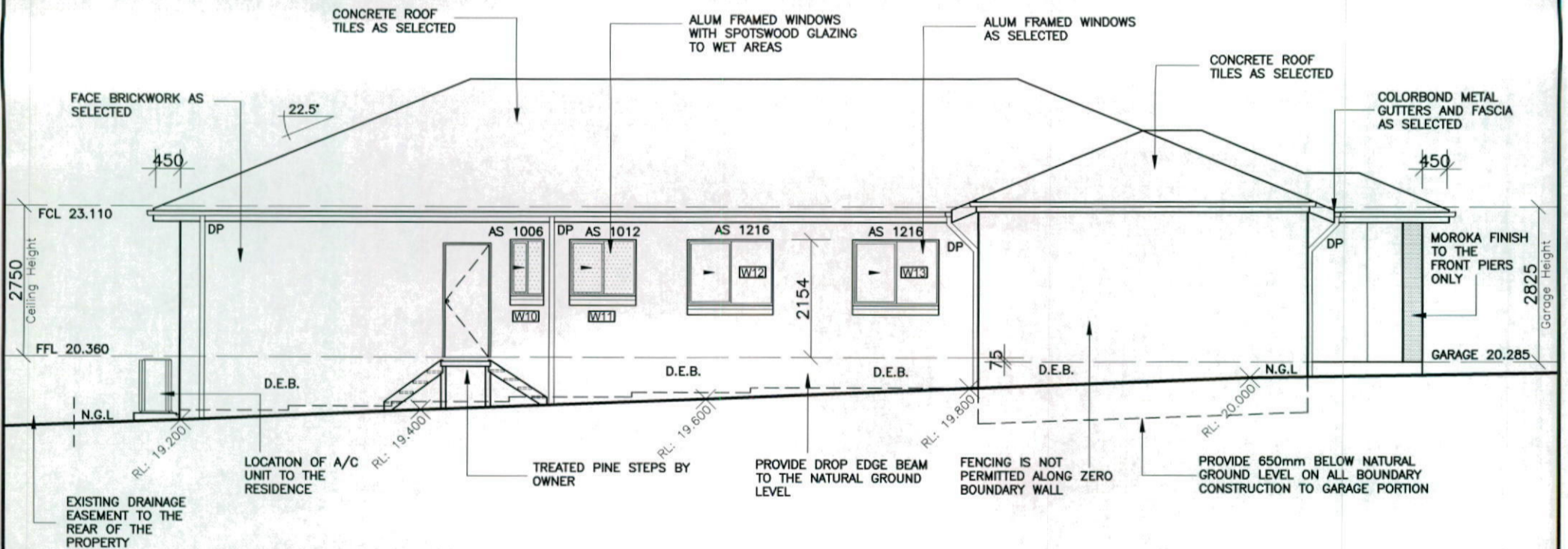
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- * Heating and Cooling loads / system to have a EER of 3.0 - 3.5 max.
- * All square set opening to be 2350mm as 2750mm ceiling height proposed.

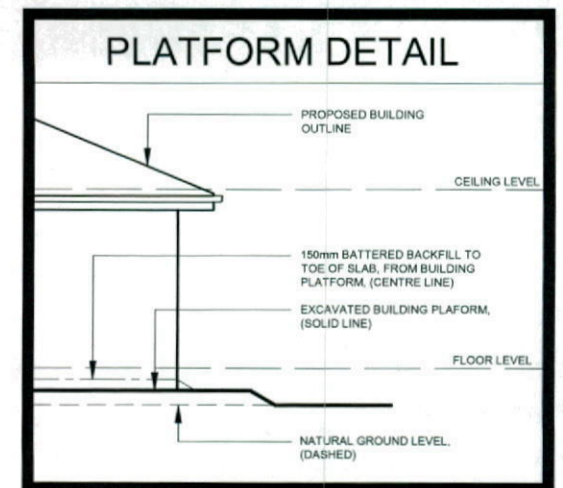
PROVIDE T2 FRAMES, TRUSSES, FLOOR JOISTS & GARAGE BEAMS IN LIEU OF STANDARD



NORTHERN ELEVATION
Rear Elevation Scale 1:100



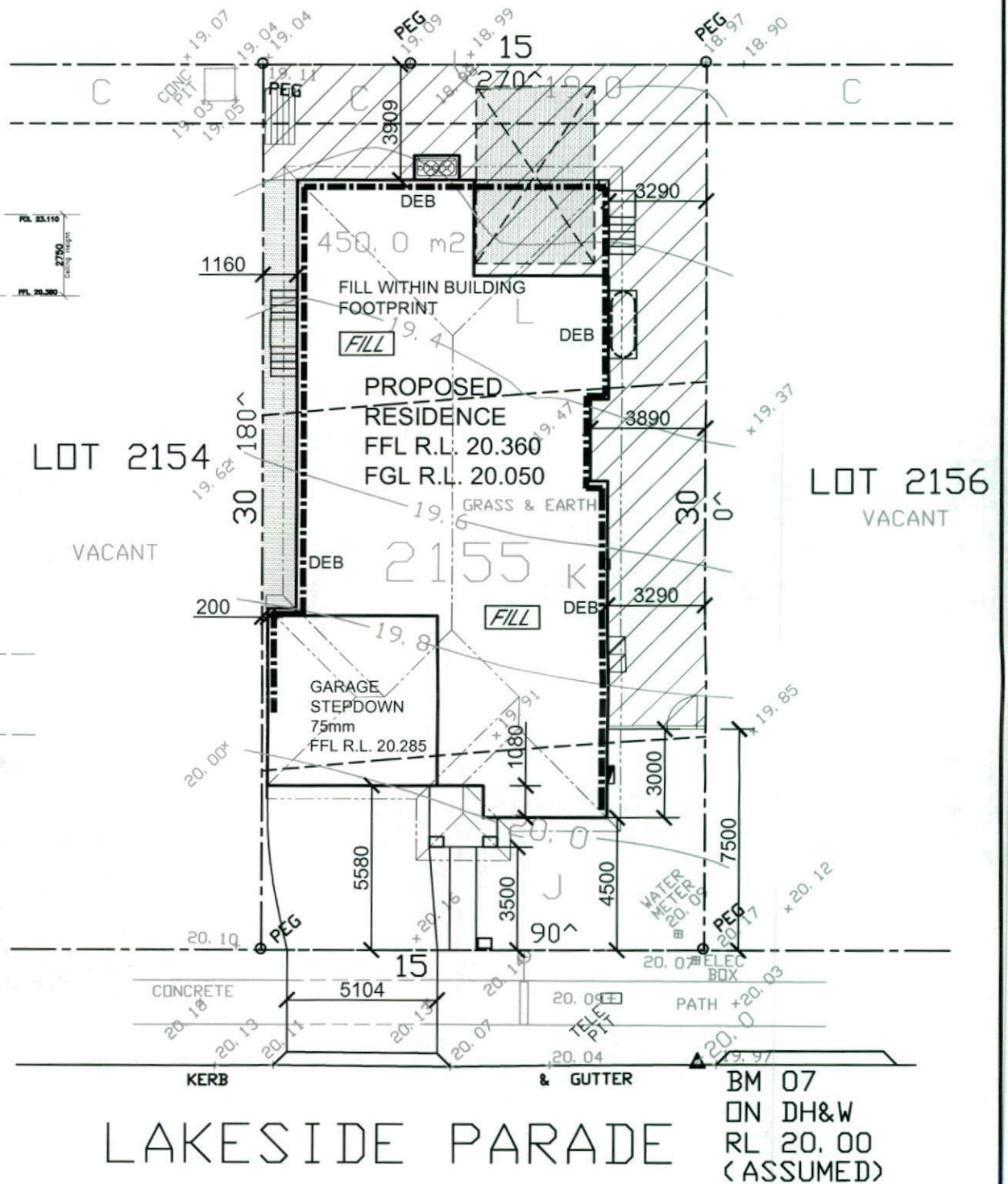
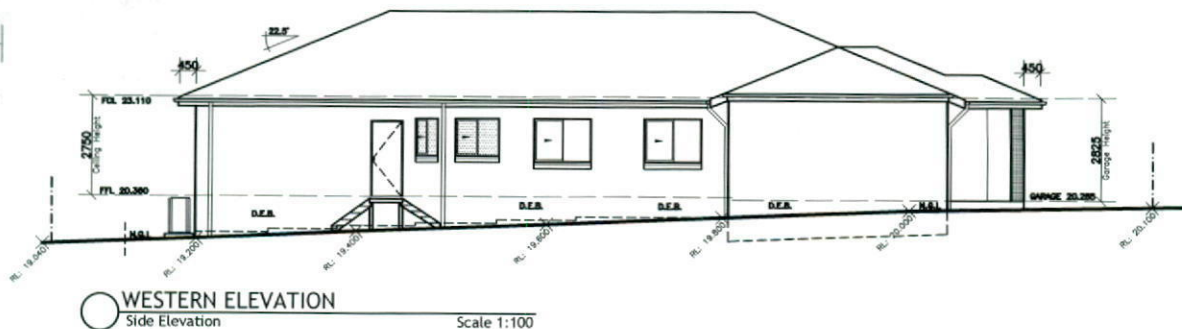
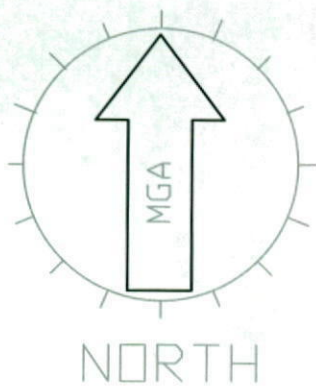
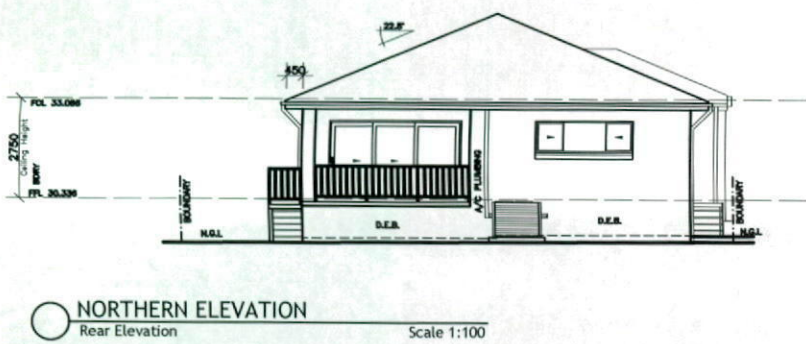
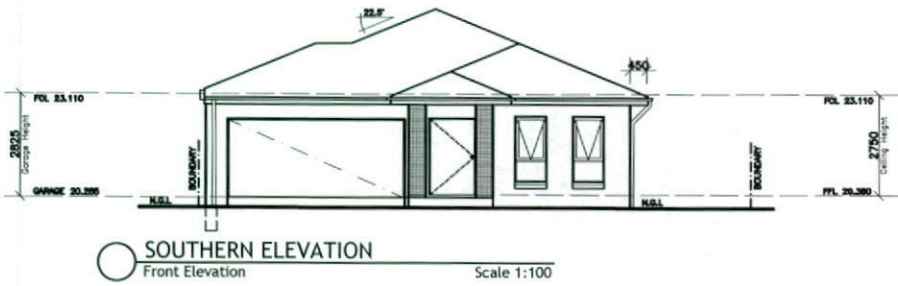
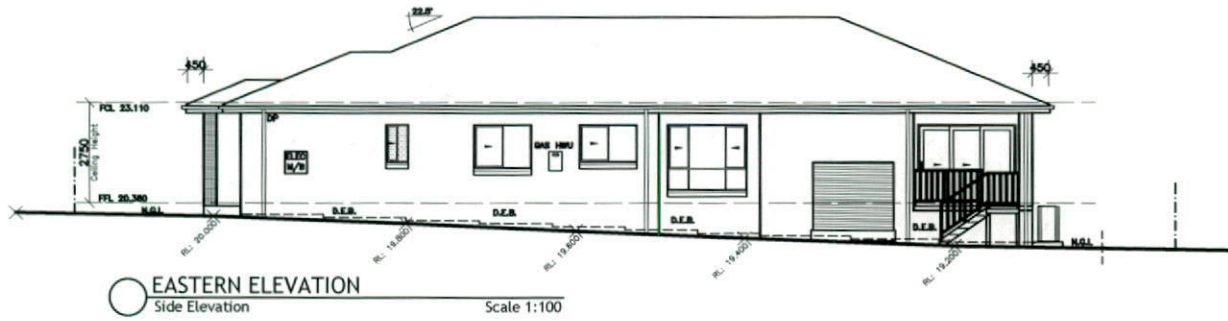
WESTERN ELEVATION
Side Elevation Scale 1:100



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	DA STAGE				



NEIGHBOURS NOTIFICATION

CLIENT'S SIGNATURE: _____ DATE: _____



kurmondhomes
BL No. 205 457C
ABN 481 288 211 98
Kurmond Homes PTY LTD
10 Sovereign Place, South Windsor 2756
T: 1300 764 761
F: (02) 45714015

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PREFERENCE TO SCALING

HOUSE NAME:
NEWPORT 24.7

FACADE:
TRADITIONAL

SPECIFICATION:
Diamond Inclusion

SCALE:
1:200

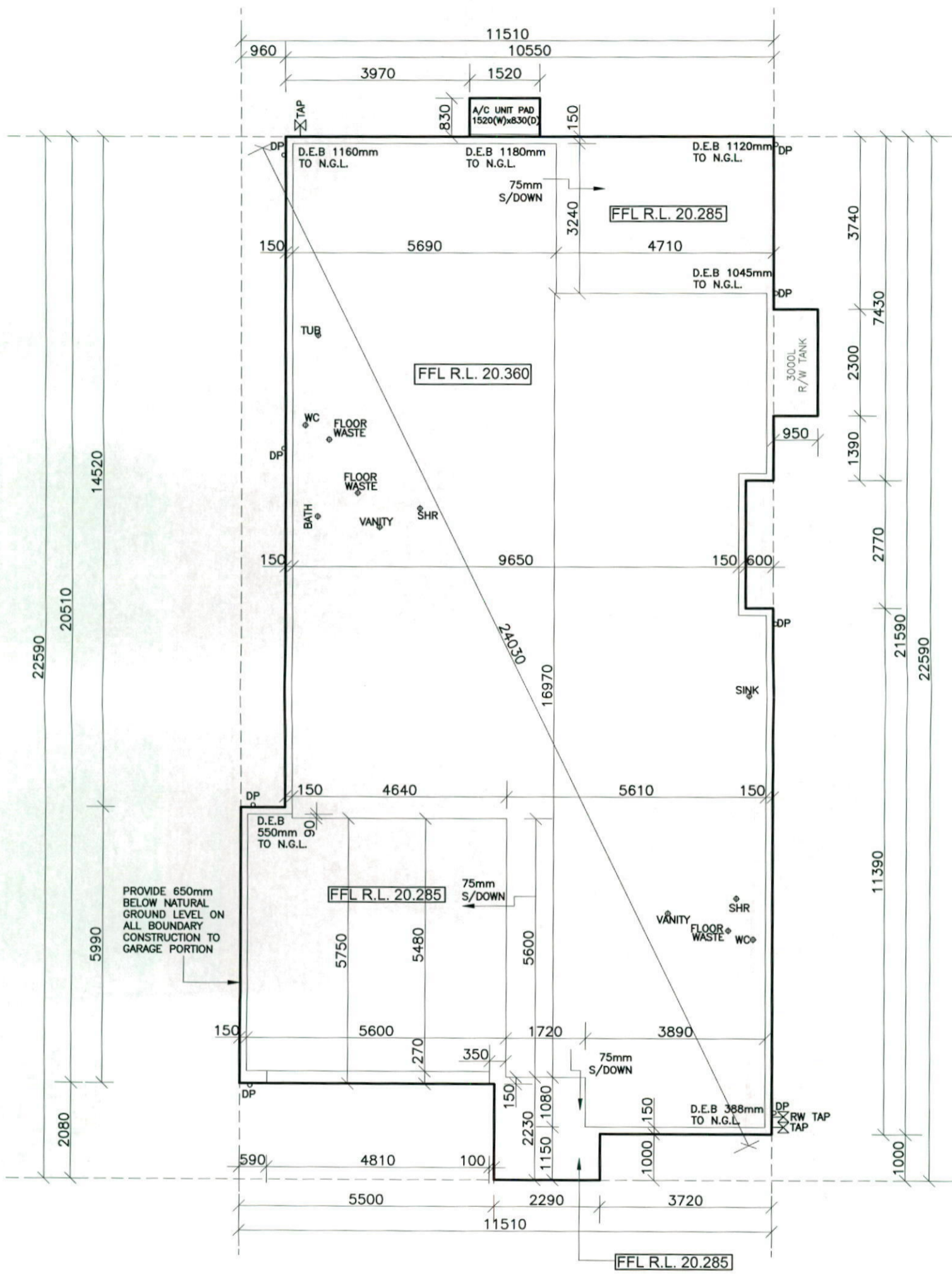
GARAGE FLOOR:
L/H

CLIENT:
MR & MRS PARR


SITE ADDRESS:
**LOT 2155 in DP 1168992,
LAKESIDE PARADE
JORDAN SPRINGS NSW 2747**

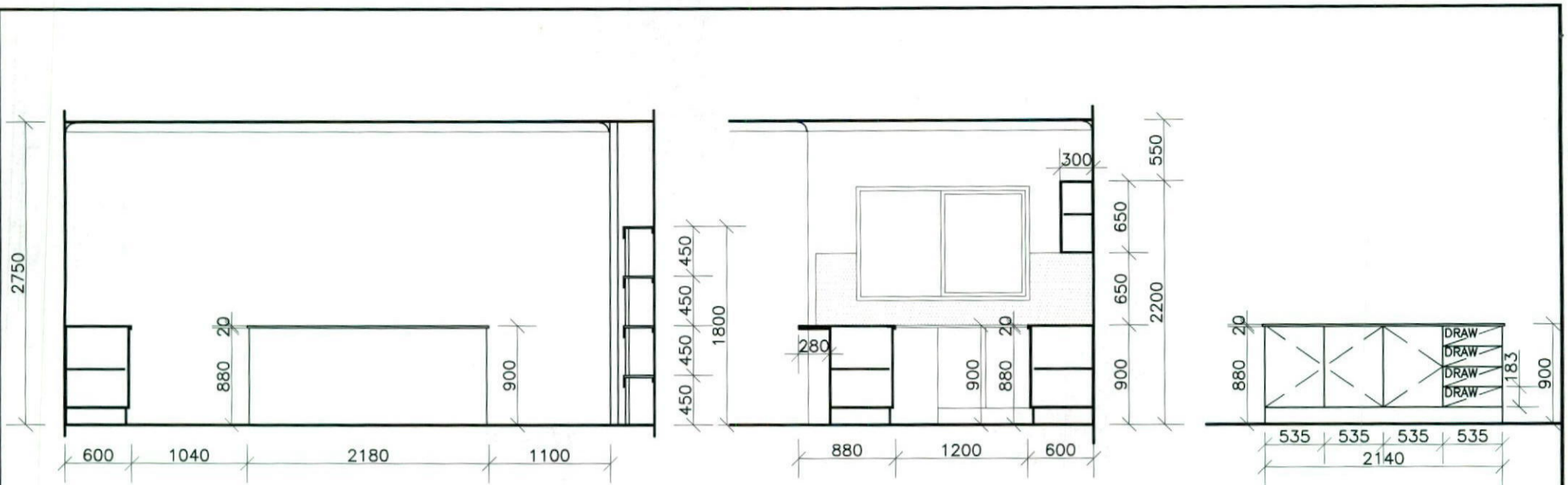
JOB No: **13010**

DRAWN: ME	DATE: 15.07.13	Rev: F
CHECKED: Checked By	SHEET: 2.6	
DA STAGE		

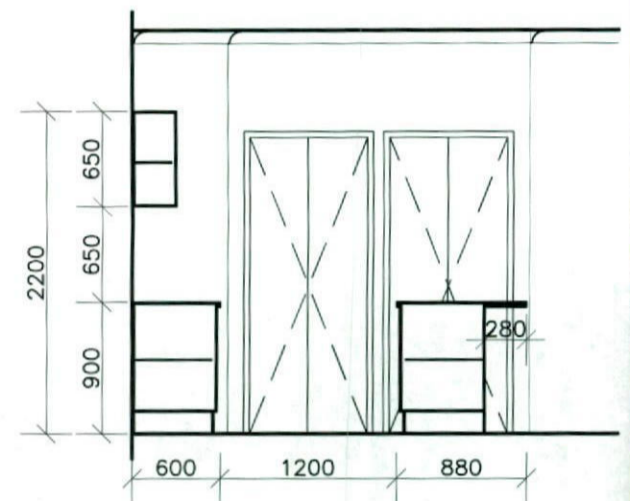
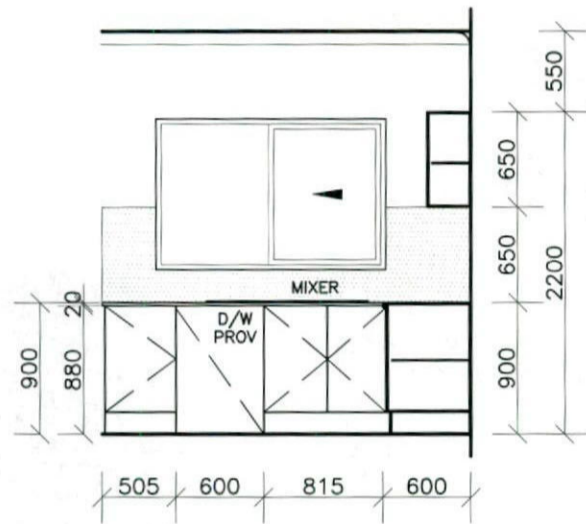
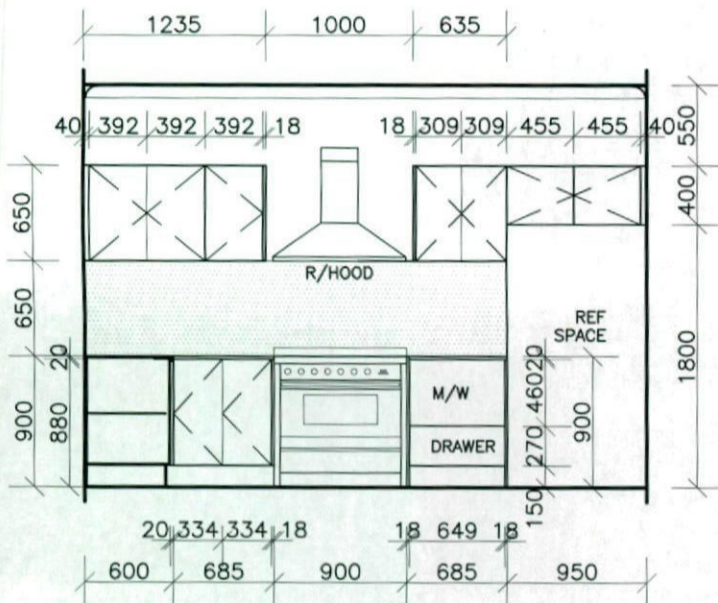


SLAB PLAN

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	DRAWN: ME	DATE: 15.07.13	Rev: F						
	CHECKED: Checked By	SHEET: 8							
<p>CLIENT'S SIGNATURE: _____ DATE: _____</p>									




KITCHEN DETAILS

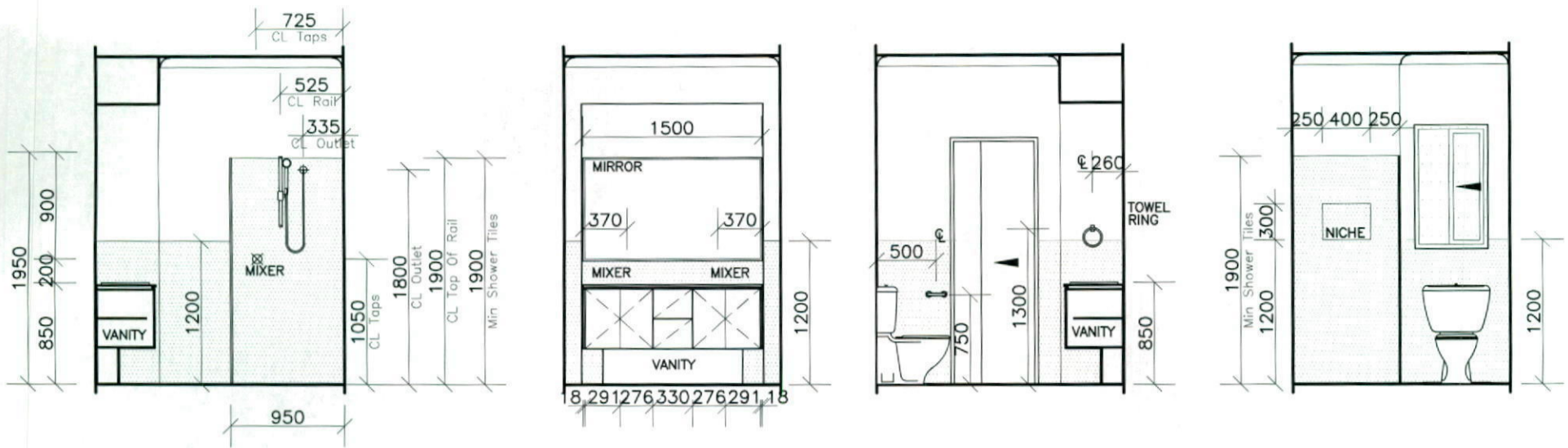


KITCHEN DETAILS continued

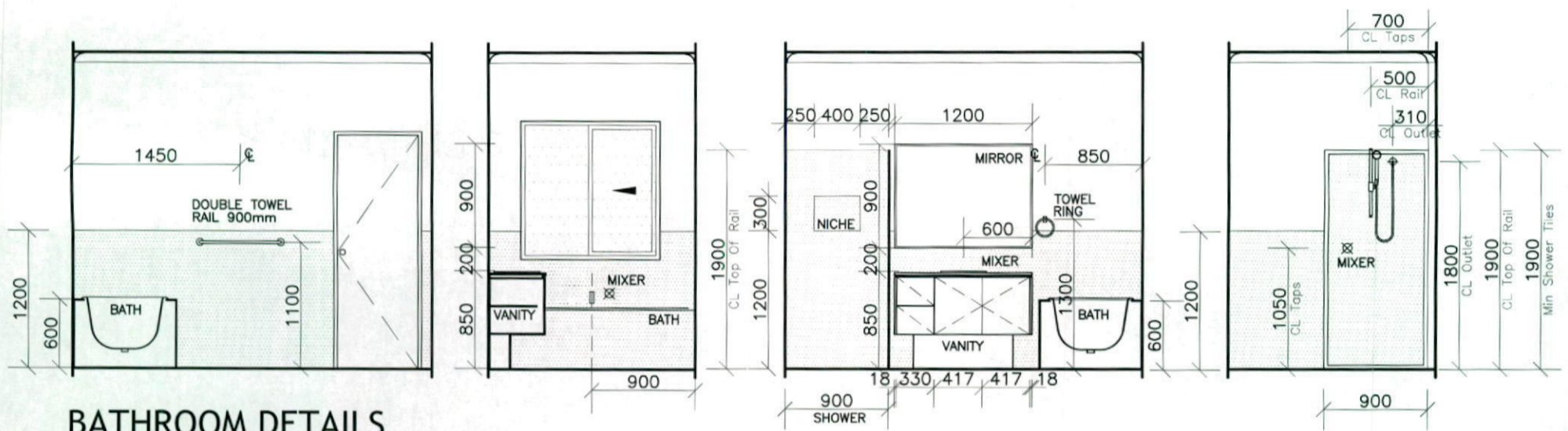


LAUNDRY DETAILS

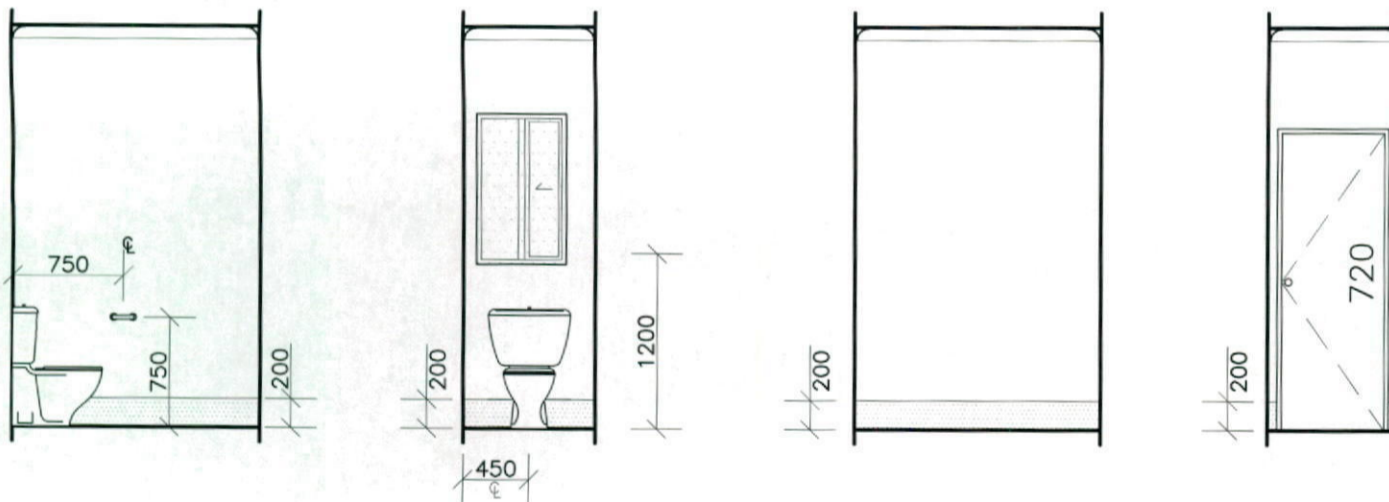
 <p>kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015</p>	<p>ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by KURMOND HOMES PTY LTD.</p> <p>• COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</p>	<p>HOUSE NAME: NEWPORT 24.7</p>	<p>CLIENT: MR & MRS PARR</p>	<p>JOB No: 13010</p>
		<p>FACADE: TRADITIONAL</p>	<p>SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747</p>	<p>DRAWN: ME</p> <p>CHECKED: Checked By</p>



ENSUITE DETAILS



BATHROOM DETAILS



WC DETAILS

CLIENT'S SIGNATURE:

DATE:



kurmondhomes
 BL No. 205 457C
 ABN 481 288 211 98
 Kurmond Homes PTY LTD
 10 Sovereign Place, South Windsor 2756
 T: 1300 764 761
 F: (02) 45714015

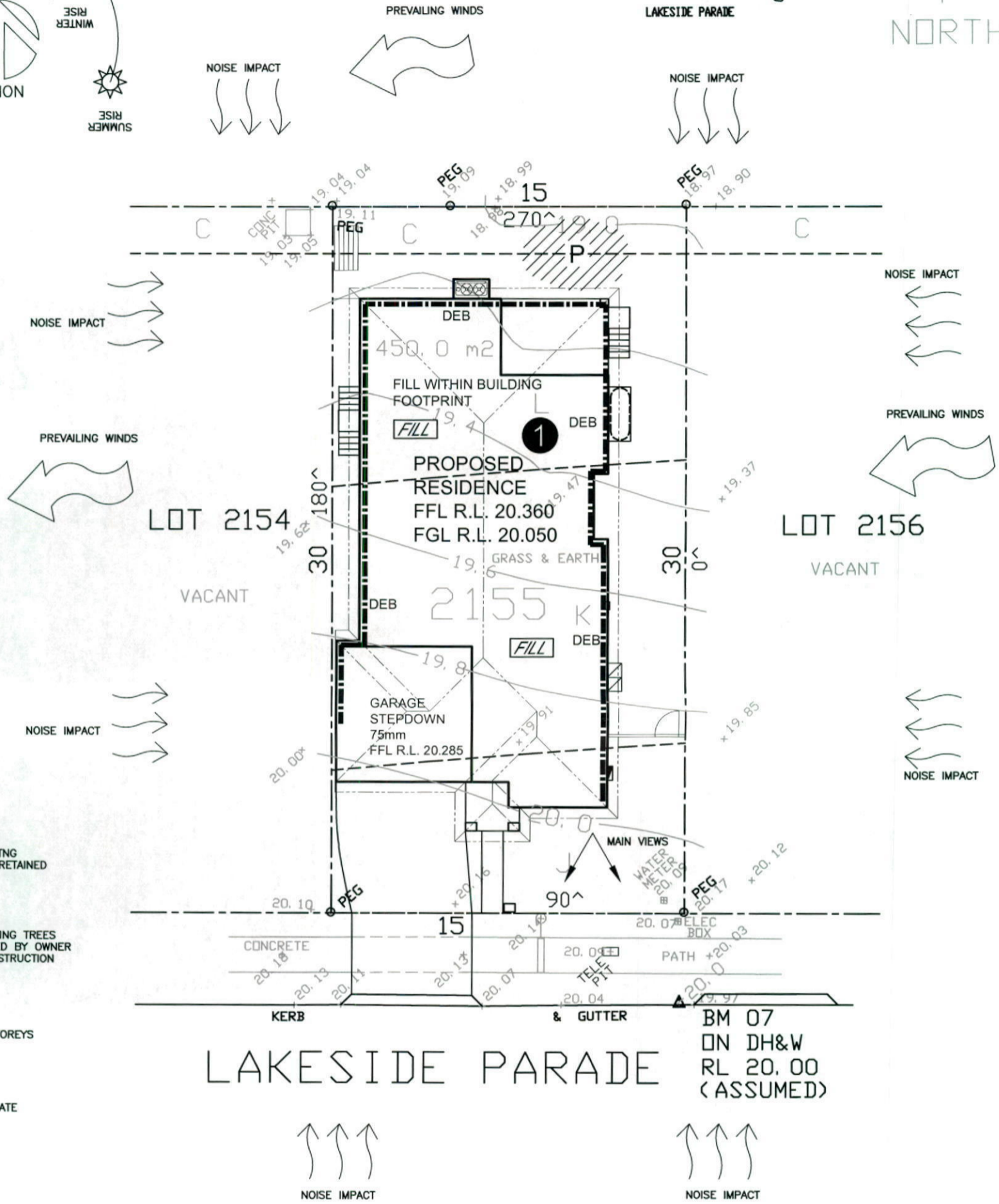
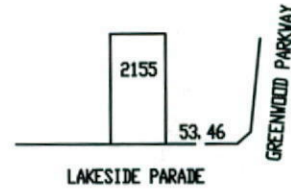
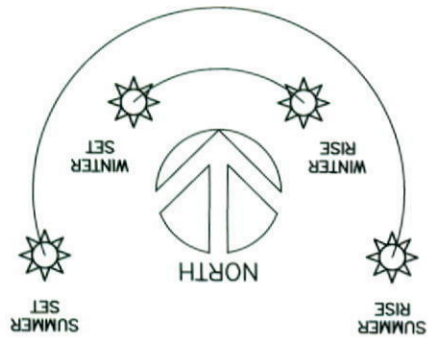
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 DIMENSIONS TO BE READ IN
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HOUSE NAME:
NEWPORT 24.7
 FACADE:
TRADITIONAL
 ORIENTATION:
Diamond Inclusion
 SCALE:
 1:50
 GARAGE HAND:
 L/H

CLIENT:
MR & MRS PARR
 SITE ADDRESS:
**LOT 2155 in DP 1168992,
 LAKESIDE PARADE
 JORDAN SPRINGS NSW 2747**

JOB No:
13010
 DRAWN:
 ME
 DATE:
 15.07.13
 CHECKED:
 Checked By
 SHEET:
11
 Rev:
F
DA STAGE

LOCATION PLAN
UBD REF: 144, H13



Legend



DENOTES EXISTING TREES TO BE RETAINED



DENOTES EXISTING TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION



NUMBER OF STOREYS



PRINCIPAL PRIVATE OPEN SPACE



MAIN VIEWS



NOISE IMPACT



PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____

DATE: _____



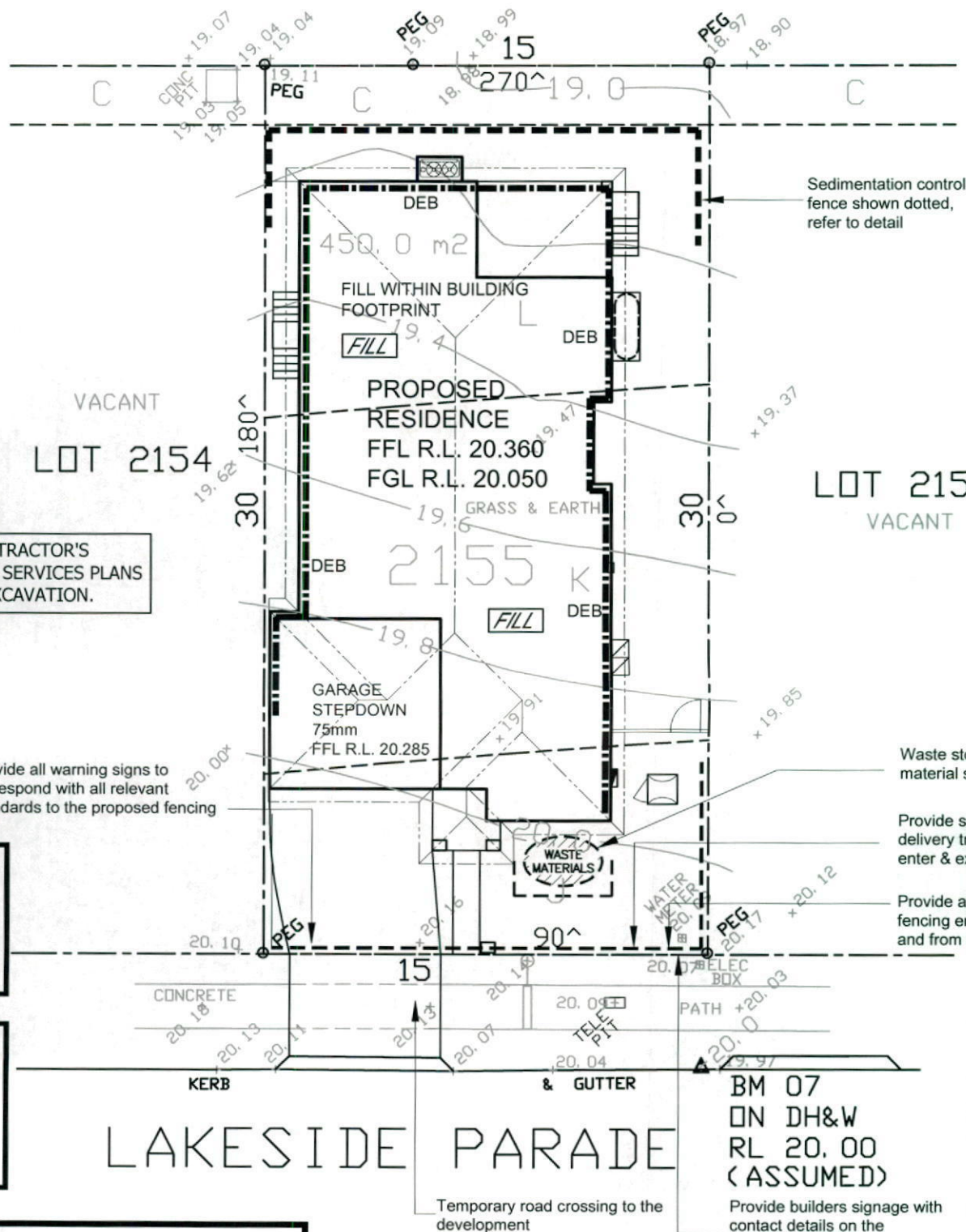
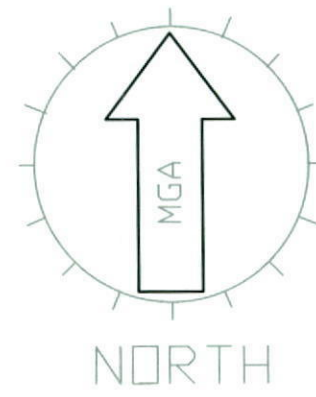
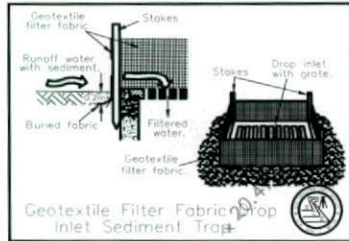
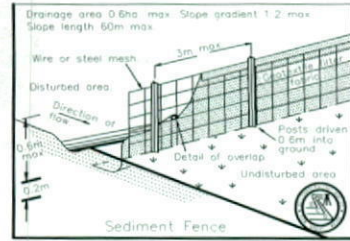
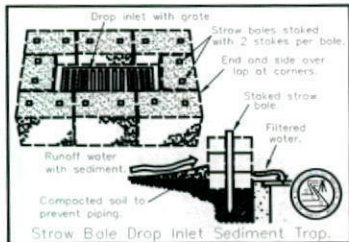
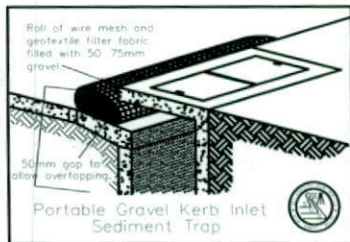
kurmondhomes
BL No. 205 457C
ABN 481 288 211 98
Kurmond Homes PTY LTD
10 Sovereign Place, South Windsor 2756
T: 1300 764 761
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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

HOUSE NAME:
NEWPORT 24.7
FACADE:
TRADITIONAL
SPECIFICATION:
Diamond Inclusion
SCALE:
1:200 L/H

CLIENT:
MR & MRS PARR
SITE ADDRESS:
**LOT 2155 in DP 1168992,
LAKESIDE PARADE
JORDAN SPRINGS NSW 2747**

JOB No: **13010**
DRAWN: ME DATE: 15.07.13 Rev: F
CHECKED: Checked By SHEET: 2.1
DA STAGE



PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.

www.dialbeforeyoudig.com.au

Provide all warning signs to correspond with all relevant standards to the proposed fencing

Waste stockpiles and material sorting area
Provide signage to site to allow delivery trucks to know where to enter & exit the site
Provide a 1800mm chain wire fencing ensure safe access to and from the site

NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
NOT TO SCALE

C: EASEMENT TO DRAIN WATER 2 WIDE
L: RESTRICTION ON THE USE OF LAND
K: RESTRICTION ON THE USE OF LAND
J: RESTRICTION ON THE USE OF LAND

SITE INDUCTION

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS

* FOOTPATH / PEDESTRIAN TRAFFIC

CONSTRUCTION MANAGEMENT PLAN EROSION & SEDIMENT CONTROL PLAN



kurmondhomes
BL No. 205 457C
ABN 481 288 211 98
Kurmond Homes PTY LTD
10 Sovereign Place, South Windsor 2756
T: 1300 764 761
F: (02) 45714015

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

HOUSE NAME:
NEWPORT 24.7

CLIENT:
MR & MRS PARR

FAÇADE:
TRADITIONAL

DIAMOND INCLUSION

SCALE:
1:200

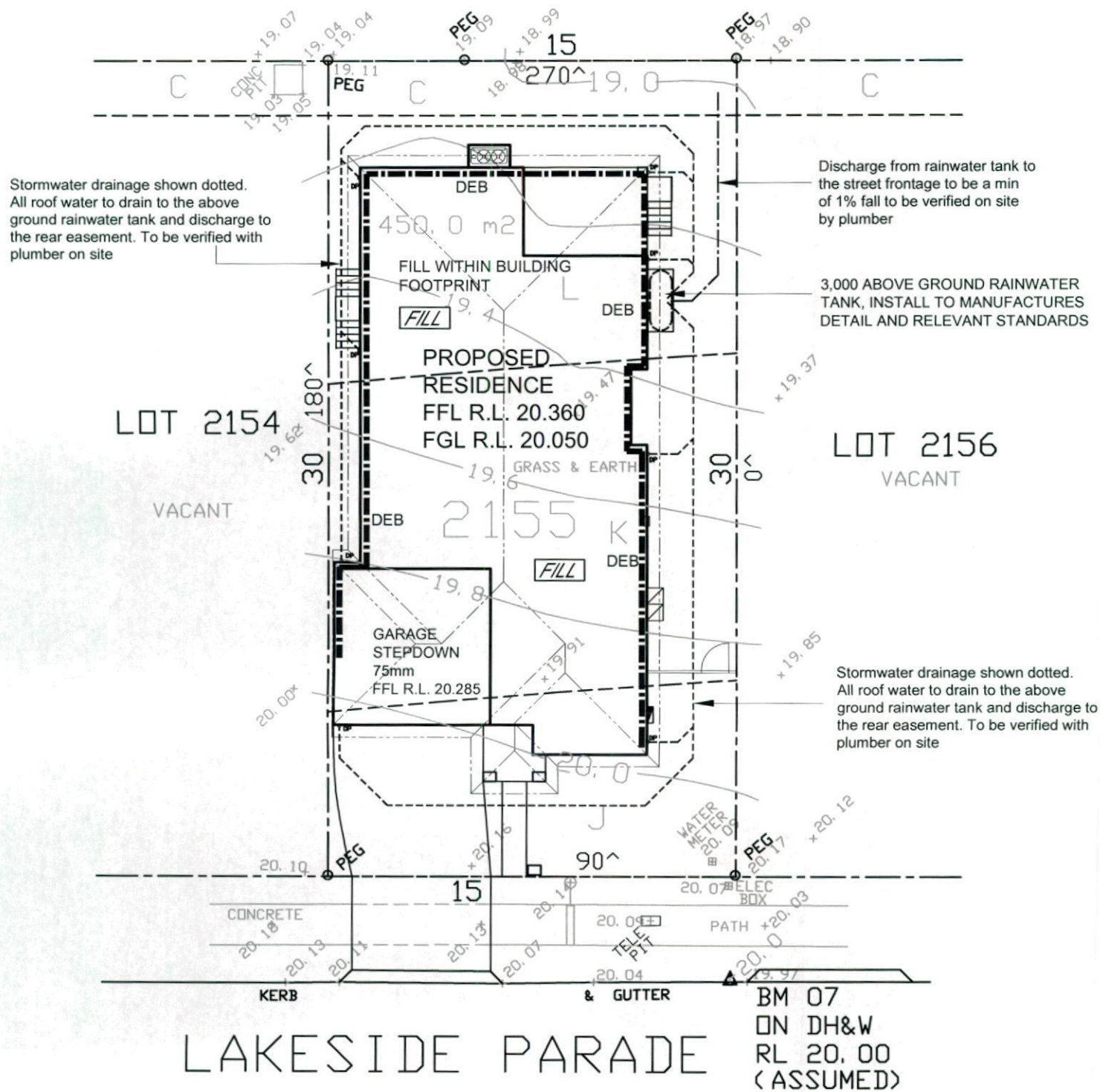
L/H

SITE ADDRESS:
LOT 2155 in DP 1168992,
LAKESIDE PARADE
JORDAN SPRINGS NSW 2747

JOB No: 13010

DRAWN: ME	DATE: 15.07.13	Rev:
CHECKED: Checked By	SHEET: 2.2	F

DA STAGE



STORMWATER TO REAR EASEMENT VIA RAINWATER TANK

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.



CONCEPT STORMWATER MANAGEMENT PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

- C: EASEMENT TO DRAIN WATER 2 WIDE
- L: RESTRICTION ON THE USE OF LAND
- K: RESTRICTION ON THE USE OF LAND
- J: RESTRICTION ON THE USE OF LAND

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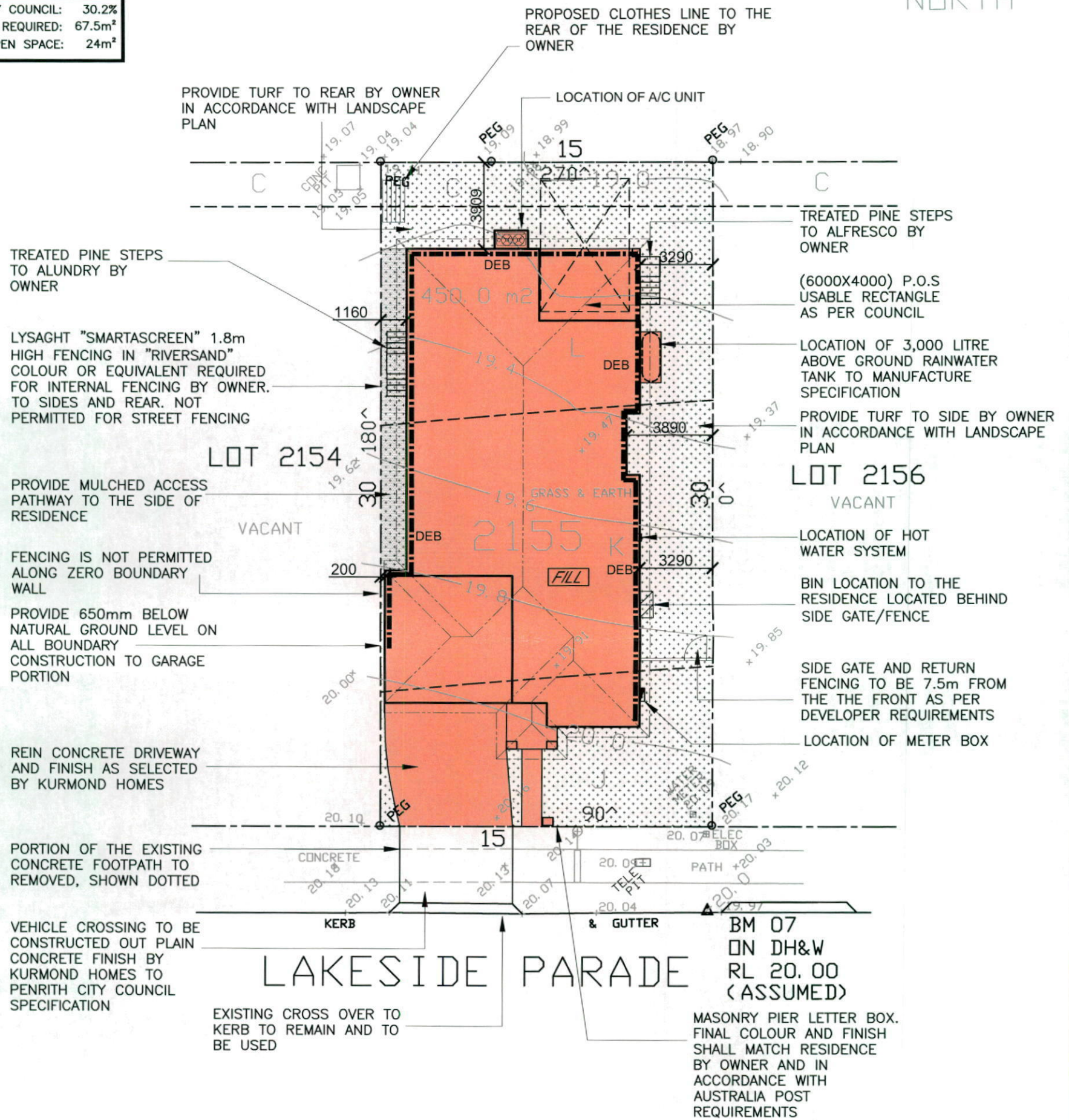
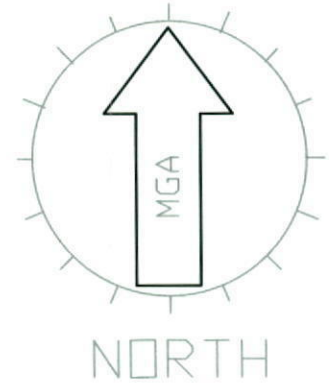
SITE SPECIFIC HAZARDS
* FOOTPATH / PEDESTRIAN TRAFFIC

	kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015	<small>ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by KURMOND HOMES PTY LTD.</small> • COPYRIGHT <small>DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</small>	HOUSE NAME: NEWPORT 24.7	CLIENT: MR & MRS PARR	JOB No: 13010		
			FACADE: TRADITIONAL Diamond Inclusion	SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747	<table border="1"> <tr> <td>DRAWN: ME</td> <td>DATE: 15.07.13</td> <td rowspan="2">Rev: F</td> </tr> <tr> <td>CHECKED: Checked By</td> <td>SHEET: 2.3</td> </tr> </table>	DRAWN: ME	DATE: 15.07.13
DRAWN: ME	DATE: 15.07.13	Rev: F					
CHECKED: Checked By	SHEET: 2.3						

Legend:

- Hardstand Area:
- Landscape Area:

PRIVATE OPEN SPACE	
SITE AREA:	450.0m ²
PRIVATE OPEN SPACE AREA:	135.90m ²
PRIVATE OPEN SPACE:	18.68%
MINIMUM REQUIRED BY COUNCIL:	30.2%
PRIVATE OPEN SPACE REQUIRED:	67.5m ²
PRINCIPLE PRIVATE OPEN SPACE:	24m ²



SITE INDUCTION
 Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS
 * FOOTPATH / PEDESTRIAN TRAFFIC

SITE COVERAGE PLAN

CLIENT'S SIGNATURE: _____ DATE: _____



kurmondhomes
 BL No. 205 457C
 ABN 481 288 211 98
 Kurmond Homes PTY LTD
 10 Sovereign Place, South Windsor 2756
 T: 1300 764 761
 F: (02) 45714015

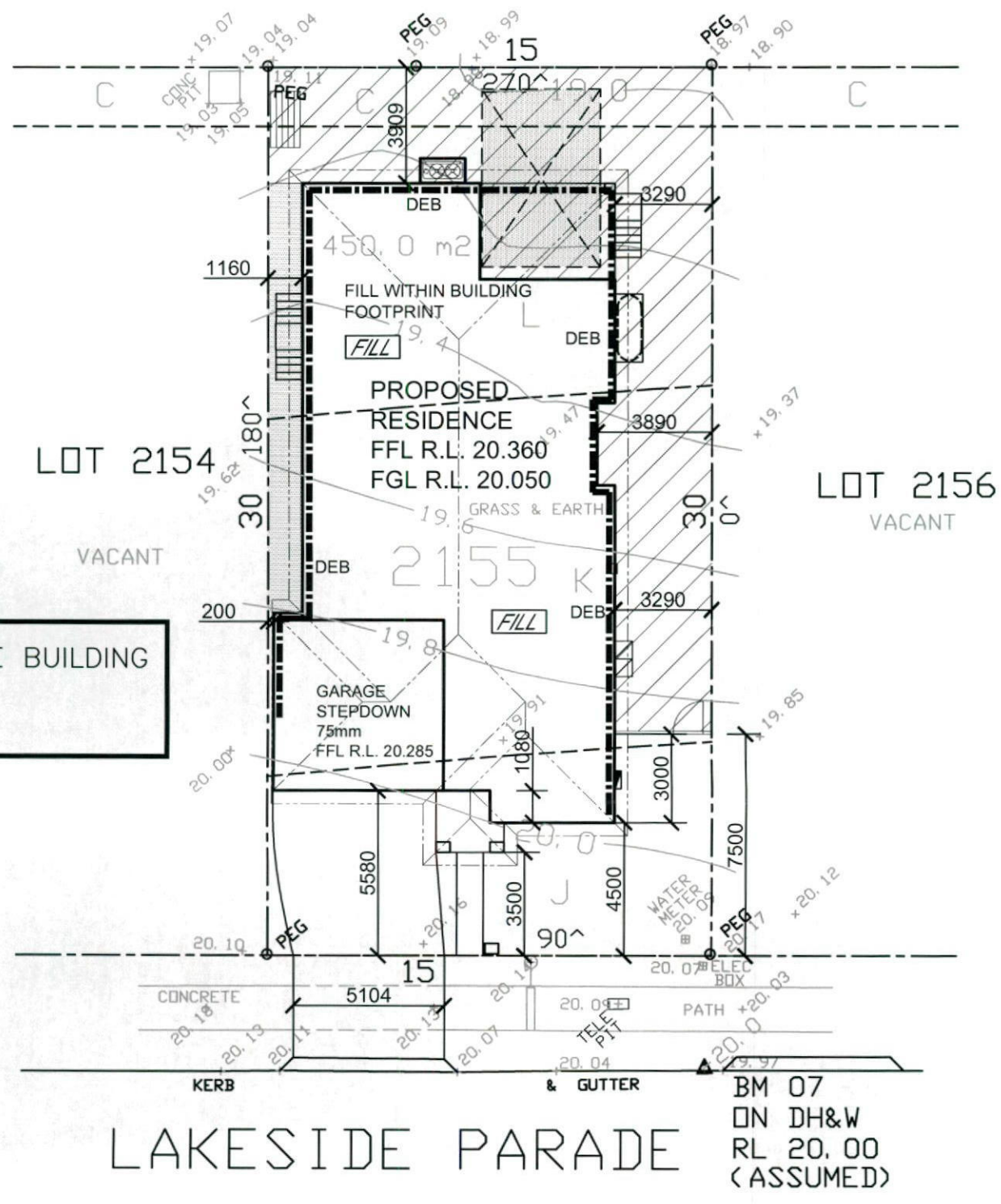
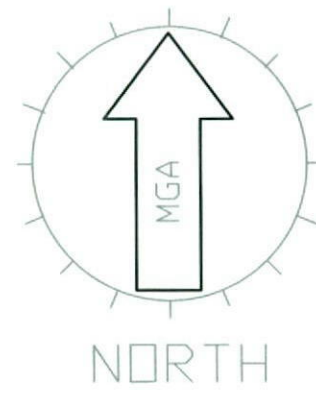
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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

HOUSE NAME: **NEWPORT 24.7**
 FACADE: **TRADITIONAL**
 SPECIFICATION: **Diamond Inclusion**
 SCALE: **1:200** GARAGE HANG: **L/H**

CLIENT: **MR & MRS PARR**
 SITE ADDRESS: **LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747**

JOB No: 13010		Rev: F
DRAWN: ME	DATE: 15.07.13	SHEET: 2.4
CHECKED: Checked By	SHEET: 2.4	
DA STAGE		



FILL WITHIN THE BUILDING FOOTPRINT
CUT N/A

STORMWATER TO REAR EASEMENT VIA RAINWATER TANK

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.

C: EASEMENT TO DRAIN WATER 2 WIDE
 L: RESTRICTION ON THE USE OF LAND
 K: RESTRICTION ON THE USE OF LAND
 J: RESTRICTION ON THE USE OF LAND



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SITE SPECIFIC HAZARDS
 * FOOTPATH / PEDESTRIAN TRAFFIC

CUT & FILL PLAN

 kurmondhomes BL No. 205 457C ABN 481 288 211 98 Kurmond Homes PTY LTD 10 Sovereign Place, South Windsor 2756 T: 1300 764 761 F: (02) 45714015	ALL RIGHTS RESERVED This plan is the property of KURMOND HOMES PTY LTD. Copyright in this document is owned by KURMOND HOMES PTY LTD. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by KURMOND HOMES PTY LTD. • COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING	HOUSE NAME: NEWPORT 24.7 FACADE: TRADITIONAL SPECIFICATION: Diamond Inclusion SCALE: 1:200 L/H	CLIENT: MR & MRS PARR SITE ADDRESS: LOT 2155 in DP 1168992, LAKESIDE PARADE JORDAN SPRINGS NSW 2747	JOB No: 13010 DRAWN: ME DATE: 15.07.13 CHECKED: Checked By 2.5 Rev: F
	CLIENT'S SIGNATURE: _____ DATE: _____			DA STAGE