

GENERAL NOTES

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.

THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA 2006, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THIS OFFICE.

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIA AND THE AUSTRALIAN STANDARDS LISTED IN NOTE 4.

AS1288-2006 GLASS IN BUILDINGS – SELECTION AND INSTALLATION
AS1562-1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
AS1684-2010 NATIONAL TIMBER FRAMING CODE
AS2049-2002 ROOF TILES
AS2050-2002 INSTALLATION OF ROOF TILES
AS2870-2011 RESIDENTIAL SLAB AND FOOTINGS – CONSTRUCTION
AS/NZ2904-1995 DAMP-PROOF COURSES AND FLASHINGS
AS3600-2009 CONCRETE STRUCTURES
AS3660 – 2014 BARRIERS FOR SUBTERRANEAN TERMITES
AS3700-2011 MASONRY IN BUILDINGS
AS3740-2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
AS3786-2014 SMOKE ALARMS
AS4005-2012 WIND LOADING FOR HOUSING
AS4100-1998 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND CIVIL ENGINEERING COMPACTS AND DRAWINGS.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1 AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES-
-ALL ROOMS WITHIN 500MM VERTICAL OF THE FLOOR
-BATHROOMS WITHIN 1500mm VERTICAL OF THE BATH BASE
-FULLY GLAZED DOORS
-SHOWER SCREENS
-WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
-WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY
-WITH MANUFACTURER FLASHING ALL ROUND ON CLAPPED SECTIONS ONLY.

GUTTERS WILL BE AS PER SPECIFICATION WITH MIN.100 X 75 RECTANGULAR OR 90mm DIA, DOWNPIPES, EACH DOWN PIPES SHALL SERVICE A MAXIMUM ROOF AREA OF 36 SQ.M. OR SHALL BE POSITIONED AS PER AS 3500.3, 2003, SECTION 3.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS, IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740 . SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

THERMAL INSULATION AS PER ENERGY RATING REPORT.

STAIR REQUIREMENTS: MIN. TREAD 240mm. RISER 115mm. MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE.
BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm. AND IN ACCORDANCE WITH BCA 3.9.2.
FOR STAINLESS STEEL BALUSTRADES REFER TO TABLE 3.9.2.1. (WIRE BALUSTRADE CONSTRUCTION – REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION.

**ALL JOISTS & LVL TO BE SUPPLIED BY
WESBEAM AS PER ENGINEERS DETAILS**

G.J. Gardner. **HOMES**

DRAWING LIST

DRAWING No.	DRAWING TITLE	DATE DRAWN	REVISION
P-00	TITLE PAGE	05/08/2019	C
P-01	PROJECT INFO & COLOURS	05/08/2019	C
P-02	SURVEY	05/08/2019	C
P-03	SITE PLAN & ANALYSIS	10/09/2018	C
P-04	GROUND FLOOR PLAN	06/09/2018	C
P-05	LEVEL ONE FLOOR PLAN	06/09/2018	C
P-06	BUILDING ELEVATIONS	10/09/2018	C
P-07	BUILDING ELEVATIONS	10/09/2018	C
P-08	3D VIEWS	10/09/2018	C
P-09	ROOF & STORMWATER PLAN	05/08/2019	C
P-10	SLAB SET OUT PLAN	05/08/2019	C
P-11	BUILDING SECTIONS	05/08/2019	C
P-12	SHADOW DIAGRAMS	05/08/2019	C
P-13	CONCEPT LANDSCAPE PLAN	05/08/2019	C
P-14	EROSION & SEDIMENT PLAN	05/08/2019	C
P-15	WASTE MANAGEMENT	05/08/2019	C
P-16	NOTIFICATION PLAN	05/08/2019	C
P-17	BLANK FLOOR PLAN	05/08/2019	C
P-18	GAS, TAP & BATHROOM PLAN	05/08/2019	C
P-19	BASIX COMMITMENTS	05/08/2019	C

BAL 12.5 CONSTRUCTION

ESSENTIAL INCLUSIONS



LOCATION OF SMOKE DETECTORS(REFER ELECTRICAL LAYOUT PLANS) TO BE HARD WIRED WITH EMERGENCY BACK-UP AND COMPLY WITH AS3786.

WIND SPEED AS NOMINATED ON BRACING PLAN.

PROVIDE LIFT OF HINGES TO W.C. OR OPEN OUT DOOR OR MIN.1200MM CLEARANCE FROM DOOR TO PAN.

EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AREA AIR OR TO A VENTED ROOF SPACE AND AS PER AS 1668.2.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COSTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

LEGEND

CJ	CONSTRUCTION JOINT	FSR	FLOOR SPACE RATIO
DP	DOWNPIPE	LB	LOAD BEARING
FP	FIRE PLACE	NGL	NATURAL GROUND LINE
FW	FLOOR WASTE	UBO	UNDER BENCH OVEN
HWS	HOT WATER SYSTEM	WO	WALL OVEN
AC	AIR CONDITIONING	DW	DISHWASHER
PS	PLUMBING STACK/DUCT	MW	MICROWAVE
SP	STEEL POST	WM	WASHING MACHINE
TBC	TO BE CONFIRMED	WIR	WALK-IN ROBE
RL	RELATIVE LEVEL	SD	SLIDING GLASS DOOR
AHD	AUSTRALIAN HEIGHT DATUM	AAW	ALUMINIUM AWNING WINDOW
CSD	CAVITY SLIDING DOOR	ADH	ALUMINIUM DOUBLE HUNG WINDOW
OHC	OVER HEAD CUPBOARD	AAW	ALUMINIUM AWNING WINDOW
FG	FIXED GLASS	ALW	ALUMINIUM LOUVRE WINDOW
		BCA	BUILDING CODE OF AUSTRALIA
		AS	AUSTRALIAN STANDARDS

SITE NOTES

ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2.&3.5.2 AS WELL AS/NZS 3500

A MINIMUM HEIGHT OF 150mm SHALL BE MAINTAINED BETWEEN THE TOP OF THE OVERFLOW GULLY RISER & THE LOWEST FIXTURE CONNECTED TO THE DRAIN. THE OVERFLOW GULLY RISER SHALL BE LOCATED AT 75mm ABOVE SURROUNDING GROUND LEVEL OR SHALL BE FINISHED AT A HEIGHT TO PREVENT THE INGRESS OF WATER WHEN LOCATED IN A PATH OR PAVED AREA.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100, DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

ALL STORMWATER DRAINAGE BELOW GROUND SHALL BE SEWER GRADE WITH NO JOINTS UNDER SLAB INSTALLED TO AS3500:3,2003. MINIMUM PIPE SIZE 100mm MINIMUM GRADE 1:100.

LOCATION PLAN T.B.C.

**BAL 12.5 CONSTRUCTION
ALL NEW CONSTRUCTION TO COMPLY WITH AS3959-2009
'CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS'**

SIGNATURES

OWNER

OWNER

BUILDER

DATE

DATE

DATE

ISSUE AMENDMENT DATE

A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019

VAUGHAN drafting services

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CLIENT:

**KYM MOWAT & TRACEY
BAKER**

PROJECT LOCATION:

**LOT 322 ON DP 1243735
#8 RANDALL ST
HIGHLAND VIEWS ESTATE
GLENMORE PARK NSW 2745**

DESIGN:

BALMAIN 258

FACADE:

CLASSIC

DRAWN BY:

SV

DATE DRAWN:

05/08/2019

SCALE:

@ A3

JOB NO:

DRAWING TITLE:

TITLE PAGE

DRAWING NO:

P-00

ISSUE:

C

G.J. Gardner. **HOMES**

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ISSUE	AMENDMENT	DATE
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019

PROJECT INFORMATION

DATE OF ISSUE	:	09 AUGUST 2019
PROJECT NUMBER	:	
DESIGN NAME	:	BALMAIN 270 - MODIFIED
PROJECT NAME	:	MOWAT & BAKER
LOCATION	:	LOT 322 RANDALL ST. HIGHLAND VIEWS GLENMORE PARK NSW 2745
STREET NUMBER	:	No. 8
ZONING	:	
SITE AREA	:	335.5m ²
DP NUMBER	:	1243735
SURVEY BY	:	CAD CONSULTING
BUILDING AREA	:	258.18m ²
BUILDING SITE COVER	:	46.86%
REMAINING PERVIOUS AREA	:	APPROX. 111m ² (NOT INC. DRIVEWAY)
PROPOSED BAL RATING	:	BAL 12.5
TOTAL ROOF AREA	:	206m ²
ROOF AREA COLLECTED	:	AS PER BASIX
RAINWATER TANK CAPACITY	:	3,000 LITRE
SLAB TYPE	:	H1
SITE CLASSIFICATION	:	
SOIL CLASSIFICATION	:	
WIND CLASSIFICATION	:	
D.A. NUMBER	:	

COLOUR SELECTIONS

BRICKS	:	AUSTRAL- EVERYDAY LIFE - UNWIND
MORTAR	:	IRONED, OFF WHITE
ROOFING	:	COLORBOND - CUSTOM ORB - MONUMENT
PARAPET CAPPING	:	COLORBOND - SURFMIST
RENDER	:	TAUBMANS - STRUAN GREY
WEATHERBOARD CLADDING	:	TAUBMANS - ASHEN MIST
FEATURE STONE CLADDING	:	N/A
WINDOWS	:	BRADNAMS - ALUMINIUM POWDERCOAT - BLACK MATT
GARAGE DOOR	:	B & D - SEVILLE - COLOUR TIMBERGRAIN CAOBA
FRONT DOOR	:	CORINTHIAN - PMAD 4G TAUBMANS - ASHEN MIST
LAUNDRY DOOR	:	BRADNAMS - ALUMINAUM POWDER - BLACK MATT
GUTTERS	:	COLORBOND - MONUMENT
DOWNPINES	:	COLORBOND - MONUMENT
FASCIA	:	COLORBOND - MONUMENT
EAVES	:	TAUBMANS - COTTON BALL
METER BOX	:	COLORBOND - MONUMENT
WATER TANK	:	COLORBOND JASPER
DRIVEWAY	:	CONCRETE GUNMETAL - T.B.C. WITH BUILDER



AUSTRAL BRICKS
Everyday Life, Unwind
Off White Mortar, Iron joint



WINDOWS
Bradnams, Black Matt



METAL ROOFING
Custom Orb, Colorbond
Monument



TAUBMANS, MONUMENT
Downpipes & Meter Box



COLORBOND, MONUMENT
Gutter, Fascia & Parapet
Roof



TAUBMANS, ASHEN MIST
Cladding & Front Door



COLORBOND, SURFMIST
Parapet Capping



TAUBMANS, STRUAN GREY
Render to Parapet Entry



COLORBOND, JASPER
Water Tank



GARAGE DOOR
Seville, Timbagrain Caoba

I / WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

SIGNATURES

OWNER

DATE

OWNER

DATE

BUILDER

DATE



VAUGHAN
drafting services

VAUGHAN DRAFTING PTY LTD

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DESIGN:
BALMAIN 258

FACADE:
CLASSIC

DRAWN BY:
SV

DATE DRAWN: 05/08/2019 SCALE: 1 : 1 @ A3

JOB NO:

DRAWING TITLE:
PROJECT INFO & COLOURS

DRAWING NO: P-01 ISSUE: C

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(E1) - EASEMENT TO DRAIN WATER 2 WIDE

(E3) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE

PLAN ORIENTATION: M.G.A.

M.G.A.

NOTES:

1. THIS PLAN HAS BEEN PREPARED BY A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS WHERE INDICATED. THE TITLE BOUNDARIES SHOWN HEREON HAVE NOT BEEN MARKED BY CAD CONSULTING AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD MEASUREMENTS.
2. IF THE DIMENSIONS OR DESCRIPTION OF THE TITLE ARE CRITICAL FOR DESIGN AND/OR CONSTRUCTION OF NEW STRUCTURES OR FINANCIAL DECISIONS WE RECOMMEND THAT AN IDENTIFICATION SURVEY OR RE-SURVEY OF BOUNDARIES BE CARRIED OUT.
3. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE EXCEPT WHERE OTHERWISE INDICATED.
4. ONLY VISIBLE SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE. NON VISIBLE AND/OR UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN.
5. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF ALL SERVICES.
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8. THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN AND CANNOT BE REMOVED.

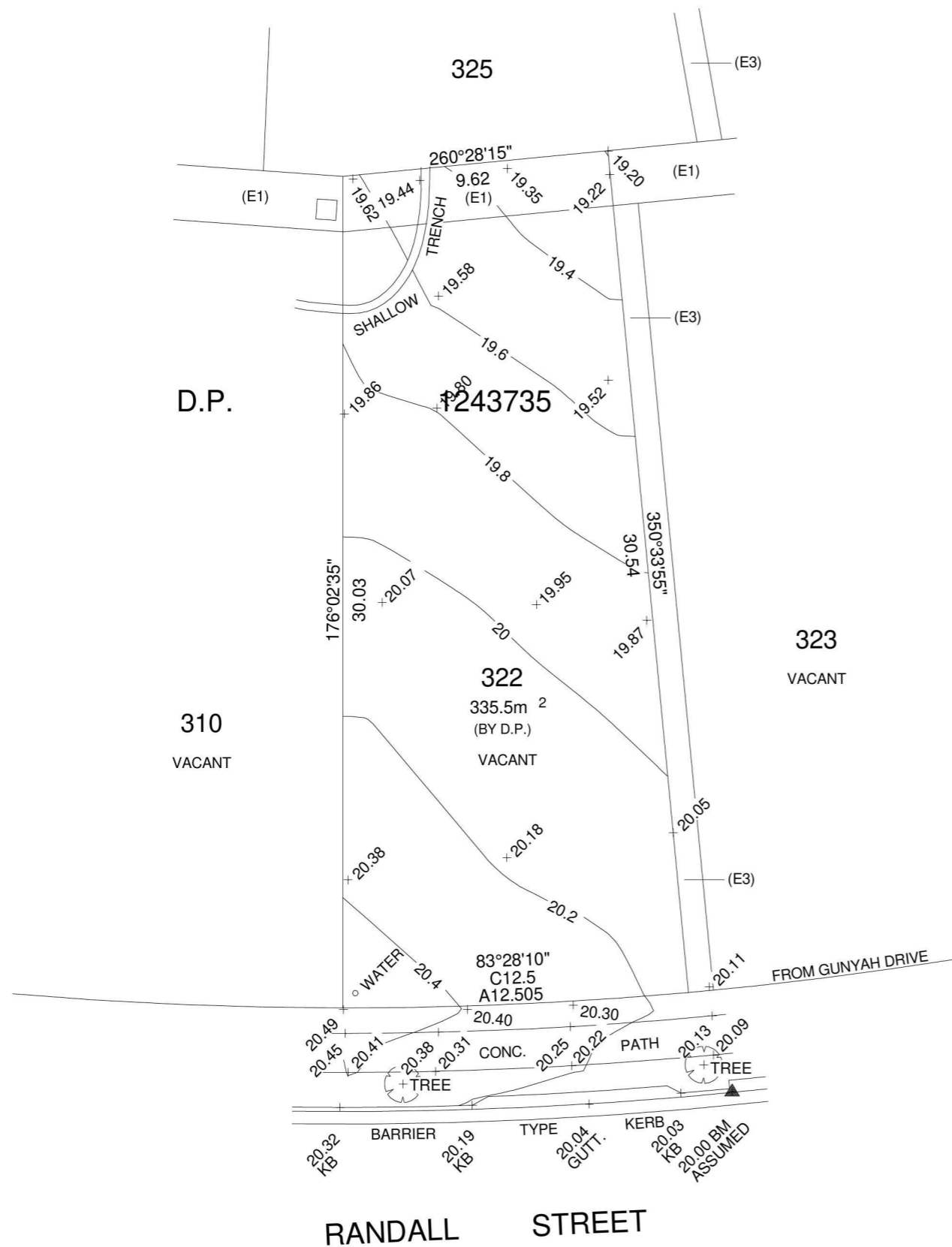
SIGNATURES

OWNER	/ /
DATE	/ /
OWNER	/ /
DATE	/ /
BUILDER	/ /
DATE	/ /

KEY TO SYMBOLS

- VEHICLE CROSSING
- STORMWATER PIT
- KERB INLET PIT
- TELSTRA PIT
- OPTUS PIT
- SEWER MAN HOLE
- ELECTRICITY PILLAR
- STOP VALVE
- HYDRANT
- POWER POLE
- LIGHT POLE
- TREE (SPREAD/DIAM./HEIGHT)

Certificate Number: PWBX0VNGEH
 Assessor Name: Claudiu Francis Sookioli
 Accreditation number: VK:BD0AV141166Z
 Certificate date: 17 Sep 2019
 Dwelling address:
 Lot 322 (88) Randall Street GLENMORE PARK Penrith City Council NSW 2145
 www.nations.gov.au



**CONTOUR SURVEY OF
LOT 322 IN
D.P. 1243735
FOR: G.J. GARDNER HOMES**

L.G.A.:	PENRITH	Datum:	ASSUMED
Locality:	GLENMORE PARK	Contour Interval:	0.2
Date:	21/8/19	Drawn By:	DG
Scale:	1:200	Checked By:	LT

CAD Consulting

Priporitor: C.A.D. Surveying Services Pty Ltd
A.B.N.: 22 092 136 117

Land & Engineering Surveyors
Development Consultants

41 Lemongrove Road, PENRITH
P.O. Box 259 PENRITH, 2751
D.X. 8024, PENRITH
Phone: (02) 4732 2040
Fax: (02) 4732 1846
E-mail: admin@cadconsulting.com.au

Our Reference:	42954DET	Your Reference:	220402/115
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3. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN CARRIED OUT EXCEPT WHERE OTHERWISE NOTED.
4. ONLY VISIBLE SERVICES ARE SHOWN, NON-VISIBLE AND/OR UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY.
5. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF SERVICES.
6. THIS PLAN HAS BEEN PREPARED EXCLUSIVELY FOR USE BY GJ GARDNER.

SITE INFORMATION

LOT - 322
 DP - DP 1243735
 SITE AREA - 335.5m²
 SITE COVER - 46.86%

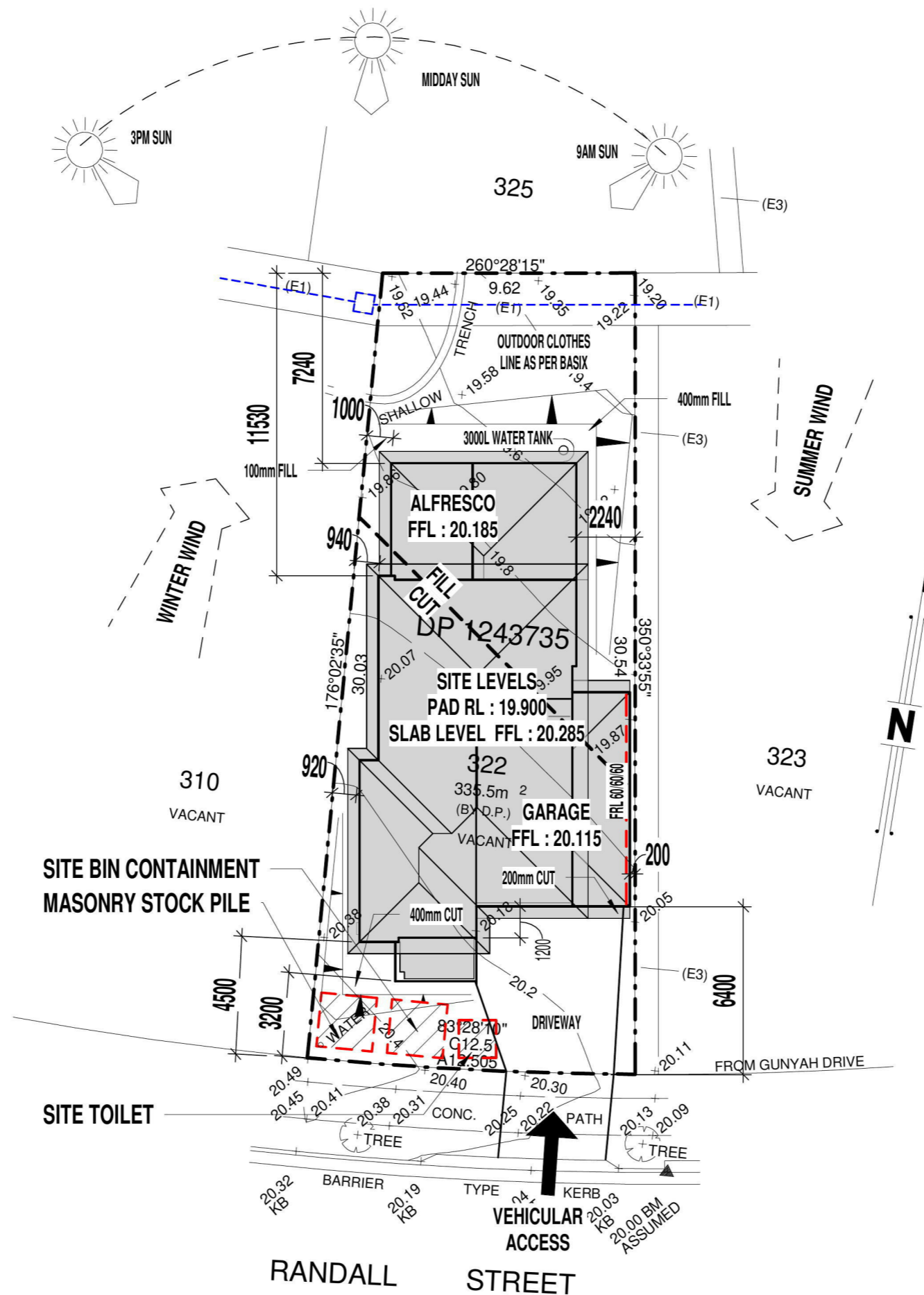
SITE CLASSIFICATION -
 SOIL CLASSIFICATION -
 WIND CLASSIFICATION -

- DRIVEWAYS AND VEHICULAR ACCESS TO COMPLY WITH AS 2890.1 (2004)
- PROVIDE TERMITE BARRIER TO MANUFACTURES DETAILS TO AS 3660
- GLAZING TO COMPLY WITH AS 1288 - 1989
- PROVIDE SMOKE DETECTORS IN ACCORDANCE WITH AS 3786 AND PART 3.7.2 OF THE B.C.A
- STAIRS AND BALUSTRADES TO BE IN ACCORDANCE WITH PARTS 3.9.1 & 3.9.2 OF THE B.C.A
- PROVIDE MECHANICAL VENTILATION TO ALL INTERNAL WET AREAS WHERE SHOWN TO B.C.A REQUIREMENTS PART 3.8.5.0 AND AS 1684
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BOTH B.C.A AND AUSTRALIAN STANDARD REQUIREMENTS
- PROVIDE WEATHER - STRIPS TO ALL EXTERIOR HINGED DOORS
- ALL PLUMBING DEVICES KITCHEN & BATHROOM TAPS, SHOWER HEAD, WC ETC ARE TO BE MINIMUM 3 STAR RATED AND MEET SAA-MP64-1995 REQUIREMENTS OF BASIX ASSESSMENT
- INSTALL RAINWATER COLLECTION TANK AS BASIX ASSESSMENT
- RAINWATER TANK TO BE PLUMBED TO SUPPLY WC'S, 1x GARDEN TAP AND WASHING MACHINE TAPS
- ALL CONSTRUCTION TO COMPLY WITH SECTION A3.7 AND ADDENDUM APPENDIX 3 OF PLANNING FOR BUSHFIRE PROTECTION
- WINDOWS SHALL COMPLY WITH PART 3.9.2.5 OF THE B.C.A

SITE PLAN

1 : 200

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BAL 12.5 CONSTRUCTION

ISSUE	AMENDMENT	DATE
5	PRELIMINARY ISSUE 5	29/07/2019
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019

VAUGHAN
drafting services

VAUGHAN DRAFTING PTY LTD

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CLIENT:
**KYM MOWAT & TRACEY
 BAKER**

PROJECT LOCATION:
**LOT 322 ON DP 1243735
 #8 RANDALL ST
 HIGHLAND VIEWS ESTATE
 GLENMORE PARK NSW 2745**

DESIGN:
BALMAIN 258

FACADE:
CLASSIC

DRAWN BY:
SV
 DATE DRAWN: 10/09/2018
 SCALE: As indicated @ A3

JOB NO:

DRAWING TITLE:
SITE PLAN & ANALYSIS

DRAWING NO: P-03
 ISSUE: C

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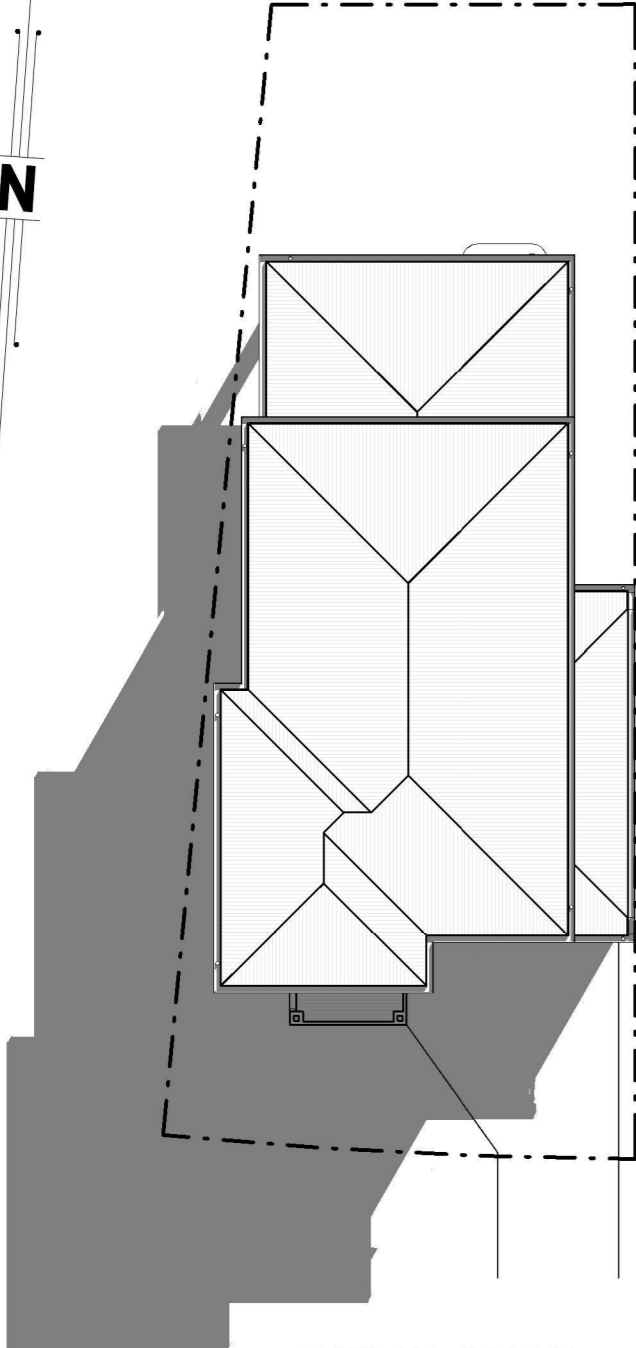


I / WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

SIGNATURES

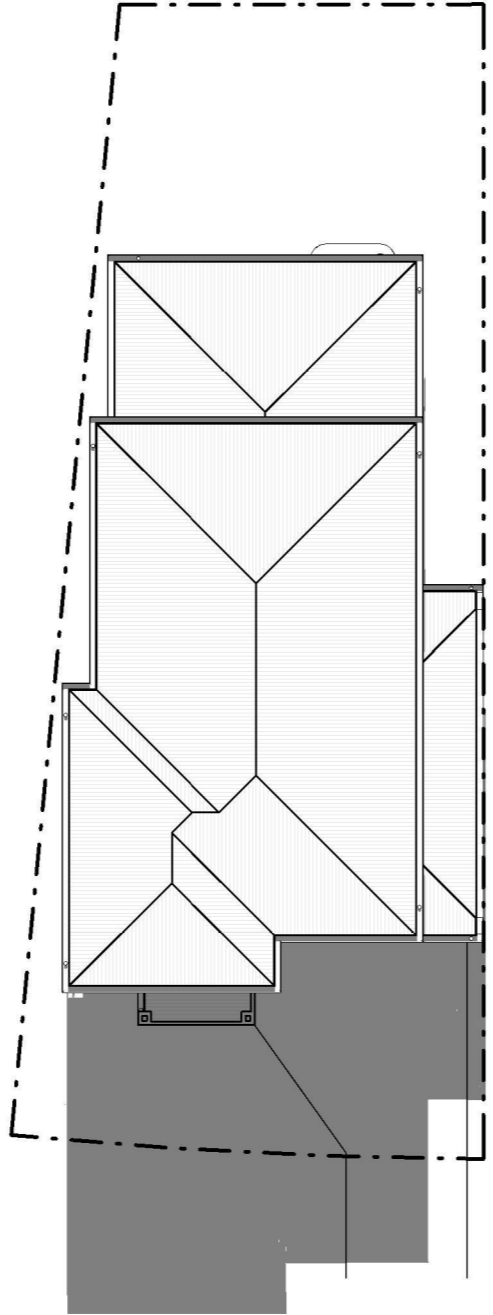
OWNER	DATE
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BUILDER	DATE

ISSUE	AMENDMENT	DATE
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019



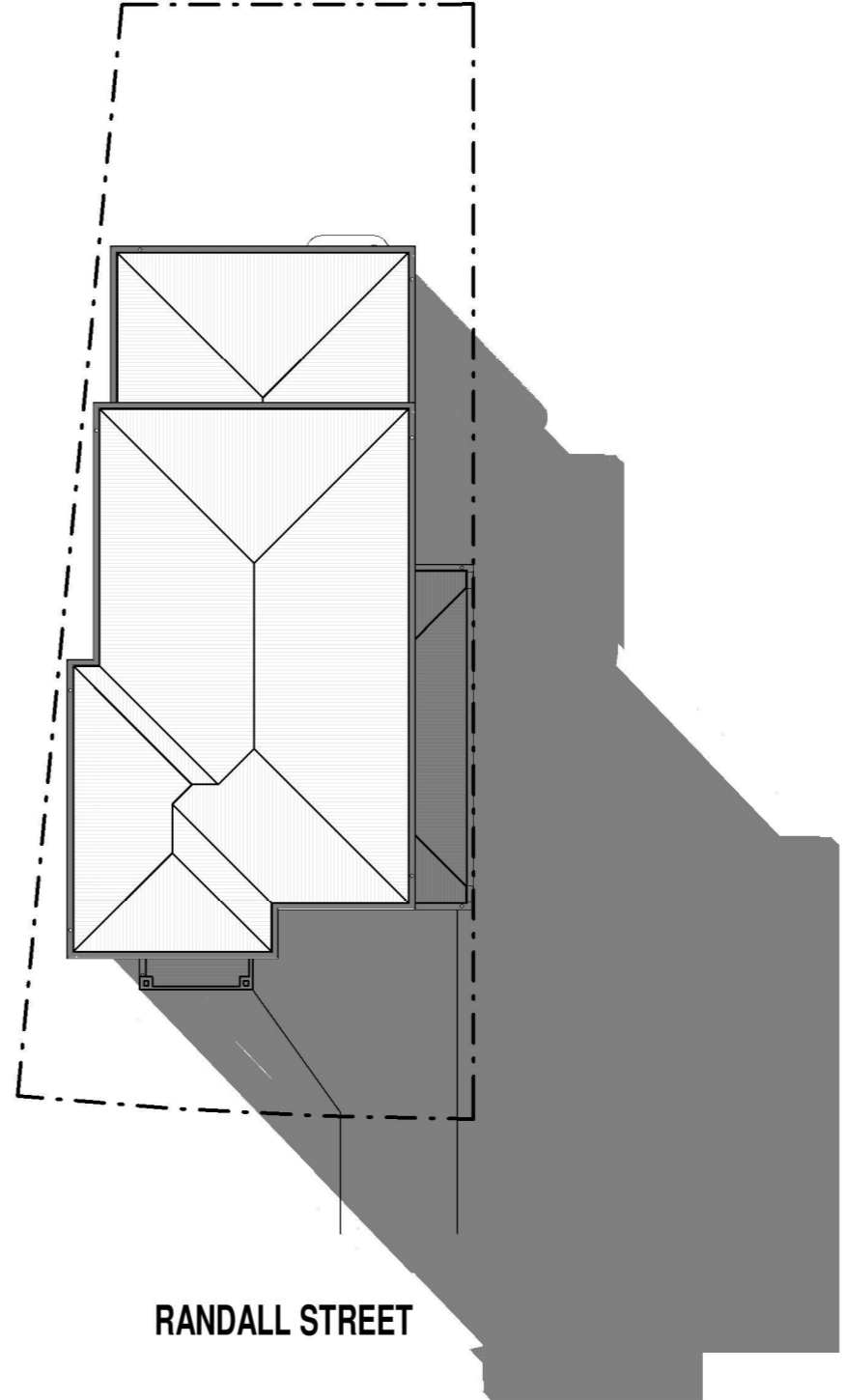
RANDALL STREET

21st JUNE - 10am



RANDALL STREET

21st JUNE - 12 NOON



RANDALL STREET

21st JUNE - 3pm



I / WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

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OWNER	_____	DATE	____/____/____
OWNER	_____	DATE	____/____/____
BUILDER	_____	DATE	____/____/____

VAUGHAN
drafting services

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CLIENT:
**KYM MOWAT & TRACEY
BAKER**

PROJECT LOCATION:
**LOT 322 ON DP 1243735
#8 RANDALL ST
HIGHLAND VIEWS ESTATE
GLENMORE PARK NSW 2745**

DESIGN:
BALMAIN 258
FACADE:
CLASSIC
DRAWN BY:
SV
DATE DRAWN: 05/08/2019 SCALE: @ A3

JOB NO:

DRAWING TITLE:
SHADOW DIAGRAMS

DRAWING NO: P-12 ISSUE: C

G.J. Gardner. HOMES

G.J. GARDNER SYDNEY WEST

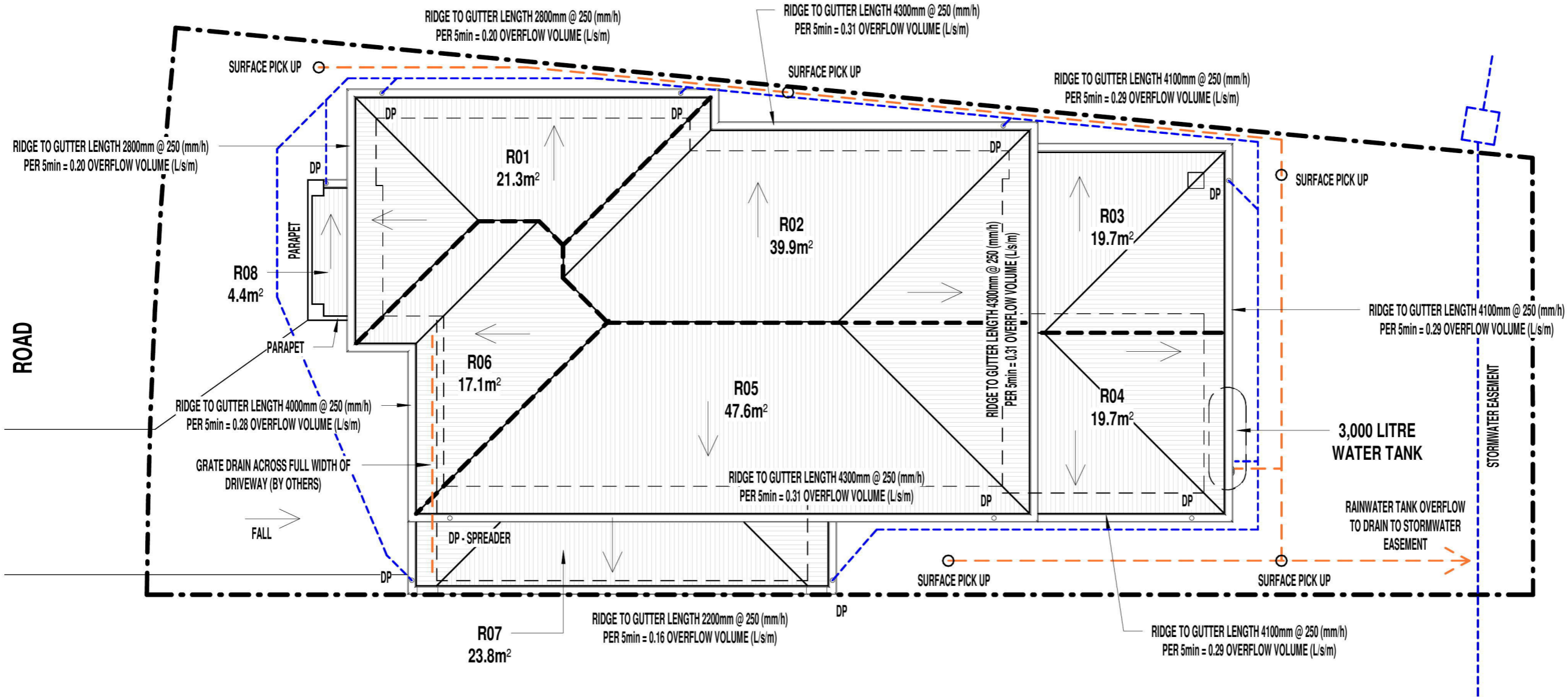
A.B.N: 74 617 249 706 LICENSE: 309650C
8 / 37 York Road
Penrith NSW 2750
P: (02) 4732 4600
W: www.gjgardner.com.au

ISSUE	AMENDMENT	DATE
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019

ROOF SCHEDULE:

- 244mm/hr (5min DURATION, 100 YEAR RECURRENCE INTERVAL)
- MAXIMUM OF 35-40m² OF ROOF COLLECTION PER DOWNPIPE
- APPROX. ROOF AREA - 206m², MIN. 6 DOWNPIES REQUIRED
- COLORBOND METAL ROOF @ 22.5° PITCH
- 90mm DIA DOWNPIPE and 150mm 'D' GUTTER
- GUTTER TO BE 'FRONT FACE SLOTTED' GUTTER AS PER NCC TABLE 3.5.2.4

NOTE : SURFACE DRAINAGE TO BE PROVIDED TO PERIMETER OF DWELLING WHERE REQUIRED



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GLENMORE PARK NSW 2745

DESIGN:
BALMAIN 258

FACADE:
CLASSIC
DRAWN BY:
SV

DATE DRAWN: 05/08/2019
SCALE: 1 : 100 @ A3

JOB NO:

DRAWING TITLE:
ROOF & STORMWATER PLAN

DRAWING NO: P-09
ISSUE: C

G.J. Gardner. HOMES

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ROOF & STORMWATER PLAN

1 : 100



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SIGNATURES

OWNER	DATE
OWNER	DATE
BUILDER	DATE

ISSUE	AMENDMENT	DATE
5	PRELIMINARY ISSUE 5	29/07/2019
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019



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3D VIEWS - INDICATIVE ONLY AND FOR ILLUSTRATION PURPOSES. REFER TO COLOUR SELECTIONS SHEET FOR ACTUAL COLOURS & TEXTURES



PROJECT LOCATION:
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GLENMORE PARK NSW 2745**

DESIGN:
BALMAIN 258

FACADE:
CLASSIC

DRAWN BY:
SV

DATE DRAWN:
10/09/2018

SCALE:
@ A3

JOB NO:

5.2
NATIONWIDE
HOUSE
108 M²
www.nathers.gov.au

Certificate Number: PWEX0V9NEH
Assessor Name: Claude-Francois Soeklell
Accreditation number: VIC/BDV/14/1662
Certificate date: 17 Sep 2019
Dwelling address: Lot 322 (#8) Randall Street GLENMORE PARK Penrith City Council NSW 2745
www.nathers.gov.au

QR Code: PWEX0V9NEH

SIGNATURES

OWNER

DATE

OWNER

DATE

BUILDER

DATE

DRAWING NO: **P-08** ISSUE: **C**

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ALL LANDSCAPING TO COMPLY WITH THE PRINCIPLES OF APPENDIX 5 OF 'PLANNING FOR BUSHFIRE PROTECTION 2006' AND THE NSW RURAL FIRE SERVICE'S 'STANDARDS FOR ASSET PROTECTION ZONES'

ISSUE	AMENDMENT	DATE
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C	WINDOW AMENDS	26/09/2019

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DATE DRAWN: 05/08/2019
SCALE: 1 : 150 @ A3

JOB NO:

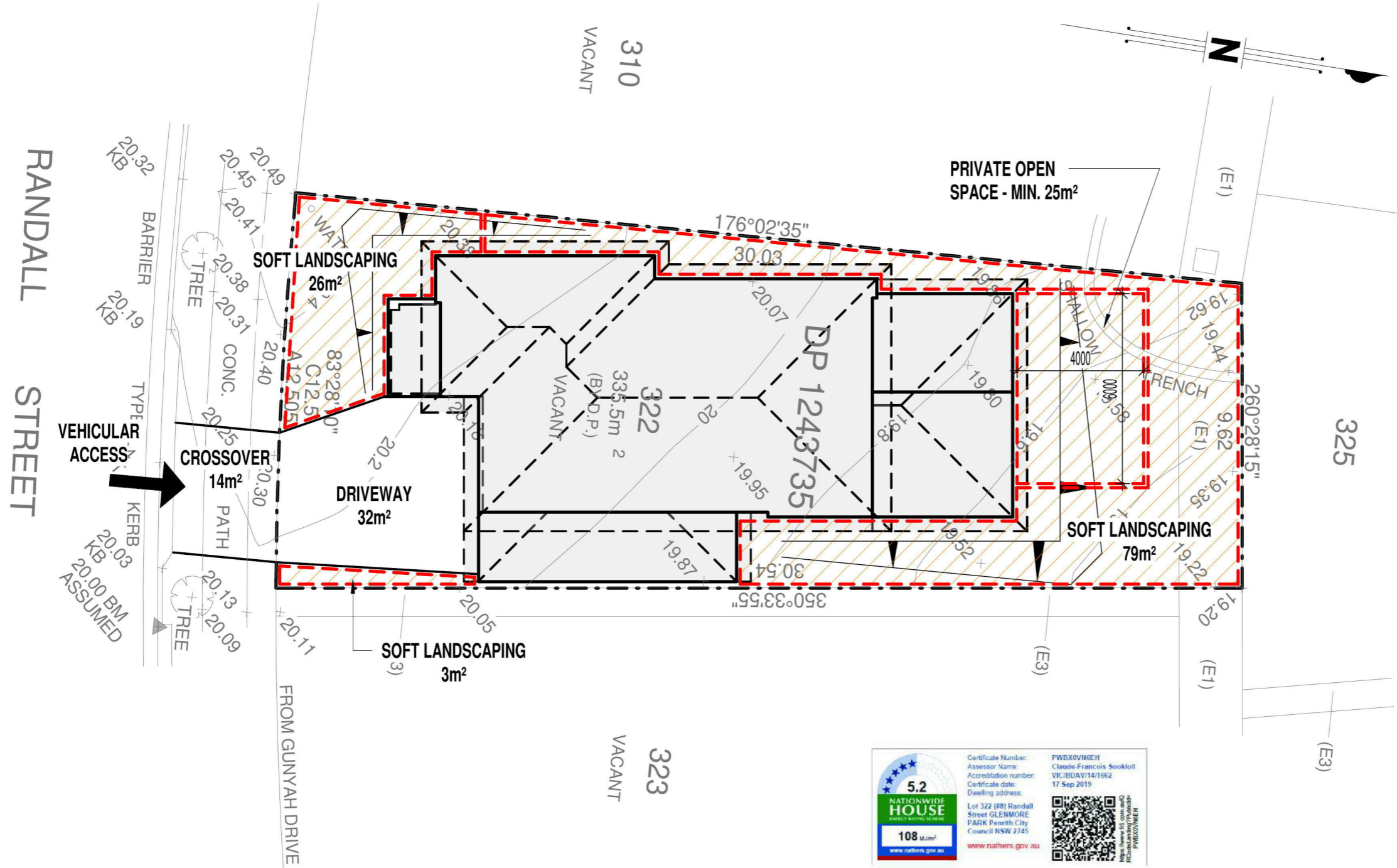
DRAWING TITLE:
CONCEPT LANDSCAPE PLAN

DRAWING NO: P-13
ISSUE: C

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5.2
NATIONWIDE
HOUSE
108 m²
www.rattlers.gov.au

Certificate Number: PWEXOVN8EH
Assessor Name: Claude-Francois Sookloff
Accreditation number: VIC-BDAV147062
Certificate date: 17 Sep 2019
Dwelling address: Lot 322 (88) Randall Street GLENMORE PARK Penrith City Council NSW 2745
www.rattlers.gov.au

BAL 12.5 CONSTRUCTION
ALL NEW CONSTRUCTION TO COMPLY WITH AS3959-2009 'CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS' AND SECTION A3.7 'ADDITIONAL CONSTRUCTION REQUIREMENTS OF ADDENDUM : APPENDIX 3 - PLANNING FOR BUSHFIRE PROTECTION'

I / WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

SIGNATURES

OWNER	_____/_____/_____	DATE	____/____/____
OWNER	_____/_____/_____	DATE	____/____/____
BUILDER	_____/_____/_____	DATE	____/____/____

CONCEPT LANDSCAPE PLAN
1 : 150

ISSUE	AMENDMENT	DATE
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DESIGN:
BALMAIN 258

FACADE:
CLASSIC

DRAWN BY:
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 DATE DRAWN: 05/08/2019 SCALE: 1 : 250 @ A3

JOB NO:

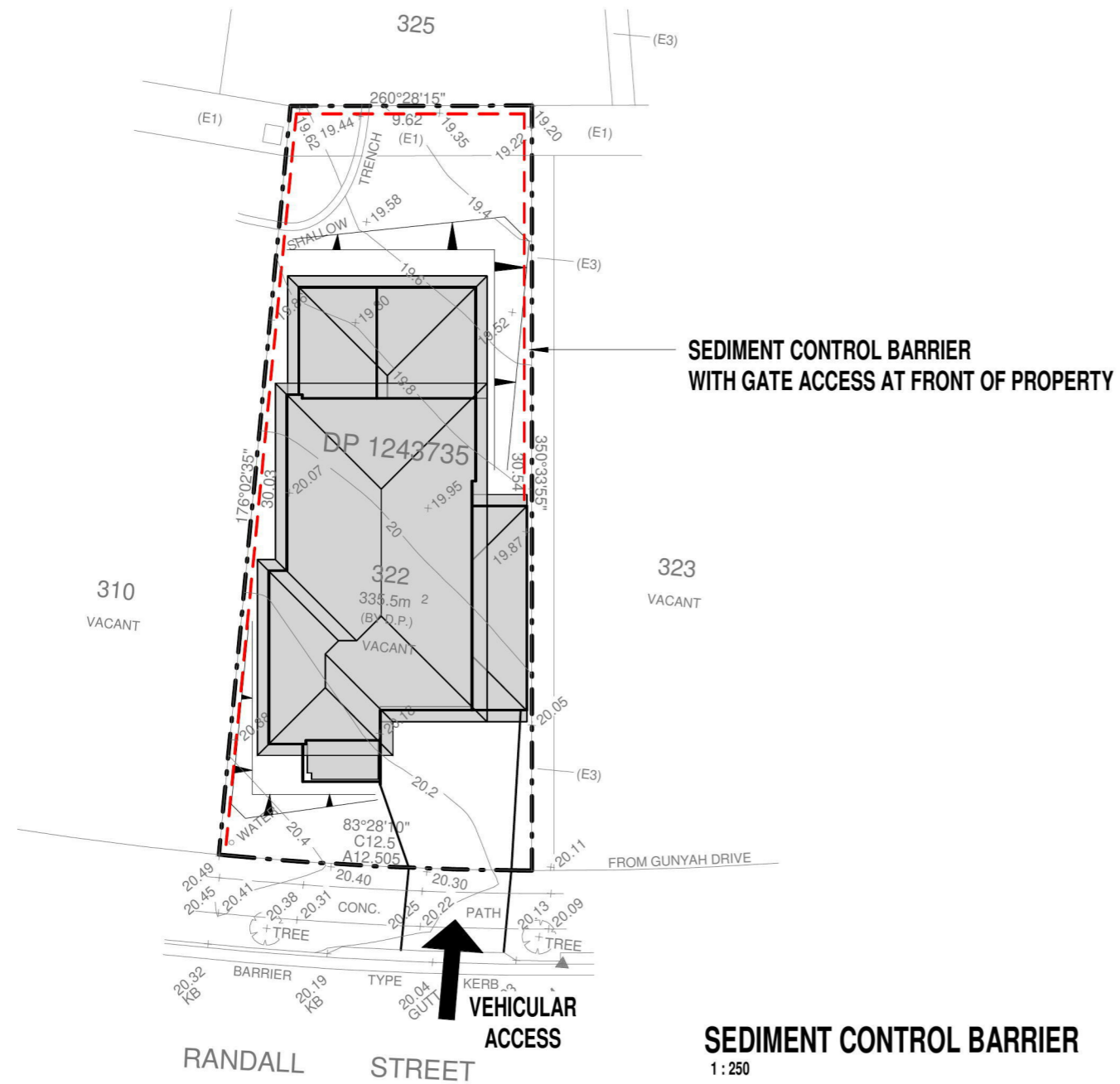
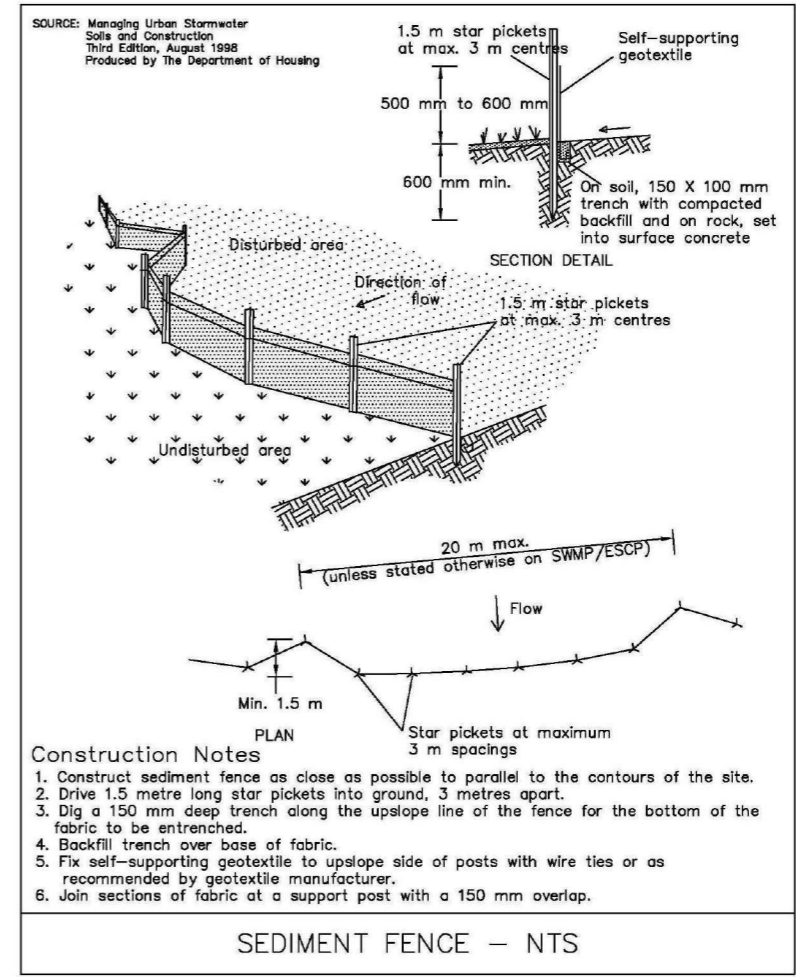
DRAWING TITLE:
EROSION & SEDIMENT PLAN

DRAWING NO: P-14 ISSUE: C

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SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

I / WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

SIGNATURES

OWNER	DATE	/ /
OWNER	DATE	/ /
BUILDER	DATE	/ /

DEMOLITION PHASE - IF APPLICABLE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	70	Clean good bricks and use for internal walls	Unbroken bricks cleaned and sold offsite; used other site; Waste Management centre for recycling	Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10	Crush and combine with soil and fertilizer for landscaping and new gardens	Waste Management centre	Nil to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	N/A		Cart to licensed asbestos tip	Nil to landfill

CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	1		Unbroken bricks cleaned returned to supplier. Broken bricks to Waste Management centre for recycling.	Nil to landfill
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5	Crush and combine with soil and fertilizer for landscaping and new gardens	Excess plasterboard returned to supplier	Nil to landfill
Roof tiles	0.2		Good tiles returned to supplier. Broken tiles to Waste Management centre for recycling	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

WASTE MANAGEMENT

1:1



SIGNATURES

OWNER	_____	DATE	___/___/___
OWNER	_____	DATE	___/___/___
BUILDER	_____	DATE	___/___/___

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ISSUE	AMENDMENT	DATE
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019

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BAKER
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GLENMORE PARK NSW 2745

DESIGN:
BALMAIN 258
FACADE:
CLASSIC
DRAWN BY:
SV
DATE DRAWN: 05/08/2019 SCALE: 1:1 @ A3

JOB NO:
DRAWING TITLE:
WASTE MANAGEMENT
DRAWING NO: P-15 ISSUE: C

ISSUE	AMENDMENT	DATE
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019

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DRAWN BY:
SV
 DATE DRAWN: 05/08/2019 SCALE: As indicated @ A3

JOB NO:

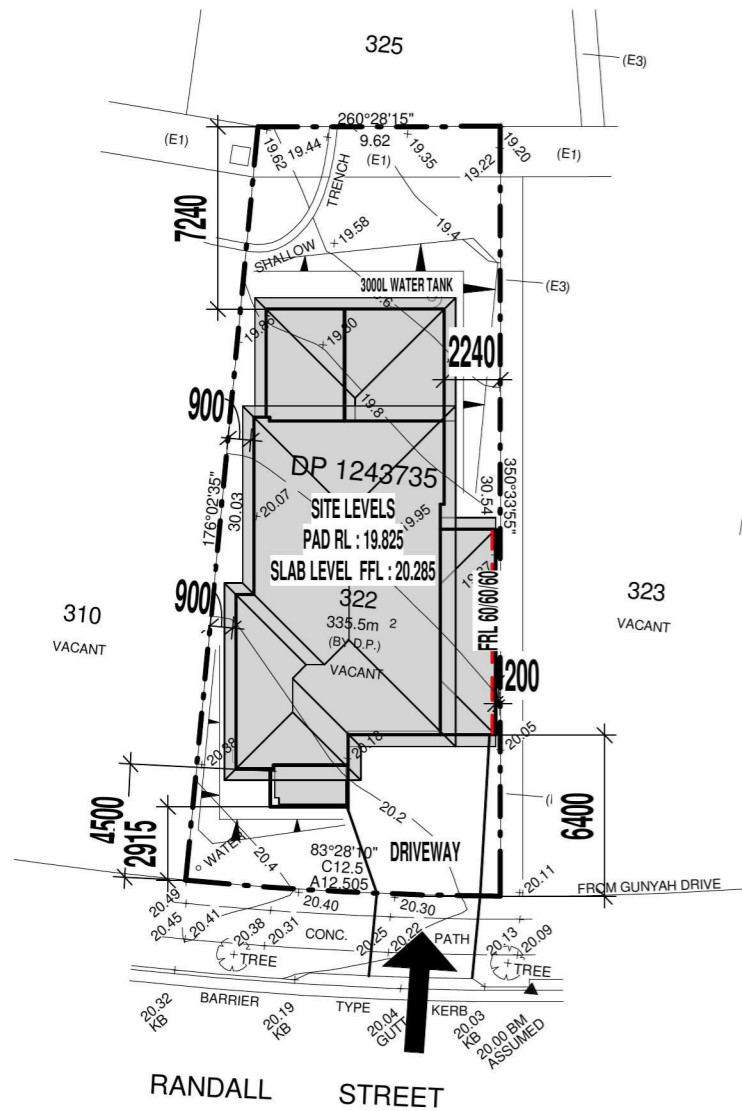
DRAWING TITLE:
NOTIFICATION PLAN

DRAWING NO: P-16 ISSUE: C

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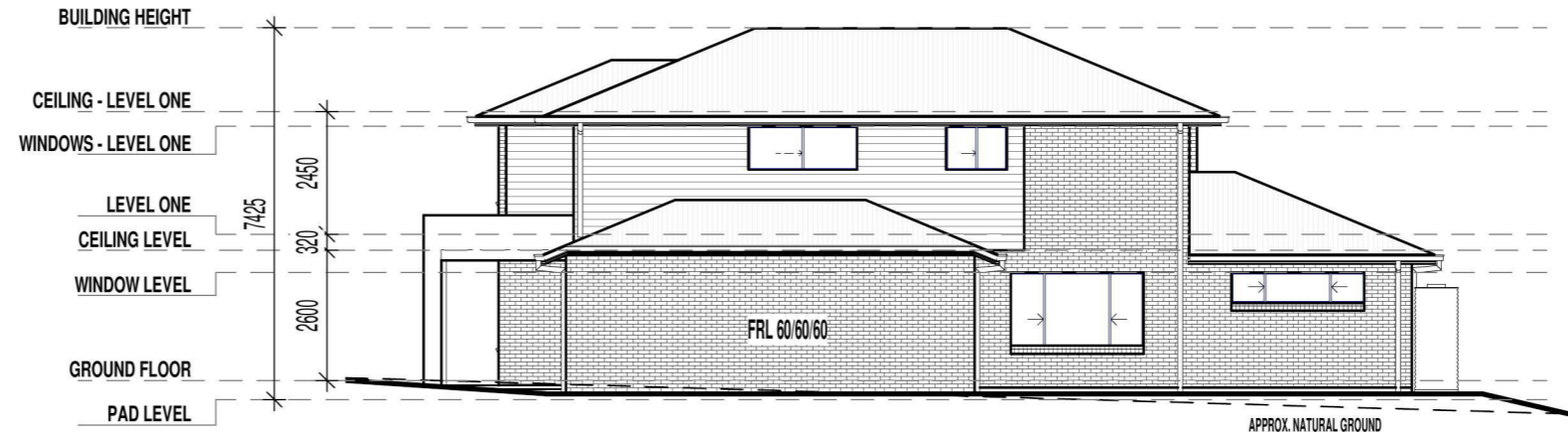
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NOTIFICATION PLAN

1 : 300



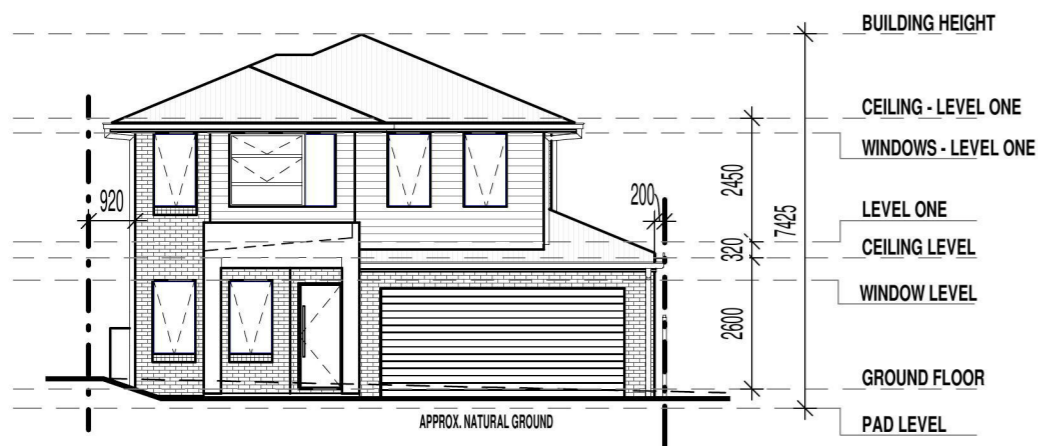
EASTERN ELEVATION

1 : 150



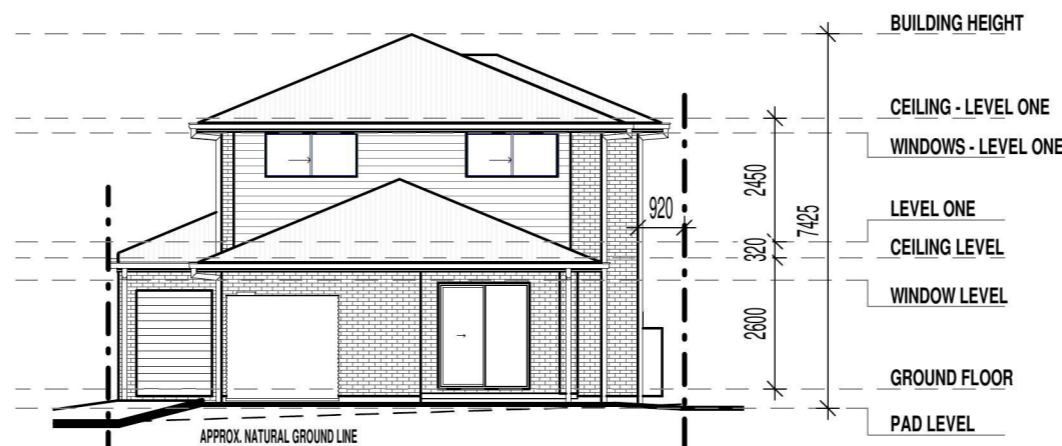
WESTERN ELEVATION

1 : 150



SOUTHERN ELEVATION

1 : 150



NORTHERN ELEVATION

1 : 150



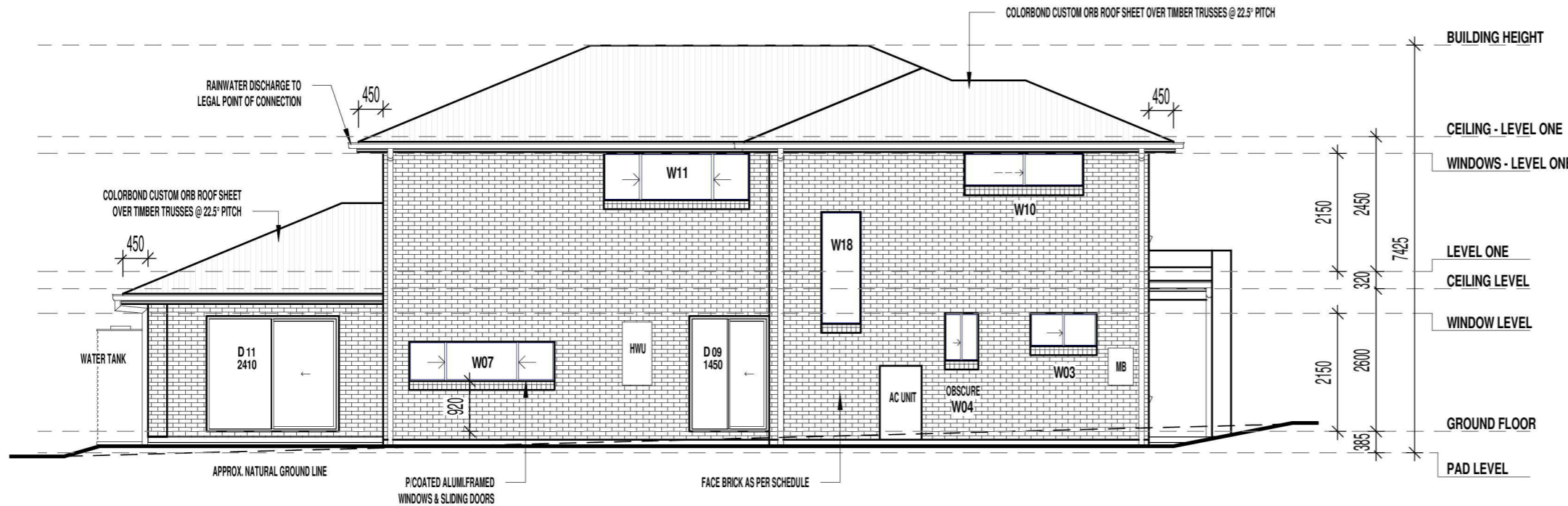
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NOTE:
 DIMENSIONS ON DRAWINGS ARE DIMENSIONED TO THE STRUCTURAL TIMBER FRAME & DO NOT INDICATE THE FINISHED ROOM SIZE OR CEILING HEIGHT. ALLOWANCES OF UP TO & EVEN GREATER THAN 40mm FOR FINISHED ROOM SIZES MEASURED FROM PLASTER BOARD TO PLASTERBOARD FINISHED ROOM SIZES MEASURED FROM SKIRTING TO SKIRTING WITH ALLOWANCES OF UP TO & EVEN GREATER THAN 80mm. CEILING HEIGHTS ARE MEASURED FROM THE CONCRETE SLAB TO THE TIMBER TRUSS WITH ALLOWANCES OF UP TO 60mm TO FOR THE FINISHED CEILING HEIGHT

BAL 12.5 CONSTRUCTION



WESTERN ELEVATION

1 : 100

BAL-12.5 SPECIFICATION :-

FLOORS
 NO SPECIAL REQUIREMENTS

EXTERNAL WALLS
 PARTS LESS THAN 400mm ABOVE GROUND OR DECKS ETC. TO BE OF NON-COMBUSTIBLE MATERIAL, 6mm FIBRE CEMENT CLAD OR NATURALLY FIRE RESISTANT TIMBER

EXTERNAL WINDOWS
 4mm TOUGHENED GLASS TO GLAZING LESS THAN 400mm OFF GROUND, DECK ETC. OPENABLE PORTIONS TO BE PROTECTED WITH METAL OR FIRE RESISTING FRAMED SCREENS

EXTERNAL DOORS
 PROTECT WITH METAL OR FIRE RESISTING FRAMED SCREENS. USE 5mm TOUGHENED GLASS, NON-COMBUSTIBLE OR 35mm SOLID CORE TIMBER FOR 400mm ABOVE THRESHOLD, HIGH DENSITY TIMBER OR METAL FRAMES, WITH TIGHT FITTING WEATHER STRIPS AT BASE

ROOFS
 NON-COMBUSTIBLE COVERING. SEALED ROOF/WALL JUNCTIONS, OPENINGS FITTED WITH NON-COMBUSTIBLE EMBER GUARDS. ROOF TO BE FULLY SARKED

VERANDAHS & DECKS
 ENCLOSED SUB-FLOOR. DECKING TO BE NON COMBUSTIBLE WITHIN 300mm HORIZONTALLY AND 400mm VERTICALLY FROM FRAMED OPENINGS. NO SPECIAL REQUIREMENTS FOR SUPPORTS OR FRAMING

EMBER PROTECTION TO GARAGE DOORS.

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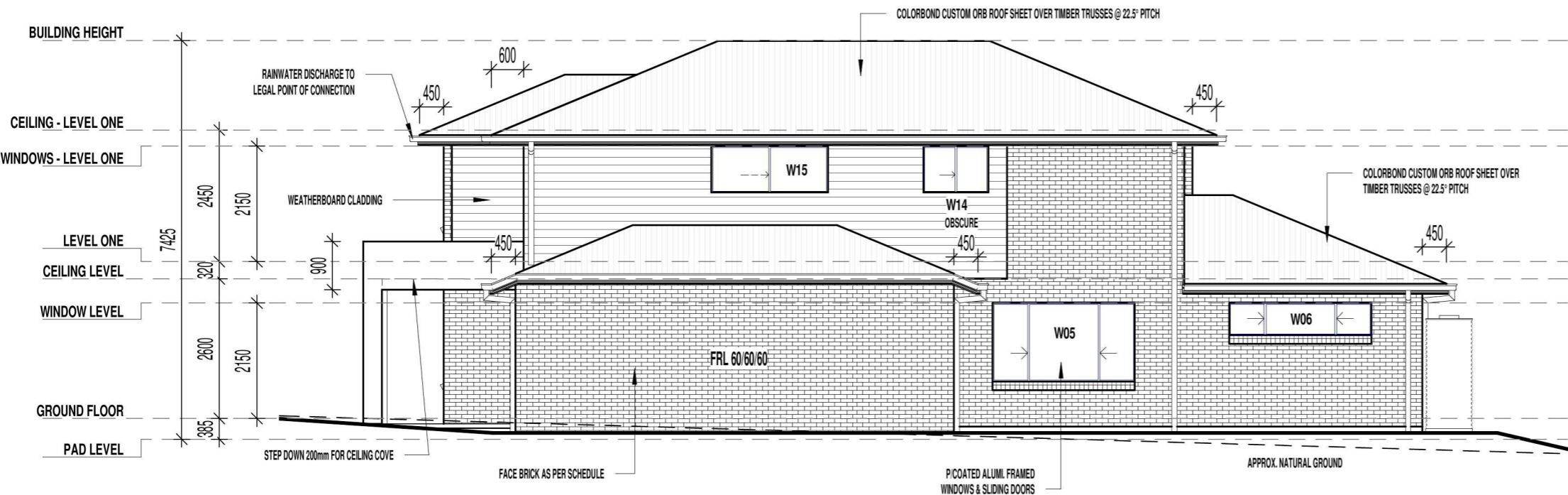
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EASTERN ELEVATION

1 : 100

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BALMAIN 258
CLASIC
DRAWN BY:
 SV
DATE DRAWN: 10/09/2018 **SCALE:** As indicated @ A3

DRAWING TITLE:
BUILDING ELEVATIONS

DRAWING NO: P-07 **ISSUE:** C



G.J. GARDNER SYDNEY WEST

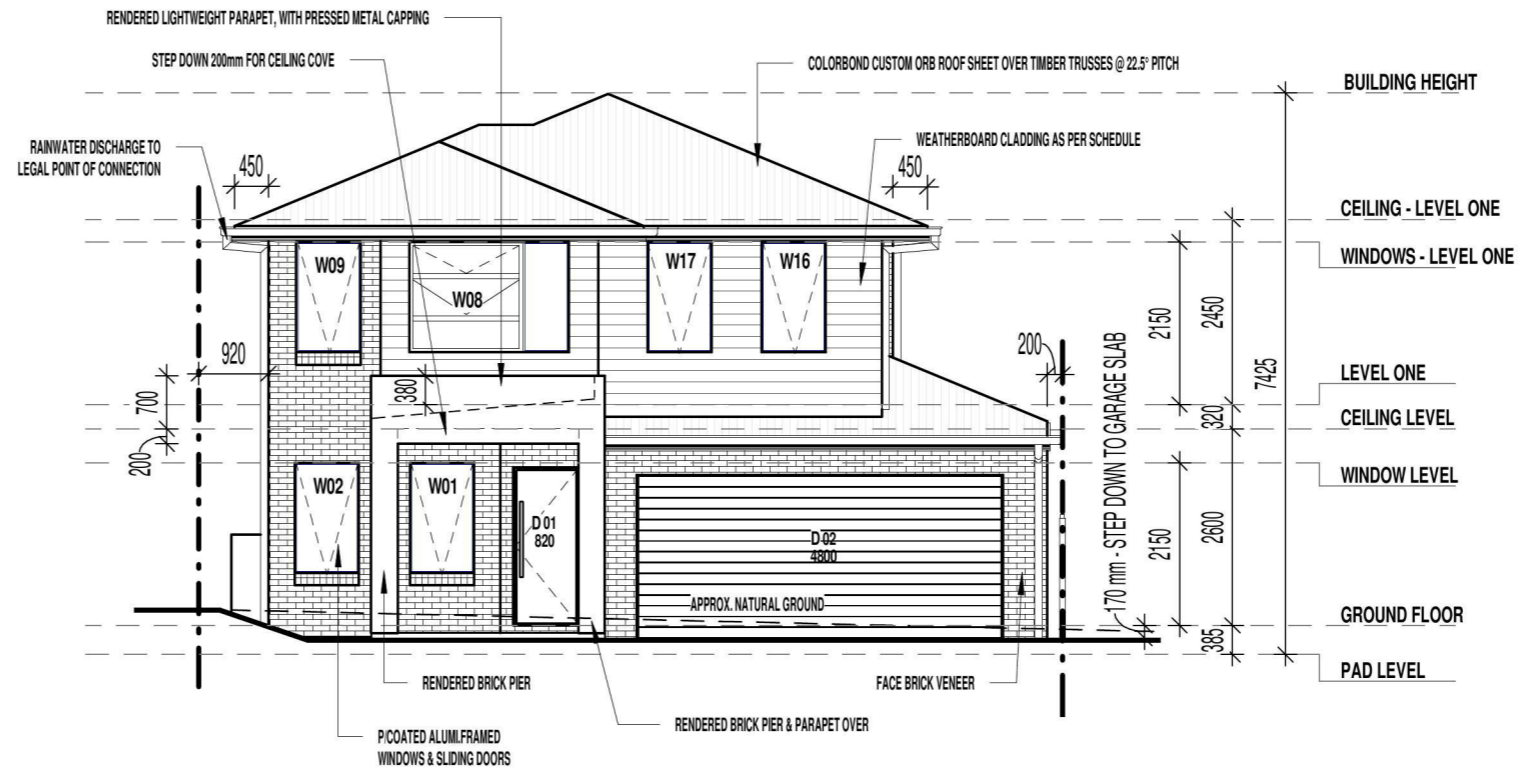
A.B.N: 74 617 249 706 LICENSE: 309650C
 8 / 37 York Road
 Penrith NSW 2750
 P: (02) 4732 4600
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NOTE:
DIMENSIONS ON DRAWINGS ARE DIMENSIONED TO THE STRUCTURAL TIMBER FRAME & DO NOT INDICATE THE FINISHED ROOM SIZE OR CEILING HEIGHT. ALLOWANCES OF UP TO & EVEN GREATER THAN 40mm FOR FINISHED ROOM SIZES MEASURED FROM PLASTER BOARD TO PLASTERBOARD FINISHED ROOM SIZES MEASURED FROM SKIRTING TO SKIRTING WITH ALLOWANCES OF UP TO & EVEN GREATER THAN 80mm. CEILING HEIGHTS ARE MEASURED FROM THE CONCRETE SLAB TO THE TIMBER TRUSS WITH ALLOWANCES OF UP TO 60mm TO FOR THE FINISHED CEILING HEIGHT

BAL 12.5 CONSTRUCTION

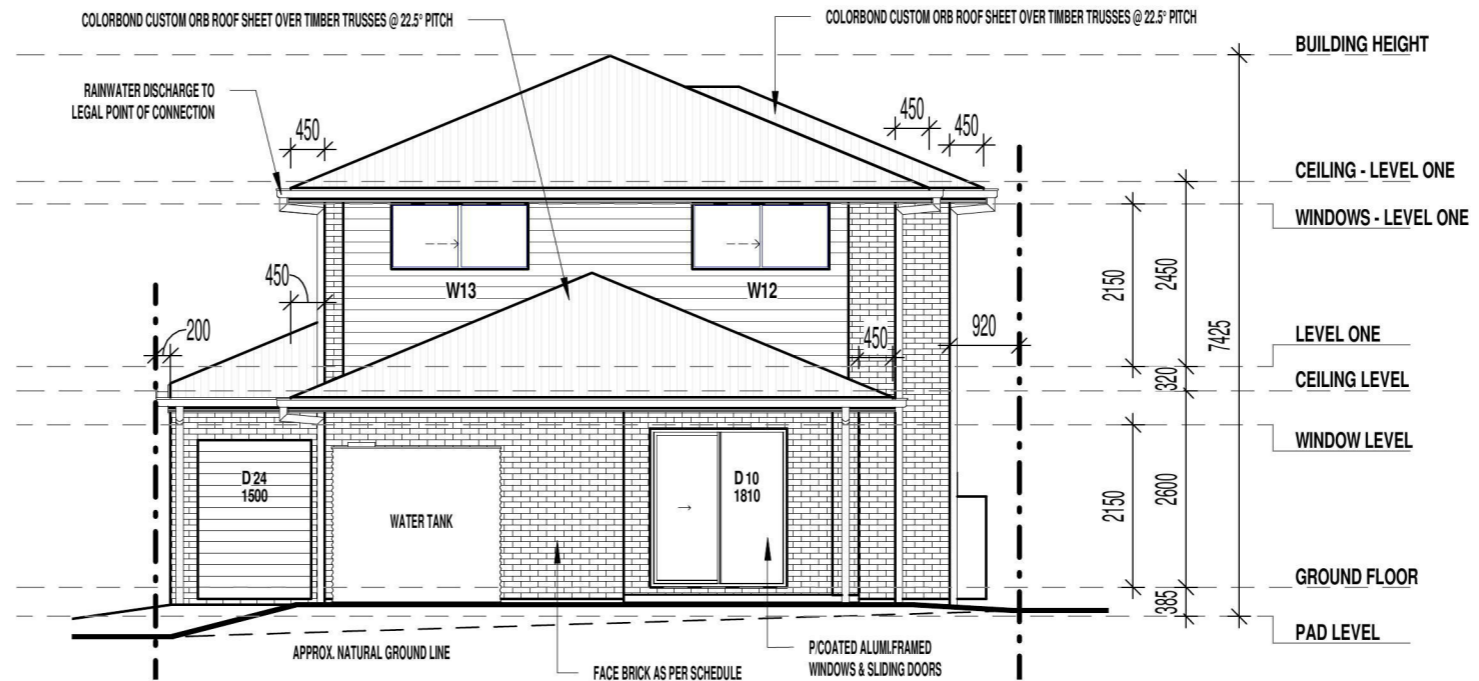
WINDOW SCHEDULE			
NUMBER	HEIGHT	WIDTH	DESCRIPTION
01	1460	850	ALUMI. FRAMED AWNING WINDOW
02	1460	850	ALUMI. FRAMED AWNING WINDOW
03	600	1210	ALUMI. FRAMED SLIDING WINDOW
04	860	610	ALUMI. FRAMED SLIDING WINDOW
05	1460	2650	ALUMI. FRAMED SLIDING WINDOW
06	600	2650	ALUMI. FRAMED SLIDING WINDOW
07	720	2650	ALUMI. FRAMED SLIDING SPLASHBACK WINDOW
08	1460	2170	ALUMI. FRAMED AWNING WINDOW
09	1460	850	ALUMI. FRAMED AWNING WINDOW
10	600	2170	ALUMI. FRAMED SLIDING WINDOW
11	860	2650	ALUMI. FRAMED SLIDING WINDOW
12	860	1810	ALUMI. FRAMED SLIDING WINDOW
13	860	1810	ALUMI. FRAMED SLIDING WINDOW
14	860	1210	ALUMI. FRAMED SLIDING WINDOW
15	860	2170	ALUMI. FRAMED SLIDING WINDOW
16	1460	850	ALUMI. FRAMED AWNING WINDOW
17	1460	850	ALUMI. FRAMED AWNING WINDOW
18	2040	720	ALUMI. FRAMED FIXED GLASS WINDOW

DOOR SCHEDULE			
NUMBER	HEIGHT	WIDTH	DESCRIPTION
01	2040	820	EXTERNAL SOLID CORE ENTRANCE DOOR
02	2140	4800	PANEL LIFT AUTO REMOTE GARAGE DOOR
03	2040	720	HOLLOW CORE INTERNAL DOOR
04	2040	620	HOLLOW CORE INTERNAL DOOR
05	2040	720	HOLLOW CORE INTERNAL DOOR
06	2040	820	HOLLOW CORE INTERNAL DOOR
07	2040	720	HOLLOW CORE INTERNAL DOUBLE DOOR
08	2040	820	HOLLOW CORE INTERNAL DOOR
09	2100	1450	ALUM. FRAMED SLIDING DOOR
10	2100	1810	ALUM. FRAMED SLIDING DOOR
11	2100	2410	ALUM. FRAMED SLIDING DOOR
12	2040	820	HOLLOW CORE INTERNAL DOOR
13	2040	720	HOLLOW CORE INTERNAL DOOR
14	2040	820	HOLLOW CORE INTERNAL DOOR
15	2040	720	HOLLOW CORE INTERNAL DOUBLE DOOR
16	2040	720	HOLLOW CORE INTERNAL DOUBLE DOOR
17	2040	720	CAVITY SLIDER HOLLOW CORE
18	2040	720	HOLLOW CORE INTERNAL DOOR
19	2040	820	HOLLOW CORE INTERNAL DOOR
20	2040	720	HOLLOW CORE INTERNAL DOUBLE DOOR
21	2040	820	HOLLOW CORE INTERNAL DOOR
22	2040	720	HOLLOW CORE INTERNAL DOUBLE DOOR
23	2040	1020	CAVITY SLIDER HOLLOW CORE
24	2100	1500	METAL ROLLER DOOR



SOUTHERN ELEVATION

1:100



NORTHERN ELEVATION

1:100



Certificate Number: PWBXOVN8EH
Assessor Name: Claude-Francois Sookkoll
Accreditation number: VIC/BD/AV/14/1962
Certificate date: 17 Sep 2019
Dwelling address:
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I / WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

SIGNATURES

OWNER	DATE	/ /
OWNER	DATE	/ /
BUILDER	DATE	/ /

ISSUE	AMENDMENT	DATE
5	PRELIMINARY ISSUE 5	29/07/2019
A	PRELIM DA ISSUE	23/08/2019
B	DA ISSUE	10/09/2019
C	WINDOW AMENDS	26/09/2019

VAUGHAN
drafting services

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CLIENT:
**KYM MOWAT & TRACEY
BAKER**

PROJECT LOCATION:
**LOT 322 ON DP 1243735
#8 RANDALL ST
HIGHLAND VIEWS ESTATE
GLENMORE PARK NSW 2745**

DESIGN:
BALMAIN 258

FACADE:
CLASSIC
DRAWN BY:
SV
DATE DRAWN: 10/09/2018 SCALE: 1:100 @ A3

JOB NO:

DRAWING TITLE:
BUILDING ELEVATIONS

DRAWING NO: P-06 ISSUE: C

G.J. Gardner. HOMES

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