

**PROPOSED DWELLING**

FFL 21.085  
FGL 20.7

\*ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF TILED OR COLOURED BRICKS BLOCKS OR COLOURED CONCRETE - NO TIMBER GARDEN EDGE IS PERMITTED WHERE VISIBLE FROM THE STREET\*

**PLANT SCHEDULE**

BOTANIC NAME	KEY	QTY	POI SIZE	HT (M)	WTH (M)
<b>TREES</b>					
HYMENOSPORUM FLAVULUM (NATIVE FRANGIPANI)*	HF	1	45L	10	5
TRISTANOPSIS LAURINA (WATER GLIM)*	TL	2	45L	6	4
<b>SHRUBS</b>					
AGAVE ATTENUATA	AA	8	200MM	1	1
BAMBUSA 'BUDDHA BELLY' (BUDDHA BELLY BAMBOO)	BB	2	300MM	8	CLLMB
BRACHYCOMBE 'VARIETY'	B	9	150MM	GC	-
CALLISTEMON 'ENDEAVOUR' (BOO BILBRUSH)*	CE	4	200MM	1.5	1.5
CYCAD REVOLUTA	CR	2	200MM	1.2	1.2
DIANELLA CALRUEA (FLAX LILY)*	DC	11	150MM	0.6	0.6
DURANTA 'SHEENA'S GOLD' (DURANTA)	DS	8	200MM	HEDGE	-
GREVILLEA 'APRICOT CHARM' (GREVILLEA)*	GA	5	200MM	1.5	1.5
HIBISCUS 'VARIETY'	HI	2	200MM	2	1.5
LIRIOPE 'SAMANITA' (LIRIOPE)	LS	7	150MM	0.6	0.6
STREPTICOLA NICHOLLI (BIRD OF PARADISE)	SN	1	200MM	4	1.5
SYZYGIUM AUSTRALE (LILLY PILLY)*	SA	6	200MM	HEDGE	-

\* NATIVE SPECIES GARDEN AND LAWN AREA - 173.5m2



1800EUCALYPTUS SMART SCREEN - 'RIVERSAND' TO SIDE AND REAR BOUNDARIES - RETURN AT GATES

ANY RETAINING WALLS VISIBLE FROM STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

RETAINING WALL STEPPED TO GRADE AS REQUIRED

STREET TREES AND TURF TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO TURF AND STREET TREE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS

04 JULY 13 - AMEND DRIVEWAY  
20 JUNE 13 - UPDATE SURVEY

MEMBER ASSOCIATION OF LANDSCAPE DESIGNERS AND MANAGERS LTD  
 16 York Street, Glebe NSW 1535  
 Tel: 02 9550 1111  
 Email: info@landscapemag.com.au

**LANDSCAPE CONCEPT**

DATE:	SCALE:	SHEET No:
15 APR 13	1:100 @ A3	1 of 2
JOB No:	DRAWN:	
3358	CI PM	

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
LOT 2133 ILLOURA WAY  
JORDAN SPRINGS

CLIENT:  
**TREHARNE**

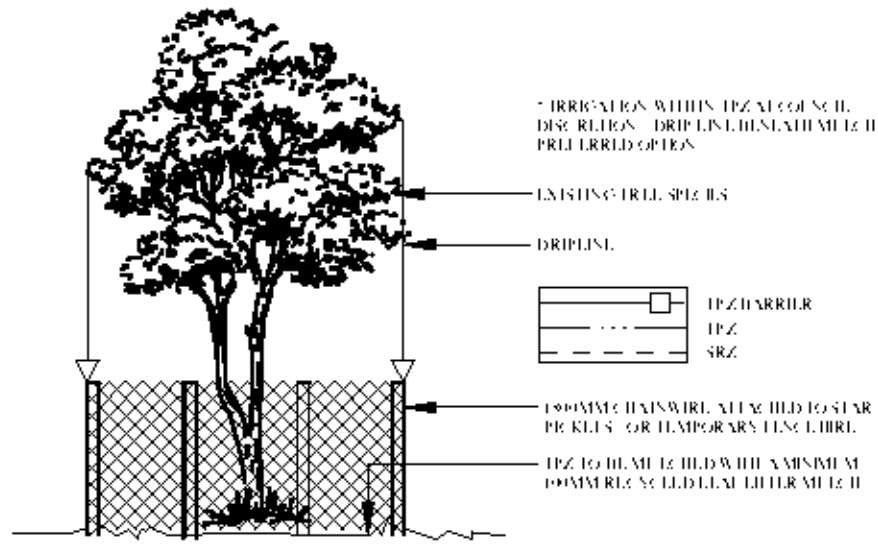


11 York Street, Glebe NSW, 1535  
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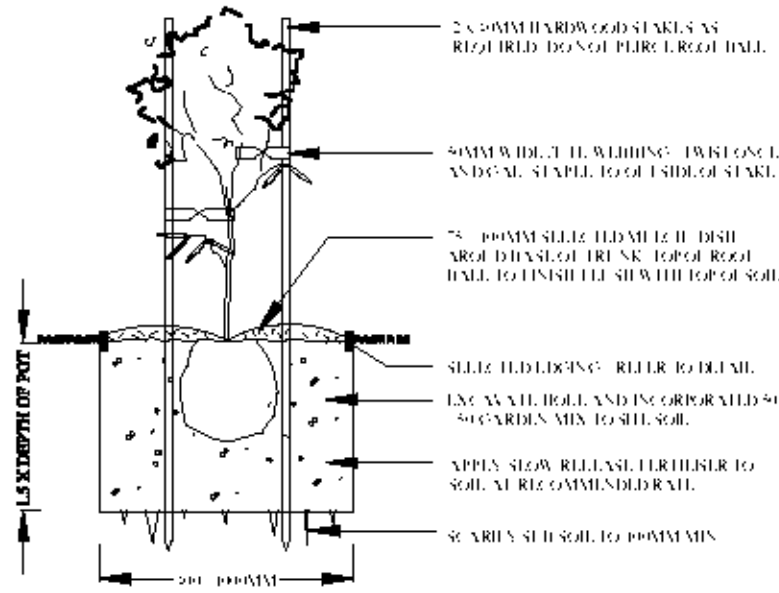
# JORDAN SPRINGS - LANDSCAPE CHECKLIST

PROJECT: LANDSCAPE PLAN - JORDAN SPRINGS  
OWNER: RAWSON HOMES - TREETARNE

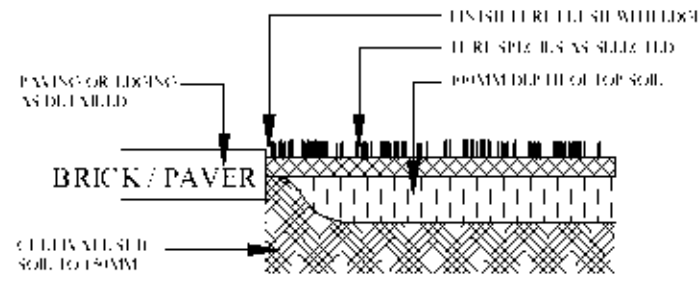
STREET ADDRESS: LOT 2133 ILLOURA WAY, JORDAN SPRINGS  
DATE: 5 APR 13



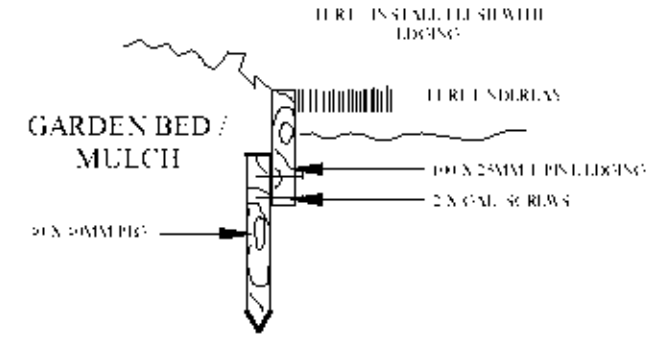
**TYPICAL TREE PROTECTION  
DETAIL (NTS)**  
SEE ARBORIST REPORT FOR DETAILED



**25 - 75L TR TYPICAL PLANTING  
(NTS)**



**TURF PREPARATION DETAIL  
(NTS)**



**TYPICAL EDGING  
(NTS)**

- \* THE LANDSCAPE PLAN IS A MINIMUM SCALE OF 1:100. **YES**
- \* A TREE IS REQUIRED IN THE REAR OF EACH DWELLING. ON LOTS 15m WIDE A MINIMUM OF 1 TREE IN THE FRONT SETBACK IS TO BE LOCATED WITHIN A 2.0 X 2.0M GARDEN BED CLEAR OF BUILT STRUCTURES AND PAVING. ON LOTS GREATER THAN 15m WIDE 2 TREES ARE REQUIRED WITHIN THE FRONT SETBACK. **YES**
- \* 500mm PLANTING STRIPS BETWEEN FOOTPATH & DRIVEWAY, DRIVEWAY AND BOUNDARY AND ALONG FRONT BOUNDARY (MIN). **YES**
- \* THE PLAN HAS BEEN PREPARED BY A QUALIFIED LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHOWING SUITABLE REGISTRATION WITH AUSTRALIAN INSTITUTE OF LANDSCAPE ARCHITECTS OR EQUIVALENT QUALIFICATIONS. **YES**
- \* 50% OF PLANTING ARE TO BE NATIVE AUSTRALIAN SPECIES. **YES**
- \* THE EXISTING STREET TREE IS TO BE CLEARLY AND ACCURATELY INDICATED ON THE PLAN. THE LANDSCAPE PLAN MUST NOTE THAT THE STREET TREE AND TREE AREAS IN FRONT OF THE HOUSE ARE TO BE PROTECTED DURING CONSTRUCTION, WITH ALL DAMAGE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS. **NO**
- \* THE SURFACE TREATMENT OF ALL AREAS IS TO BE CLEARLY INDICATED. **YES**
- \* THE PLAN IS TO BE FULLY DOCUMENTED INCLUDING RETAINING WALL HEIGHTS, MATERIALS, PLANTING LAYOUT, GARDEN EDGING AND GROUND PREPARATION. **NO**
- \* RETAINING WALLS VISIBLE FROM THE STREET ARE MASONRY CONSTRUCTION. **NA**
- \* THE REAR FENCE AND SIDE FENCE MATERIAL IS INDICATED AS 1800mm LYSAGHT SMARTSCREEN - GREY RIDGE. **YES**
- \* SIDE GATE FENCE TO RETURN 7500mm FROM FRONT BOUNDARY. **YES**
- \* DRIVEWAY MATERIAL MUST BE INDICATED WITHIN THE LOT. NOTE: PLAIN CONCRETE IS NOT PERMITTED WITHIN THE LOT. REFER TO THE BUILDING AND SETTING REQUIREMENTS FOR ACCEPTABLE FINISHES.
- \* DRIVEWAY MATERIAL TO BE INDICATED FROM THE KERB TO THE FRONT BOUNDARY AS PLAIN CONCRETE TO COUNCIL SPECIFICATION. **YES**
- \* PROVIDE A SEPARATE PEDESTRIAN ACCESS NOT THE DRIVEWAY. THE MAXIMUM WIDTH OF THE PEDESTRIAN ACCESS PATH IS 1.8M.
- \* ENSURE AIR COND. UNITS, BINS AND DRYING LOCATIONS ARE SHOWN. **YES**
- \* ENSURE THE LANDSCAPE PLAN COMPLES WITH BASIN LANDSCAPE SPECIFICATIONS - REFER TO YOUR BASIN CERTIFICATE PROVIDED BY YOUR BUILDER AND THE BASIN WEBSITE - WWW.BASIN.NSW.GOV.AU. **ASSUMED**
- \* THE PLAN HAS A PLANT SCHEDULE INCLUDING ALL BOTANICAL NAMES AND COMMON NAMES. **YES**

## PLANTING AND MAINTENANCE NOTES

- \* GLAZED OR POLISHED PLANTING BOWLS - PARTICULARLY IN CLAY SHOULD BE AVOIDED
- \* PLANTS SHOULD BE PLANTED STRAIGHT WITH THE TOP OF THE ROOT BALL FLAT WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE
- \* PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING
- \* PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER DEER TAMBER (AUGUST)
- \* PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT WATER CRYS STAKES MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED
- \* IF FERTILISER IS TO BE APPLIED A SLOW RELEASE 3 MONTH PLANT FOOD WOULD BE APPROPRIATE AT A RATE OF 50 GRAMS PER PLANT
- \* ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED PERMITS SHOULD BE SOUGHT BEFORE PLANTING THE PLANT SPECIES LIST
- \* STOCK SHOULD BE TRIMMED AT PLANTING AND WELDED PLANTS SHOULD BE KEPT GROWING WITH ROOTS HEALTHY WHILE AND NOT POT BOUND
- \* REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD
- \* WELDS SHOULD BE REMOVED AS APPROPRIATELY
- \* PLANT OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY

## GENERAL NOTES:-

- \* LANDSCAPE CONTRACTOR TO CHECK CURTAIN AND SHAMPOO LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONAL AMENDMENTS TO PLAN
- \* GARDEN BEDS AND PATHS TO CONSIST OF 50% FERTILIZED GARDEN MIX OR GAVEL
- \* ALL PLANTING BEDS TO BE A MINIMUM DEPTH OF 50MM AS SLICE LID
- \* CONTRACTOR RESPONSIBILITY TO CHECK AND MIX SOIL AS REQUIRED
- \* PROVIDE TIMBER LID AS A MINIMUM UNDER FINISHING GAVEL TO PREVENT TREE AND GARDEN BEDS PATHWAYS EDGING TO BE PROVIDED TO ALL AREAS WHERE DRAINING MATERIALS WILL BE USED - GARDEN, TREE OR WALL PAVING
- \* WELDED MESH UNDER GRASS PATHWAYS AS DETAIL
- \* PRIME MOOR GARDEN MIX TO BE USED
- \* ALL PLANTS TO BE HEALTHY AND VIGOROUS
- \* CONTRACTOR RESPONSIBILITY TO MAKE GOOD TERRACES AND STRIP AFTER CONSTRUCTION
- \* REFER TO SITE DRAINAGE PLAN FOR GUTTERS
- \* DO NOT SCALE ARCHITECTURAL DRAWINGS
- \* EXISTING TREE SPREAD APPROXIMATE ONLY
- \* SITE SURVEY PROVIDED BY OTHERS
- \* BUILT ALONG TREE SPECIFIED

## EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE
2. STRIPPING OF GRASS AND VEGETATION IS TO BE KEPT TO A MINIMUM
3. TOP SOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE SCRAPPED AND STOCKPILED ON SITE
4. ALL SEDIMENT CONTROL STRUCTURES TO BE INSTALLED AFTER EACH DISTURBANCE FOR STRUCTURAL DRAINAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO THE STOCKPILED SOIL STOCKPILE AREA

\* ALL PATHWAYS LANDSCAPING FINISHING TO BE COMPLETED BY OWNER UNLESS NOTED OTHERWISE WITHIN UNDER ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT REGULATIONS TO BE AVOIDED

NOTE: TO AID COMPLIANCE WITH BASIN REGULATIONS PLANTS WHERE APPLICABLE SHALL HAVE BEEN SLICE LID FROM THE LOCALITY OF SOIL SURVEY PLAN LIST

NOTE: LOCATION OF SLOW MAINS LINES WATER PIPES UNDERGROUND UTILITIES AND OTHER SERVICES MUST BE IDENTIFIED PRIOR TO COMMENCEMENT OF ANY WORKS ON SITE. DIAL BEFORE YOU DIG 1099

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04 JULY 13 - AMEND DRIVEWAY  
20 JUNE 13 - UPDATE SURVEY

**MONACO**  
DESIGN & PL  
13 York Street, Glebe NSW 2173  
Ph: 02 9550 1300 Fax: 02 9550 2300  
Email: info@monaco.net.au

PROJECT: <b>PROPOSED DWELLING</b>		
ADDRESS: LOT 2133 ILLOURA WAY JORDAN SPRINGS		
CLIENT: TREETARNE		
TITLE: <b>LANDSCAPE DETAILS</b>		
DATE: 15 APR 13	SCALE: NOTED - A3	SHEET No: <b>2 OF 2</b>
JOB No: 3359	DRAWN: P MONACO	

**NOTES:**

- \* ALL DIMENSIONS ARE IN MILLIMETERS
- \* DO NOT SCALE THE DRAWING - USE WRITTEN DIMENSIONS
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**RAWSON  
HOMES**

**SCHEDULE OF DRAWINGS:**

SHEET	CONTENTS
01	COVER SHEET
02	SITE PLAN
03	FLOOR PLAN
04	ELEVATIONS 1-2
05	ELEVATIONS 3-4
06	SECTION
07	SLAB PLAN
08	KITCHEN & WET AREAS
09	STORMWATER PLAN
10	SEDIMENT CONTROL PLN
11	SITE ANALYSIS

**AMENDMENTS**

ISS	DESCRIPTION	BY	DATE
A	CLIENT CHECK PLAN	RN	13.11.12
B	PRELIMINARY DA PLANS	WA	18.02.13
C	PRELIMINARY COLOURS (VAR. 21-39)	EM	13.05.13
D	AMENDED DA PLANS (VAR 42-44)	AM	11.06.13
E	AMENDED DA PLANS (VAR 45-46)	AM	02.07.13

**AMENDED DA PLANS**

SIGNATURE: _____			
DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE:	
JOB No: J002506	DRWG No: 01	ISSUE: E	

**NOTES:**

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Builder's licence No. 33493C



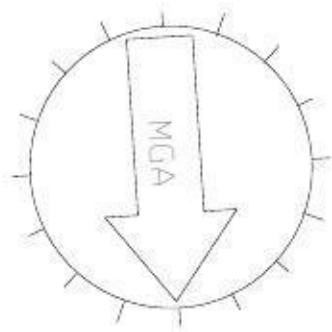
CLIENT:  
MR & MRS TREHARNE

SITE ADDRESS:  
LOT 2133 DP1168991  
ILLOURA WAY  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: CABARITA 24  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: LUXE+ GOLD

DRAWING TITLE:  
COVER SHEET





NORTH

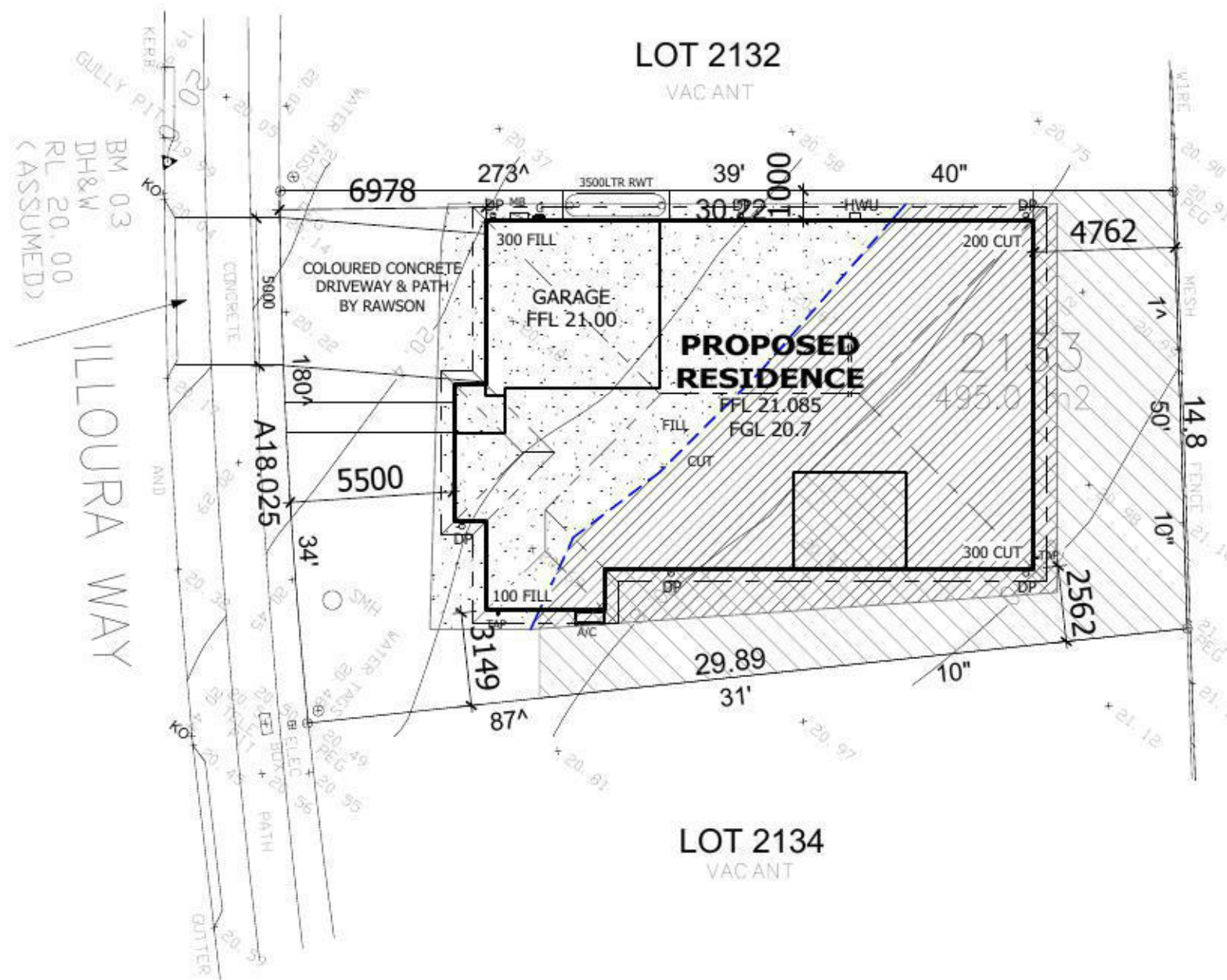
NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LEGEND

- WATER METER
- TELEPHONE PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (STRAIGHT)
- BORE HOLE

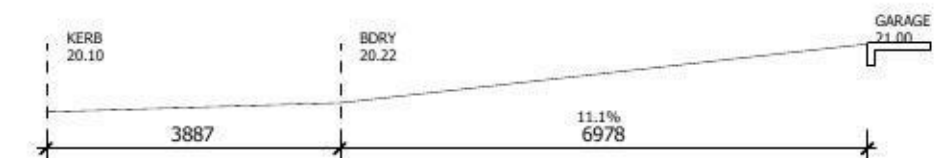
SITE CALCULATIONS	
TOTAL LIVING AREA	180.17 m <sup>2</sup>
SITE AREA	495.00 m <sup>2</sup>
BUILDING FOOTPRINT	228.47 m <sup>2</sup>
DRIVEWAY & PATH	40.38 m <sup>2</sup>
LANDSCAPE AREA	226.15 m <sup>2</sup>
FLOOR SPACE RATIO	0.36 :1
TOTAL BUILT UPON AREA	54.31 %

PLAIN CONCRETE LAYBACK AND PATHWAY VERGE



= P.O.S  
142.25

LEGEND:  
KOB DENOTES KERB OUTLET  
WC, EC, TC DENOTES SERVICE CONDUIT  
SVI DENOTES STOP VALVE  
HYD DENOTES HYDRANT



**DRIVEWAY GRADIENT**

NOTES:

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FAX 02 9764 6992  
Builder's licence No. 33493C



CLIENT:  
**MR & MRS TREHARNE**  
SITE ADDRESS:  
LOT 2133 DP1168991  
ILLOURA WAY  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: CABARITA 24  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: LUXE+ GOLD  
DRAWING TITLE:  
**SITE PLAN**

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
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JOB No: J002506	DRWG No: 02	ISSUE: E	

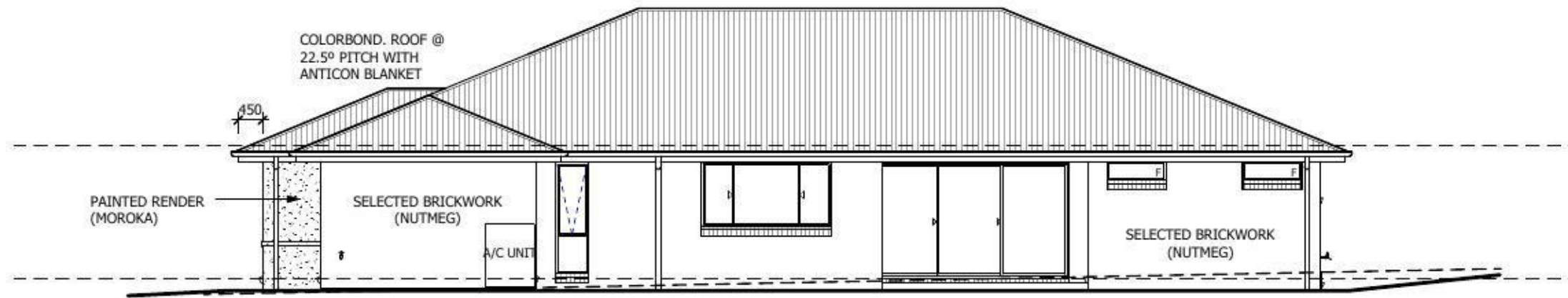
**NOTES:**

- PROVIDE FIBREGLASS MESH FLYSCREEN TO ALL OPENING WINDOWS & SLIDING DOORS

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**ELEVATION 1**



**ELEVATION 2**

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 FAX 02 9764 6992  
 Builder's licence No. 33493C



CLIENT:  
 MR & MRS TREHARNE

SITE ADDRESS:  
 LOT 2133 DP1168991  
 ILLOURA WAY  
 JORDAN SPRINGS

HOUSE TYPE  
 MODEL: CABARITA 24  
 FACADE: CLASSIC  
 TYPE: DOUBLE GARAGE  
 SPECIFICATION: LUXE+ GOLD

DRAWING TITLE:  
 ELEVATIONS 1-2

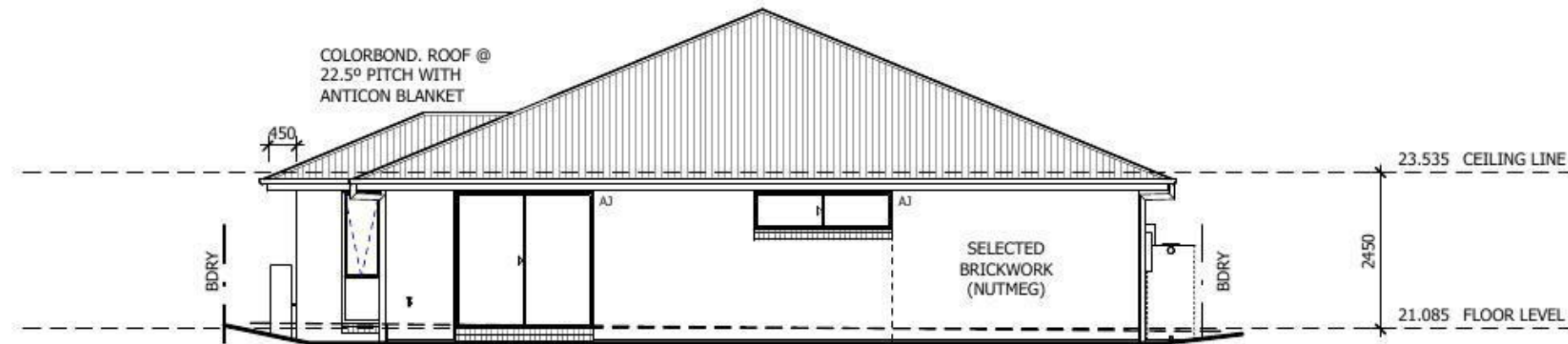
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JOB No: J002506	DRWG No: 04	ISSUE: E	



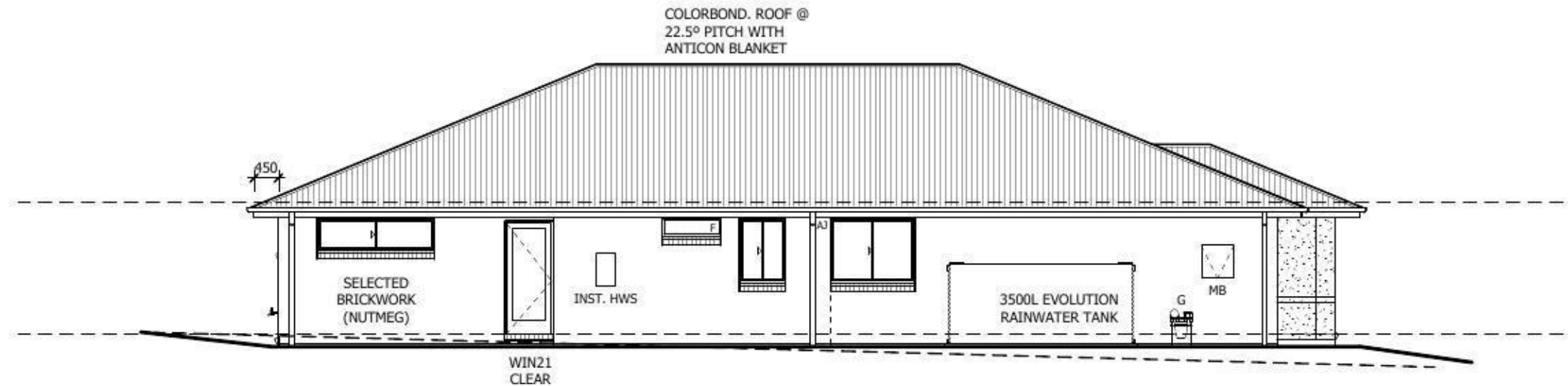
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**ELEVATION 3**



**ELEVATION 4**

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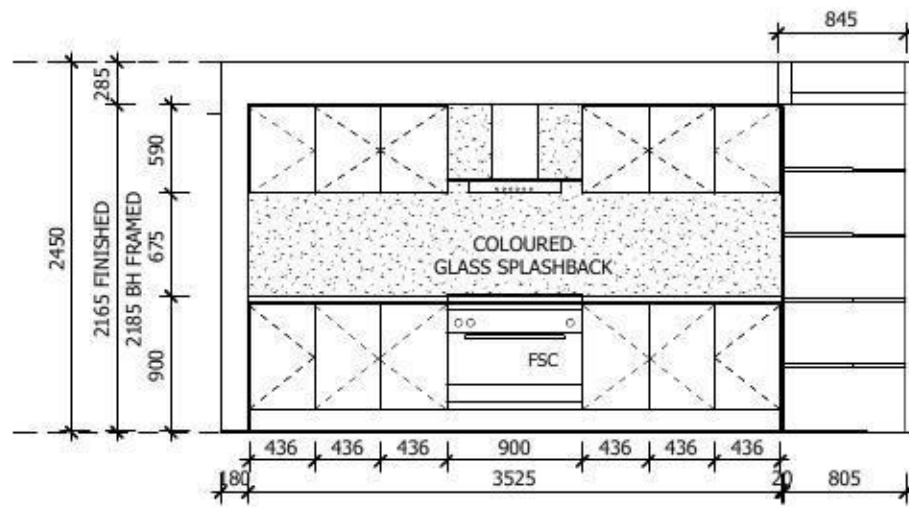
CLIENT:  
 MR & MRS TREHARNE

SITE ADDRESS:  
 LOT 2133 DP1168991  
 ILLOURA WAY  
 JORDAN SPRINGS

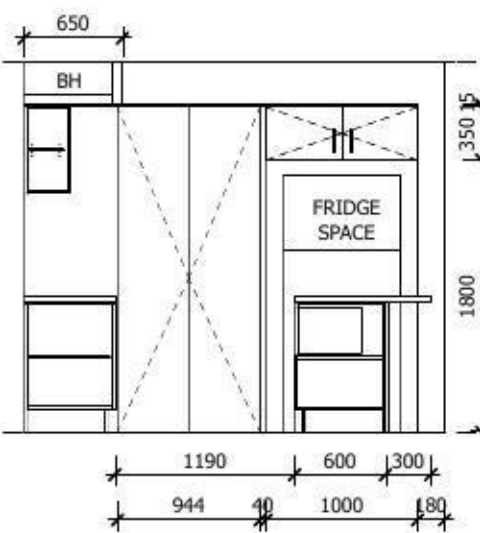
HOUSE TYPE  
 MODEL: CABARITA 24  
 FACADE: CLASSIC  
 TYPE: DOUBLE GARAGE  
 SPECIFICATION: LUXE+ GOLD

DRAWING TITLE:  
 ELEVATIONS 3-4

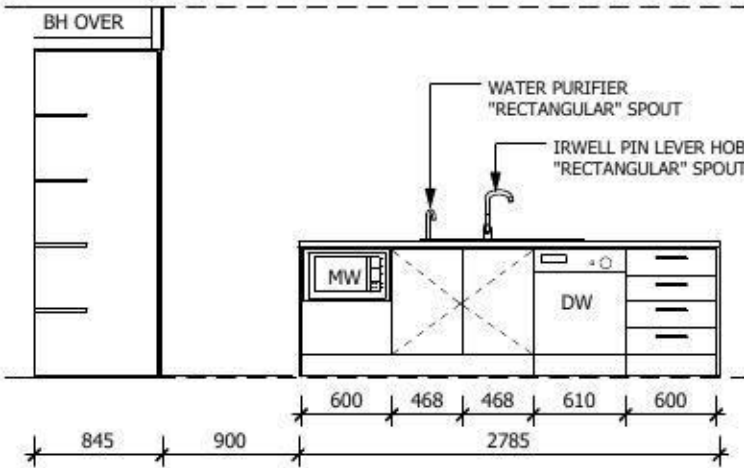
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COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002506	DRWG No: 05	ISSUE: E	



**Elevation 1  
KITCHEN ELEVATIONS**



**Elevation 2**



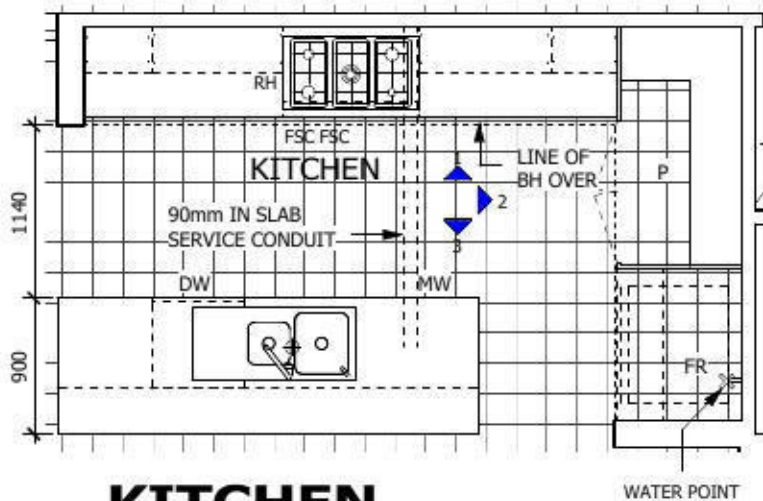
**Elevation 3**

**LAUNDRY / WC**

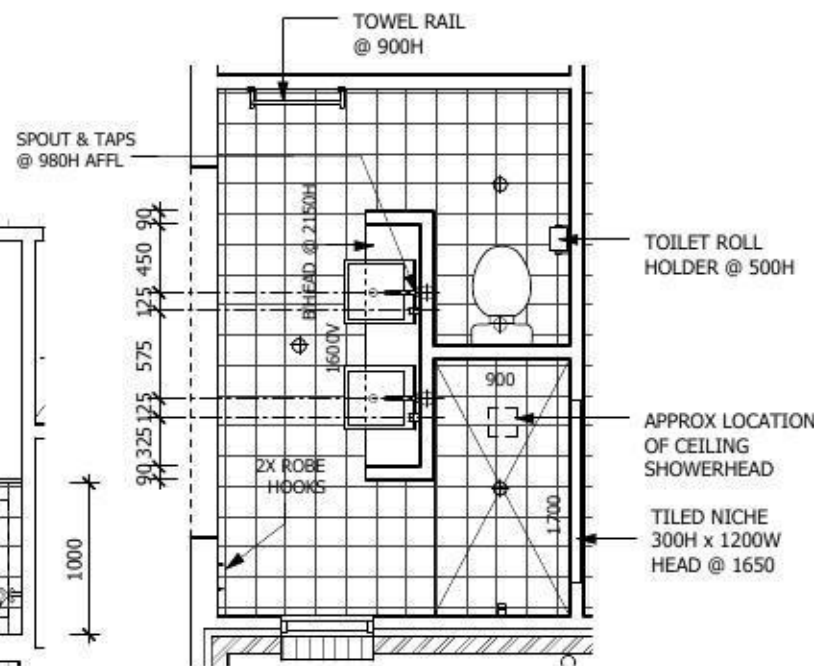
- \* PROVIDE SKIRTING TILE TO PERIMETER WALLS OF LAUNDRY
- \* TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 300MM HIGH

**BATHROOM**

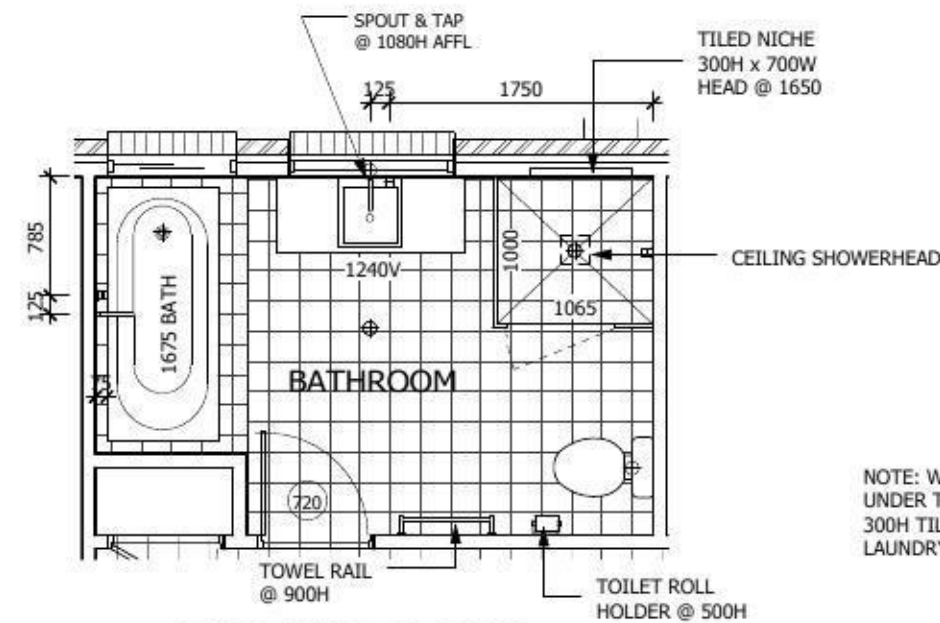
- \* PROVIDE 2100 HIGH TILES TO SHOWER RECESS 500 OVER BATH & SKIRTING TILE TO PERIMETER WALL
- \* PROVIDE TILE SPLASHBACK ABOVE VANITY
- \* GRANGE SEMI FRAMELESS SHOWER SCREEN WITH PIVOT DOOR @ 2100 HIGH.
- \* TILED SPLASHBACKS TO THE TOP OF VANITIES WITH FLOATING MIRROR ON 32MM BOARD, 130MM FROM SIDE, TOP & MAX. 1800
- \* PROVIDE KICKER TO BATH HOB 140H X 70W
- \* FLOATING VANITIES.
- \* WALL MOUNTED TAPS & SPOUT TO VANITIES & BATH



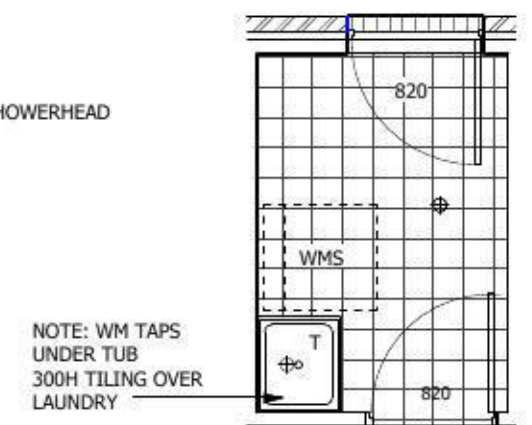
**KITCHEN**



**ENSUITE**



**BATHROOM**



**LAUNDRY**

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HOMEBUSH NSW 2140  
TELEPHONE 02 9764 6442  
FAX 02 9764 6992  
Builder's licence No. 33493C



CLIENT:  
MR & MRS TREHARNE

SITE ADDRESS:  
LOT 2133 DP1168991  
ILLOURA WAY  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: CABARITA 24  
CLASSIC  
FACADE:  
TYPE: DOUBLE GARAGE  
SPECIFICATION: LUXE+ GOLD

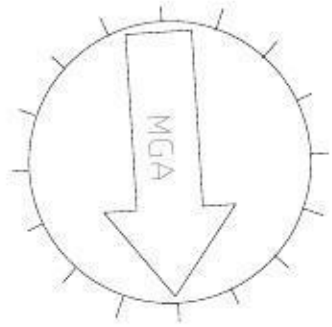
DRAWING TITLE:  
**KITCHEN & WET AREAS**

DRAWN BY: RN  
DATE DRAWN: 13.11.12  
CHECKED BY: HD/GL  
APPROVED FOR CONSTRUCTION:

COUNCIL AREA: PENRITH  
SCALE: 1 : 50

JOB No: J002506  
DRWG No: 08  
ISSUE: E





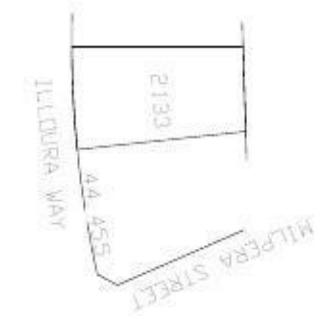
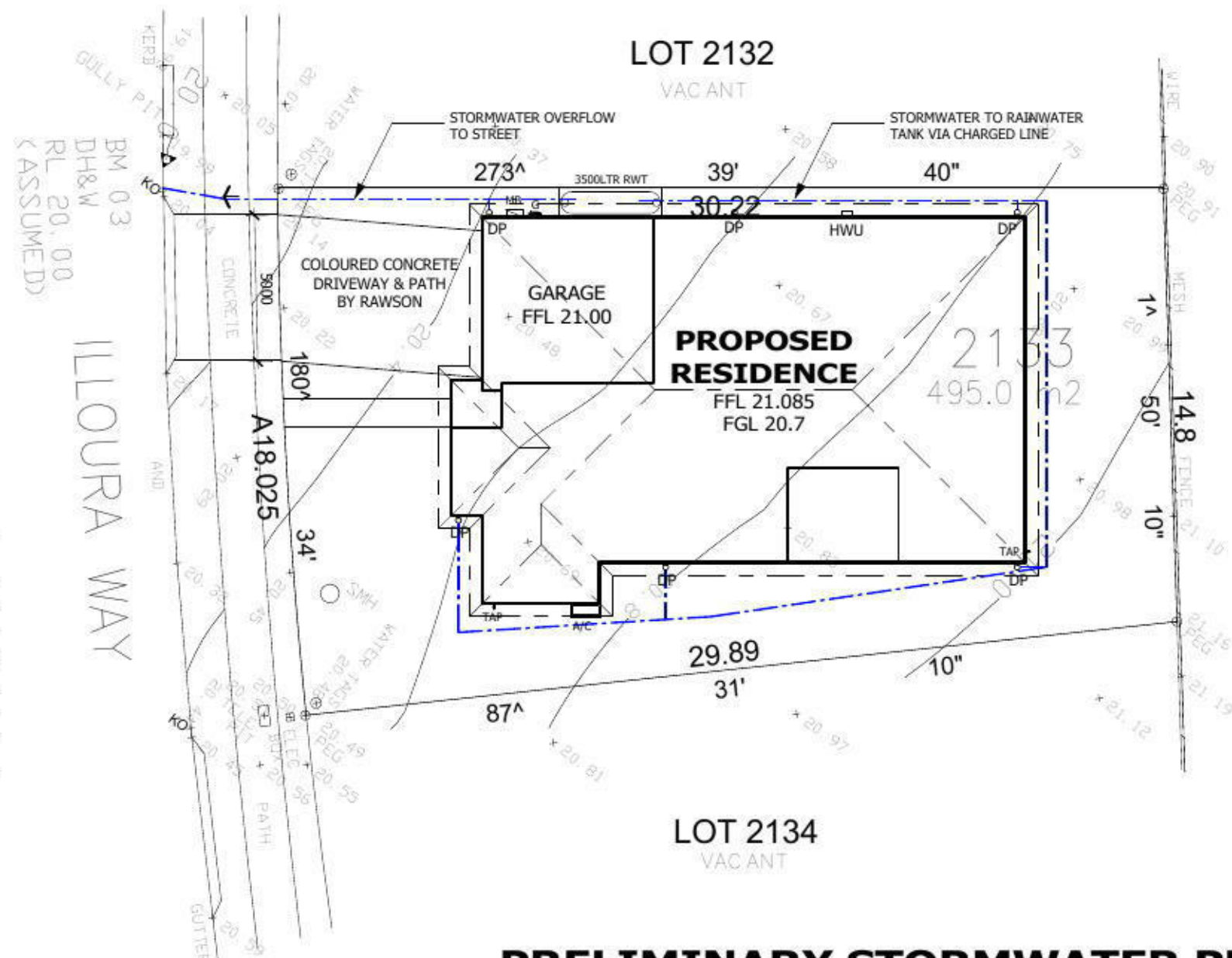
NORTH

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE / SEWER/STORMWATER
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIAGONAL)
- BORE HOLE

SITE CALCULATIONS	
TOTAL LIVING AREA	180.17 m <sup>2</sup>
SITE AREA	495.00 m <sup>2</sup>
BUILDING FOOTPRINT	228.47 m <sup>2</sup>
DRIVEWAY & PATH	40.38 m <sup>2</sup>
LANDSCAPE AREA	226.15 m <sup>2</sup>
FLOOR SPACE RATIO	0.36 :1
TOTAL BUILT UPON AREA	54.31 %



PRELIMINARY STORMWATER PLAN

LEGEND  
 KO DENOTES KERB OUTLET  
 VC, EC, TC DENOTES SERVICE CONDUIT  
 SV DENOTES STOP VALVE  
 HYD DENOTES HYDRANT



NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

- \* ALL DIMENSIONS ARE IN MILLIMETRES
- \* DO NOT SCALE - USE WRITTEN DIMENSIONS

**RAWSON HOMES**  
 UNIT 34/11-21 UNDERWOOD ROAD  
 HOMEBUSH NSW 2140  
 TELEPHONE 02 9764 6442  
 FAX 02 9764 6992  
 Builder's licence No. 33493C

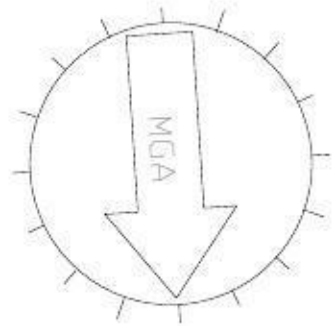
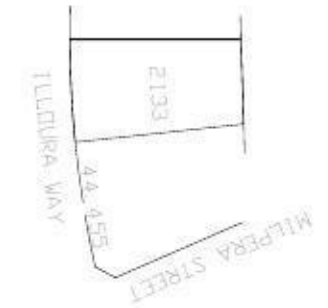


CLIENT:  
**MR & MRS TREHARNE**  
 SITE ADDRESS:  
 LOT 2133 DP1168991  
 ILLOURA WAY  
 JORDAN SPRINGS

HOUSE TYPE  
 MODEL: **CABARITA 24 CLASSIC**  
 FACADE:  
 TYPE: **DOUBLE GARAGE**  
 SPECIFICATION: **LUXE+ GOLD**  
 DRAWING TITLE:  
**STORMWATER PLAN**

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002506	DRWG No: 09	ISSUE: E	





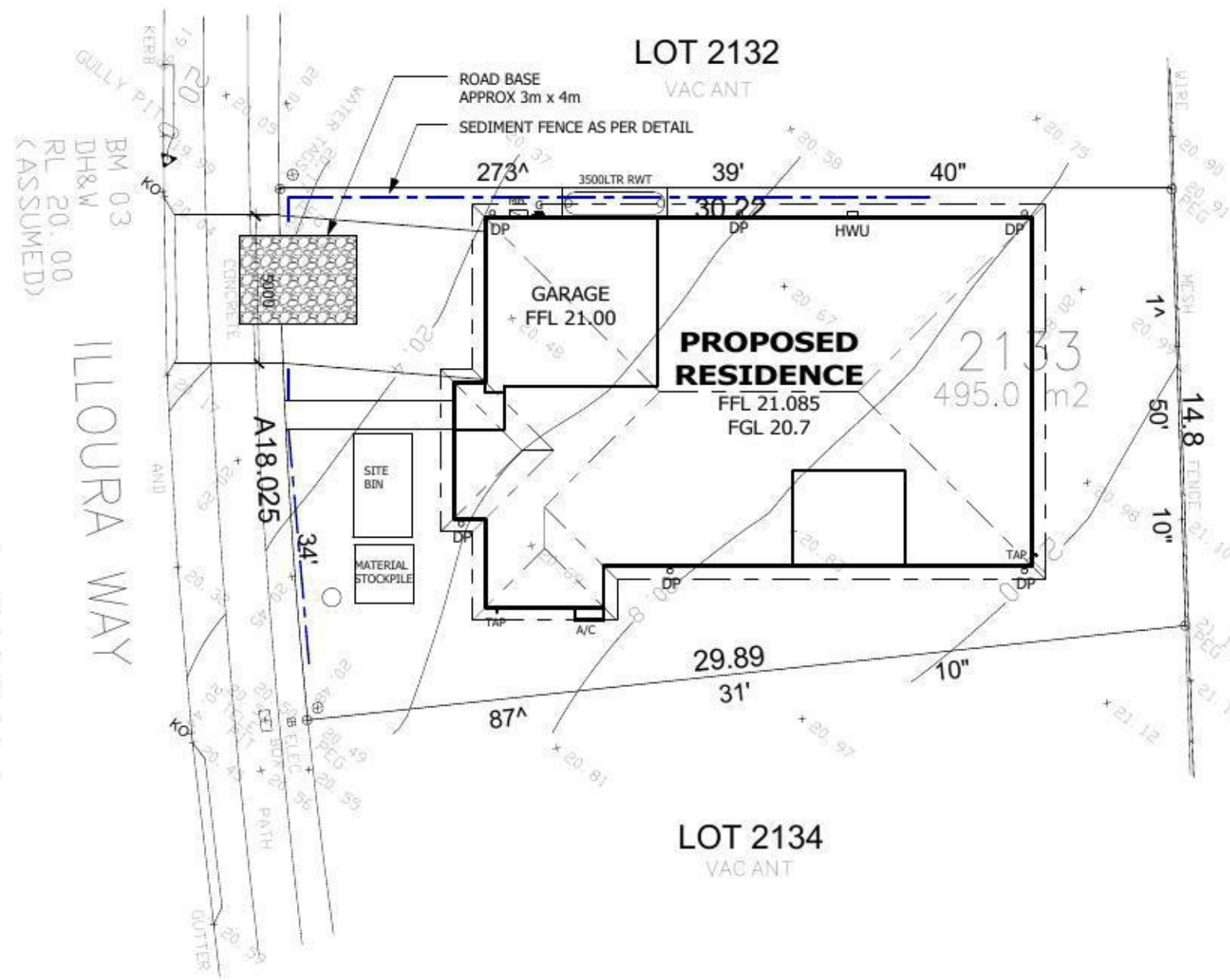
NORTH

NOTE: SEWER NOT  
AVAILABLE AT THE TIME  
OF SURVEY

LEGEND



SITE CALCULATIONS	
TOTAL LIVING AREA	180.17 m <sup>2</sup>
SITE AREA	495.00 m <sup>2</sup>
BUILDING FOOTPRINT	228.47 m <sup>2</sup>
DRIVEWAY & PATH	40.38 m <sup>2</sup>
LANDSCAPE AREA	226.15 m <sup>2</sup>
FLOOR SPACE RATIO	0.36 :1
TOTAL BUILT UPON AREA	54.31 %



LEGEND  
KO DENOTES KERB OUTLET  
WC, EC, TC DENOTES SERVICE CONDUIT  
SV DENOTES STOP VALVE  
HYD DENOTES HYDRANT

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**SEDIMENT CONTROL PLAN**

NOTES:

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Builder's licence No. 33493C



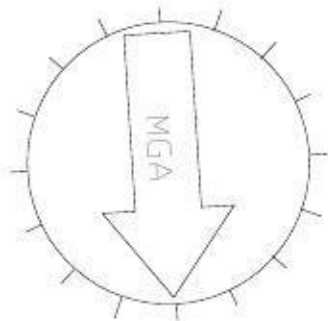
CLIENT:  
**MR & MRS TREHARNE**  
SITE ADDRESS:  
LOT 2133 DP1168991  
ILLOURA WAY  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: **CABARITA 24**  
FACADE: **CLASSIC**  
TYPE: **DOUBLE GARAGE**  
SPECIFICATION: **LUXE+ GOLD**

DRAWING TITLE:  
**SEDIMENT CONTROL PLN**

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002506	DRWG No: 10	ISSUE: E	

LOCATION PLAN  
UBD REF: 144, G13



NORTH

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

**LEGEND**

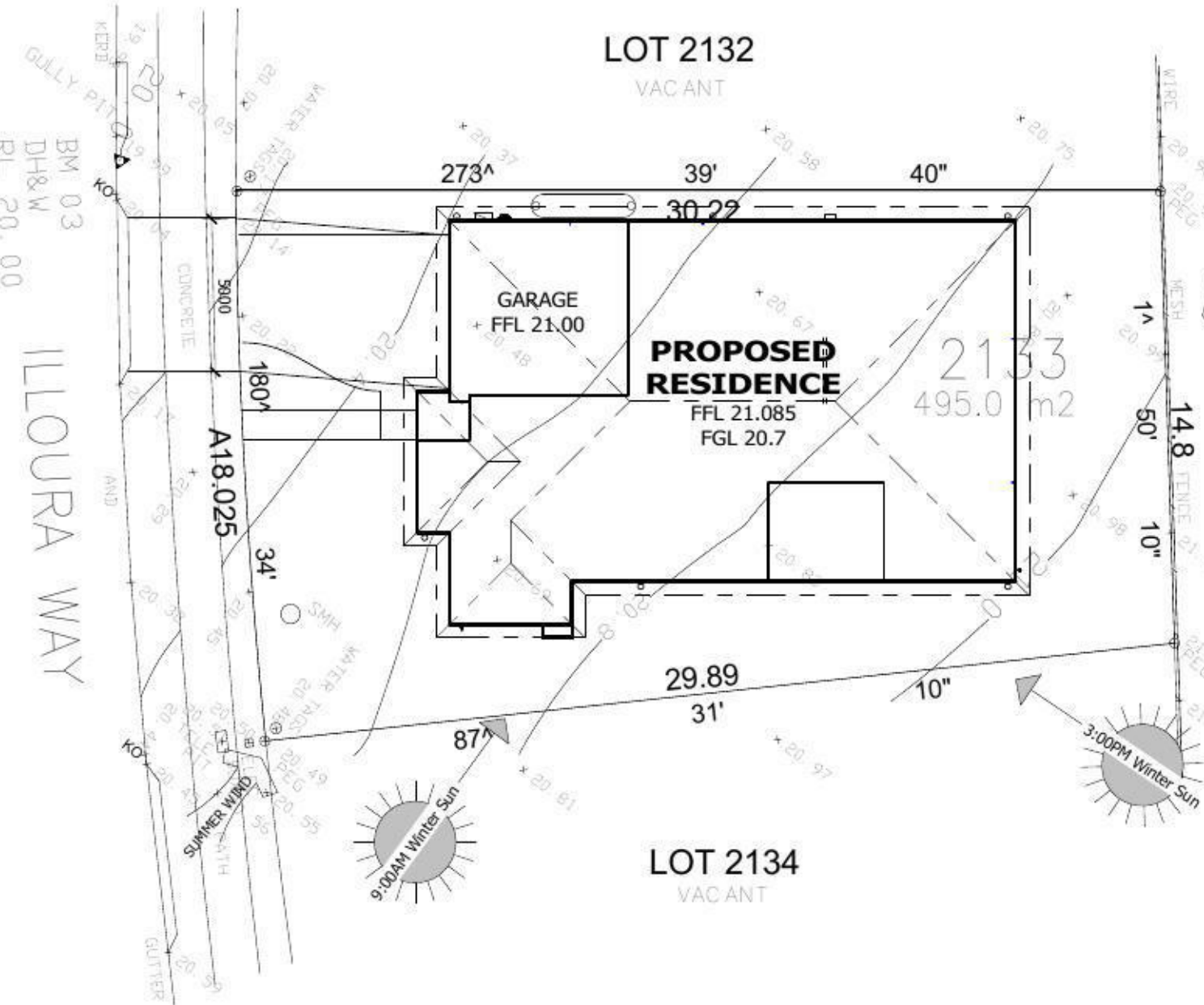
- WATER METER
- RECEPTION PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

**SITE CALCULATIONS**

TOTAL LIVING AREA	180.17	m <sup>2</sup>
SITE AREA	495.00	m <sup>2</sup>
BUILDING FOOTPRINT	228.47	m <sup>2</sup>
DRIVEWAY & PATH	40.38	m <sup>2</sup>
LANDSCAPE AREA	226.15	m <sup>2</sup>
FLOOR SPACE RATIO	0.36	:1
TOTAL BUILT UPON AREA	54.31	%



ILLOURA WAY



LEGEND  
KO DENOTES KERB OUTLET  
VC, EC, TC DENOTES SERVICE CONDUIT  
SV DENOTES STOP VALVE  
HYD DENOTES HYDRANT



NOTES:

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CLIENT:  
**MR & MRS TREHARNE**

SITE ADDRESS:  
LOT 2133 DP1168991  
ILLOURA WAY  
JORDAN SPRINGS

HOUSE TYPE  
MODEL: CABARITA 24  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: LUXE+ GOLD

DRAWING TITLE:  
**SITE ANALYSIS**

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002506	DRWG No: 11	ISSUE: E	