

**CAUTION**

- THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS.
- NON-VISIBLE SERVICES HAVE NOT BEEN LOCATED.
- THE CERTIFICATE OF TITLE MUST BE CHECKED FOR EASEMENTS AND ENCUMBRANCES.

**WARNING:-**

1. Plan compiled from information at Land Titles Office as regards dimensions and these are subject to final survey.
2. All details and features shown hereon have been plotted in relation to the occupations (fences and/or walls, etc.). These occupations have not yet been accurately located in relation to the boundaries.
3. The detail and features and contours are shown to scale plot accuracy only. Copying may distort the scale.
4. Service structures shown hereon are those that were visible at the time of survey and have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

'A' EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

ORIGIN OF LEVELS BASED ON  
SSM181217 R.L.32.907 A.H.D.  
BY OTHERS

TITLE:  
LEVEL AND FEATURE SURVEY  
LOT 2190 D.P. 1168993  
KATANDRA PLACE  
JORDAN SPRINGS

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CIVIL AND RESIDENTIAL SURVEYORS

REV.	AMENDMENT	DATE	CHEC.
REDUCTION RATIO:		DATE:	
1:200		6/6/13	
DRAWING No.		JOB No.	
13670ts		13670	
DATUM:	DRAWN BY:	CHECKED BY:	APPROVED BY:
A.H.D.	DB		
SHEET:	DATE:	DATE:	DATE:
1 OF 1	6/6/13		

## GENERAL NOTES

- These drawings shall be read in conjunction with ALL Architectural drawings and relevant Specifications. All discrepancies shall be referred to the Architect / Engineer for decision before proceeding with the work.
- These drawings shall NOT BE SCALED to obtain dimensions. Setting out dimensions shall be varied by the Builder.
- All workmanship and materials shall be in accordance with the requirements of the current editions of the SAA CODES and BY-LAWS and ORDINANCES of the relevant building authorities.

## CONCRETE:

- All materials and workmanship shall be in accordance with AS 3600.
- Concrete quality shall be as tabulated and shall be verified by test:

ELEMENT	SLUMP	MAX. SIZE AGGEGATE	MIN. COMPRESSIVE STRENGTH	CEMNT TYPE
FOOTING	80mm	20mm	32MPa	A
SLAB ON GROUND	80mm	20mm	32MPa	A
SLAB (SUSPENDED)	80mm	20mm	32MPa	A
BEAMS	80mm	20mm	32MPa	A
COLUMNS	80mm	20mm	32MPa	A
PIERS	80mm	20mm	32MPa	A

- Clear Concrete Cover to reinforcement shall be:

SLAB INTERNAL	20mm TOP & BOTTOM
SLAB EXTERNAL	30mm TOP & BOTTOM
FOOTINGS	65mm
BEAMS INTERNAL	30mm TOP & BOTTOM
SLAB ON GROUND	20mm TOP & BOTTOM
INTERNAL	20mm TOP & BOTTOM
EXTERNAL	30mm TOP & BOTTOM
PERIMETER BEAM	50mm IN ACID SULPHATE SOIL

- Concrete surfaces shall be cured for a minimum period of 7 days commencing immediately after initial set. where curing compounds are used they must be applied with 2hrs of finishing concrete or refer walls & columns straight after stripping of formwork.
- All concrete shall be compacted at time of placing using a high frequency mechanical vibrator.
- Construction joints where not shown on the drawings shall be to the approval of the Engineer.
- No holes or chases other than those shown on the Structural drawing shall be made in concrete elements without the prior approval of the Engineer.

## PLASTIC SHRINKAGE CRACKING

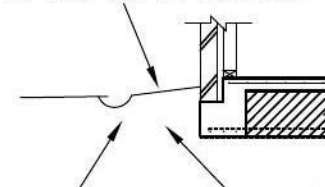
- Water must NOT be added to concrete on site as excessively wet concrete is one of the main causes of shrinkage cracking.
- Ensure max. 20mm top cover to fabric reinforcement in order to minimise shrinkage cracks.
- Shrinkage cracking is almost inevitable and does not represent failure. However, is of concern under brittle floor coverings. Damage may be reduced by using flexible mortars and glues for fixing tiles and fixing operation must be delayed as late as possible.

## FOOTINGS & FOUNDATIONS:

- Footings have been designed for a allowable bearing pressure of (refer to sheet 'S3') Foundation material shall be approved for this pressure before placing concrete Footing.
- Footings shall be placed centrally under walls & columns unless otherwise noted.
- Site is to be stripped of all organic matter & associated top soil.
- Fill used in the construction of slab on ground shall consist of a controlled fill or rolled fill in accordance with AS 2870.
  - Rolled fill consists of material compacted in layers by repeated rolling with an excavator, rolled fill shall not exceed 600mm compacted in layers not more than 300mm for sand material or 400mm compacted in layers.
  - Controlled fill consists of well graded sand fill up to 800mm deep, well compacted in not more than 200mm layers by vibrating plate or vibrating rolled, no sand fill up to 400mm deep well compacted in not more than 150 layers by a mechanical roller, clay fill should be moist during compaction.

## FOUNDATIONS MAINTENANCE & DRAINAGE:

- The site shall be graded or drained so that water cannot pond against or near the house. The ground immediately adjacent to the house shall be graded to a uniform fall of 50mm (min.) away from the house over the first metre.



Planting of trees should be avoided near the foundations of a house or neighbouring house on reactive sites as they can cause damage due to drying of the clay at substantial distances.

Garden beds adjacent to the house should be avoided. Care should be taken to avoid overwatering of gardens close to the house footings.

- A more extensive discussion of this material is contained in the CSIRO pamphlet 'Guide to home owners on foundation and maintenance and footing performance' and its recommendations should be followed.
- The owners attention is drawn to Appendix B of AS 2870-1996 performance requirements and foundation maintenance.

## BRICKWORK:

- All bricks shall have a minimum compressive strength of 20MPa.
- Brickwork mortar mix shall be 1:1:6 or 1:0.5:4.5
- Brickwork surfaces supporting concrete shall be trowelled smooth and covered with 0.65mm aluminium core bituminous strip - or equivalent - to prevent bonding of concrete to brickwork.
- For Vertical Articulation Joint Notes refer to Drawing No. S2.

## REINFORCEMENT:

- All Reinforcing Bars Shall Comply With AS 4671.1. All Fabric Shall Comply with AS 4671.1 & Shall be Supplied in Flat Sheets
- SYMBOLS:
 

R	Grade R250 Round Bar
N	Grade D500 High Strength Deformed Bars
SL	Fabric of Welded Hard Drawn Wire
TM	Trench Mesh
- Minimum end & side lap for reinforcement shall be:
  - SL72 & SL82 \_\_\_\_\_ 300mm
  - SL92, SL11TM, SL1D2 & N12 \_\_\_\_ 400mm
  - N20 \_\_\_\_\_ 600mm
- All reinforcement shall be supported on plastic tipped steel chairs at 900mm crs. Max. except SL81 at 600mm crs. Max.
- Welding of reinforcement shall NOT be permitted unless shown on the structural drawings.

## PIERING NOTES FOR WAFFLEPOD SLAB:

- No piers are necessary when beams are bearing on natural or controlled fill except when within the zone of influence of sewer or stormwater lines. This is to be confirmed with Engineer.
- Beams to be founded or pierced to an even bearing.
- Space piers at 2200 cts. under all external & internal load-bearing beams and pads when constructed on uncontrolled / non-compacted material 400 dia. to clay and sand or 300 dia. to rock and shale U.N.O
- Piers required under internal rib beams or stepped beams when constructed on more than 300mm of uncontrolled / non-compacted material internal pier spacings 2400 x 2400 centres.
- Provide additional 1N12 bar top over pierced external and internal beams and ribs.

A	5.09.13	ISSUED FOR CONSTRUCTION
ISSUE:	DATE:	REVISIONS

APPROVED:



S. NASTASI  
B.E., M.I.E. AUST, CPENG

CLIENT: LB HOMES

CLIENT No: LB1305

PROJECT:

LOT 2190 KATANDRA PLACE,  
JORDAN SPRINGS. NSW

TITLE:

**GENERAL NOTES**

ISSUED FOR CONSTRUCTION

DRAWN: E.R.

DATE: 5.09.13

SCALE: N.T.S

JOB No: **2830** SHEET No: **S1**



## STRUCTURAL STEELWORK NOTES

- Unless noted otherwise
  - Use 10mm thick gusset, fin & end plates welded all round.
  - All welds 6mm continuous fillet.
  - All bolts 20mm dia.
  - All bolts grade 8.8/s. (including purlin / girt bolts)
  - All bolts, including holding down bolts are to be hot dip galvanised.
  - All fillet welds to be category GP.
  - Butt weld all flanges at end plates and at all mitre cuts. Butt weld all stiffener plates to flanges only. All butt welds shall be full penetration, grade SP.
  - All connections to have a minimum of 2 bolts.
  - Studs fabricated to AS1554.2. All shear studs (composite slab to steel) grade 410 MPa. All threaded studs (steel to steel) grade 380 MPa.
- Bolting categories are identified on the drawings in the following manner.
  - 4.6/S Commercial bolts of grade 4.6 snug tightened.
  - 8.8/S high strength bolts of grade 8.8 snug tightened.
  - 8.8/TB high strength bolts of grade 8.8 fully tensioned to AS4100 as a bearing type joint
  - 8.8/TF high strength bolts of grade 8.8 fully tensioned to AS4100 as a friction type joint with faying surfaces left uncoated.

Note: Grade 8.8 bolts are NOT to be welded
- Chip all welds free of slag.
- Contractor is to confirm with Architect as to where exposed welds are to be ground flush / smooth.
- Provide temporary bracing to maintain stability of steelwork during construction.
- Do not grout under base plates until first level steelwork is plumb and fixed by welding or bolting.

WIND/WALL TIE CLASSIFICATION				
WIND Class	WIND (Vp)	WALL TIE	HORIZONTAL SPACING	VERTICAL SPACING
			N1	W28N1
N2	W33N2	MEDIUM DUTY	600	600
N3	W41N3	MEDIUM DUTY	600	430 (5 courses)

WALL TIE SPACINGS AROUND OPENINGS 300 CTS. EACH WAY  
(Vp = PERMISSIBLE STRESS METHOD)

DURABILITY CLASSIFICATION				
CATEGORY (durability)	WALL TIES AS 3700	GRADE OF BRICKS AS/NZS 4456.10	MORTAR AS 3700	STRUCTURAL STEEL (surface finish)
severe marine	R4 (Stainless or polymer)	EXPOSURE	M4 (1:4)	GALVANISED (GZLP) (600g per square metre)
marine	R3	GENERAL PURPOSE	M3 (1:5)	AS/ANZ 2312/1994
exterior	R2	GENERAL PURPOSE	M2 (1:2:8)	AS/ANZ 2312/1994

## TERMITE PROTECTION:

- All works to be in accordance with AS 3660. 1-1995.
- All concrete to be mechanically vibrated during pour.
- 75mm clear smooth concrete to be exposed around entire perimeter of slab.
- Crushed granite or stainless steel mesh to be used around all pipe penetrations in accordance with the manufacturer's Specifications.
- Inspections of the residence and immediate surrounds to be carried out by a qualified pest expert on an annual basis.
- Any future cracking occurring in the slab is to be assessed by a qualified pest expert and where directed be sealed by epoxy injection.
- Site maintenance is the responsibility of the home owner. All recommendations outlined by the C.S.I.R.O. in sheet 10-91 to be carried out.

## TIMBER NOTES

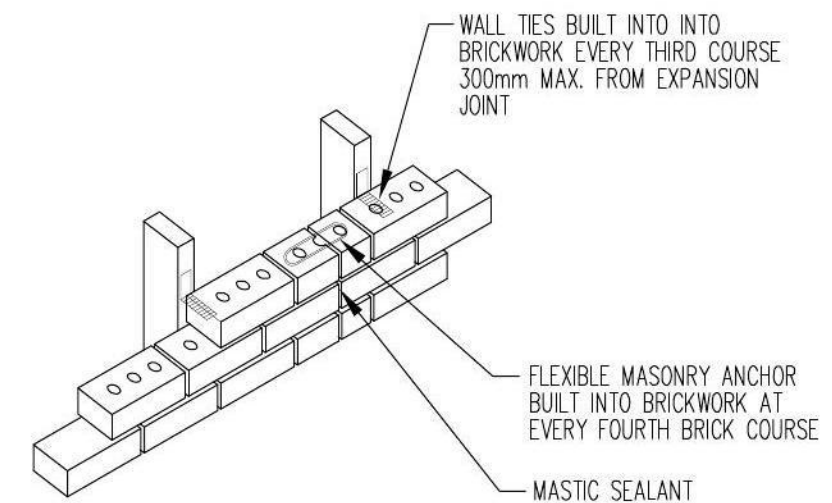
- All timber design, construction and material to be to AS1720.1, AS1720.2 and New South Wales Timber Framing Manual.
- AS1684 shall be applied to domestic construction in sheltered locations.
- Softwood to be minimum grade F7 U.N.O. Hardwood to be minimum grade F14.
- External timber to be either Hardwood durability Class 1 or Class 2 as per AS1720.2 or impregnated pine Grade F7, pressure treated to AS 1604 and re-dried prior to use. Supplementary treatment shall be applied to all cut surfaces. Supply supporting documentation for preservative treatment.
- Timber truss to be pre-cambered an amount equal to dead load deflection. 3 copies of shop drawings are to be sub-mitted to the Engineer for approval clearly showing the design loads on the roof and ceiling and truss node point loads and pre-camber.
- All bolts in timber construction to be minimum M16 U.N.O. Bolt holes to be drilled exact size. Washers under heads and nuts to be at least 2.5 times bolt diameter.
- Timber dimensions on the finished width and thickness to be:
  - Seasoned Softwood +5,-0mm
  - Unseasoned Softwood >F7+3,-3mm
  - Seasoned Softwood less than or equal to F7+2,-4mm
  - Seasoned Softwood +2,-0mm
  - Unseasoned Softwood +3,-3mm (see also clause 1.6.2 in AS2082)
- All timber joint and notches are to be 100mm minimum away from loose knots, severe sloping grain, gum veins or other minor defects.

## GALINTEL 'T' BAR:

- Place galintel 'T' bar over opening allowing a minimum of 200mm end bearing each end.
- Galintel 'T' bar must be propped before bricklaying.
  - From 2400mm to 3300mm span 2 props.
  - From 3500mm to 4500mm span 3 props.
  - From 4800mm to 5700mm span 4 props.
 Space equally along the length and under the base of the bar.
- When laying bricks, mortar must be applied to all brick faces coming in contact with the 'T' bar.
- Props to remain in place until mortar achieves full strength (7 days min.)
- A minimum 1.4 mortar mix is to be used and applied to all faces between steel and bricks (vertical and horizontal legs) and between bricks above the steel section.
- Check roof truss layout prior to installation & refer non standard loading conditions to engineer timber beams to manufactures specification.

## VERTICAL ARTICULATION JOINT NOTES:

- Articulation joints must have a width no less than 10mm..
- Mastic sealant is optional in cavity brick construction, however is recommended.
- Flexible masonry anchors must be built in at every fourth (4th) course.
- Articulation joints must be provided:
  - at no more than 6000mm centres in straight, continuous walls having no openings
  - at the position where the wall height changes by more than 20%
  - at no more than 5000mm centres, where openings greater than 900 x 900 occur
  - where walls change in thickness
  - at control or construction joints in footing slab
  - at junctions of walls constructed of different masonry materials
- For single leaf masonry walls stabilised with return walls, or engaged piers any articulation joints must be within 300mm of the vertical support element these joints must be sealed with a flexible, compressible material.
- Wall ties to be built in a flexed to the timber frame 200 side of the Expansion joint at every third (3rd) course.
- Inspections of the residence and immediate surrounds to be carried out by a qualified pest expert on an annual basis.
- Any future cracking occurring in the slab is to be assessed by a qualified pest expert and where directed be sealed by epoxy injection.
- Site maintenance is the responsibility of the home owner. All recommendations outlined by the C.S.I.R.O. in sheet 10-91 to be carried out.

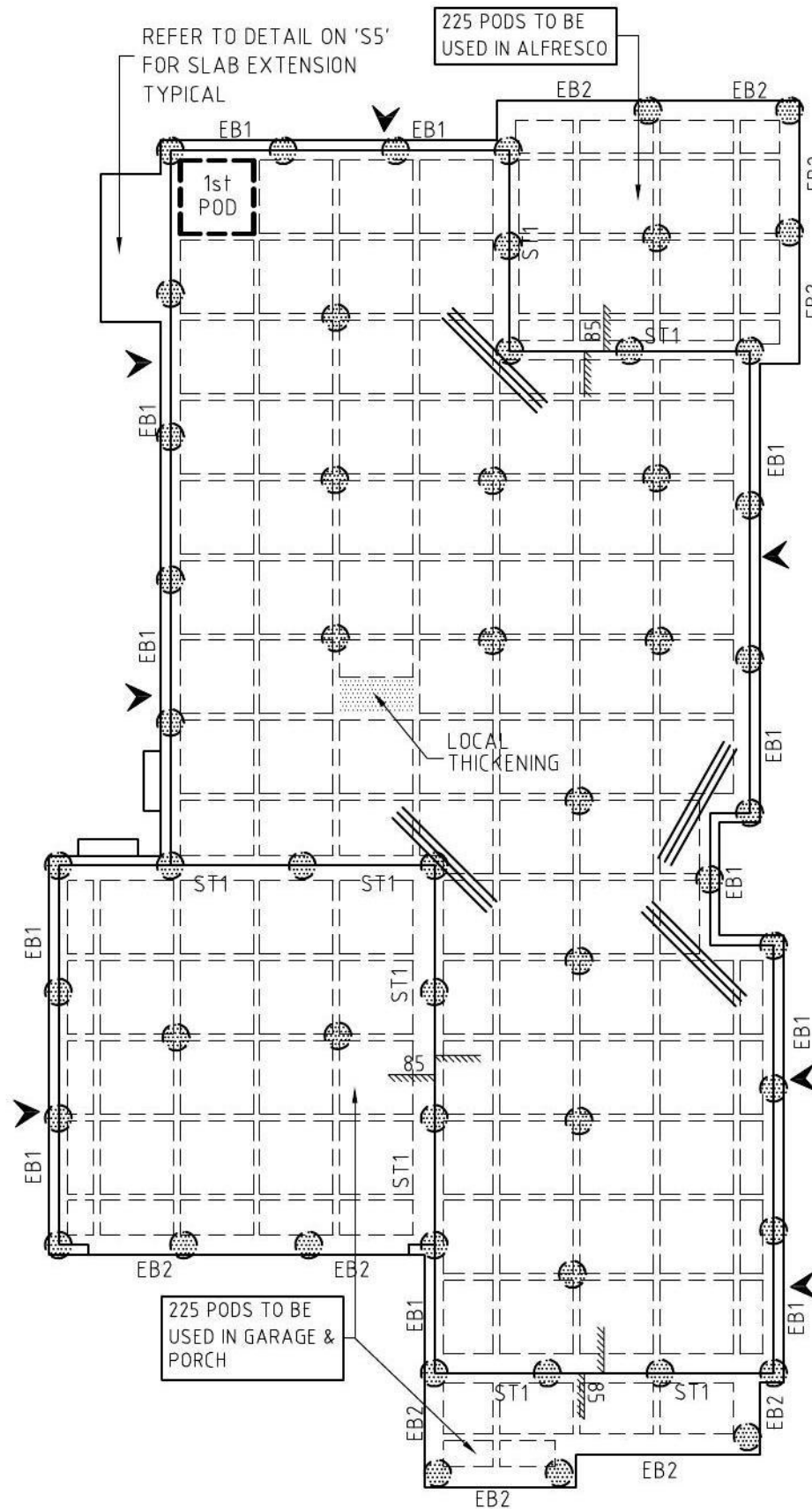


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SCALE:		N.T.S
JOB No:	2830	SHEET No: S2



## CONCRETE SLAB LAYOUT

- × THE SLAB HAS BEEN DESIGNED FOR A "VERY SALINE" CLASSIFICATION
  - × CONCRETE COMPRESSIVE STRENGTH @ 28 DAYS = 32MPa
  - × PROVIDE A HIGH IMPACT RESISTANT MEMBRANE WHICH HAS A CONTINUOUS BRANDING WITH THE WORDS 'AS 2870 CONCRETE UNDERLAY, 0.2mm - HIGH IMPACT RESISTANCE'.
  - × COVER TO REINFORCEMENT PROTECTED BY DAMP PROOFING MEMBRANE SHALL BE AS FOLLOWS:  
INTERNAL SURFACE - 20mm.  
EXTERNAL SURFACE - 30mm.
  - × COVER TO UNPROTECTED EXTERNAL SURFACE - 50mm
- SCALE 1:100



### LEGEND

- DENOTES 3/N-12 OR EQUIVALENT (OR 3-F11TM) CRACK CONTROL BARS 1200mm LONG TIED TO UNDERSIDE OF SLAB TOP FABRIC. BARS MAY BE DELETED WHERE SLAB MESH LAPS AT INTERNAL CORNERS.
- DENOTES LOCATION OF ARTICULATION JOINT IN THE WALL ON PLAN ABOVE. ALL ARTICULATION JOINTS SHALL BE CONSTRUCTED FOR THE FULL HEIGHT OF THE WALL. REFER TO DETAIL IN GENERAL NOTES AND WALL ELEVATIONS.
- DENOTES WET AREA SETDOWN. MASS CONCRETE OR SCREW PIER
- SHADED AREA DENOTES PODS SET DOWN. DENOTES POD EXTENSION

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CLIENT: LB HOMES

CLIENT No: LB1305

PROJECT:

LOT 2190 KATANDRA PLACE,  
JORDAN SPRINGS. NSW

TITLE:

**CONCRETE  
SLAB PLAN**

A 5.09.13 ISSUED FOR CONSTRUCTION

ISSUE: DATE:

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DRAWN: E.R.

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SCALE: 1:100

JOB No: 2830 SHEET No: S3

## DESIGN SUMMARY

SITE CLASSIFICATION	'H2' IN ACCORDANCE WITH GEOTECH REFERENCE & AS2870
WIND CLASSIFICATION	-
DURABILITY CLASS	NORMAL
SALINITY SITE (REFER TO SALINITY NOTE)	YES
ALLOWABLE BEARING PRESSURE	SLAB & FOOTING 100kPa

## SLAB DETAILS

WAFFLE POD HEIGHT	300 & 225 U.N.O.
WAFFLE POD SIZE	1100x1100
SLAB THICKNESS (T)	85mm
BEAM DEPTH (D)	385 & 310
SLAB MESH	SLB2
CONCRETE STRENGTH	
SLAB	32 MPa
PIER	32 MPa

## PIER SCHEDULE

STRATA & SAFE BEARING CAPACITY	SHALE OR ROCK 600 kPa	STIFF CLAY 300 kPa	MEDIUM CLAY 160 kPa
PIER DIA.	300mm	400mm	600mm
MIN. EMBEDMENT DEPTH	100mm	200mm	300mm

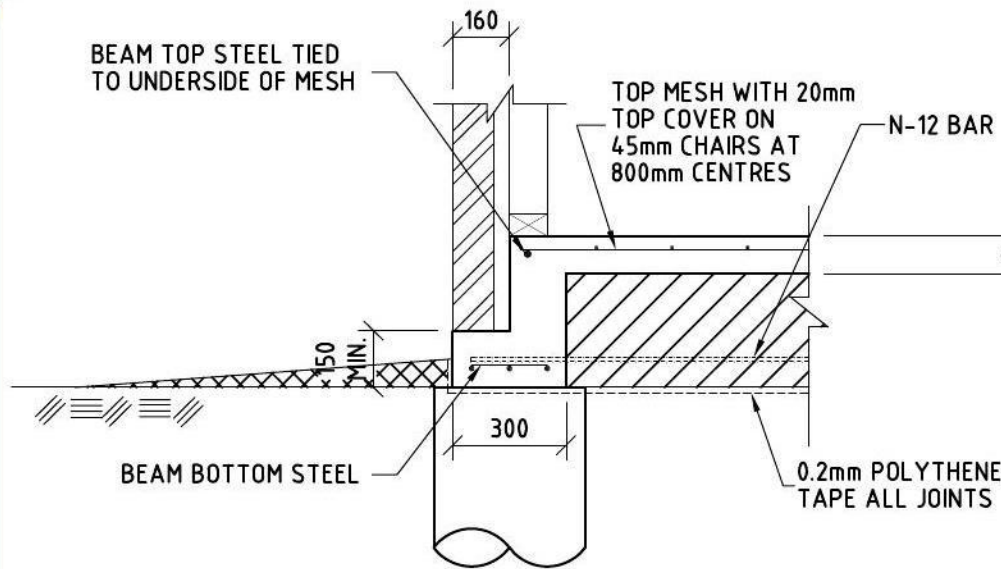
## PIER SPACING

PERIMETER BEAM SPACING	1800mm
INTERNAL BEAM SPACING	2200mm

## PIER NOTES

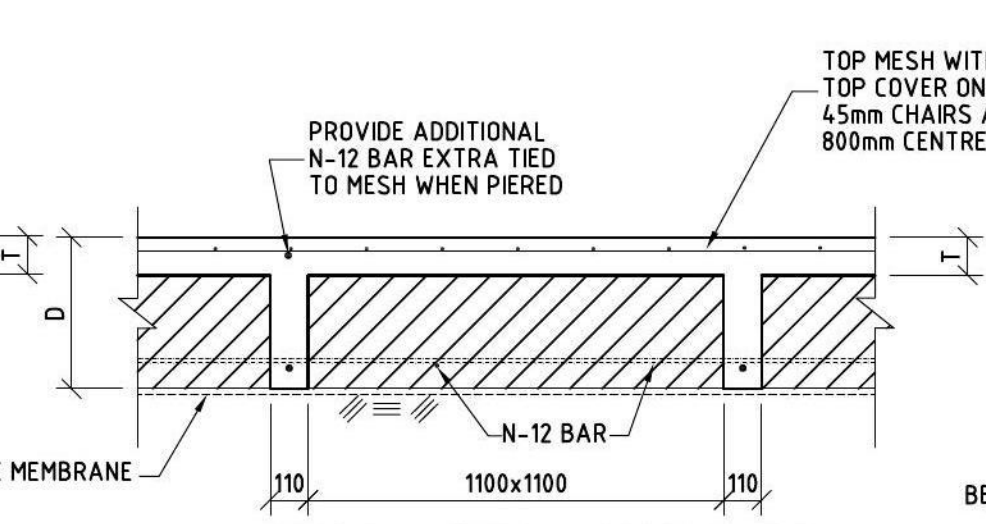
- ALLOWABLE PIER TYPES:
- MASS CONCRETE PIERS  $\phi$ 400mm U.N.O. (REFER TO PIER SCHEDULE)
  - SCREW PIERS WITH SAFE WORKING LOAD 70KN.





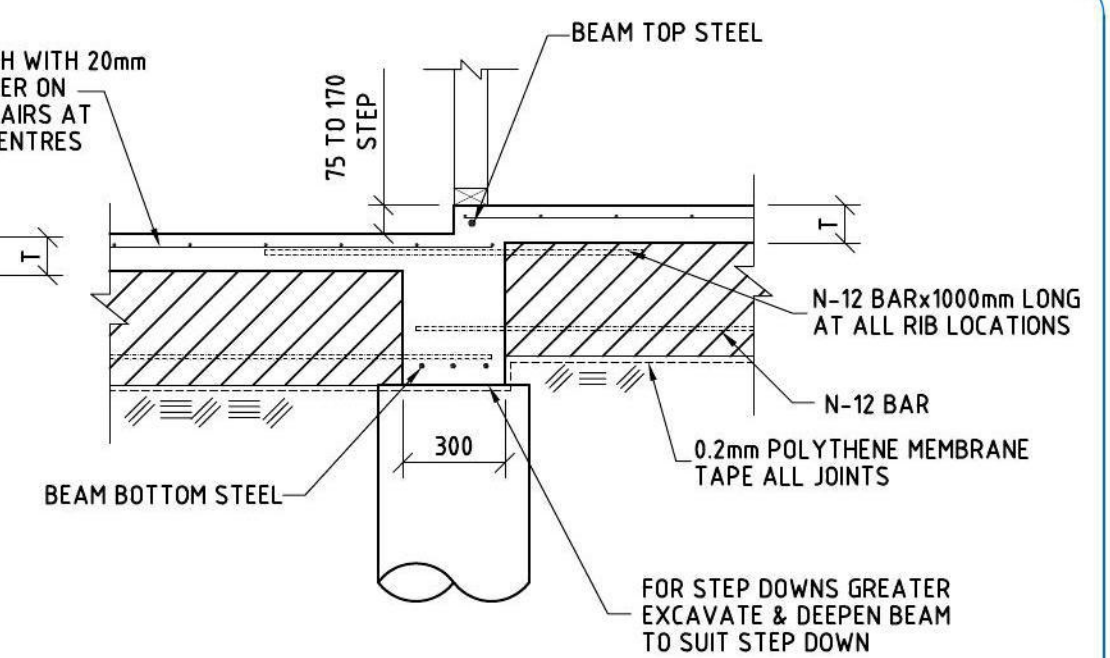
**DETAIL - EDGE BEAM "EB1"**

SCALE 1:20



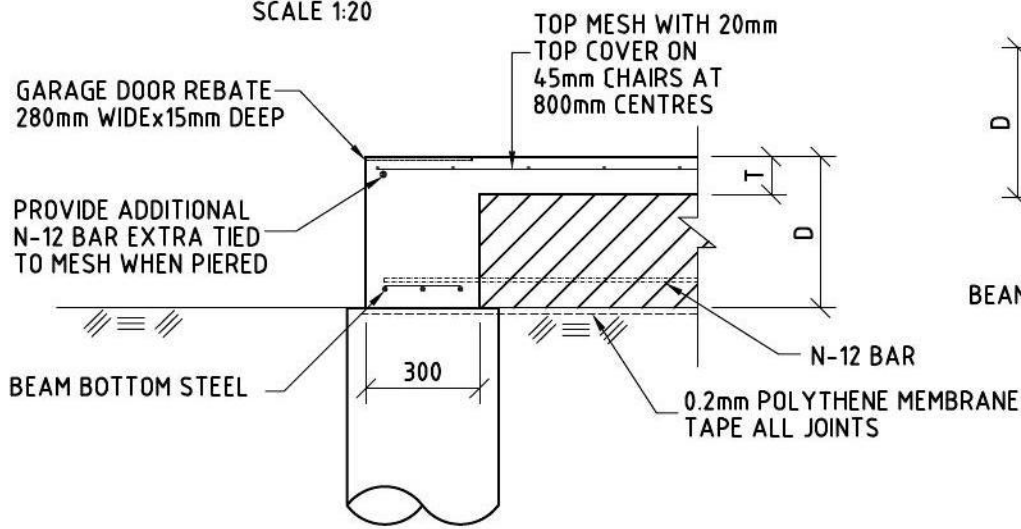
**DETAIL - TYPICAL INTERNAL RIB**

SCALE 1:20



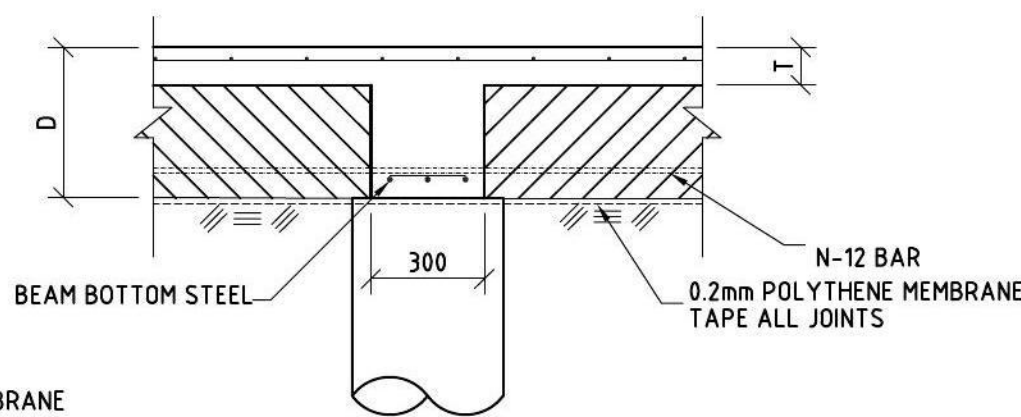
**DETAIL - STEP BEAM "ST1"**

SCALE 1:20



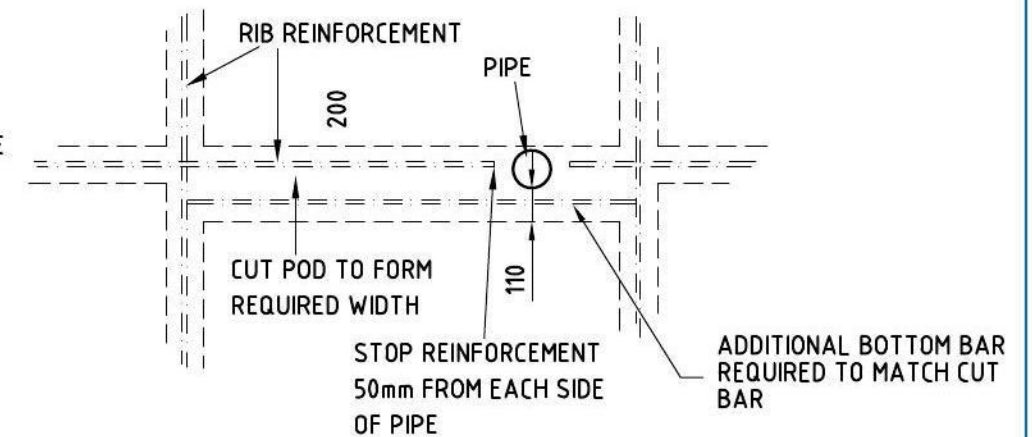
**DETAIL - EDGE BEAM "EB2"**

SCALE 1:20



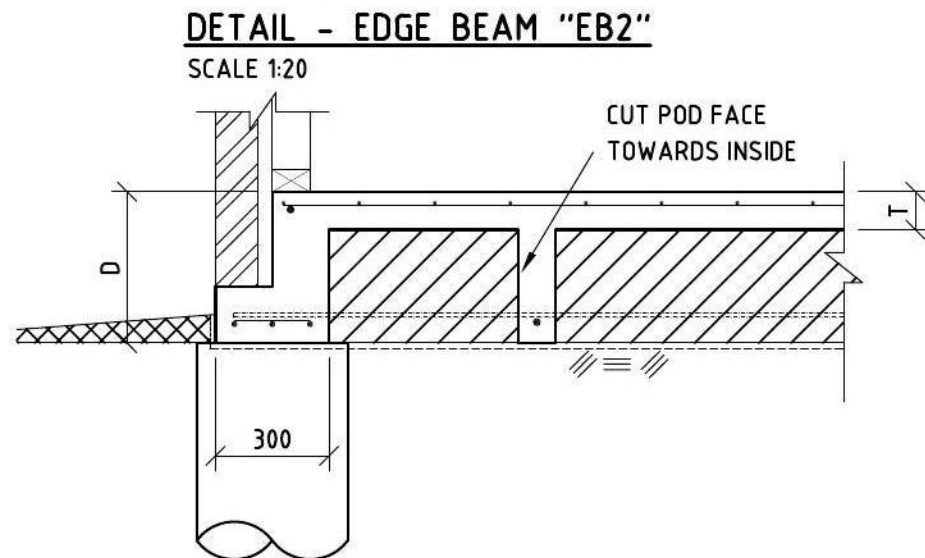
**DETAIL - EDGE BEAM "IB1"**

SCALE 1:20



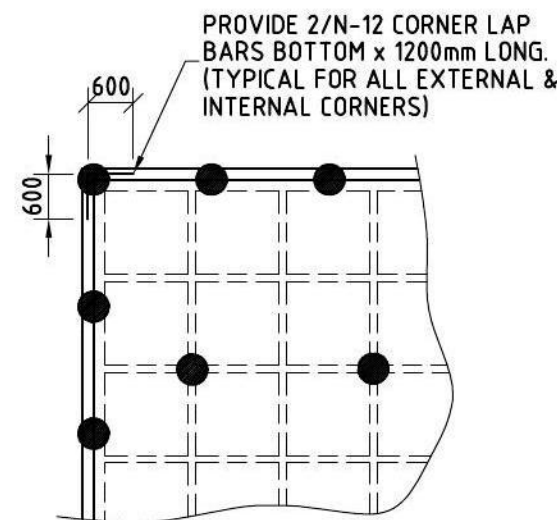
**DETAIL - PLAN OF TYPICAL PIPE PENETRATION.**

SCALE 1:20



**DETAIL - TYPICAL EXTERNAL CUT POD.**

SCALE 1:20



**DETAIL - TYPICAL CORNER BARS**

SCALE 1:100

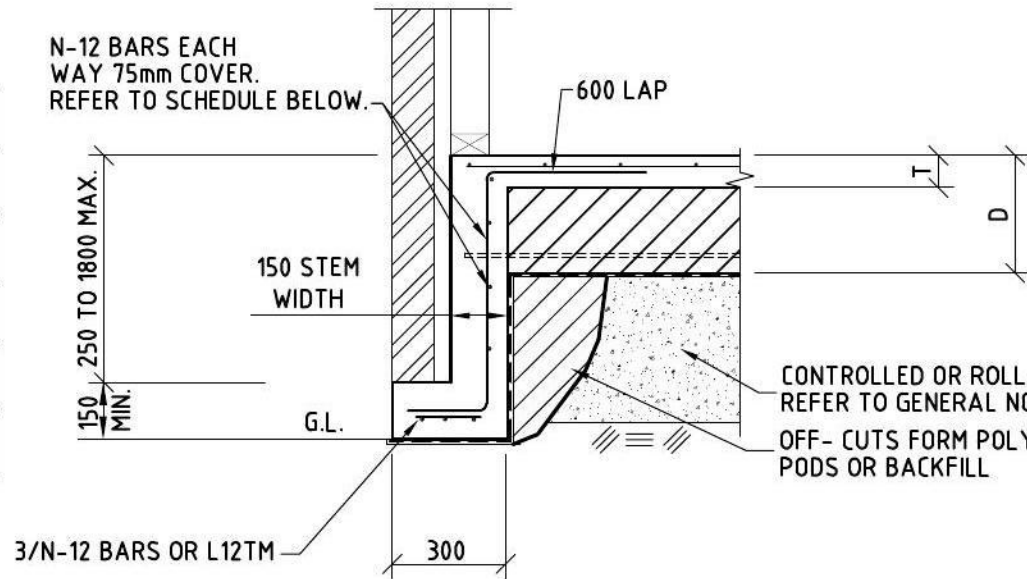
**REINFORCEMENT FOR RIBS & BEAMS**

WIDTH	TOP STEEL	BOTTOM STEEL
111 TO 269	-	2N12
270 TO 330	1N12	3N12 OR 3-L11TM
331 TO 440	2N12	4N12 OR 4-L11TM
441 TO 550	3N12	6N12

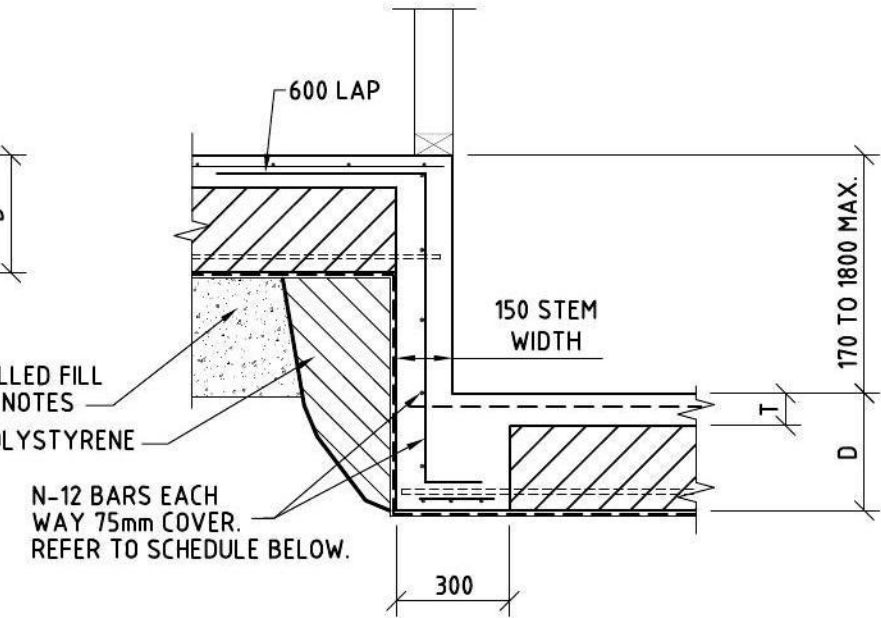
ISSUE	DATE	REVISIONS
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DRAWN:		E.R.
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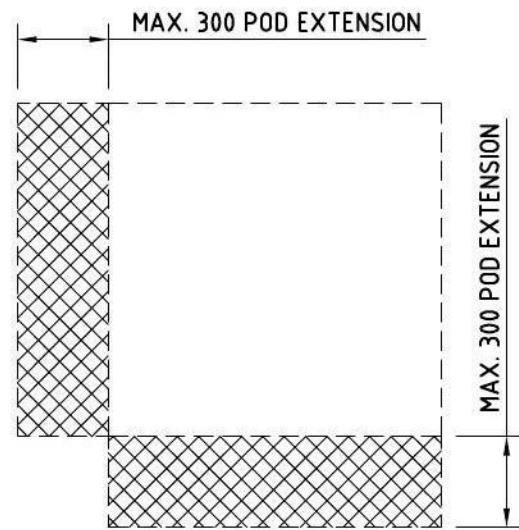
DEEPENED BEAM REINFORCEMENT SCHEDULE	
RECESS/STEP DEPTH	REINFORCEMENT
400 - 600mm	N-12 BARS AT 400mm CENTRES VERTICAL 1/N-12 BAR HORIZONTAL
600 - 900mm	N-12 BARS AT 400mm CENTRES BOTH WAYS
900 - 1500mm	N-12 BARS AT 300mm VERTICAL N-12 BARS AT 400mm CENTRES HORIZONTAL
1500 - 1800mm	N-12 BARS AT 200mm VERTICAL N-12 BARS AT 300mm CENTRES



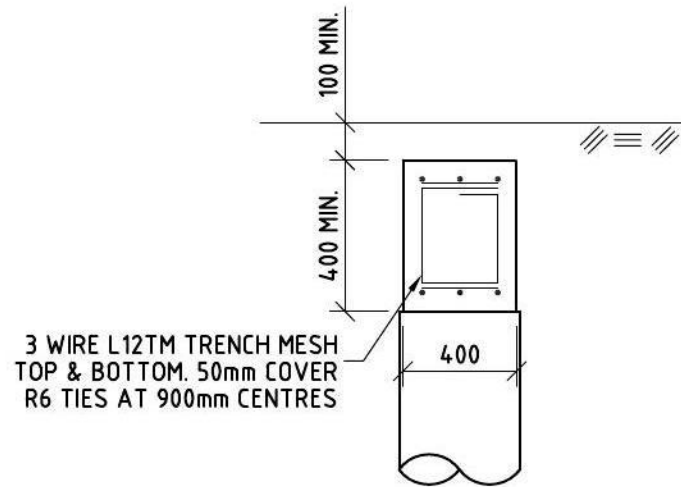
**DETAIL - DEEP EXTERNAL EDGE BEAM "DEB1"**  
SCALE 1:20



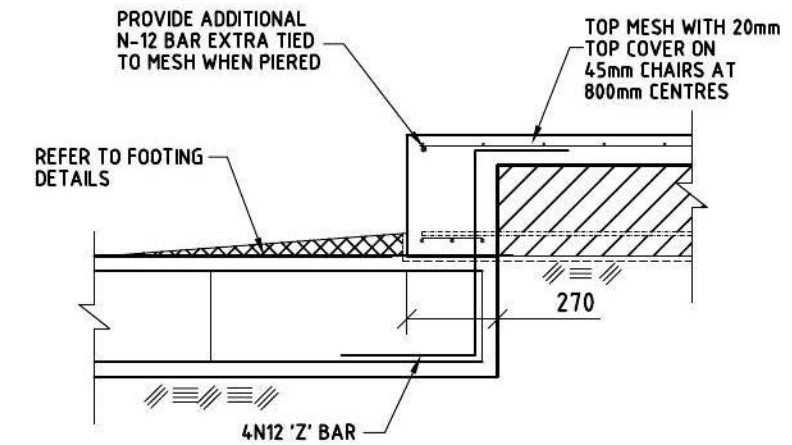
**DETAIL - INTERNAL STEP BEAM GREATER THAN 170mm "DST1"**  
SCALE 1:20



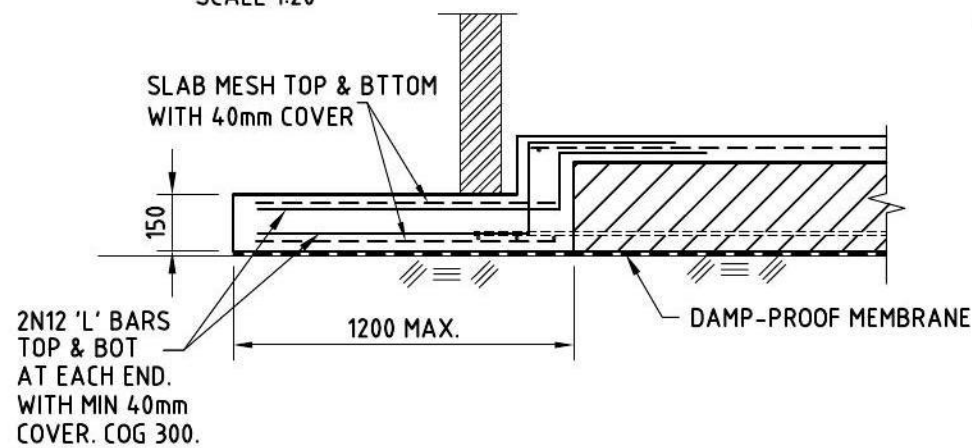
**TYPICAL POD EXTENSION PLAN**  
REFER TO PLAN FOR LOCATION  
SCALE 1:20



**DETAIL - FOOTING 'SF1'**  
SCALE 1:20



**DETAIL - STRIP FOOTING/POD CONNECTION**  
SCALE 1:20



**ATTACHED RAIN WATER TANK & A/C UNIT SLAB DETAIL.**

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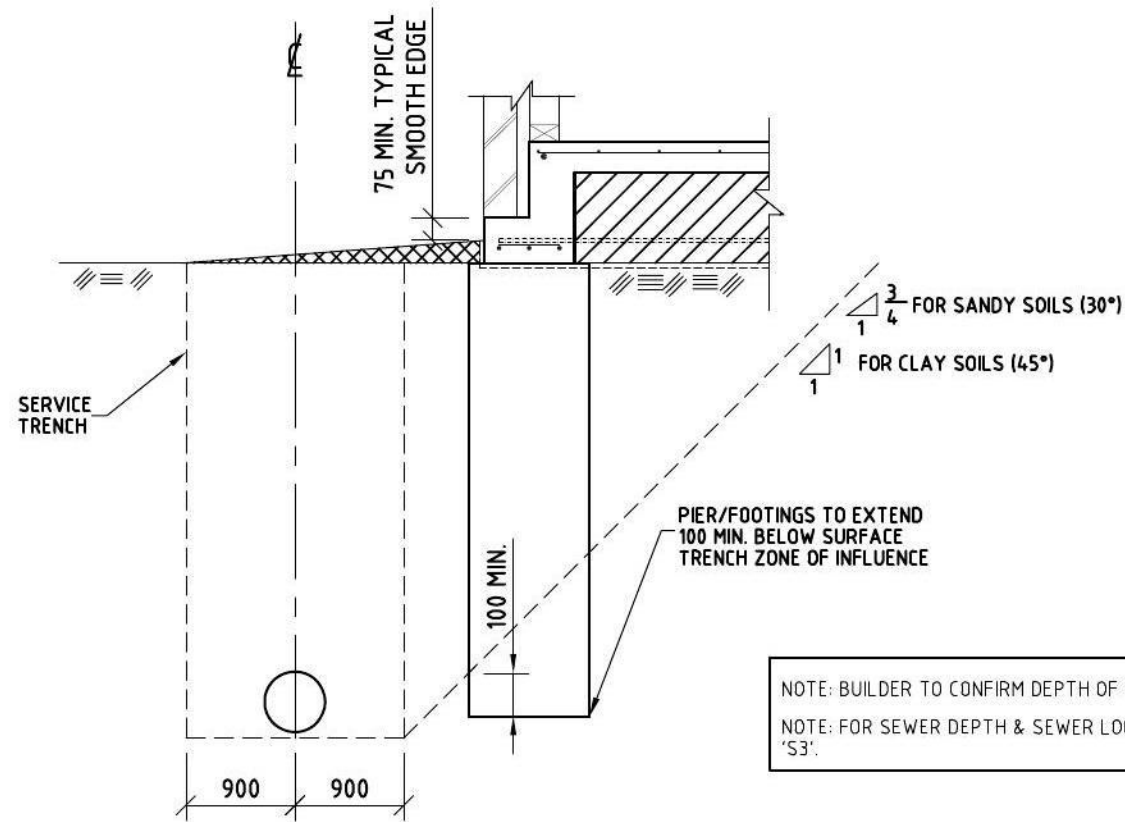
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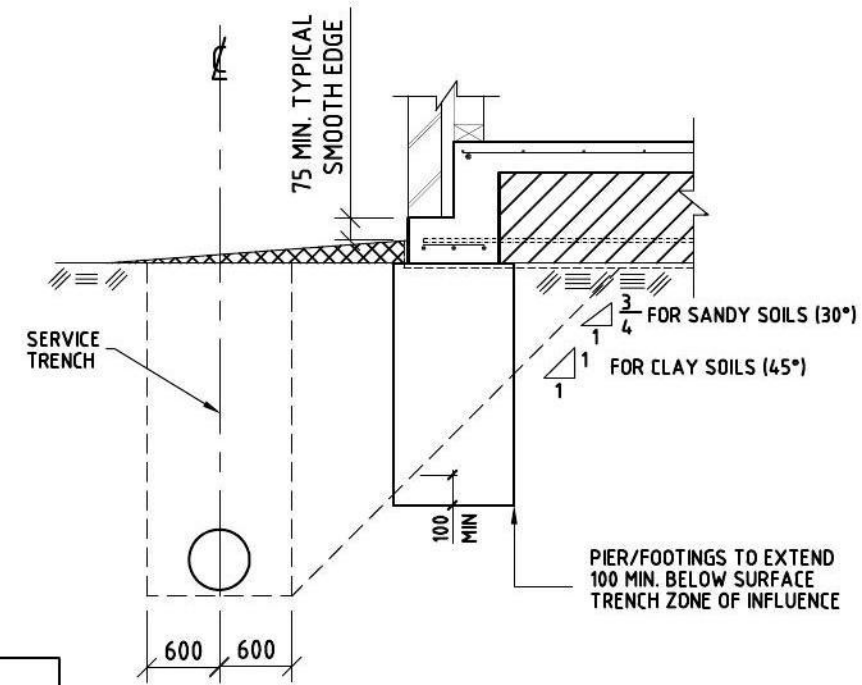
TITLE:  
**WAFFLE SLAB  
DETAILS**





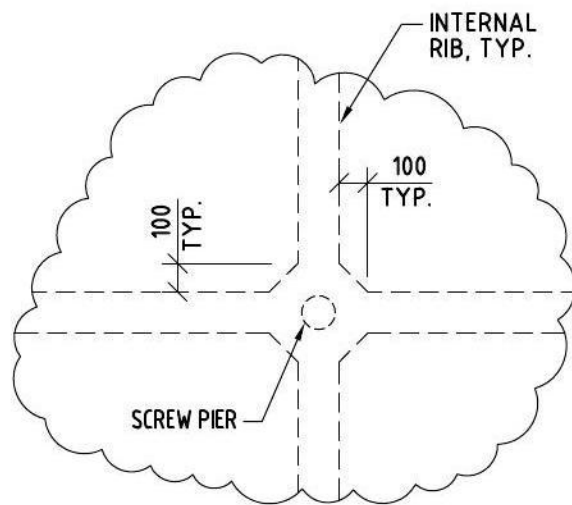
**DETAIL - SERVICE TRENCH BELOW CRITICAL DEPTH OF 2500**  
SCALE 1:20

BUILDER IS TO ENSURE THAT THE DRAINAGE CONTRACTOR COMPLIES WITH THIS DETAIL. IT IS OUTSIDE THE CONTROL OF THE ENGINEER TO ENSURE THAT DRAINAGE CONTRACTOR COMPLIES WITH THESE DETAILS

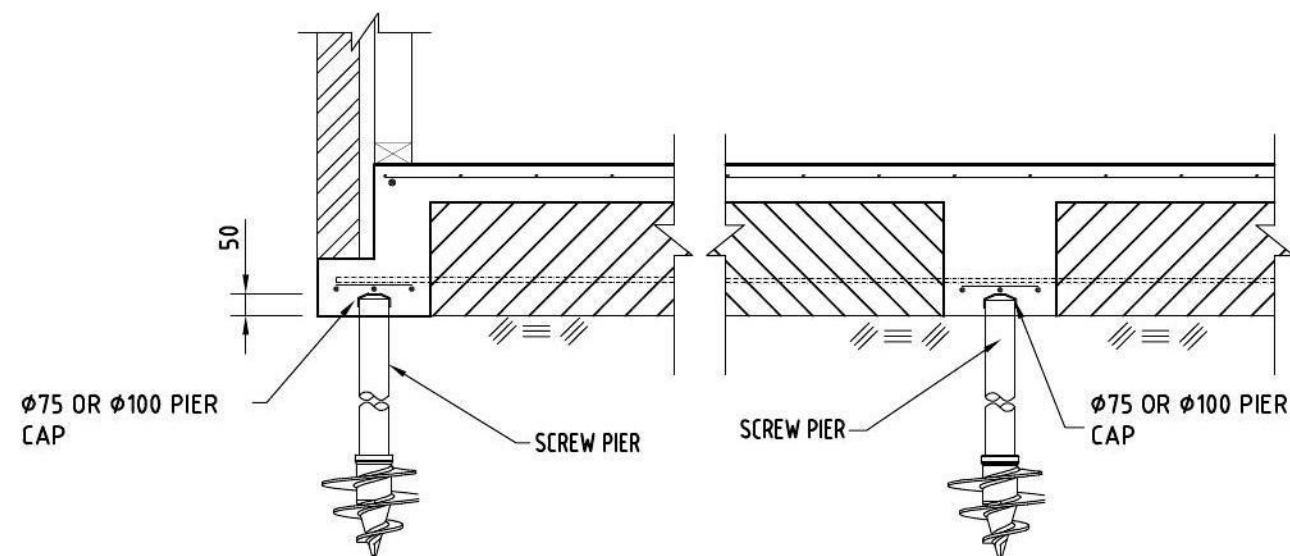


**DETAIL - SERVICE TRENCH ABOVE CRITICAL DEPTH OF 2500**  
SCALE 1:20

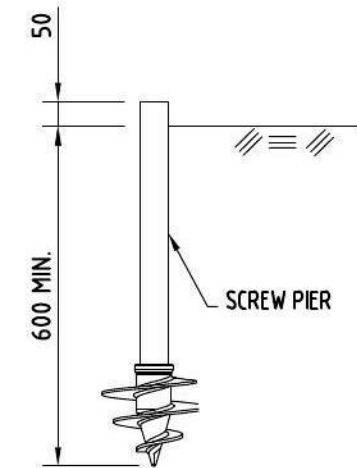
BUILDER IS TO ENSURE THAT THE DRAINAGE CONTRACTOR COMPLIES WITH THIS DETAIL. IT IS OUTSIDE THE CONTROL OF THE ENGINEER TO ENSURE THAT DRAINAGE CONTRACTOR COMPLIES WITH THESE DETAILS



**TYPICAL LOCAL THICKENING AT INTERNAL SCREW PIER LOCATIONS**



**TYPICAL SCREW PIER CONNECTION DETAILS**



**SCREW PIER INSTALLATION**

A	5.09.13	ISSUED FOR CONSTRUCTION	
ISSUE:	DATE:	REVISIONS	
		ISSUED FOR CONSTRUCTION	
		DRAWN:	E.R.
		DATE:	5.09.13
		SCALE:	AS NOTED
		JOB No:	2830
		SHEET No:	S6

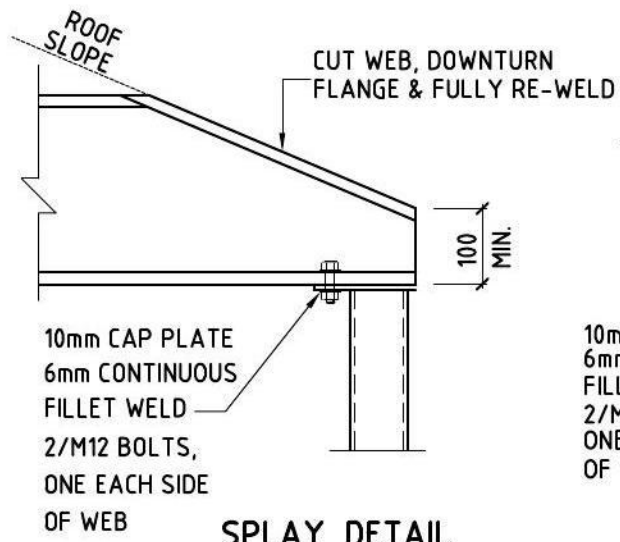
**NASTASI & ASSOCIATES**  
CONSULTING CIVIL & STRUCTURAL ENGINEERS  
B.E., M.I.E. AUST. CPENG NPER-3  
ABN 45 533 226 008  
UNIT 5, 1-3 WHYALLA PLACE, PRESTONS NSW 2170  
PH: (02) 9607 2864 OR (02) 8798 5617 FAX: (02) 9731 2081  
MOB: 0419 041 401

APPROVED:  
  
S. NASTASI  
B.E., M.I.E. AUST, CPENG

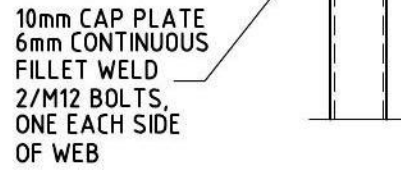
CLIENT: LB HOMES  
CLIENT No: LB1305  
PROJECT: LOT 2190 KATANDRA PLACE,  
JORDAN SPRINGS. NSW

TITLE:  
**SEWER DETAILS  
&  
SCREW PIERS**

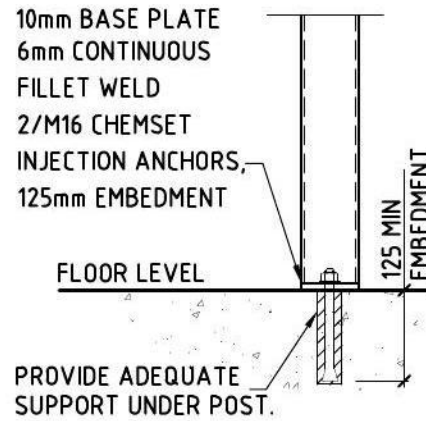




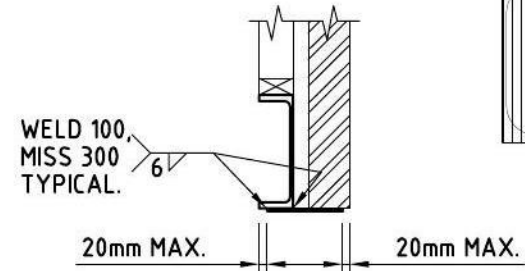
**SPLAY DETAIL**  
SCALE 1:10



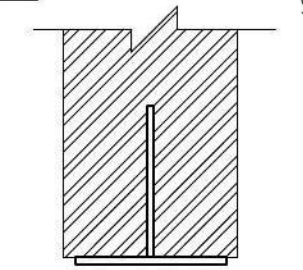
**CAP PLATE DETAIL**  
SCALE 1:10



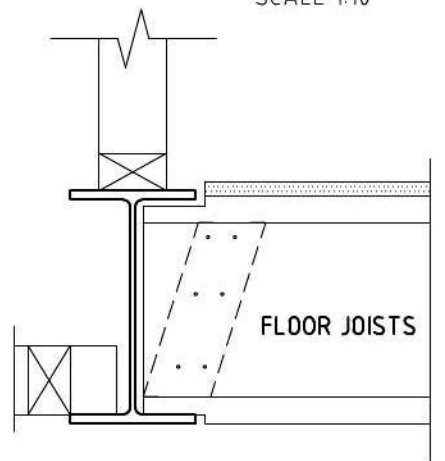
**BASE PLATE DETAIL**  
SCALE 1:10



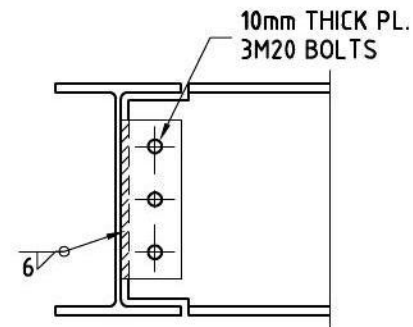
**DETAIL A**  
SCALE 1:20



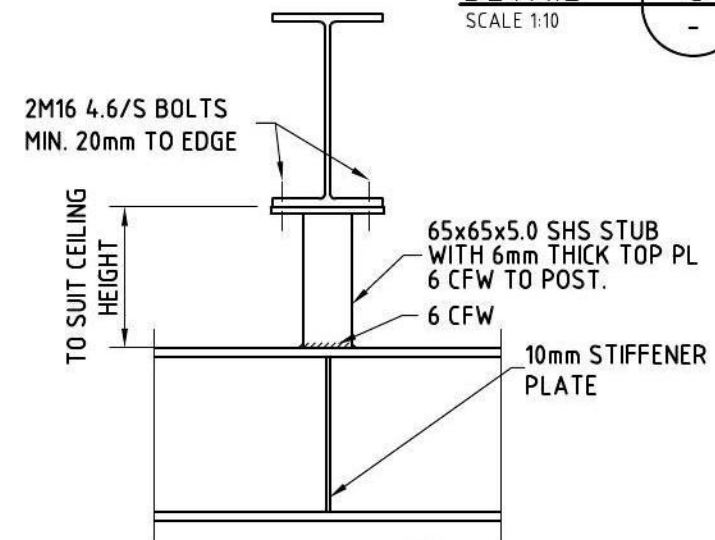
**DETAIL B**  
SCALE 1:10



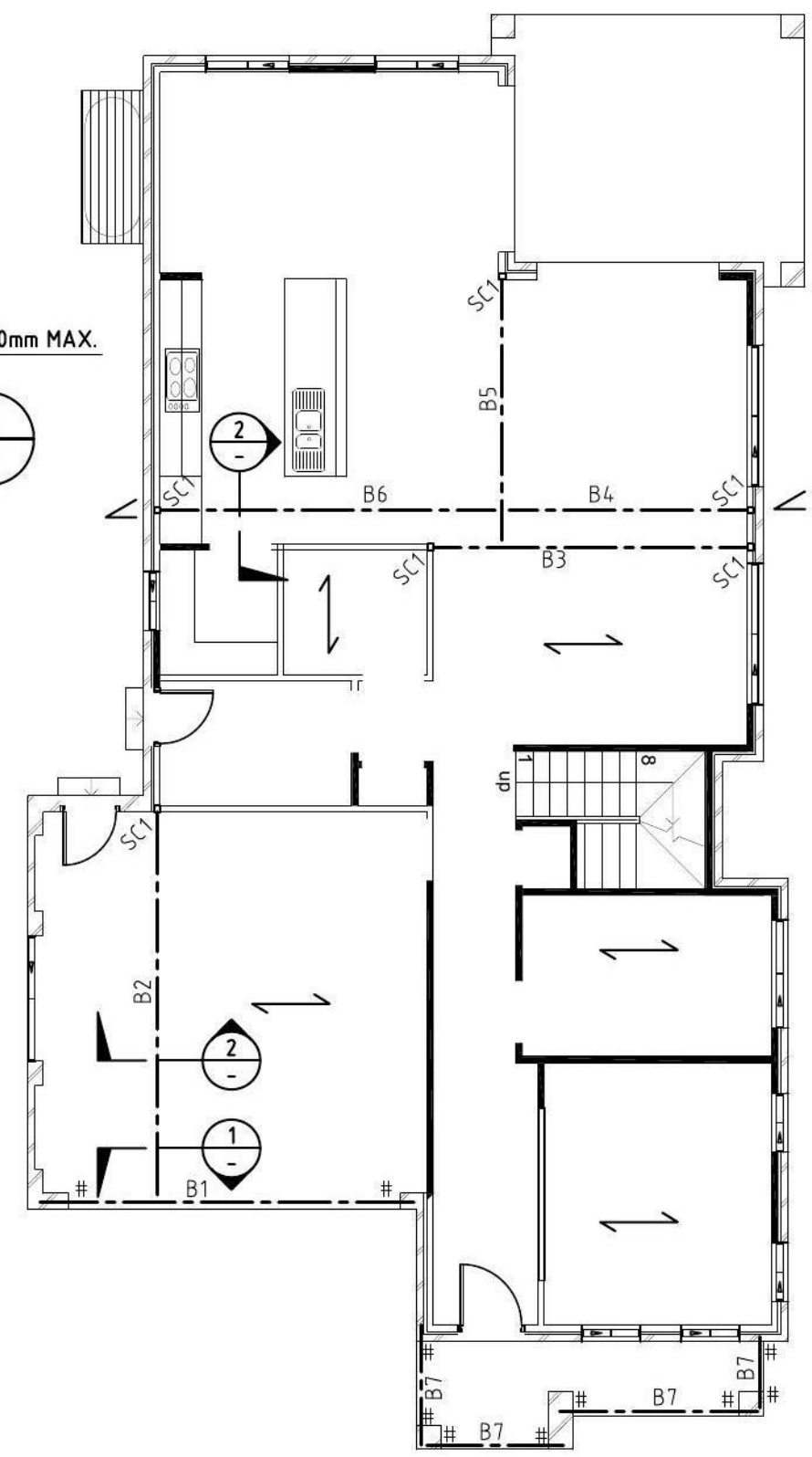
**SECTION 2**  
SCALE 1:10



**DETAIL C**  
SCALE 1:10



**SECTION 1**  
SCALE 1:10



TIMBER JOISTS DIRECTION IN ACCORDANCE WITH THE BUILDER'S RECOMMENDATIONS

**NOTE:**  
ANY CHANGE IN FLOOR JOIST DIRECTION OTHER THAN DIRECTION SHOWN ON THIS DRAWING TO BE CONFIRMED BY ENGINEER AS DESIGN LOADS OF FLOOR BEAMS CHANGE AND SIZE OF BEAM WILL NEED TO BE RE-CHECKED

**STEEL BEAM & POST SCHEDULE**

MARK	DESIGNATION	COMMENTS
<b>BEAMS</b>		
B1	300PFC+200x10PL	REFER TO DETAIL 'A'
B2	310UB40	
B3	310UB32	
B4	310UB32	REFER TO DETAIL 'C' FOR CONNECTION
B5	310UB32	REFER TO DETAIL 'C' FOR CONNECTION
B6	310UB32	REFER TO DETAIL 'C' FOR CONNECTION
B7	200x200x9 T-BAR	REFER TO DETAIL 'B'
<b>POSTS</b>		
SC1	89x89x5 SHS	REFER TO POST CONNECTION DETAIL
# MIN. 150mm BRICK BEARING <math>\angle</math> SPLAY BEAM WHERE REQUIRED REFER TO DETAIL		

A	5.09.13	ISSUED FOR CONSTRUCTION
<b>REVISIONS</b>		
ISSUED FOR CONSTRUCTION		
DRAWN:		E.R.
DATE:		5.09.13
SCALE:		AS NOTED
JOB No:	2830	SHEET No: <b>S7</b>

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PH: (02) 9607 2864 OR (02) 8798 5617 FAX: (02) 9731 2081  
MOB: 0419 041 401

APPROVED:  
  
S. NASTASI  
B.E., M.I.E. AUST, CPENG

CLIENT: LB HOMES  
CLIENT No: LB1305  
PROJECT: LOT 2190 KATANDRA PLACE, JORDAN SPRINGS. NSW

TITLE: **STEEL BEAM LAYOUT**



NOTES: USE FIGURED DIMENSIONS ONLY, DO NOT SCALE.  
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AREAS:	
Site Plan:	466.6m <sup>2</sup>
Ground Fl Living:	128.62m <sup>2</sup>
Patio:	6.51m <sup>2</sup>
Alfresco:	15.54m <sup>2</sup>
Garage:	33.74m <sup>2</sup>
First Fl Living:	101.23m <sup>2</sup>
Balcony:	6.51m <sup>2</sup>
TOTAL:	292.15m <sup>2</sup>
Courtyard:	
Required:	70m <sup>2</sup>
Proposed:	132.49m <sup>2</sup>
Provide 6 x 4 Dim:	Yes

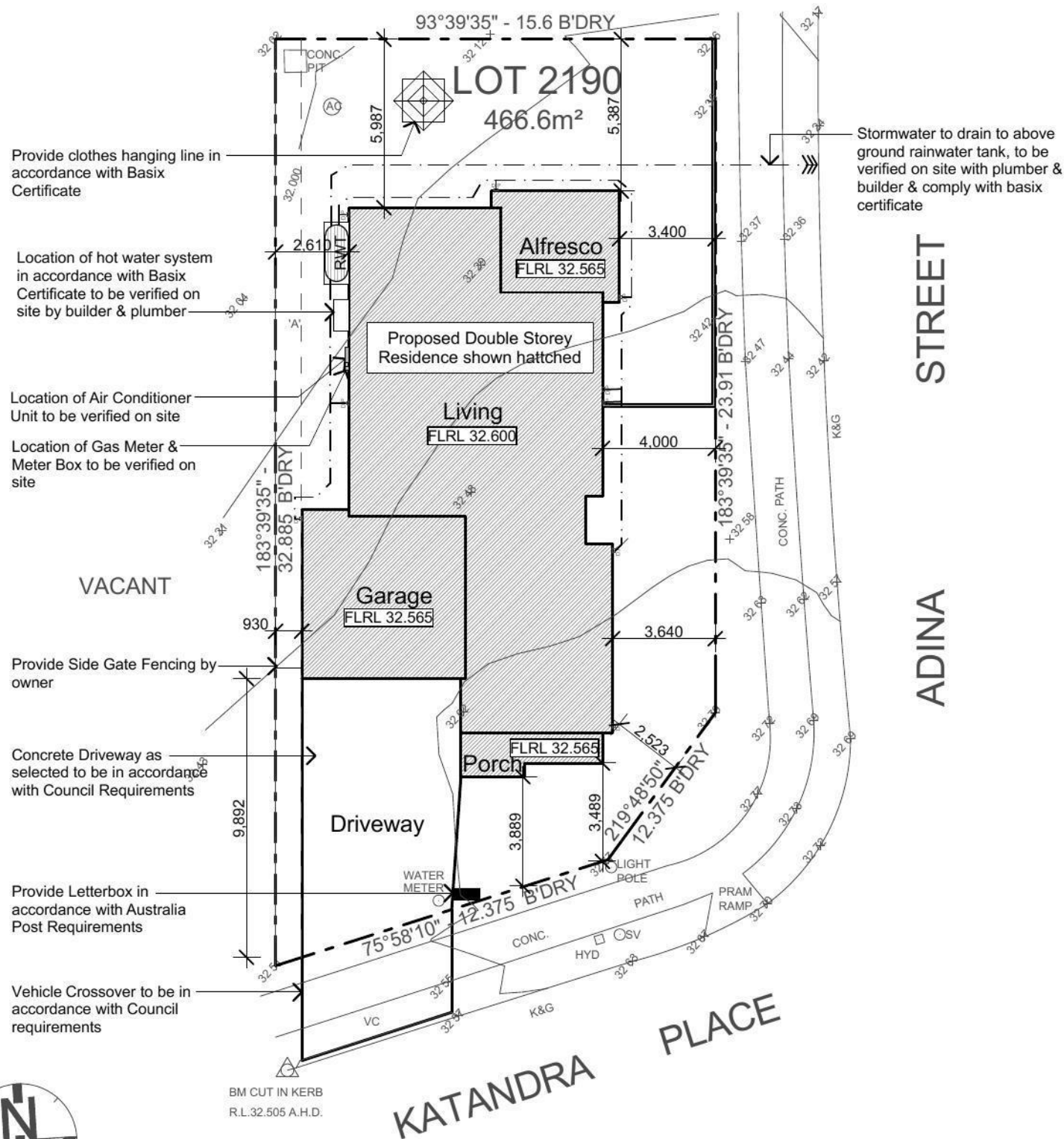


**General Notes:**

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- All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
- All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
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- All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
- Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
- Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

**Construction Notes:**

- Insulation to be in accordance with Basix Requirements
- Provide Foil & Sarking to Roof
- Control Joints to be checked in accordance with engineers plans
- Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with owner & Manufacturer Details.
- All windows, Insulation requirements, lighting to comply with Basix Certificate Approve by council.
- Structural slab to engineer details.
- Metre Box, Gas Metre to be confirmed with Builder on site.
- Downpipes to be confirmed with plumber on site.

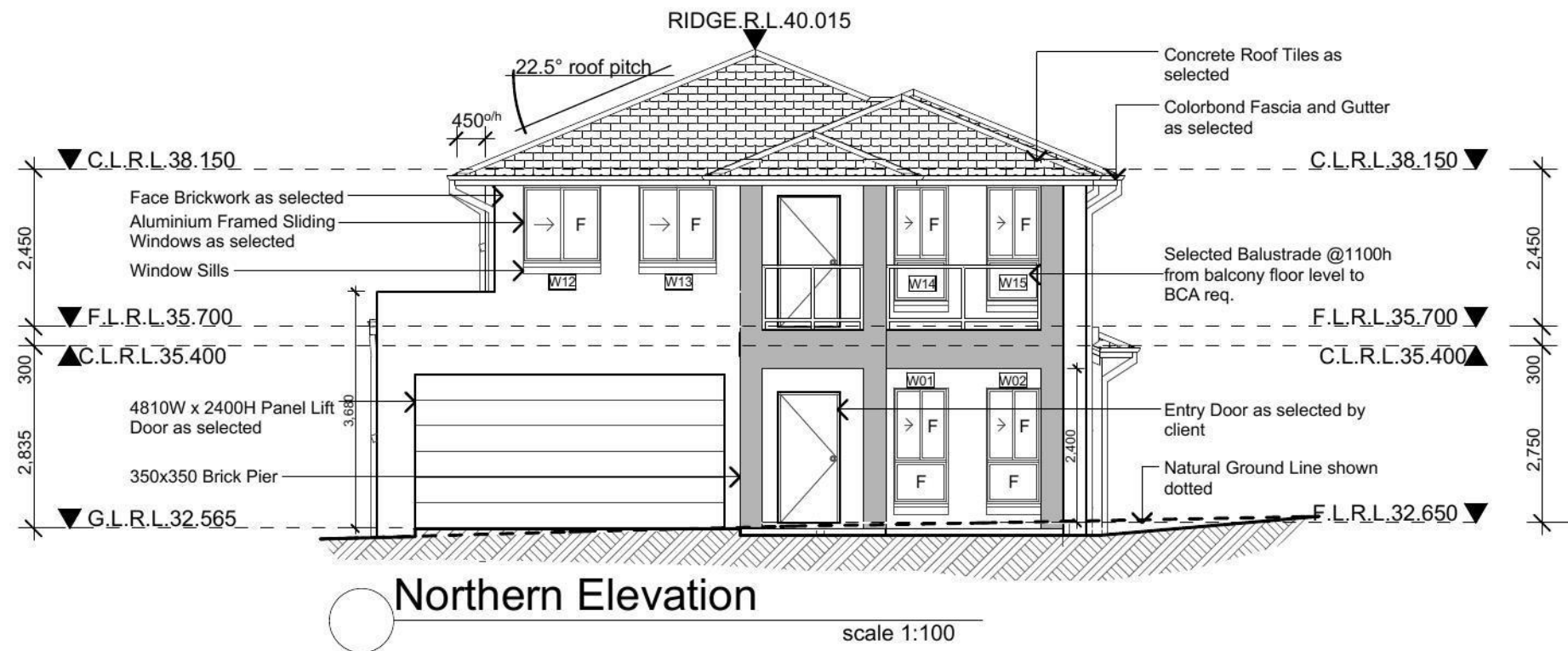


## Proposed Site Plan / Concept Drainage Plan

scale 1:200

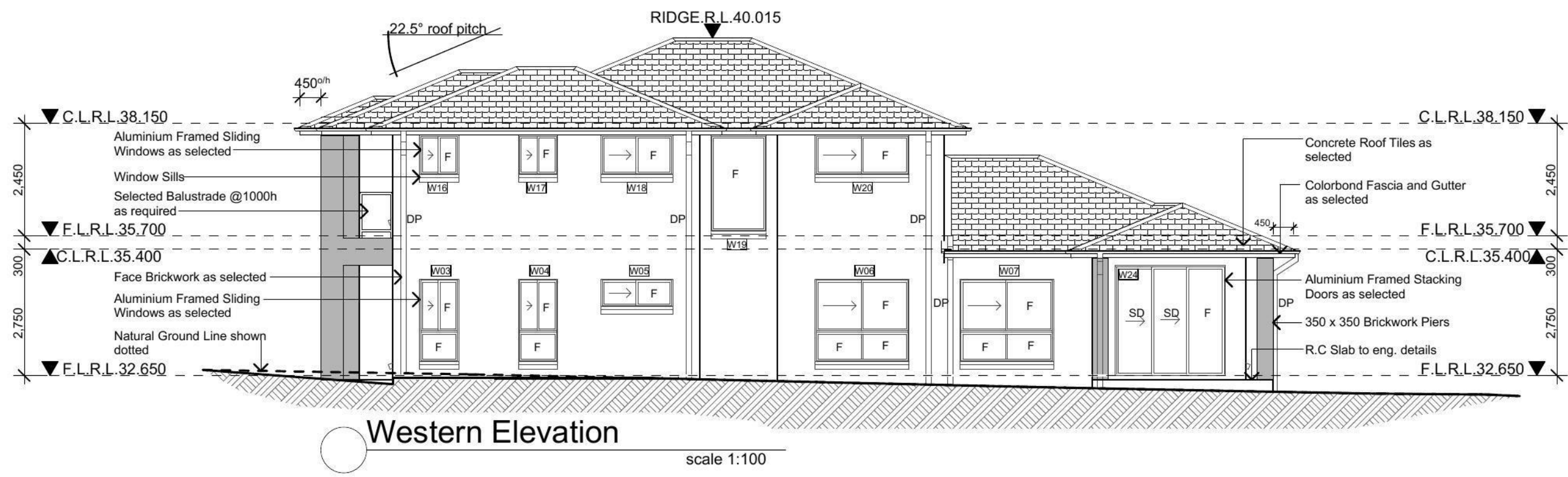
Issue	Amendment	Date	North:	Proposed:	Drawing Title:	Revision:
A	Preliminary Plans for Sign off	09.07.13	<p>RESIDENTIAL DESIGN &amp; DRAFTING SERVICES            Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003            Email: jr.design.drafting@gmail.com            Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164</p>	New Two Storey Residence Location: Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW	Proposed Site Plan / Concept Drainage Plan L.G.A	<b>B</b>
B	Submission to Jordan Springs	28.07.13				
			Client:	LB Homes	Drawn: JR Date: 28.07.2013 Scale: 1:200 Sheet: 2 of 10	Job No: <b>LB1305</b>





Northern Elevation

scale 1:100



Western Elevation

scale 1:100

Issue	Amendment	Date:
A	Preliminary Plans for sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

**JR DESIGN & DRAFTING**  
 RESIDENTIAL DESIGN & DRAFTING SERVICES  
 Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
 Email: jr.design.drafting@gmail.com  
 Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164

North:  
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General Notes  
 All work shall be carried out strictly in accordance with The Building Code Of Australia, relevant S.A.A. codes & to the satisfaction of the regulatory authority. All levels, dimensions & areas are to be verified by the Builder, prior to the preparation of contracts & the commencement of any building works. Any discrepancies are to be brought to the attention of JR Design & Drafting, prior to the commencement of any building works.

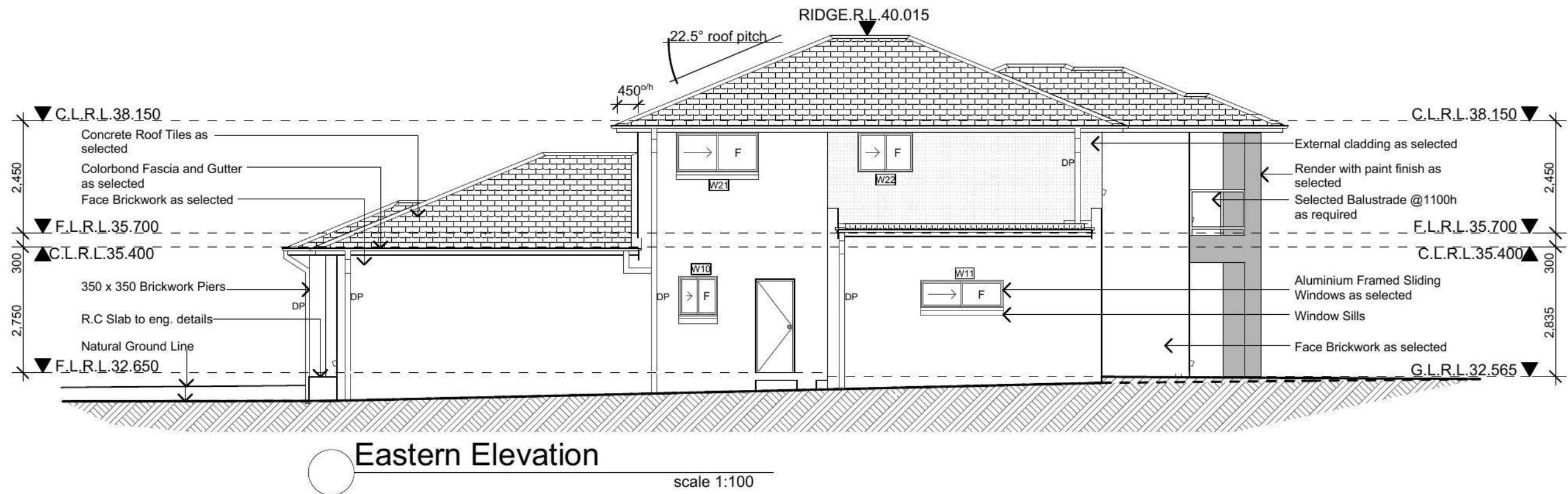
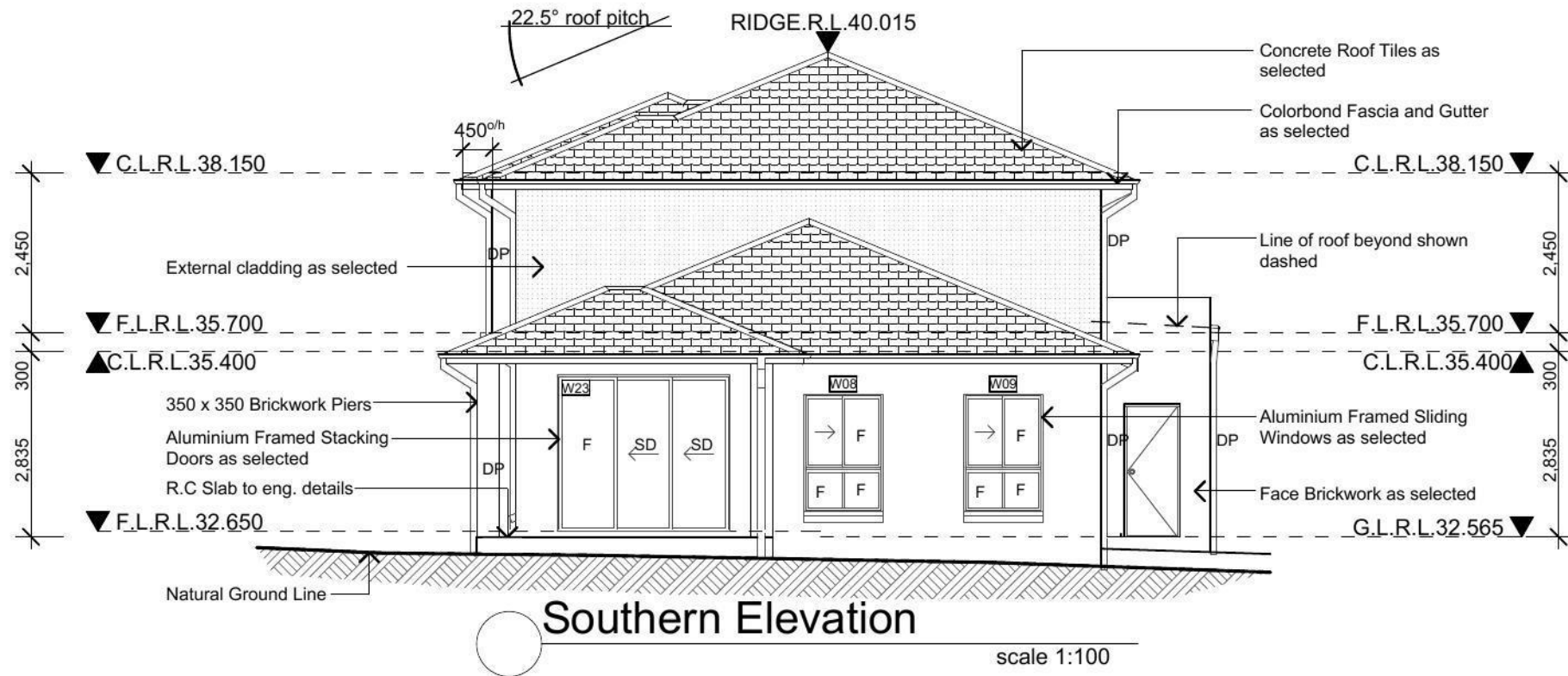
Where Engineering Detail Plans are required, such must take preference to this drawing. Levels shown are approximate unless accompanied by reduced levels or Australian Height Datum Levels. Figured dimensions to be taken in preference to scaling. All Boundary clearances must be verified by Survey. Stormwater to be discharged to Councils requirements before any work commences. All services to be located & verified by the Builder with relevant Authorities before any work commences.

Proposed:	New Two Storey Residence	
Location:	Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW	
Client:	LB Homes	

Drawing Title:	Elevations	
L.G.A.		
Drawn	JR	Date 28.07.2013
Scale	1:100	Sheet 6 of 10

Revision:	B
Job No:	LB1305





Issue	Amendment	Date:
A	Preliminary Plans for sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

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 Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
 Email: jr.design.drafting@gmail.com  
 Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164

North:

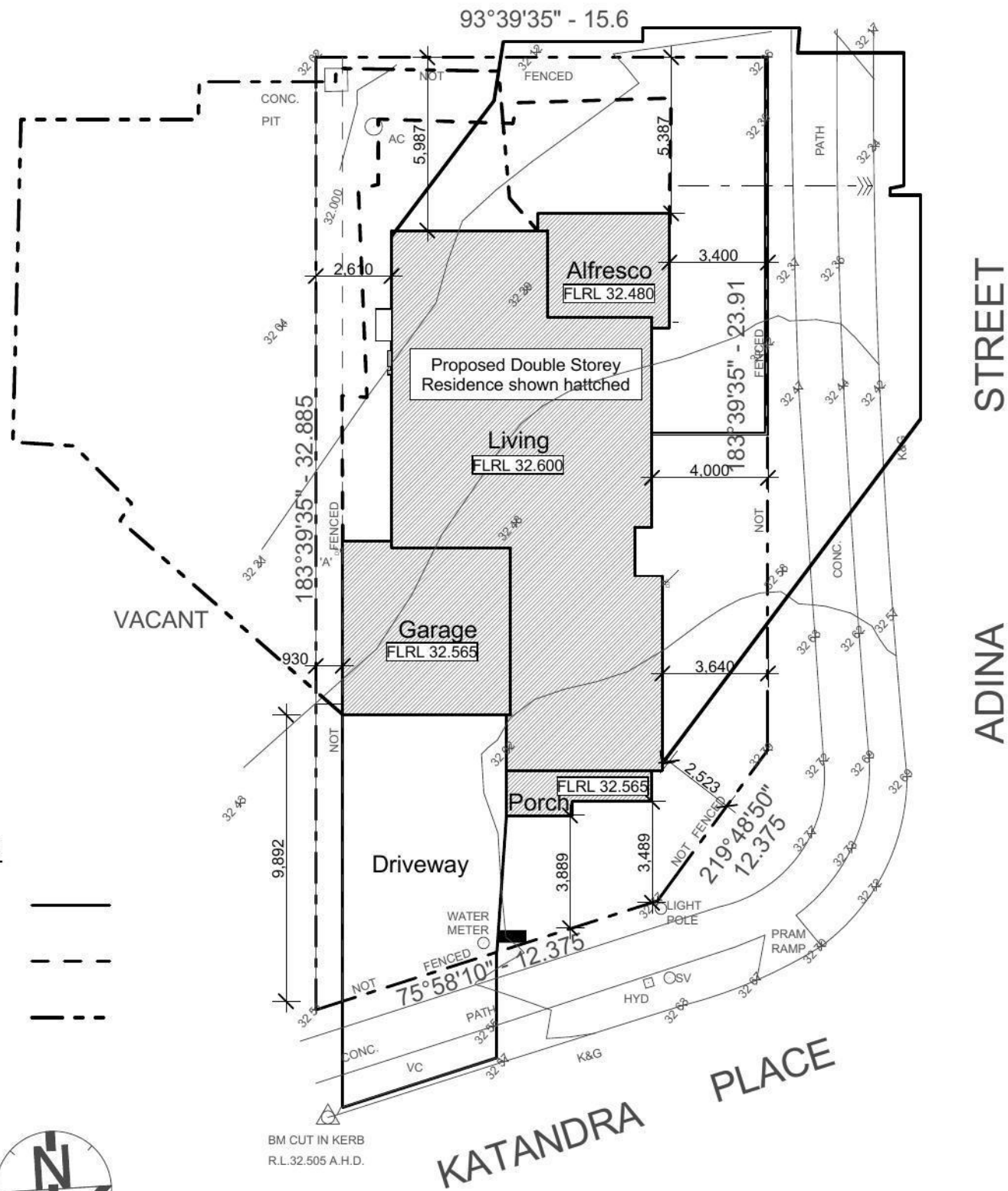
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 All levels, dimensions & areas are to be verified by the Builder, prior to the preparation of contracts & the commencement of any building works.  
 Any discrepancies are to be brought to the attention of JR Design & Drafting, prior to the commencement of any building works.

Proposed:  
**New Two Storey Residence**  
 Location:  
 Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW  
 Client:  
 LB Homes

Drawing Title:  
 Southern Elevation  
 Eastern Elevation  
 L.G.A.  
 Drawn: JR Date: 28.07.2013  
 Scale: 1:100 Sheet: 7 of 10

Revision:  
**B**  
 Job No:  
**LB1305**





**Legend:**

- 9am
- 12noon
- 3pm



**21st June Shadow Diagram**

scale 1:200

Issue	Amendment	Date
A	Preliminary Plans for Sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

**JR DESIGN & DRAFTING**  
 RESIDENTIAL DESIGN & DRAFTING SERVICES  
 Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
 Email: jr.design.drafting@gmail.com  
 Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164

Note:  
 Builder shall check and verify all dimensions prior to the commencement of any work

North:

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Proposed:  
**New Two Storey Residence**

Location:  
 Lot 2190 in DP 1168993 Katandra Place,  
 Jordan Springs, NSW

Client:  
**LB Homes**

Drawing Title:  
**June 21st Shadow Diagrams**

L.G.A

Drawn: JR Date: 28.07.2013  
 Scale: 1:200 Sheet: 10 of 10

Revision:  
**B**

Job No:  
**LB1305**



# Proposed New Two Storey Residence

## Located At:

### Lot 2190 in DP 1168993 Katandra Place, Jordan Springs. NSW

#### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

##### Fixtures

The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.  
The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.  
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.  
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.

##### Alternative water

Rainwater tank  
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.  
The applicant must configure the rainwater tank to collect rain runoff from at least 217.28 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- all toilets in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

##### Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Construction Additional insulation required (R-Value) Other specifications

floor - concrete slab on ground nil  
floor - suspended floor above garage, framed 0.3 (or 1 including construction) (down)  
external wall - brick veneer 1.66 (or 2.20 including construction)  
external wall - framed (weatherboard, fibre cement, metal clad)  
1.80 (or 2.20 including construction)  
internal wall shared with garage - plasterboard nil  
ceiling and roof - flat ceiling / pitched roof ceiling: 3 (up), roof: foil/sarking unventilated; medium (solar absorptance 0.475-0.70)  
Note Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

##### Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed doors (<0.7 square metres) which are not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- Except where the glass is 'single clear' or 'single toned', each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
- The leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or glazed door, except that a projection greater than 500 mm and up to 1500 mm above the head must be twice the value in the table.
- Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
- Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

##### Window/glazed door no. Orientation Maximum area (square metres)

###### Type Shading Overshadowing

W1,W2 N 3.06 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony 901-1,200 mm

not overshadowed

W12,W13 N 2.88 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony 451-600 mm

not overshadowed

W14,W15 N 3.06 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony 1,500-2,000 mm

not overshadowed

W3,W4,W5 W 3.96 standard aluminium, single pyrolytic low-e (U-value:5.7, SHGC:0.47)

none not overshadowed

W6,W7 W 7.2 improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)

none not overshadowed

W24 W 5.76 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony >2,000 mm

not overshadowed

W16,W17,W18,W20 W 4.42 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony 451-600 mm

not overshadowed

W19 W 2.52 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony 451-600 mm

not overshadowed

W8,W9 S 4.32 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

none not overshadowed

W23 S 6.24 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony >2,000 mm

not overshadowed

W10,W11 E 1.21 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

none not overshadowed

W21,W22 E 2.57 standard aluminium, single clear (or U-value:7.63, SHGC:0.75)

eave/verandah/pergola/balcony 451-600 mm

not overshadowed

##### Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.

##### Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0

The cooling system must provide for day/night zoning between living areas and bedrooms.

##### Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0

The heating system must provide for day/night zoning between living areas and bedrooms.

##### Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: natural ventilation only, or no laundry; Operation control: n/a

##### Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- all bathrooms/toilets;

##### Natural lighting

The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.

##### Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a fixed outdoor clothes drying line as part of the development.

##### General Notes:

1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
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7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

##### Construction Notes:

- \* Insulation to be in accordance with Basix Requirements
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Rev	Date	Amendments	Sheet	Description
			10	Shadow Diagrams
			9	Sedimentation & Waste Plan
			8	Site Analysis Plan
			7	Elevations
			6	Elevations
			5	Roof Plan & Section A-A
			4	First Floor Plan
			3	Ground Floor Plan
B	28.07.13	Submission to Jordan Springs	2	Site Plan
A	09.07.13	Preliminary Plans for Sign off	1	Cover Sheet

Issue	Amendment	Date
A	Preliminary Plans for Sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

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North:

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Proposed:  
**New Two Storey Residence**

Location:  
Lot 2190 in DP 1168993 Katandra Place,  
Jordan Springs. NSW

Client:  
**LB Homes**

Drawing Title:  
Cover Page / Basix Requirements

L.G.A

Drawn: JR Date: 28.07.2013

Scale: Sheet 1 of 10

Revision:  
**B**

Job No:  
**LB1305**



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Required:	70m <sup>2</sup>
Proposed:	132.49m <sup>2</sup>
Provide 6 x 4 Dim:	Yes

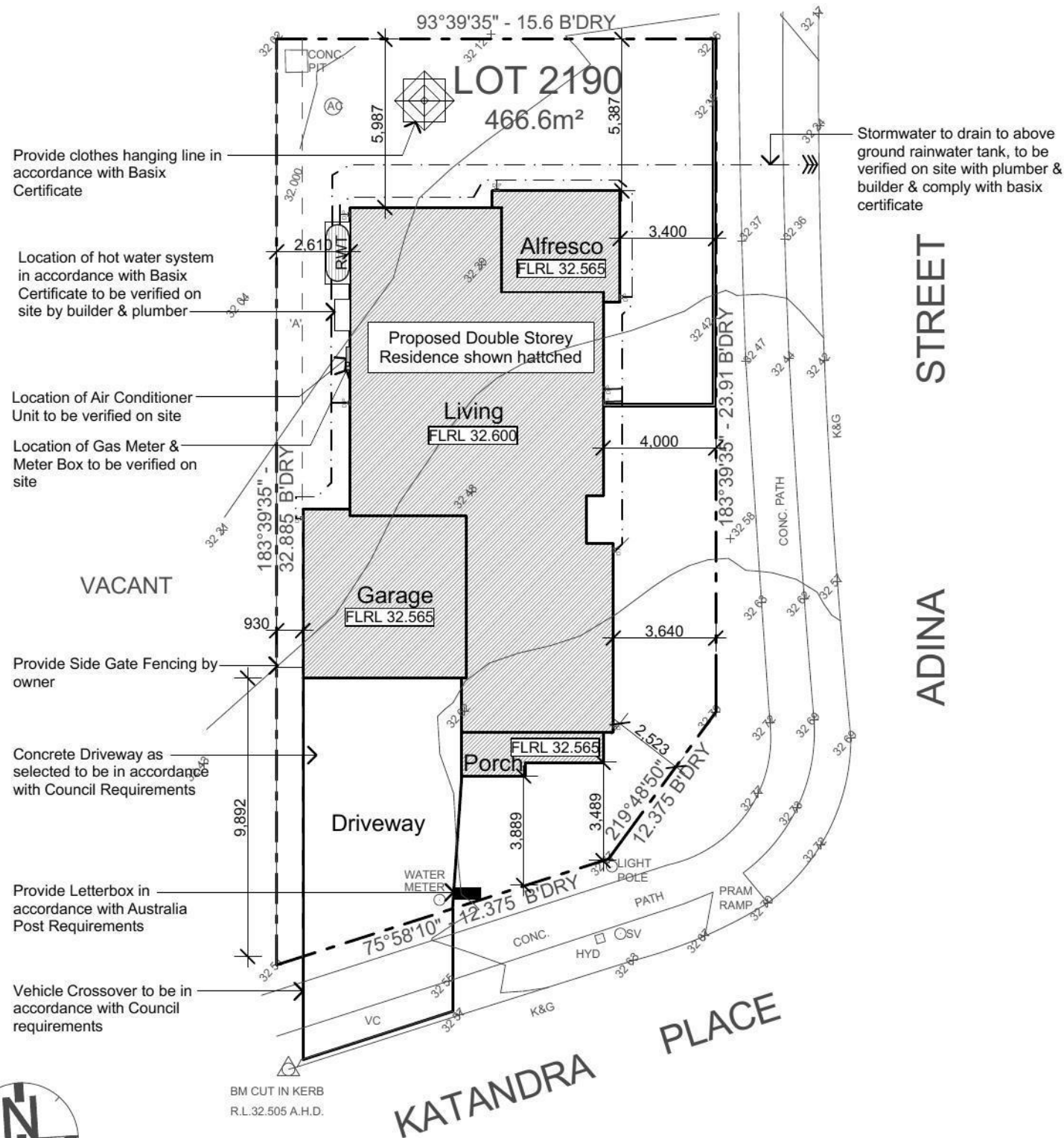


**General Notes:**

- All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
- All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
- All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
- Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
- All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
- Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
- Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

**Construction Notes:**

- Insulation to be in accordance with Basix Requirements
- Provide Foil & Sarking to Roof
- Control Joints to be checked in accordance with engineers plans
- Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with owner & Manufacturer Details.
- All windows, Insulation requirements, lighting to comply with Basix Certificate Approve by council.
- Structural slab to engineer details.
- Metre Box, Gas Metre to be confirmed with Builder on site.
- Downpipes to be confirmed with plumber on site.

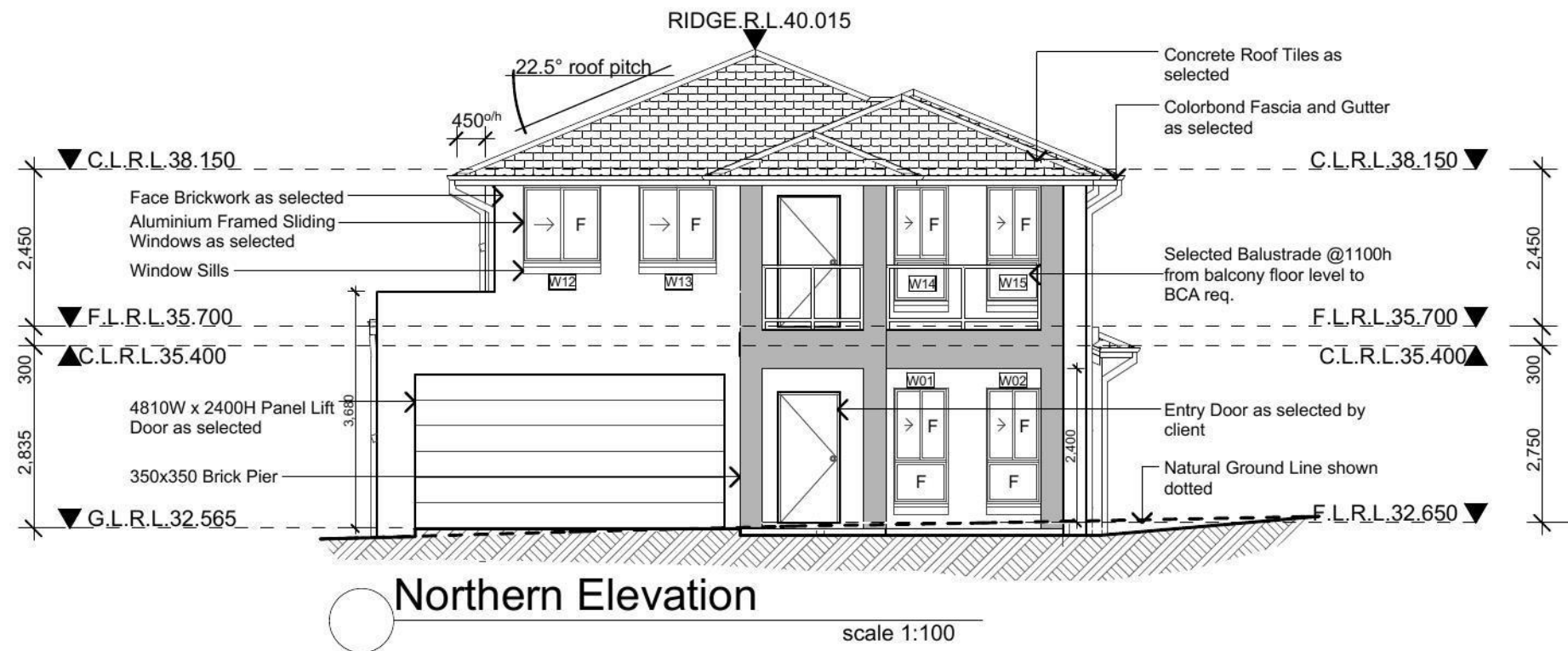


## Proposed Site Plan / Concept Drainage Plan

scale 1:200

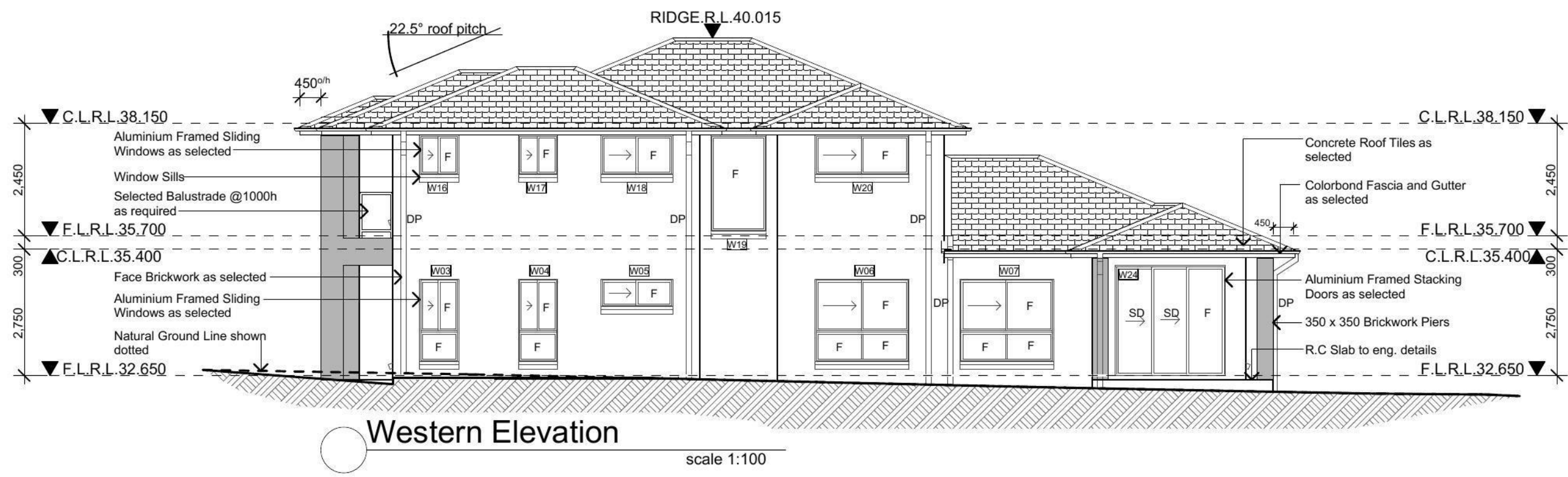
Issue	Amendment	Date	North:	Proposed:	Drawing Title:	Revision:
A	Preliminary Plans for Sign off	09.07.13	<p>RESIDENTIAL DESIGN &amp; DRAFTING SERVICES            Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003            Email: jr.design.drafting@gmail.com            Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164</p>	<b>New Two Storey Residence</b> Location: Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW	Proposed Site Plan / Concept Drainage Plan L.G.A	<b>B</b>
B	Submission to Jordan Springs	28.07.13				
			Client:	LB Homes	Drawn: JR Date: 28.07.2013 Scale: 1:200 Sheet: 2 of 10	Job No: <b>LB1305</b>





Northern Elevation

scale 1:100



Western Elevation

scale 1:100

Issue	Amendment	Date:
A	Preliminary Plans for sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

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General Notes  
 All work shall be carried out strictly in accordance with The Building Code Of Australia, relevant S.A.A. codes & to the satisfaction of the regulatory authority. All levels, dimensions & areas are to be verified by the Builder, prior to the preparation of contracts & the commencement of any building works. Any discrepancies are to be brought to the attention of JR Design & Drafting, prior to the commencement of any building works.

Where Engineering Detail Plans are required, such must take preference to this drawing. Levels shown are approximate unless accompanied by reduced levels or Australian Height Datum Levels. Figured dimensions to be taken in preference to scaling. All Boundary clearances must be verified by Survey. Stormwater to be discharged to Councils requirements before any work commences. All services to be located & verified by the Builder with relevant Authorities before any work commences.

Proposed:  
**New Two Storey Residence**

Location:  
 Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW

Client:  
 LB Homes

Drawing Title:  
 Elevations

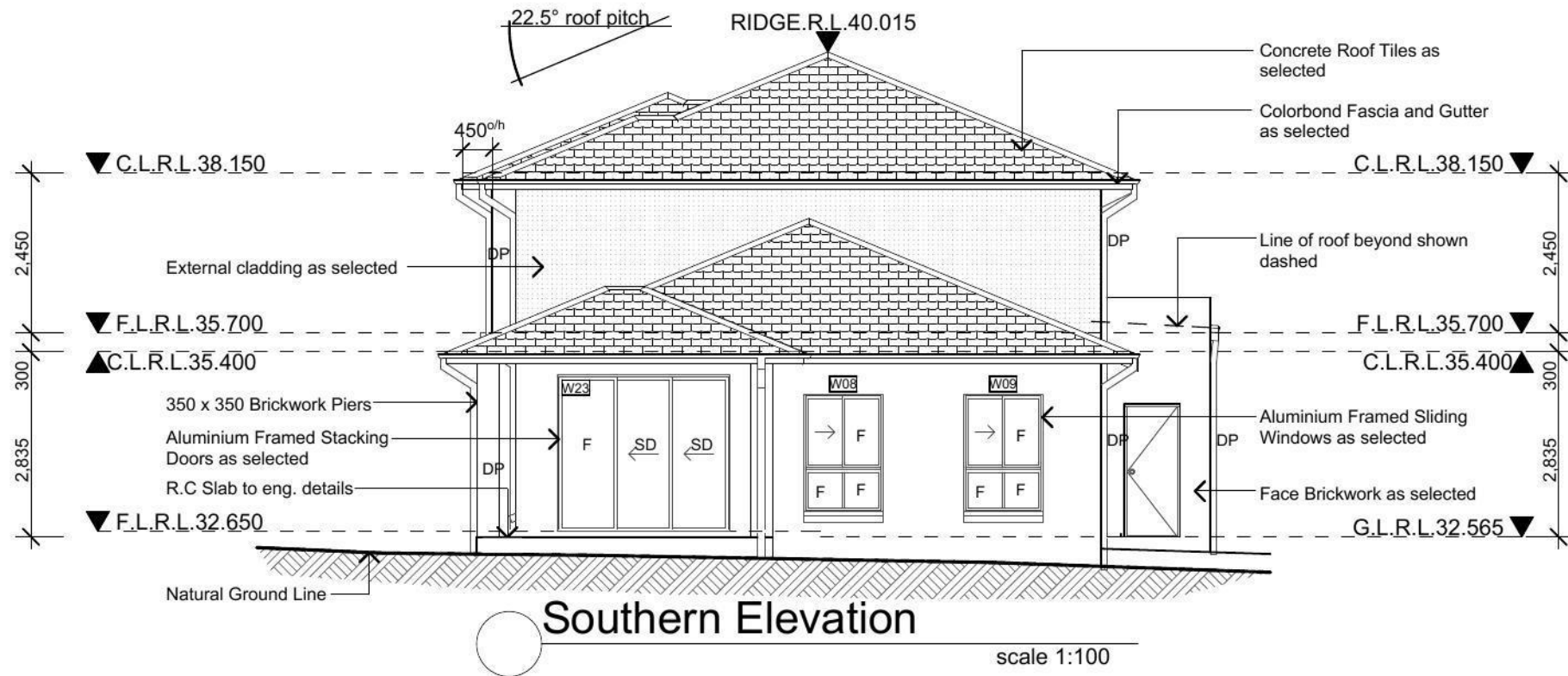
L.G.A

Drawn: JR Date: 28.07.2013  
 Scale: 1:100 Sheet: 6 of 10

Revision:  
**B**

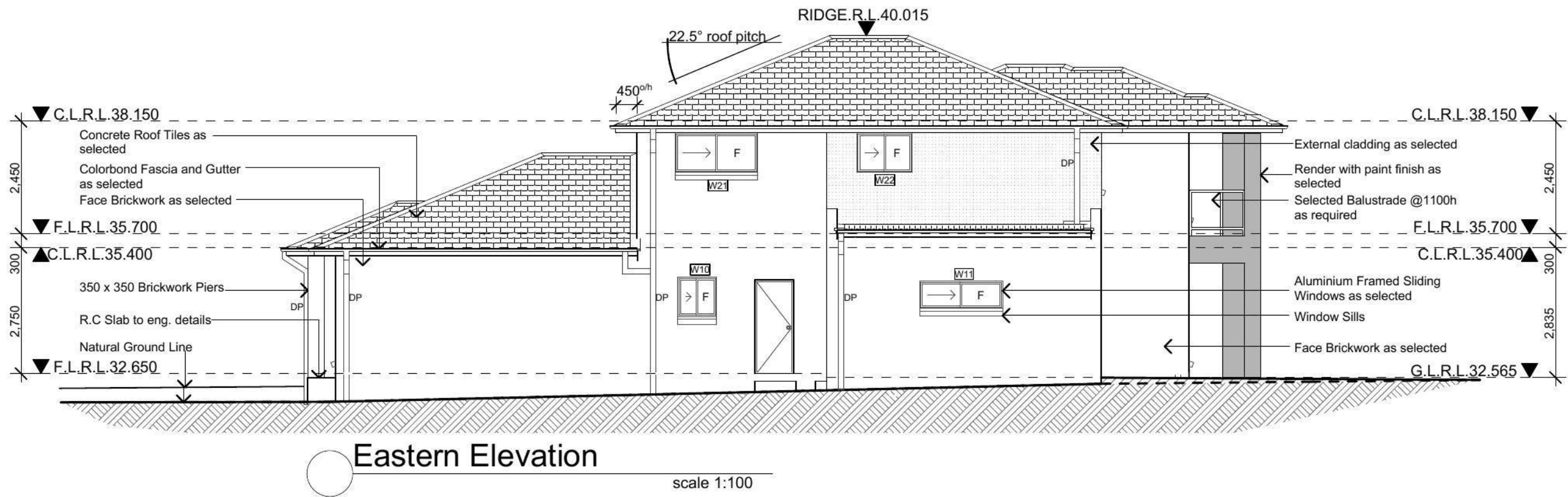
Job No:  
 LB1305





**Southern Elevation**

scale 1:100



**Eastern Elevation**

scale 1:100

Issue	Amendment	Date:
A	Preliminary Plans for sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

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 Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164

Note:  
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North:

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General Notes

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Any discrepancies are to be brought to the attention of JR Design & Drafting, prior to the commencement of any building works.

Where Engineering Detail Plans are required, such must take preference to this drawing.

Levels shown are approximate unless accompanied by reduced levels or Australian Height Datum Levels.

Figured dimensions to be taken in preference to scaling.

All Boundary clearances must be verified by Survey.

Stormwater to be discharged to Councils requirements before any work commences.

All services to be located & verified by the Builder with relevant Authorities before any work commences.

Proposed:  
**New Two Storey Residence**

Location:  
 Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW

Client:  
 LB Homes

Drawing Title:  
 Southern Elevation  
 Eastern Elevation

L.G.A

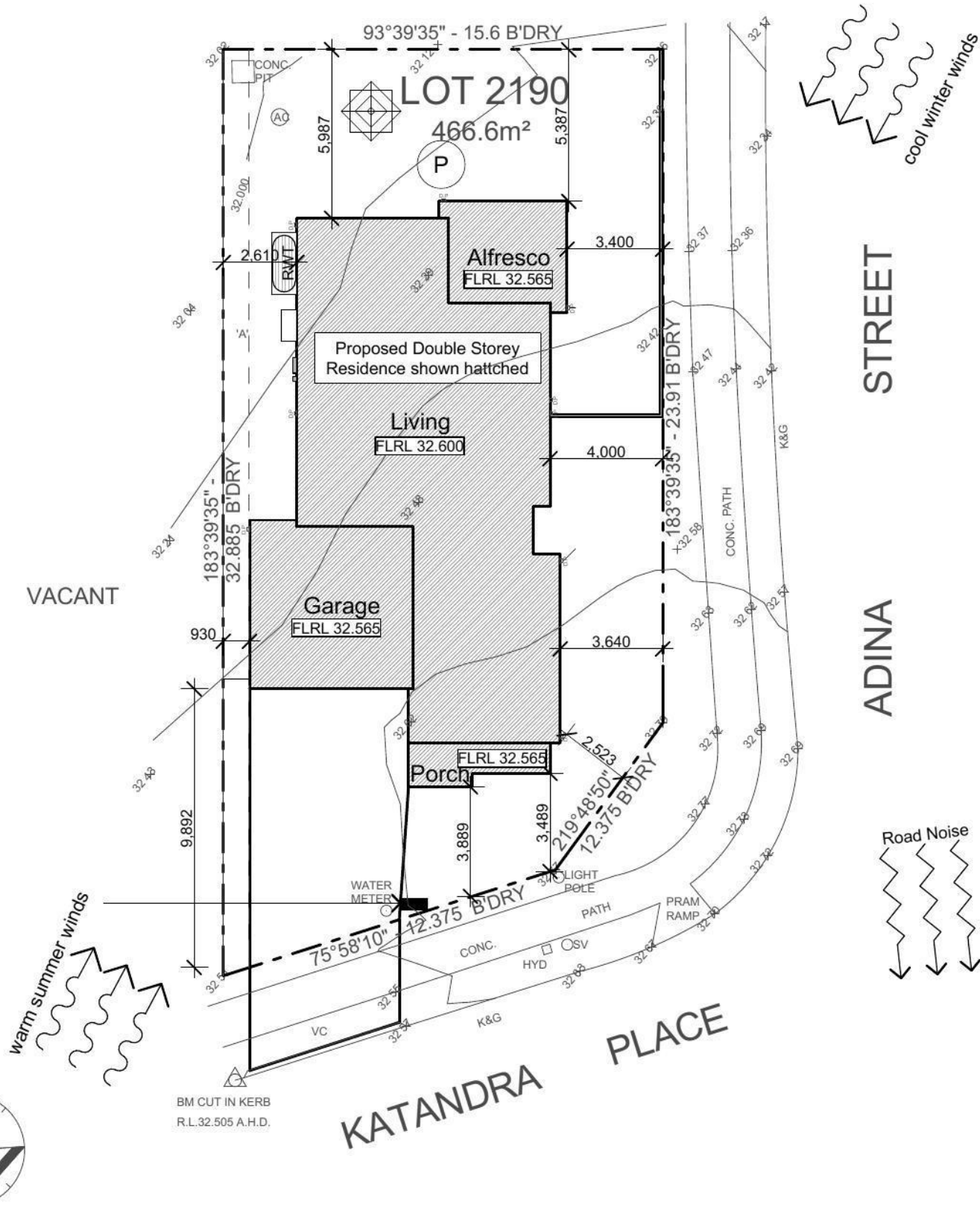
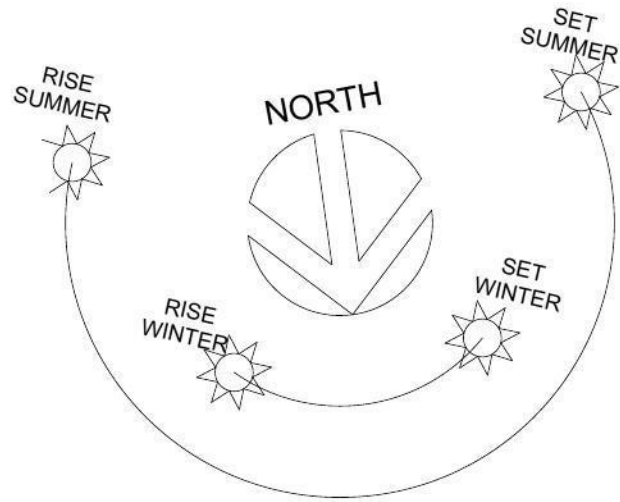
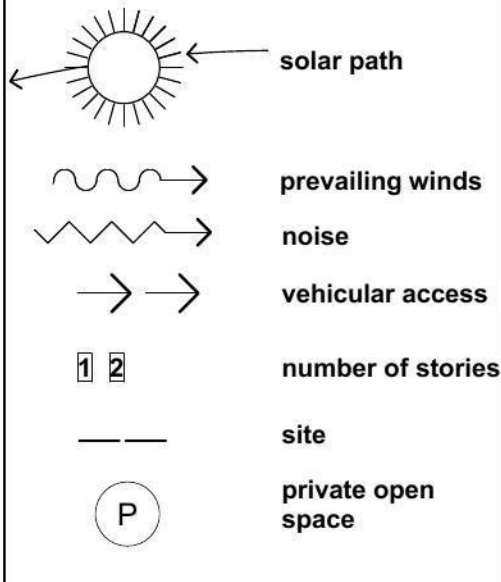
Drawn: JR Date: 28.07.2013  
 Scale: 1:100 Sheet: 7 of 10

Revision:  
**B**

Job No:  
 LB1305



**Site Analysis Legend**



**Proposed Site Analysis Plan**

scale 1:200

Issue	Amendment	Date
A	Preliminary Plans for Sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

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Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
Email: jr.design.drafting@gmail.com  
Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164

Note:  
Builder shall check and verify all dimensions prior to the commencement of any work

North:

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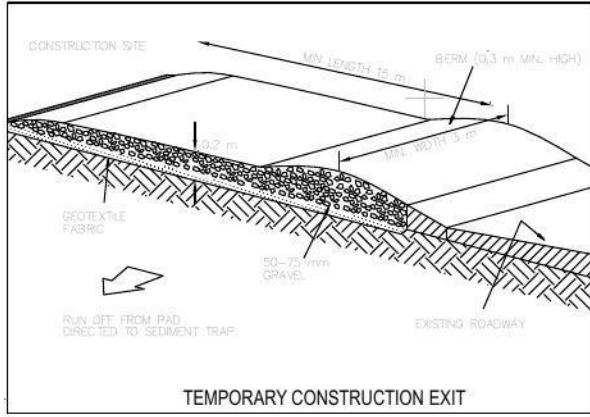
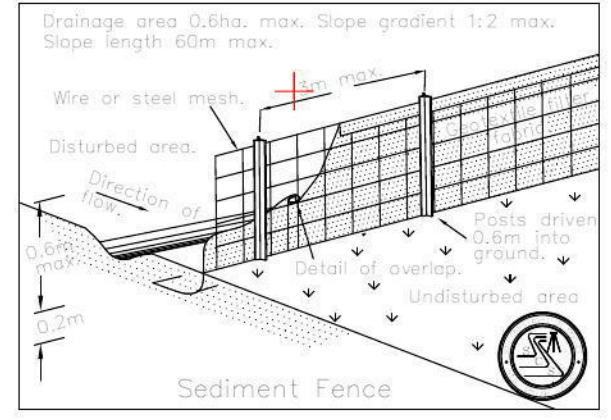
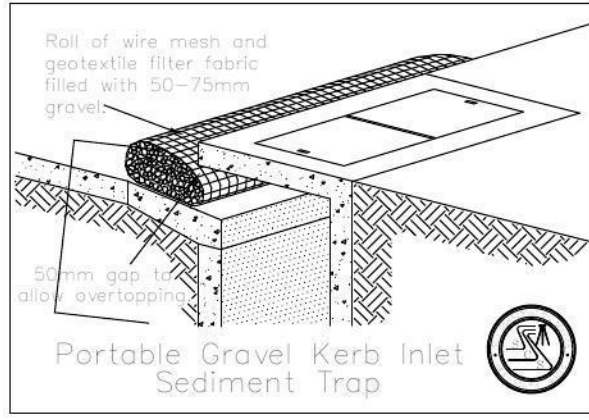
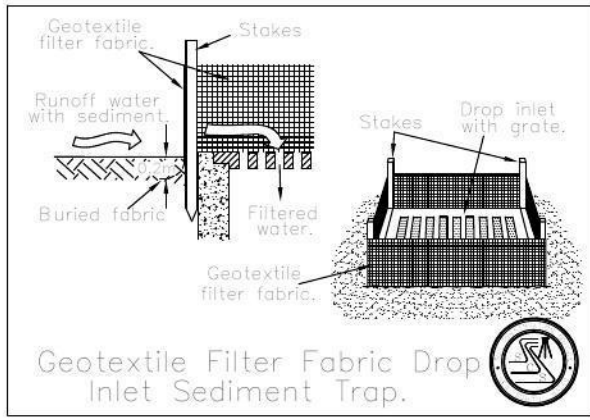
Proposed:	New Two Storey Residence
Location:	Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW
Client:	LB Homes

Drawing Title:	Site Analysis Plan
L.G.A	
Drawn:	JR
Date:	28.07.2013
Scale:	1:200
Sheet:	8 of 10

Revision: **B**

Job No: **LB1305**

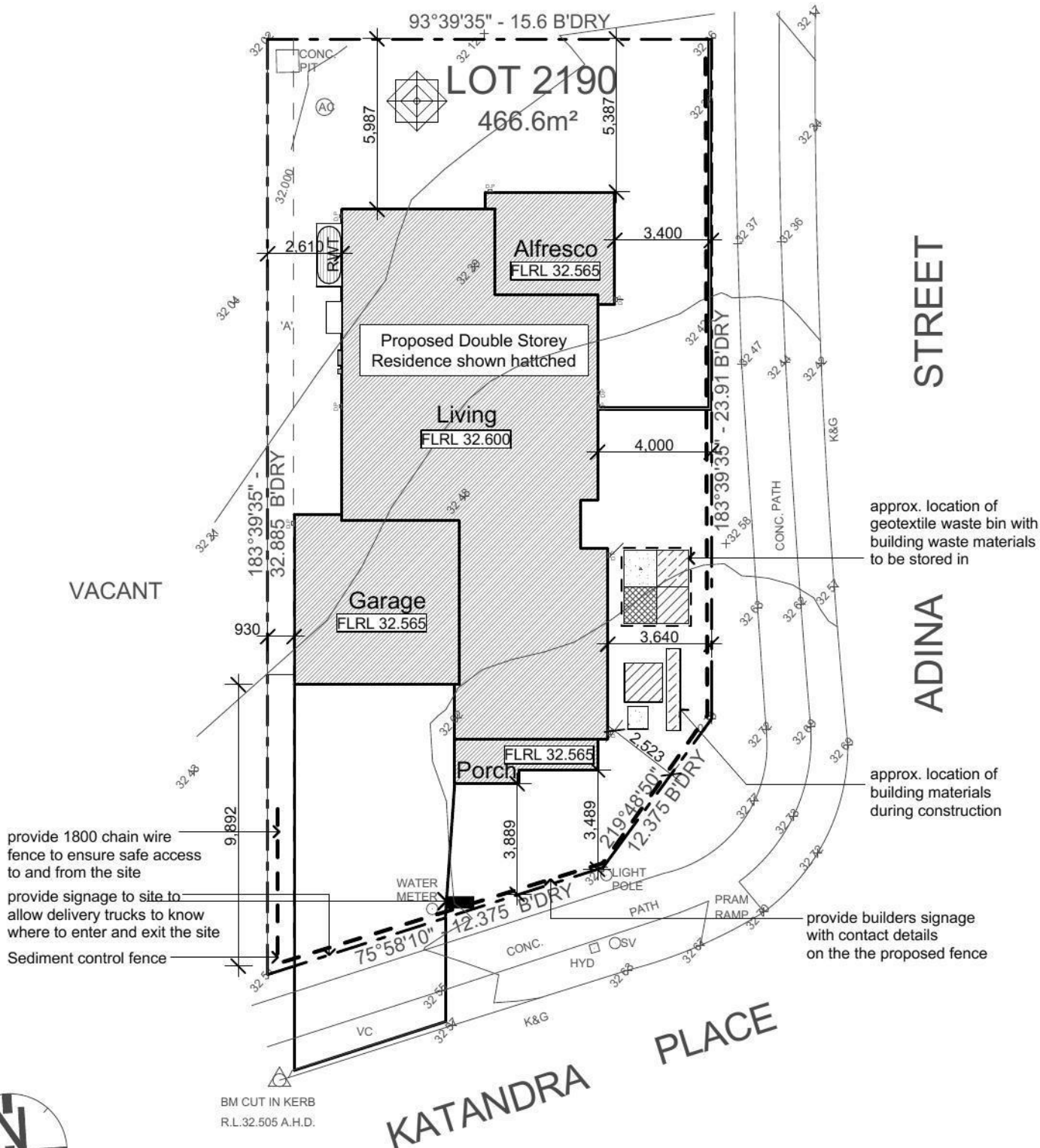
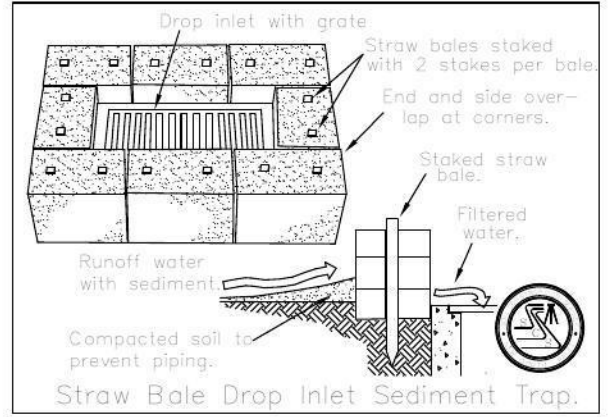




### Erosion Control

Temporary sediment and erosion control and measures are to be installed prior to commencement of any works on the site. These measures must be maintained in working order during construction works up to completion. All sediment traps must be cleared on a regular basis and after major storm and/or as directed by the Principal Certifying Authority and Council officers.

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.

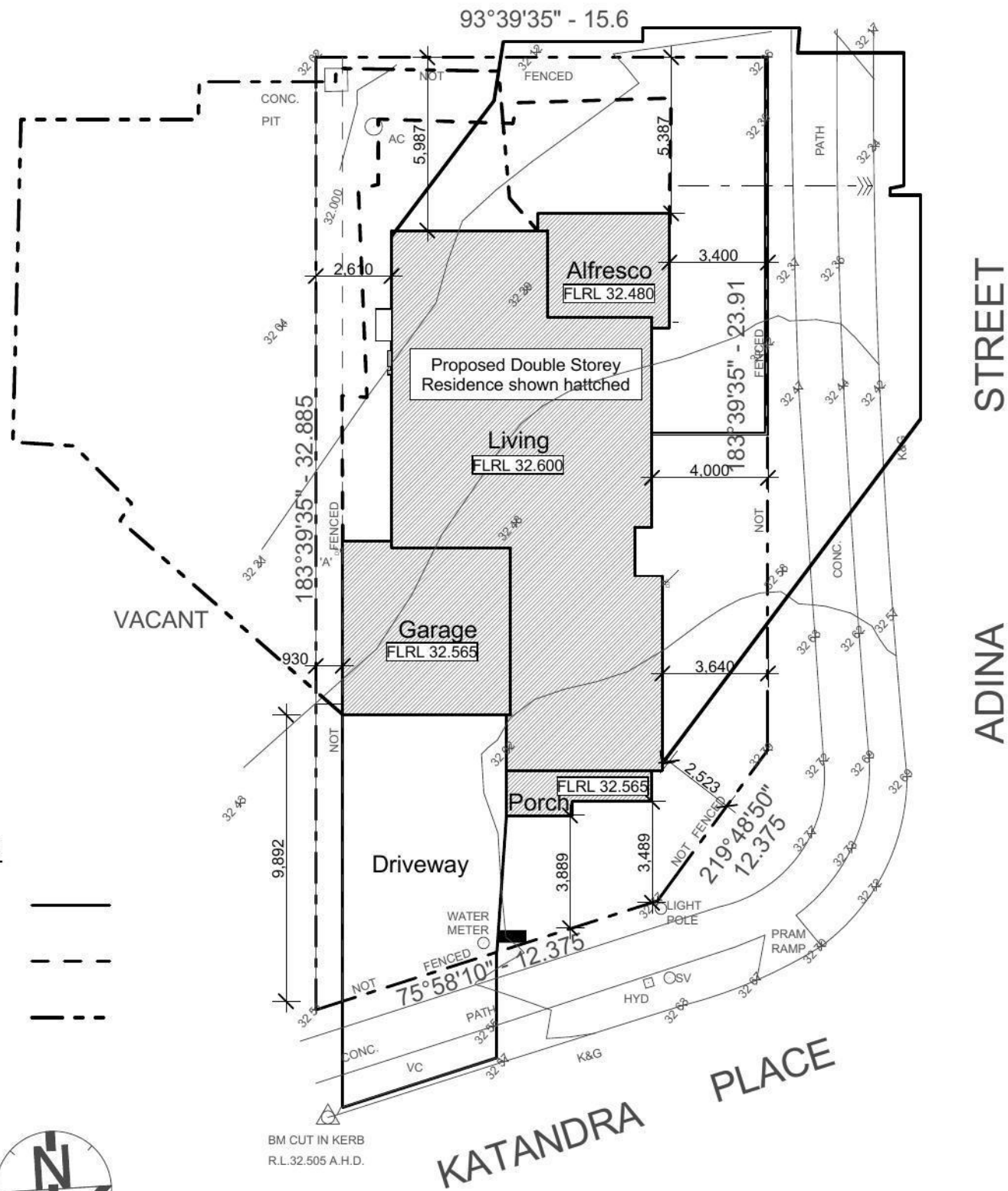


## Sedimentation & Waste Management Plan

scale 1:200

Issue	Amendment	Date	North:	Proposed:	Drawing Title:	Revision:
A	Preliminary Plans for Sign off	09.07.13	<p><b>JR DESIGN &amp; DRAFTING</b> RESIDENTIAL DESIGN &amp; DRAFTING SERVICES Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003 Email: jr.design.drafting@gmail.com Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164</p>	<p>New Two Storey Residence</p>	<p>Soil Sedimentation &amp; Waste Management</p>	<p><b>B</b></p>
B	Submission to Jordan Springs	28.07.13				
				<p>Client: LB Homes</p>	<p>Drawn: JR Date: 28.07.2013 Scale: 1:200 Sheet: 9 of 10</p>	<p>LB1305</p>





**Legend:**

- 9am
- 12noon
- 3pm



**21st June Shadow Diagram**

scale 1:200

Issue	Amendment	Date
A	Preliminary Plans for Sign off	09.07.13
B	Submission to Jordan Springs	28.07.13

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 Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164

Note:  
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North:

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Proposed:  
**New Two Storey Residence**

Location:  
 Lot 2190 in DP 1168993 Katandra Place,  
 Jordan Springs, NSW

Client:  
**LB Homes**

Drawing Title:  
**June 21st Shadow Diagrams**

L.G.A

Drawn: JR Date: 28.07.2013  
 Scale: 1:200 Sheet: 10 of 10

Revision:  
**B**

Job No:  
**LB1305**



**LEGEND**

- Proposed tree plantings
- Proposed shrub plantings
- Proposed groundcover & native grass plantings
- Coloured concrete driveway / path pavement
- Non slip patio pavement
- Proposed garden bed
- Proposed turfed area
- Coloured concrete flush edge or brick garden edge

**Notes:**

- Refer Architects drawings for pavement, walls, fence, steps, and levels
- Refer Engineers drawings for hydraulic information

**SPECIFICATION NOTES**

**PLANTING MATERIALS**

**Planting Mix:**  
Imported planting mix to planting beds is to comprise an approved soil mix of:

- 60% Soil mix (75% coarse sand and 25% blacksoil)
- 10% Mushroom compost
- 10% Composted sawdust
- 10% Pine bark fines
- 10% Composted manure

**Mulch:**  
Mulch shall mean Hort-Bark (15mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded pine bark mulch (ANL code MHB) to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

**Plant Material:**  
All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

**Turfed areas:**  
All new turfed areas are to be selected weed free Soft Leaf Buffalo (eg. Sir Walter). Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points.

All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

**PREPARATION AND HARDWORKS**

**Excavating for Spot Planting**  
To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

**Staking**  
Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie

**TIES:** Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

**Coloured concrete Edge**  
**MATERIALS:** Concrete to be dark grey colour.  
**INSTALLATION:** Supply and install 100 x 150mm reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

**MAINTENANCE / PLANT ESTABLISHMENT**

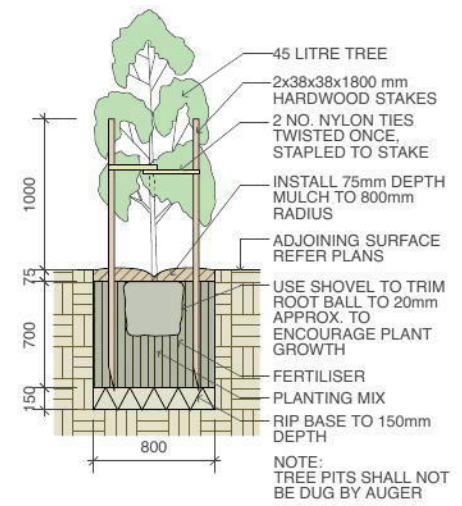
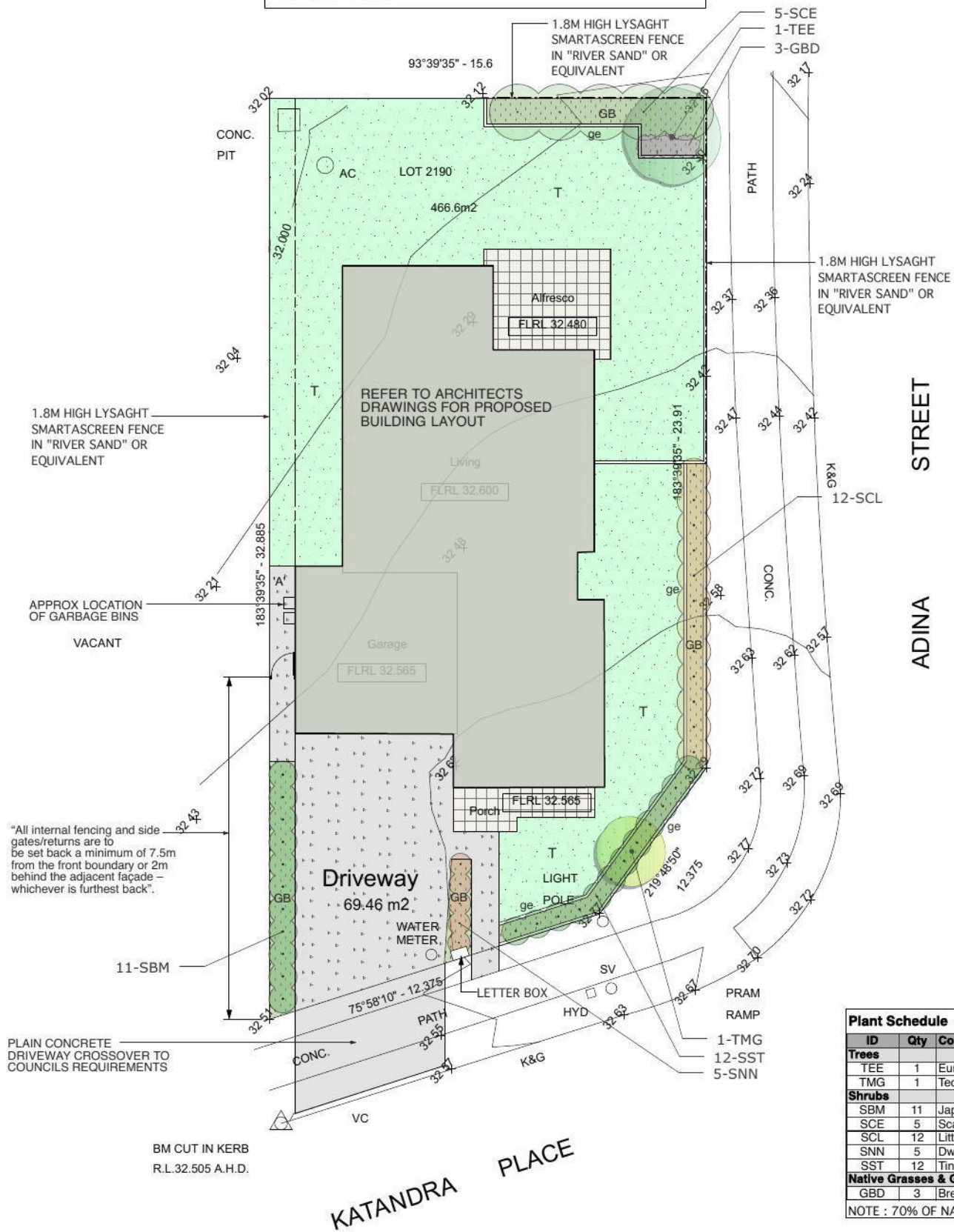
Landscape Contractors to provide 13 weeks for maintenance / plant establishment period. Carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

**NOTE:**

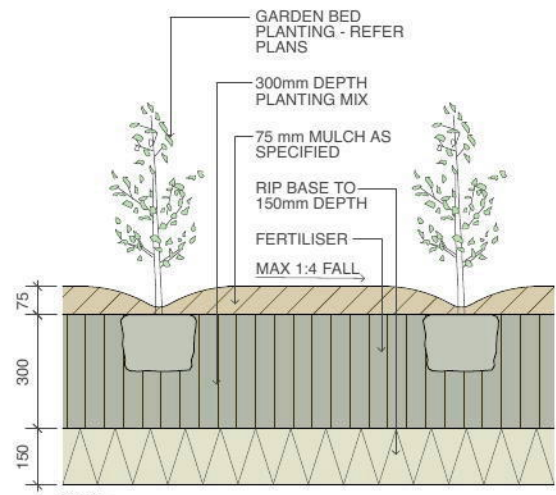
- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

**JORDAN SPRINGS - ILLOURA VILLAGE NOTES:**

- Any garden or lawn edging visible from the street is to be constructed of masonry textured or coloured bricks, blocks or coloured concrete – no timber edging is permitted.
- Any retaining walls visible from the street or 900mm high and over are to be of masonry construction.
- Vehicle crossovers are to be plain concrete to PCC specifications. 5m wide V.C for double garage and 3m wide V.C for single garage.
- All existing street trees and verge planting are to be protected during construction.



1 45 Litre Tree Planting scale 1:50



2 Planting Bed Detail scale 1:20

Plant Schedule							
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
<b>Trees</b>							
TEE	1	Eumundi Quandong	Elaeocarpus eumundi	45Litre	6 - 8m	3.5 - 6m	N
TMG	1	Teddy Bear Magnolia	Magnolia grandiflora 'Teddy Bear'	45Litre	4 - 6m	2.0 - 3.5m	
<b>Shrubs</b>							
SBM	11	Japanese Box	Buxus microphylla var japonica	200mm	0.6 - 0.8m	0.8 - 1.0m	
SCE	5	Scarlet Bottlebrush	Callistemon citrinus 'Endeavour'	200mm	3 - 5m	2.0 - 3.5m	N
SCL	12	Little John	Callistemon 'Little John'	200mm	0.9 - 1.5m	0.9 - 1.2m	N
SNN	5	Dwarf Sacred Bamboo	Nandina domestica 'Nana'	150mm	0.6m	0.8m	
SST	12	Tiny Trev	Syzygium australe 'Tiny Trev'	200mm	0.8 - 1m	0.6 - 0.8m	N
<b>Native Grasses &amp; Ground Covers</b>							
GBD	3	Break O Day	Brachyscome multifida	150mm	0.45 - 0.6m	0.9 - 1.2m	N

NOTE : 70% OF NATIVE PLANT SPECIES ARE PROPOSED

<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> <li>Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent.</li> <li>Verify all dimensions on site.</li> <li>Refer to legend for all symbol and code keys.</li> <li>Read in conjunction with the specifications</li> <li>Read in conjunction with all associated drawings</li> </ol>				<p>DESIGNED: GD</p> <p>DRAWN: CL</p>	<p>PREPARED FOR: LB HOMES</p>	<p>LANDSCAPE ARCHITECTS: GREENLAND DESIGN Pty Ltd ABN 73 139 152 855 Landscape Architect. C. Ly I AILA Mob.: 0403 164 198</p>	<p>PROJECT: NEW TWO STOREY RESIDENCE</p> <p>PROJECT ADDRESS: LOT 2190 ADINA STREET, JORDAN SPRINGS</p>	<p>DRAWING TITLE: Landscape Plan</p>	<p>DATE: AUGUST 2013</p> <p>SCALE: 1:200 FULL SIZE: A3</p> <p>ISSUE: A</p> <p>DRAWING NO: LB1305.L.01</p>		
1	2	3	4	5	6	7	8	9	10	11	12