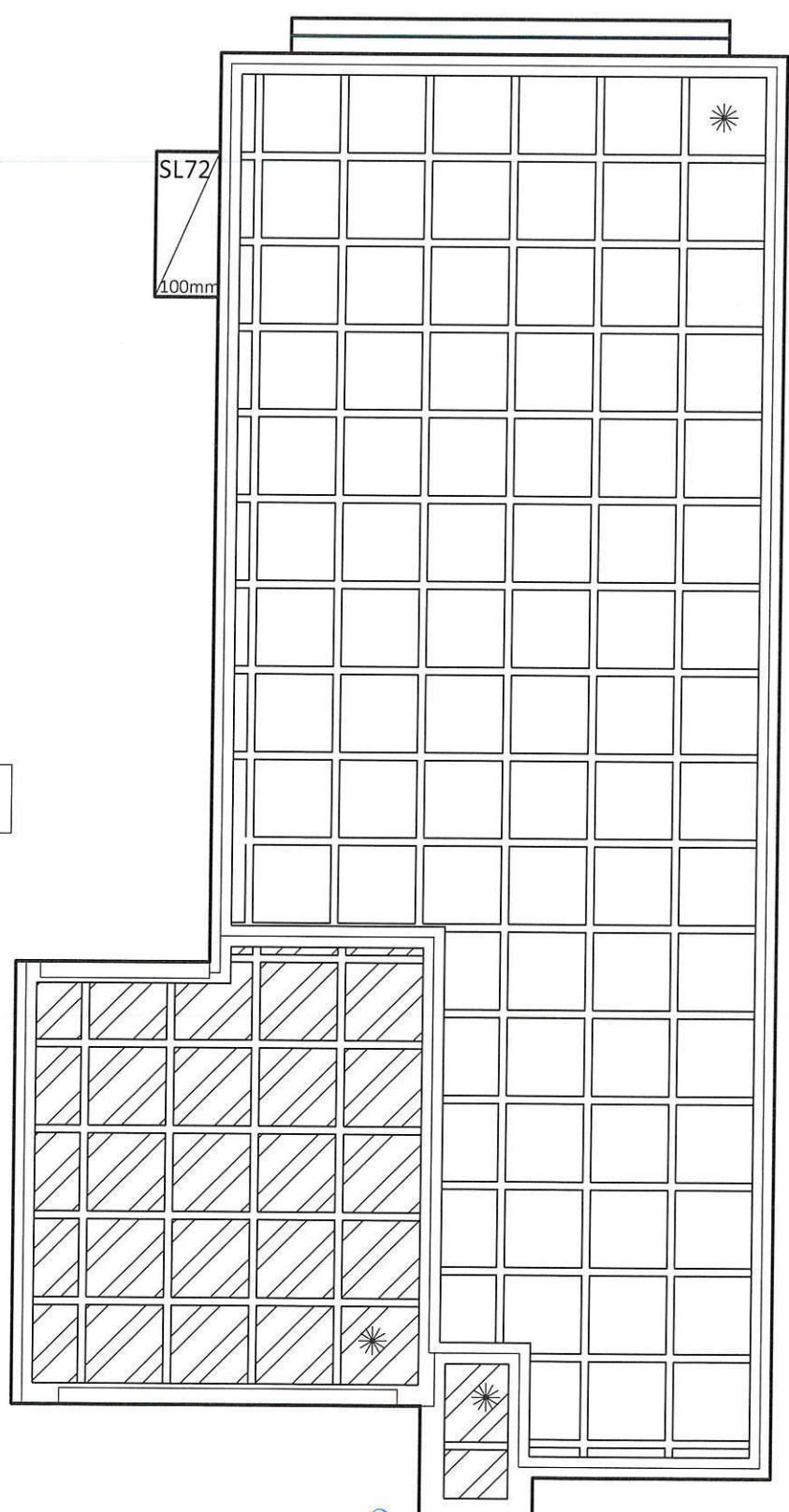


SEWER INFORMATION BASED ON PLANS BY
 SYDNEY WATER Case No-125252WW
 DATED: 19/2/2013
 ARCHITECTUAL INFORMATION BASED ON
 INFORMATION SUPPLIED BY CLIENT.

TITLE
PROPOSED SEWER DETAILS
LOT 2354 GREENWOOD PARKWAY
JORDAN SPRINGS

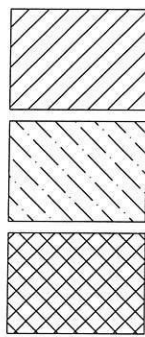
MEARES CONSULTING PTY LTD
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 street: suite 3.07, 5 Celebration Dr Bella Vista
 mail : PO Box 7063 Baulkham Hills MC, NSW 2153
 www.mearesconsulting.com.au
 patrick@mearesconsulting.com.au

ABN 41 154 140 002		DRAINAGE		CIVIL
STRUCTURAL				
SURVEYED:	DRAWN: PWM	DESIGNED: PM	DATE: 25/7/2013	Sheet 1
DATUM:	SCALE:	REVISION:	Ref. No. 6470	Of Sheets 1



2 x N12 BARS, 1200 LONG
TIED TO UNDERSIDE OF FABRIC.
TYPICAL BARS MAY BE DELETED
IF FABRIC LAPS AT INTERNAL
CORNERS (typical).

* STARTING POINT



HATCHED AREA INDICATES
GARAGE

HATCHED AREA INDICATES
ALFRESCO

HATCHED AREA INDICATES
PORCH.

WAFFLE POD SLAB PLAN

SCALE 1: 100

REINFORCEMENT
EXTERNAL RIB 3N12
INTERNAL RIB 1N12
SLAB MESH SL72
COVER (min.) 20mm.

WAFFLE TYPE
POD HEIGHT 225mm. unless noted otherwise
SLAB THICKNESS 85mm.
OVERALL DEPTH 310mm. unless noted otherwise
RIB SPACING (max.) 110mm.
RIB WIDTH 110mm.

SPECIFICATION

1. This specification shall be read in conjunction with the structural drawings and the Architectural drawings and specifications.
2. Setting out dimensions or member size shall not be scaled from drawings.
3. Any discrepancy or conclusion on these drawings must be notified to the Engineer before proceeding with the work.
4. These drawings are only approved when they are signed with an original signature by the Engineer.
5. All work shall be in accordance with the requirements of all the relevant S.A.A. Codes.

FOUNDATIONS

1. All footings and piers shall be founded on even bearing soil or rock of the same type throughout.
2. The footings/piers have been designed for a safe bearing capacity of 200kPa. The foundation material shall be approved by the structural engineer or a geotechnical engineer before placing concrete in the footings/piers.
3. Unless otherwise shown in these drawings piers are required in soft natural soils, uneven bearing conditions and fill areas. Unless otherwise specified piers shall be 400mm diameter mass concrete and spaced at 2000mm maximum centres. All footings, isolated pads, raft slab edge and internal beams shall be piers. The founding depth of the piers and the adequacy of the foundation material shall be determined on site by the structural or a geotechnical engineer.
4. Excavations for drainage lines or other services must not effect slab or footing stability. The engineer must be consulted when the trench excavations are within the influence zone of the footings and slabs.
5. Foundation excavations shall be kept free of water. If the bearing surface deteriorates before concrete is poured the Contractor shall clean out all loose, soft material down to the specified bearing capacity at his own expense.

CONCRETE

1. All workmanship shall be in accordance with A.S.3600 except as varied by the contract documents.
2. Cement is to be type A unless otherwise noted. Fc=25MPa, max. slump 80mm and max. aggregate size = 20mm.
3. All cement shall be vibrated to ensure correct placement into the formwork.
4. Concrete shall be cured for 7 days by keeping all exposed areas wet with water or other method approved by the Engineer.
5. No concrete shall be placed until the Engineer has inspected and approved the placed reinforcement.
6. All concrete used in suspended slabs shall be sampled and tested in accordance with A.S.1012.
7. Clear concrete cover to reinforcement shall be 25mm for slab, 50mm for beams and columns or as otherwise noted on the drawings.
8. Splices in reinforcement shall be Trench mesh and fabric - 2 transverse wires plus 25mm, N12 - 500mm, N16 - 550 or as otherwise noted on drawings.
9. Top and bottom reinforcement in slabs shall be supported in both directions at maximum centres of 600mm for bars 10mm or less, 900mm for bars 12mm and 16mm and 900mm for fabrics.
10. Waterproof membranes shall be polythene sheet with a minimum thickness of 0.2mm. All joints shall be taped.

NOTE:
FILL TO BE COMPACTED IN ACCORDANCE WITH
CLAUSE 6.4.2, AS2870

NOTE:
VERTICAL ARTICULATION JOINTS IN ACCORDANCE WITH
CLAUSE 3.3.1.8 OF THE BUILDING CODE OF AUSTRALIA

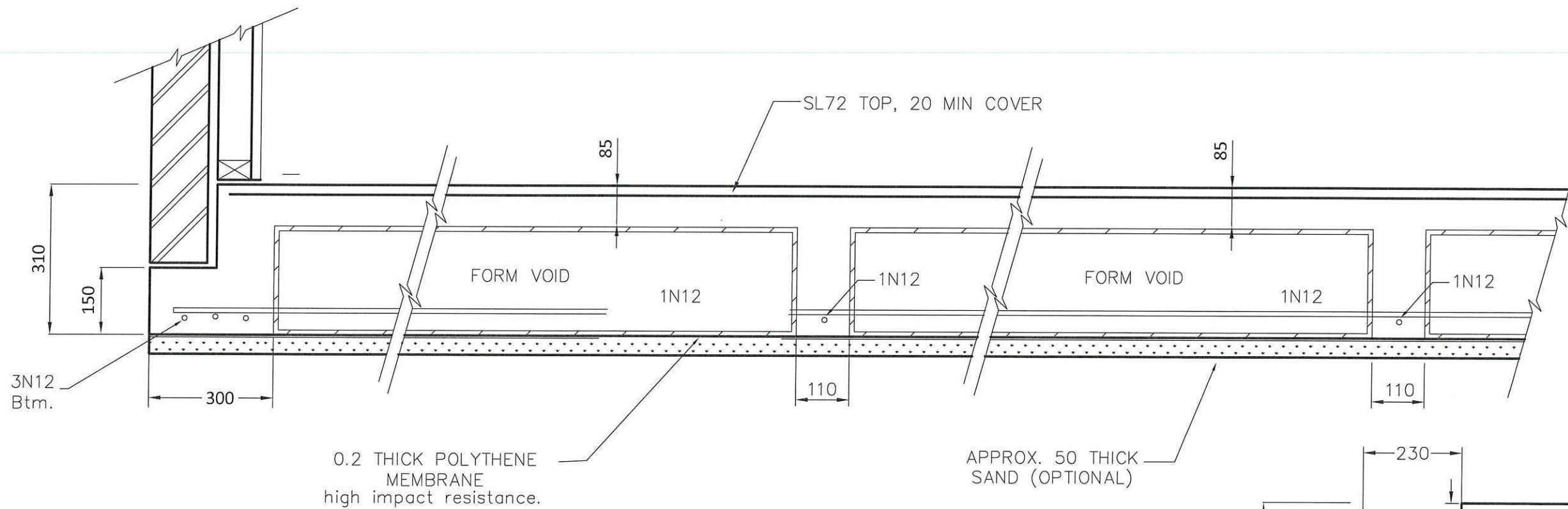
PROPOSED SLAB PLAN AT LOT 2354 GREENWOOD PARKWAY JORDAN SPRINGS

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street: suite 3.07, 5 Celebration Dr Bella Vista
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DATUM:	SCALE:	REVISION:	Ref. No. 6470	Of Sheets 7			

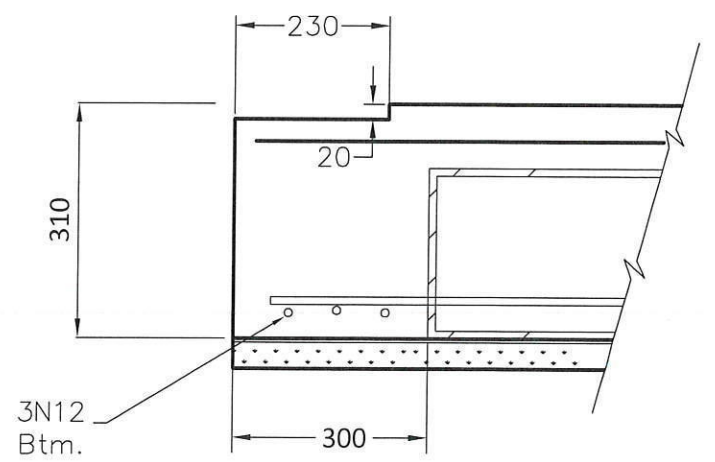
THIS PLAN IS DONE IN
ACCORDANCE WITH AS2870
SOIL CLASS ; M
SYSTEM ; WR
BUILDING ; Veneer

P. Meares
Patrick J. Meares
B.E. M.I.E. Aust.

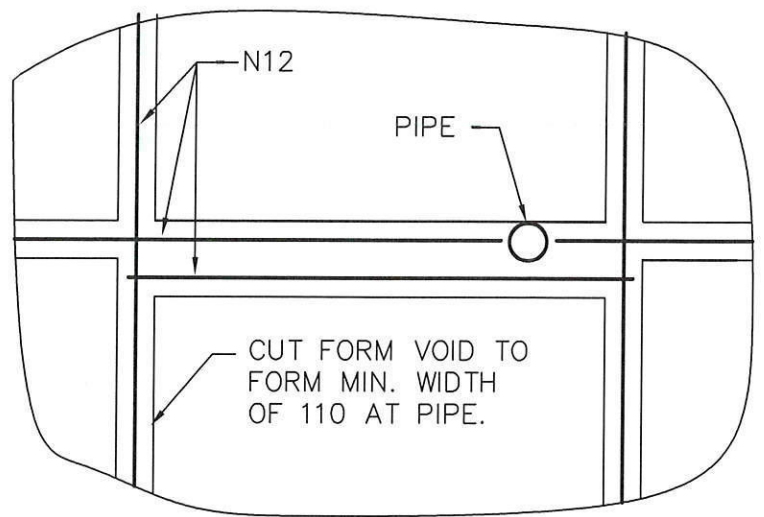


EDGE BEAM

INTERNAL RIB



GARAGE DOOR ENTRY



PLAN
Pipe Penetration through Rib

REINFORCEMENT FOR EXTERNAL BEAMS WHERE WIDTH EXCEEDS 270mm.

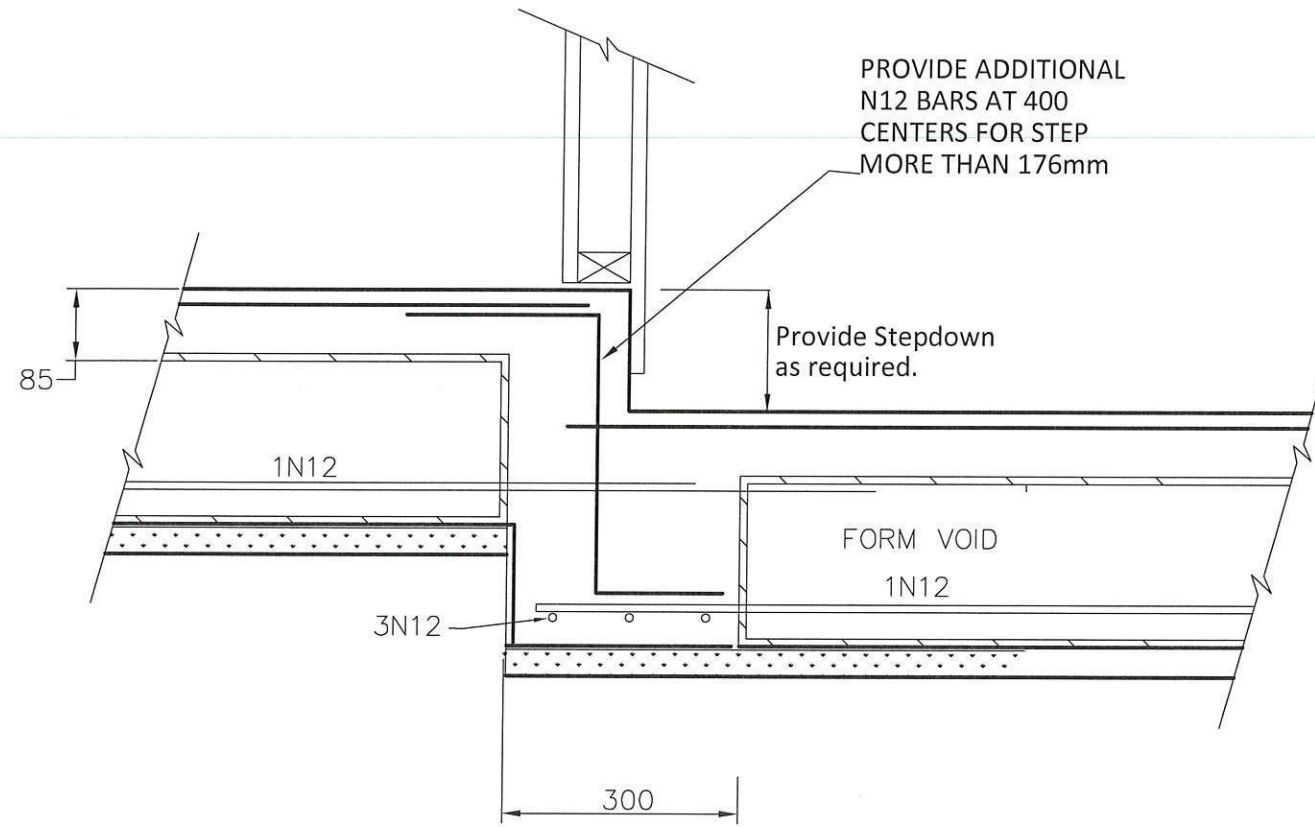
Width	Top Steel	Bottom Steel
271 - 330mm	1 x N12	3 x N12
331 - 440mm	2 x N12	4 x N12
441 - 550mm	3 x N12	5 x N12
551 - 660mm	4 x N12	6 X N12

PROPOSED SLAB PLAN AT LOT 2354 GREENWOOD PARKWAY JORDAN SPRINGS

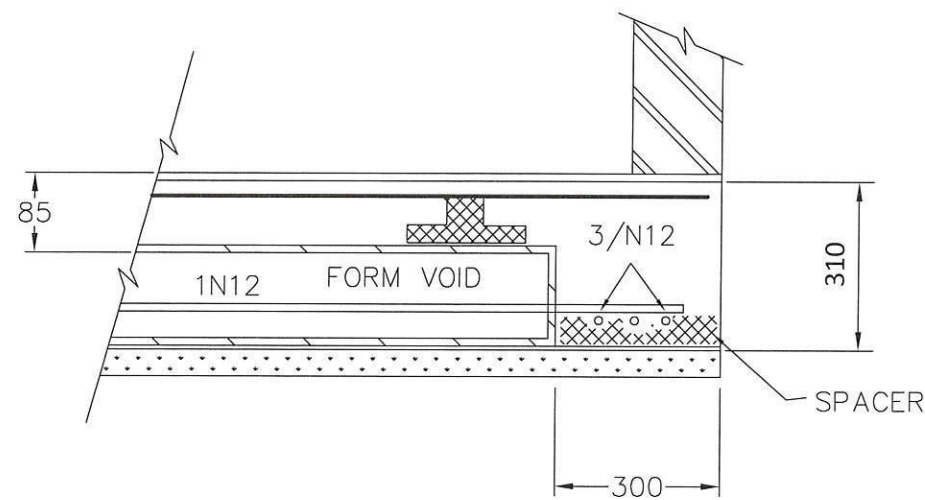
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ABN 41 154 140 002
STRUCTURAL **DRAINAGE** **CIVIL**

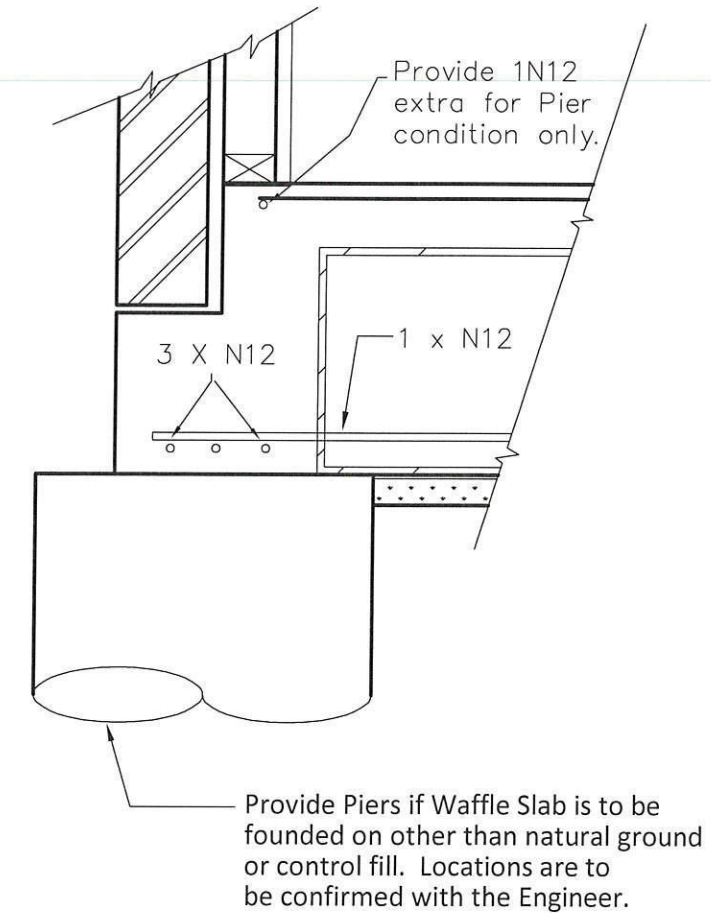
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DATUM:	SCALE:	REVISION:	Ref. No. 6470	Of Sheets 5



**GARAGE SET-DOWN
Detail**



**VERANDAH / GARAGE
EDGE BEAM**



Typical Piering Requirements

TITLE
**PROPOSED SLAB PLAN AT
LOT 2354 GREENWOOD PARKWAY
JORDAN SPRINGS**

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CONSULTING**

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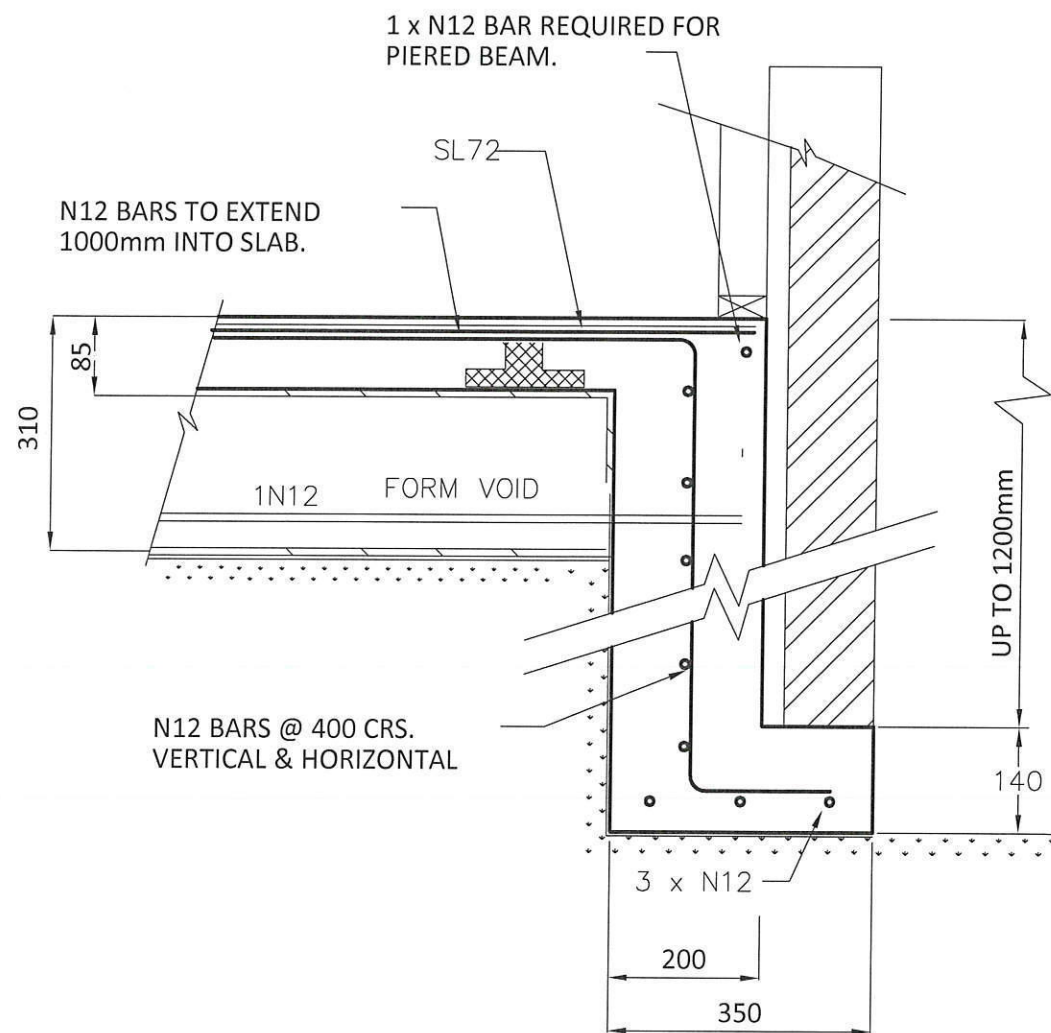
ABN 41 154 140 002
STRUCTURAL

DRAINAGE

CIVIL

SURVEYED:	DRAWN: PWM	DESIGNED: PM	DATE: 25/7/2013	Sheet 3 Of Sheets 5
DATUM:	SCALE:	REVISION:	Ref. No. 6470	

Handwritten signature



DROPPED EDGE BEAM
Detail

TITLE **PROPOSED SLAB PLAN AT
LOT 2354 GREENWOOD PARKWAY
JORDAN SPRINGS**

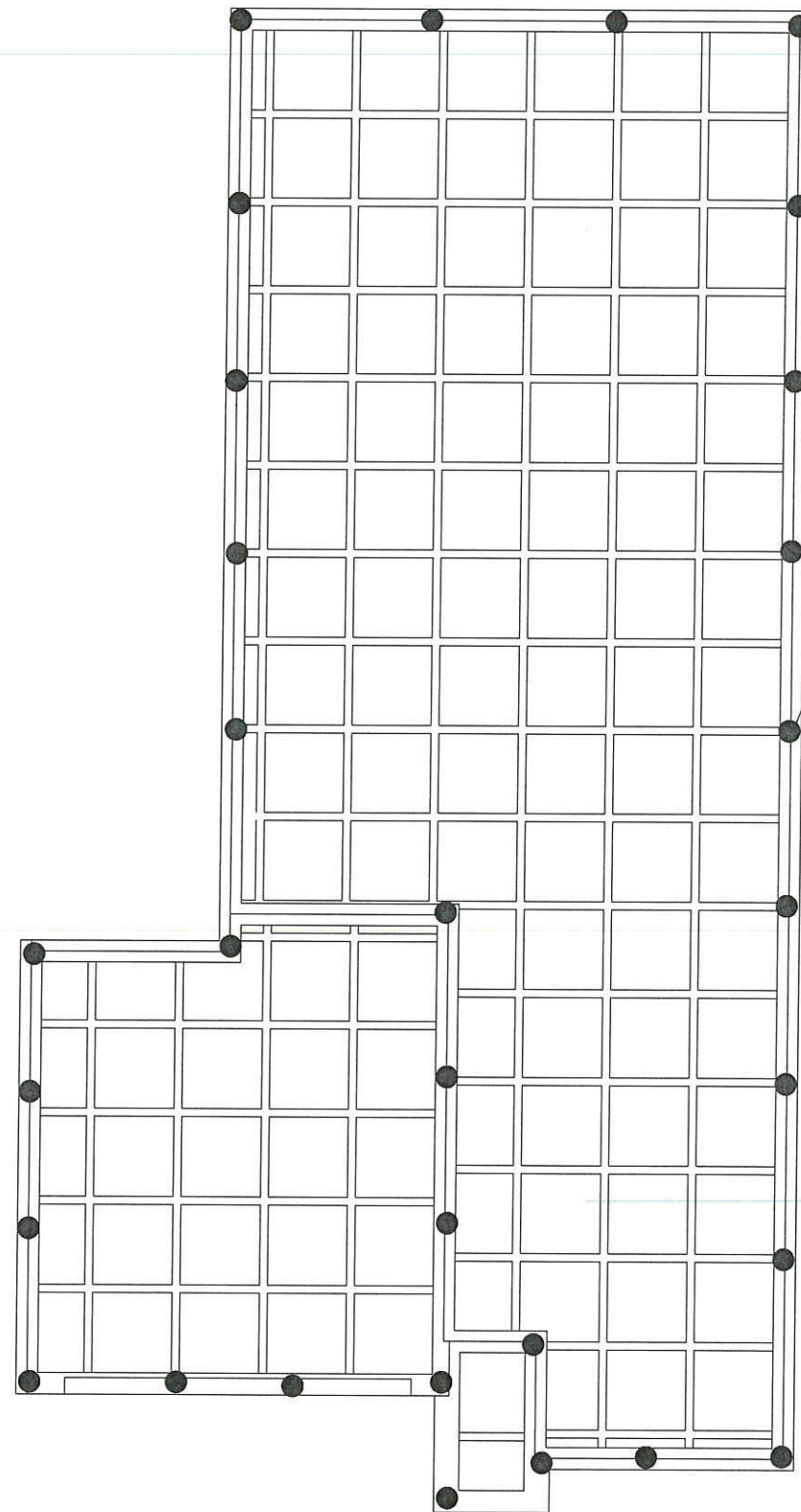
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DATUM:	SCALE:	REVISION:	Ref. No. 6470	Of Sheets 5

Om

Piering Detail.



300 \varnothing Mass concrete piers. To even bearing ground.

TITLE
**PROPOSED PIERING PLAN AT
 LOT 2354 GREENWOOD PARKWAY
 JORDAN SPRINGS**

MEARES
CONSULTING

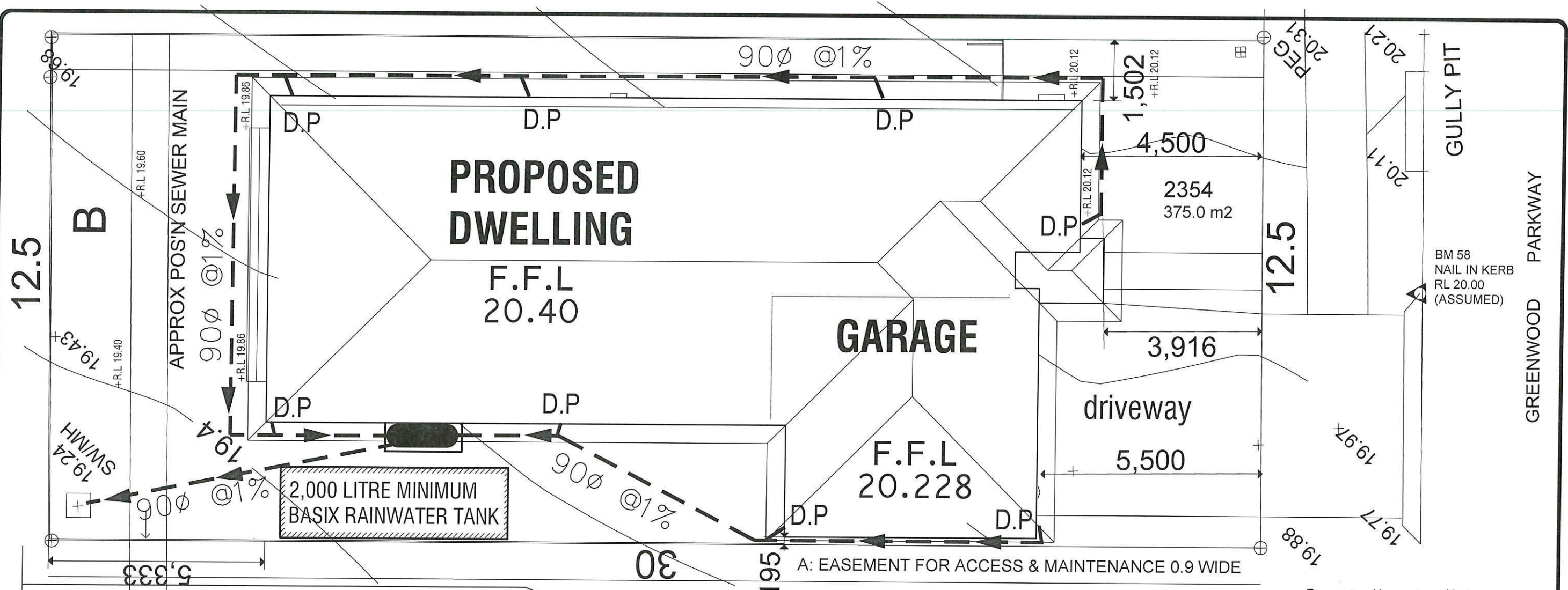
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STRUCTURAL

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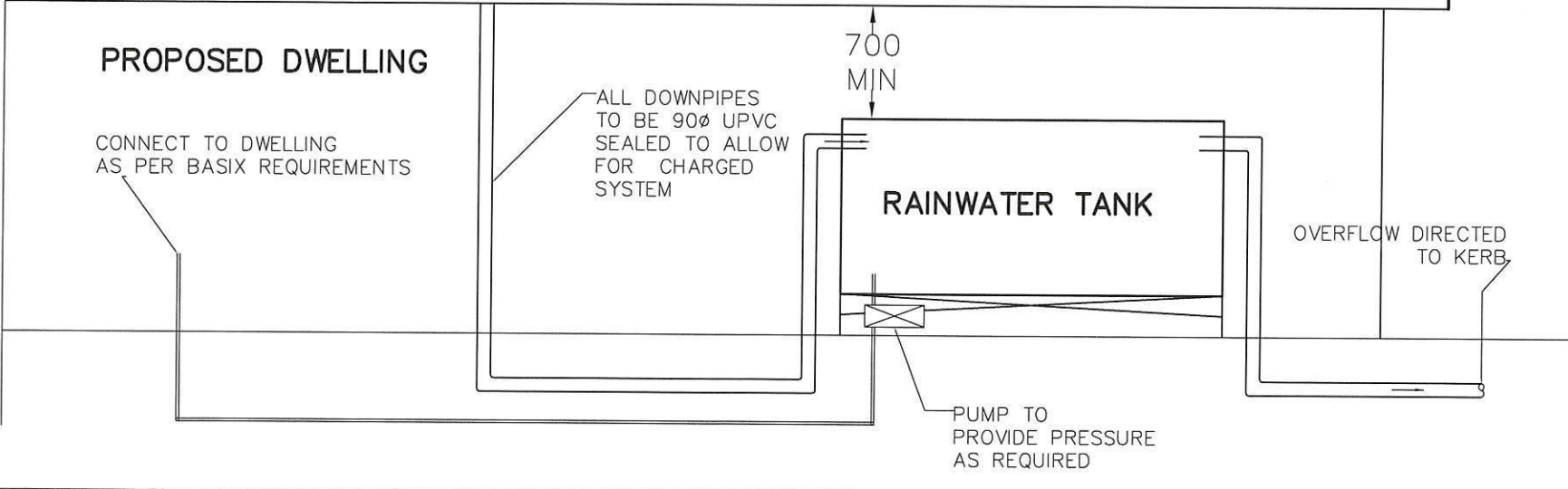
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DATUM:	SCALE:	REVISION:	Ref. No. 6470	5
				Of Sheets 5



Note- [1] ALL DOWN PIPES TO BE 90øPVC, SEALED TO ALLOW FOR CHARGED SYSTEM.
 [2] ALL GUTTERS AND DOWNPIPES TO BE IN ACCORDANCE WITH SECTION 3.5.2 OF THE BCA.

RAINWATER TANK PLAN

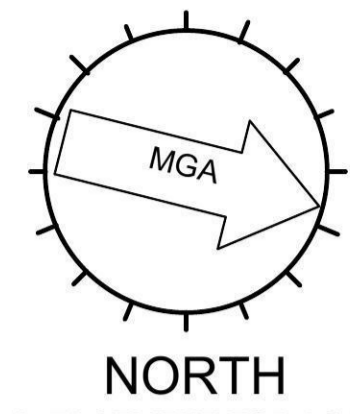
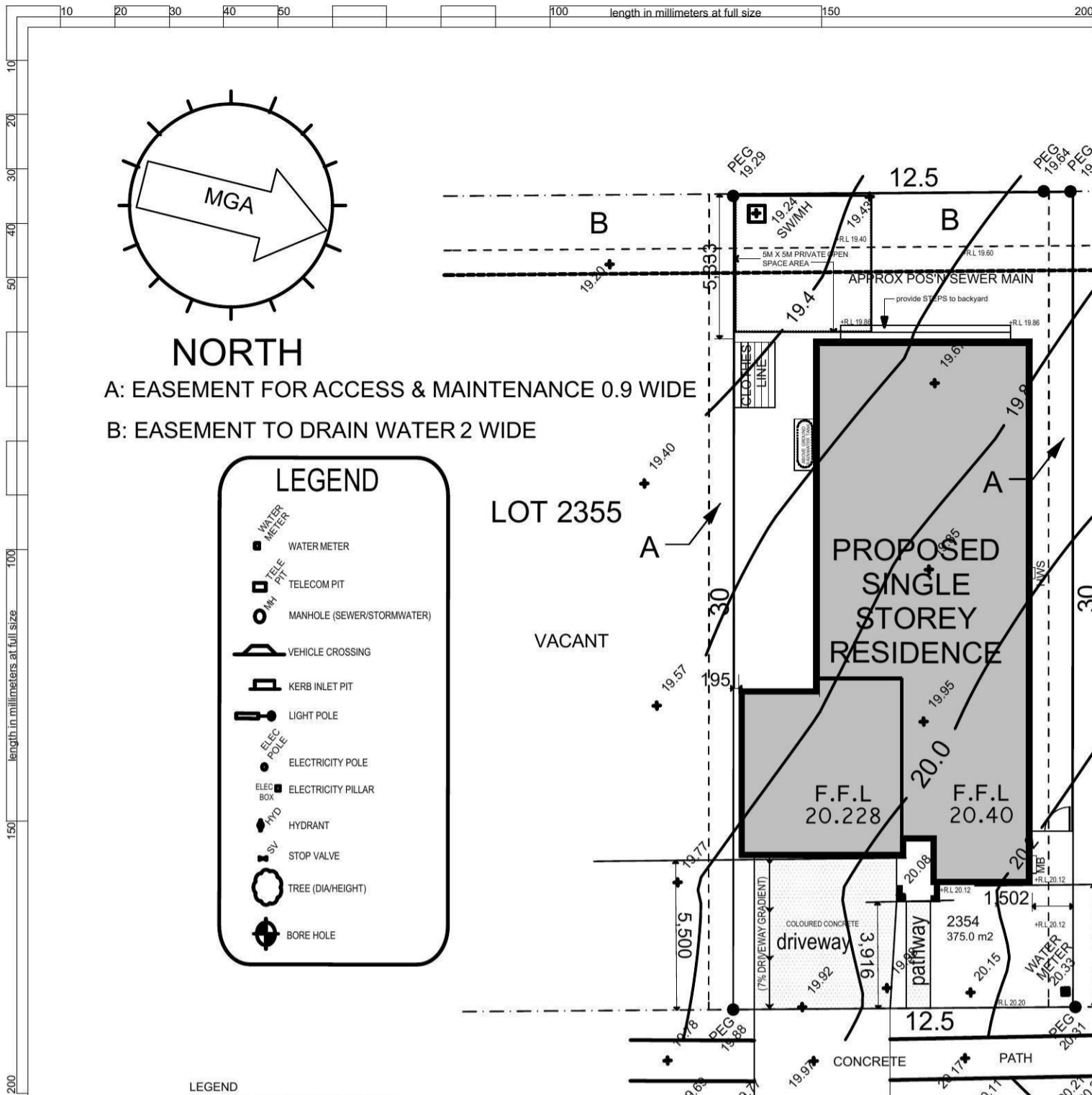
Rainwater Harvesting Notes.
 Rainwater for the onsite storm water harvest is only to be sourced from the roof.
 An appropriate back flow prevention device is to be installed in accordance with AS3500.
 first flush system to be incorporated.
 Tank to be connected for use in toilet flushing, irrigation, laundry.
 The required pump is not to exceed 5dB[a] above ambient background noise measured at the nearest lot boundary.



TITLE
PROPOSED WATER TANKS PLAN
LOT 2354 GREENWOOD PARKWAY
JORDAN SPRINGS

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STRUCTURAL					
SURVEYED:	DRAWN: PWM	DESIGNED: PM	DATE: 25/7/2013	Sheet 1	
DATUM:	SCALE:	REVISION:	Ref. No. 6470	Of Sheets 1	



NORTH
 A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
 B: EASEMENT TO DRAIN WATER 2 WIDE

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- BORE HOLE

LEGEND
 KO: DENOTES KERB OUTLET
 WC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT

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GREENWOOD PARKWAY

1 SITE PLAN 1:200

General Calculations

- Allotment area = 375.00sqm
- Living/Garage area = 174.03sqm
- Porch area = 2.75sqm
- Gross floor area = 176.78sqm
- Landscaped area = 166.07sqm
- Site Coverage = 55.72%
- Roof area = 202.76sqm
- Private Open Space = 104.98sqm

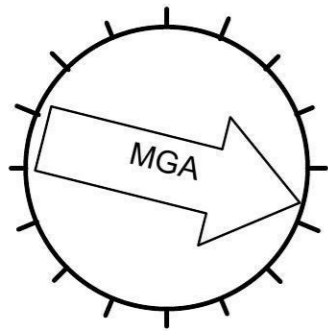
BUSHFIRE ATTACK LEVEL
BAL 19

Building construction to comply with
 Section 3 & 6 of AS 3959 & Section 3.7 of
 PBP addendum appendix 3

Schedule of BASIX commitments

Water Commitments

- Landscape**
 The applicant must plant indigenous or low water use species of vegetation throughout 40 square metres of the site.
- Fixtures**
 The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.
 The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
 The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
 The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
- Alternative water**
Rainwater tank
 The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
 The applicant must configure the rainwater tank to collect rain runoff from at least 130 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
 The applicant must connect the rainwater tank to:
- all toilets in the development
 - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)



NORTH

A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

B: EASEMENT TO DRAIN WATER 2 WIDE

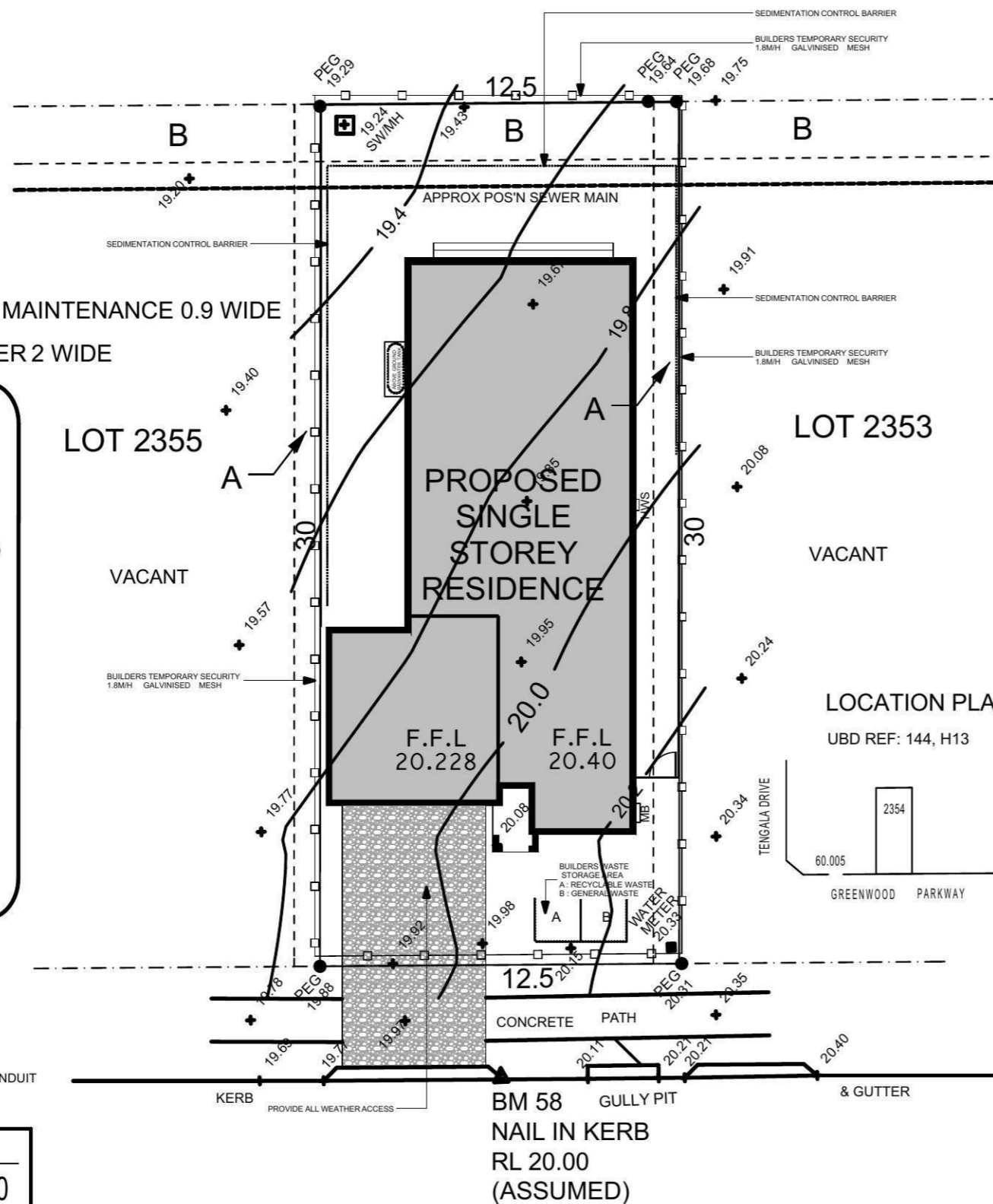
LEGEND

- WATER METER
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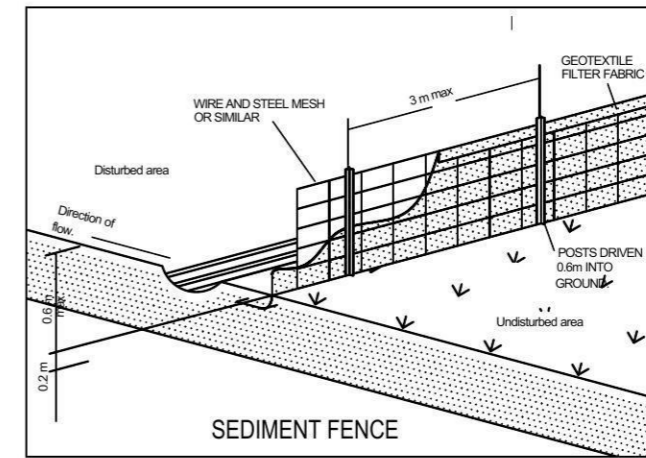
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GREENWOOD PARKWAY

3 SEDIMENTATION CONTROL PLAN
1:200

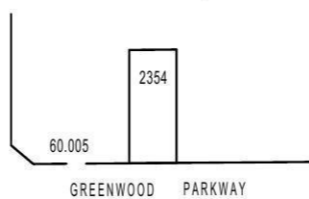


SEDIMENTATION CONTROL NOTES

- 1 : ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED & MAINTAINED IN ACCORDANCE WITH MANAGING URBAN STORMWATER, 3rd EDITION PRODUCED BY THE NSW DEPARTMENT OF HOUSING, STANDARD DRAWING (SO) NUMBERS REFERENCE CAN BE OBTAINED FROM THIS PUBLICATION
- 2 : ALL EROSION & SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTIONWORKS, & ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION
- 3 : ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON COULCIL APPROVED DEVELOPMENT CONSENT. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENT ETC.
- 4 : INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS, LIKELY TO COLLECTSILT LADDEN WATER
- 5 : NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERSACT & ALL COUNCIL REQUIREMENTS

LOCATION PLAN

UBD REF: 144, H13



The builder shall check and verify all dimensions and levels and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

All works to be set out by registered surveyor.



MERIDIAN HOMES

For:
Meridian Homes Pty Ltd
Project Name
Proposed Single Storey Residence

At : Lot 2354 DP1168993 Greenwood Parkway
Jordon Springs NSW

Drawing Title:
- SEDIMENTATION CONTROL PLAN
SEDIMENTATION CONTROL PLAN,
SEDIMENTATION FENCE

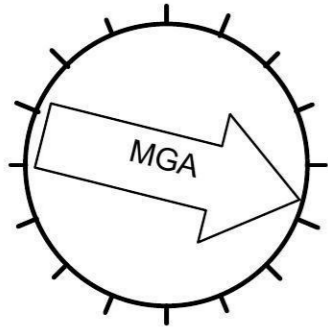
Scale: as noted Date:

Status: Checked By:

Project No.: Drawing No.:

MQ1313 **2/8**

Plot Date: 1/08/2013



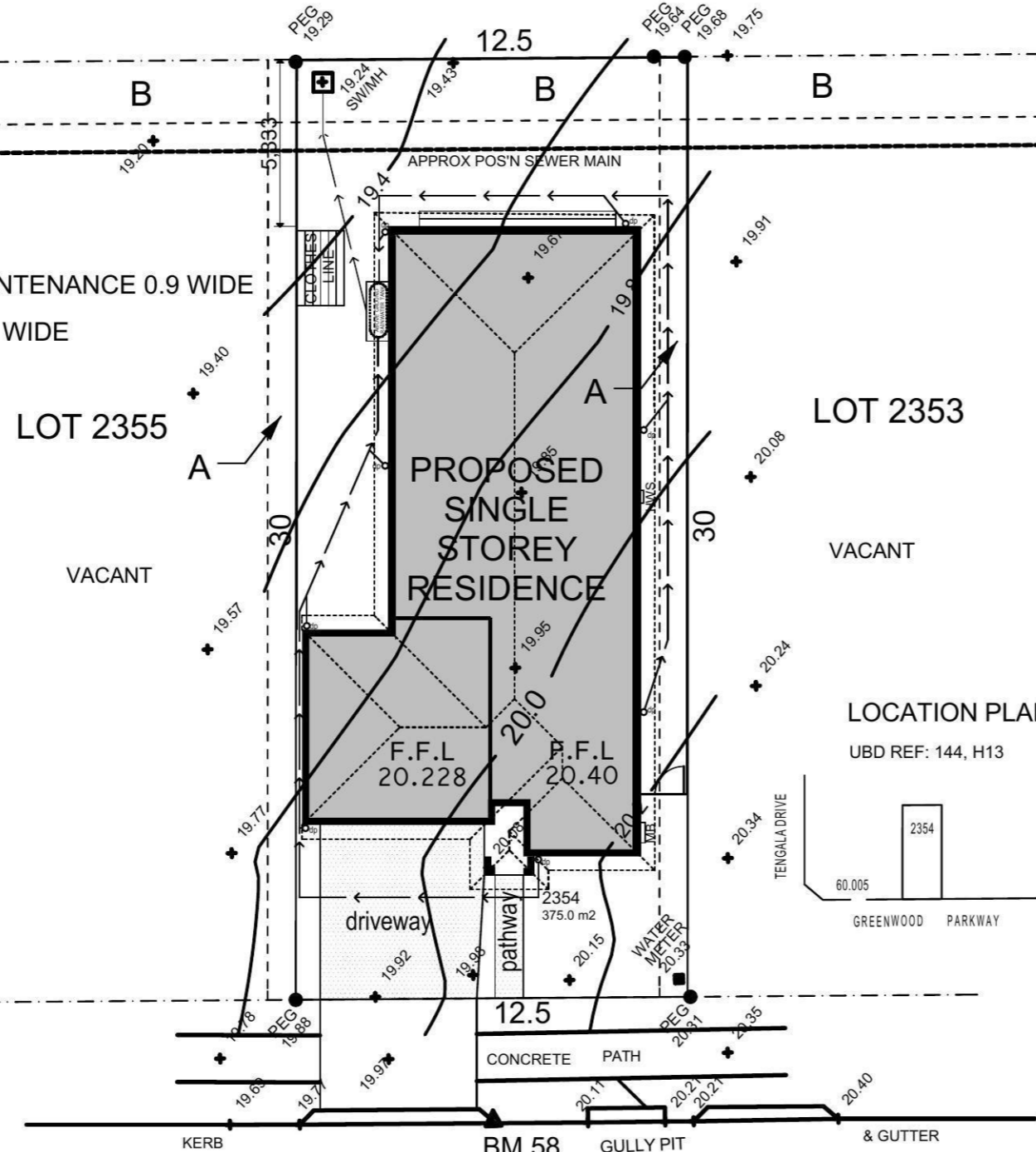
NORTH

A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

B: EASEMENT TO DRAIN WATER 2 WIDE

LEGEND

- WATER METER
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- ELECTRICITY PILLAR
- HYDRANT
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- BORE HOLE



3 STORMWATER CONCEPT PLAN 1:200

LEGEND

KO: DENOTES KERB OUTLET
 WC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT

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MERIDIAN HOMES

For:
 Meridian Homes Pty Ltd
 Project Name
Proposed Single Storey Residence
 At : Lot 2354 DP1168993 Greenwood Parkway
 Jordon Springs NSW

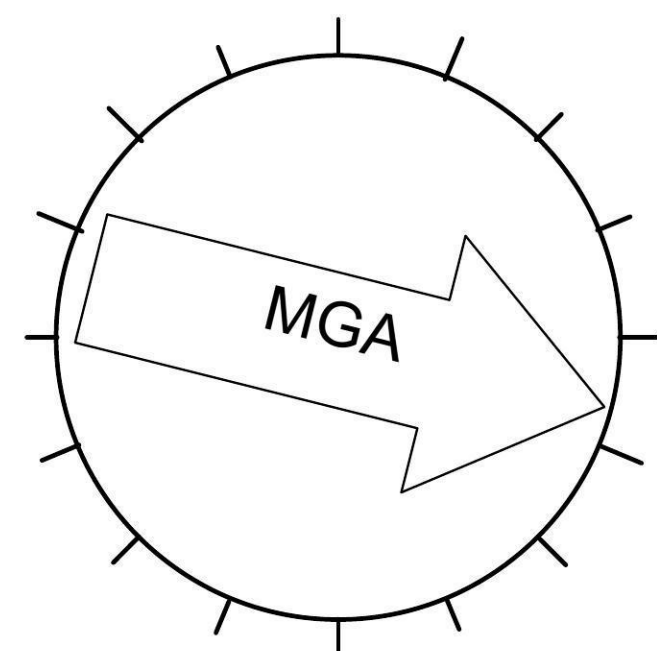
Drawing Title:
STORMWATER CONCEPT PLAN
 STORMWATER CONCEPT PLAN

Scale: as noted	Date:
Status:	Checked By:
Project No: MQ1313	Drawing No.: 3/8

Plot Date: 1/08/2013

length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size



NORTH

A: EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

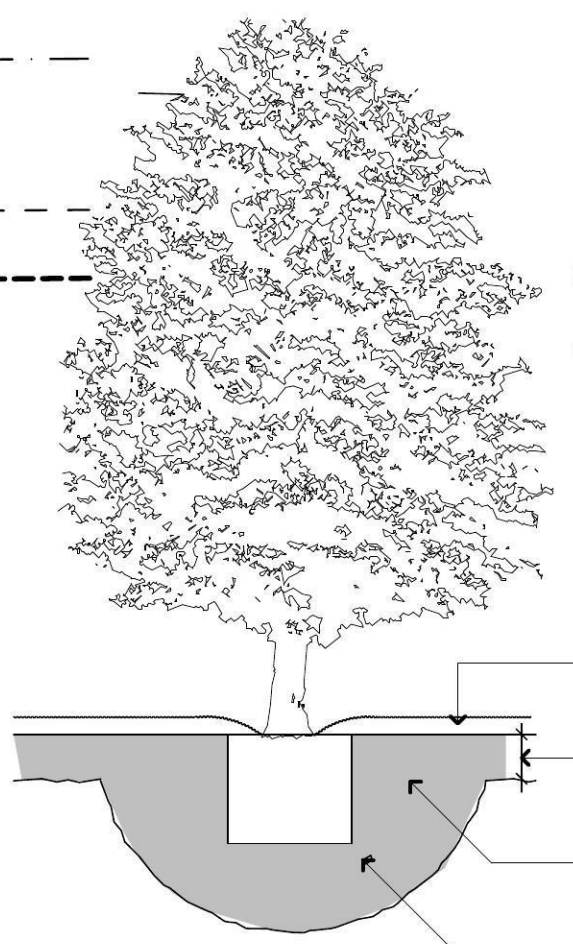
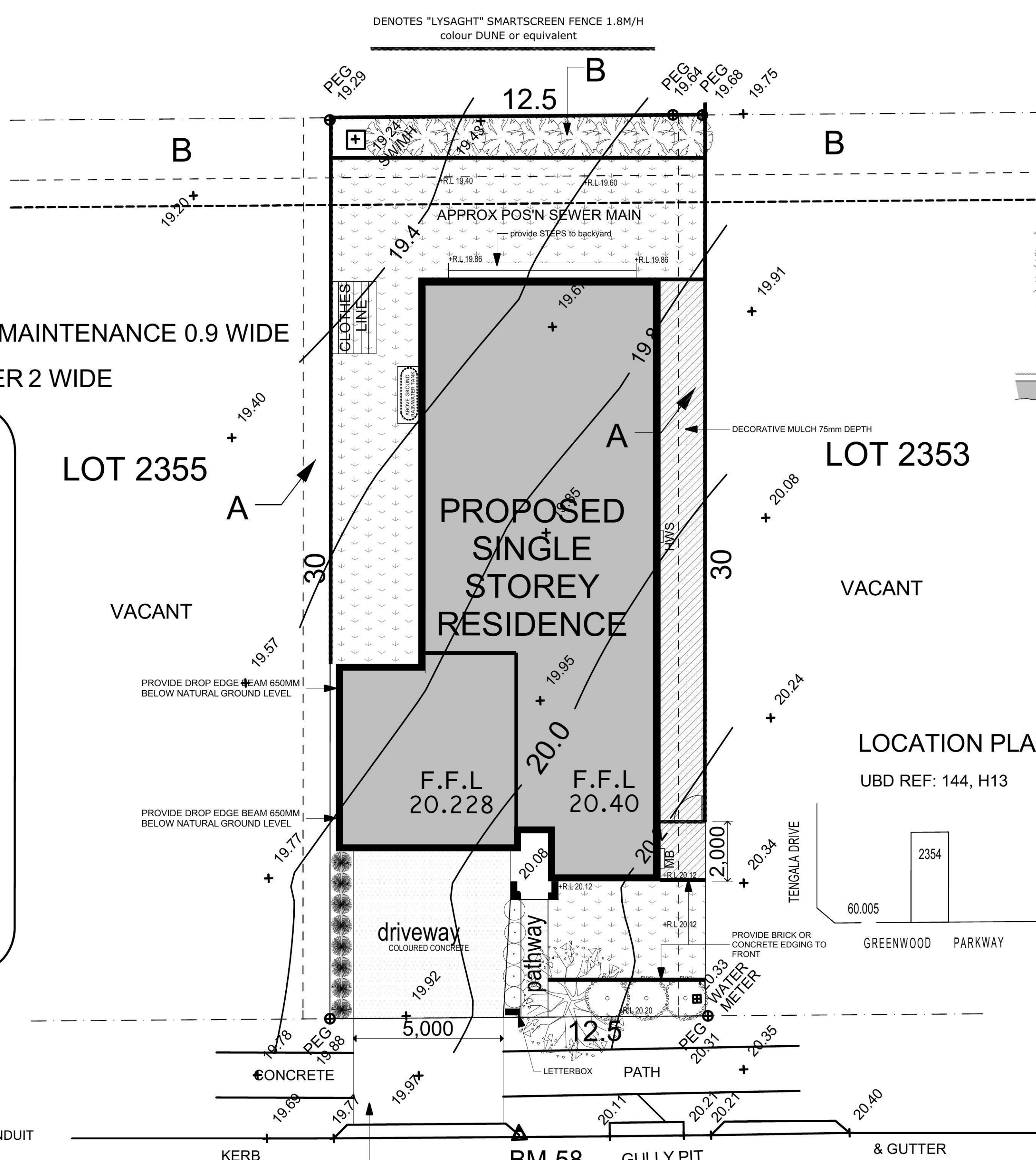
B: EASEMENT TO DRAIN WATER 2 WIDE

LEGEND

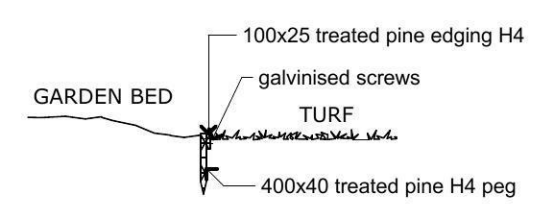
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NOTE
 provide Hardwood garden stakes as required with Hessian ties as required



TIMBER EDGING
 The timber edging detail is not to be used in the front yard or where visible from the street.

PLANT REGISTER

symbol	description	container size	quantity	height	width
	*Tristaniopsis laurina Water Gum	35Litre	1	6m	3-5m
	*Hakea ductyloides Broad Leaf Hakea	200mm	9	2-4m	2m
	*Grevillea 'Robyn Gordon' Robyn Gordon	200mm	3	1.5-2m	1.5-2m
	Agapanthus orientalis Blue African Lily	200mm	5	0.7m	0.7m
	*Eriostemon buxifolium" Wax flower	200mm	8	0.3-0.5m	0.3-0.5m

*Denotes Australian Native Plant Species

LANDSCAPE NOTES

- o All garden and lawn edging visible from the street is to be constructed of textured or coloured masonry bricks, blocks or coloured concrete – no timber edging is permitted.
- o Any retaining walls visible from the street or 900mm high and over are to be of masonry construction.
- o Vehicle crossover is to be plain concrete to Council specifications. 5m wide vehicle crossover is required.
- o All existing street trees and verge planting are to be protected during construction.

GREENWOOD PARKWAY

LANDSCAPE PLAN
 1:100

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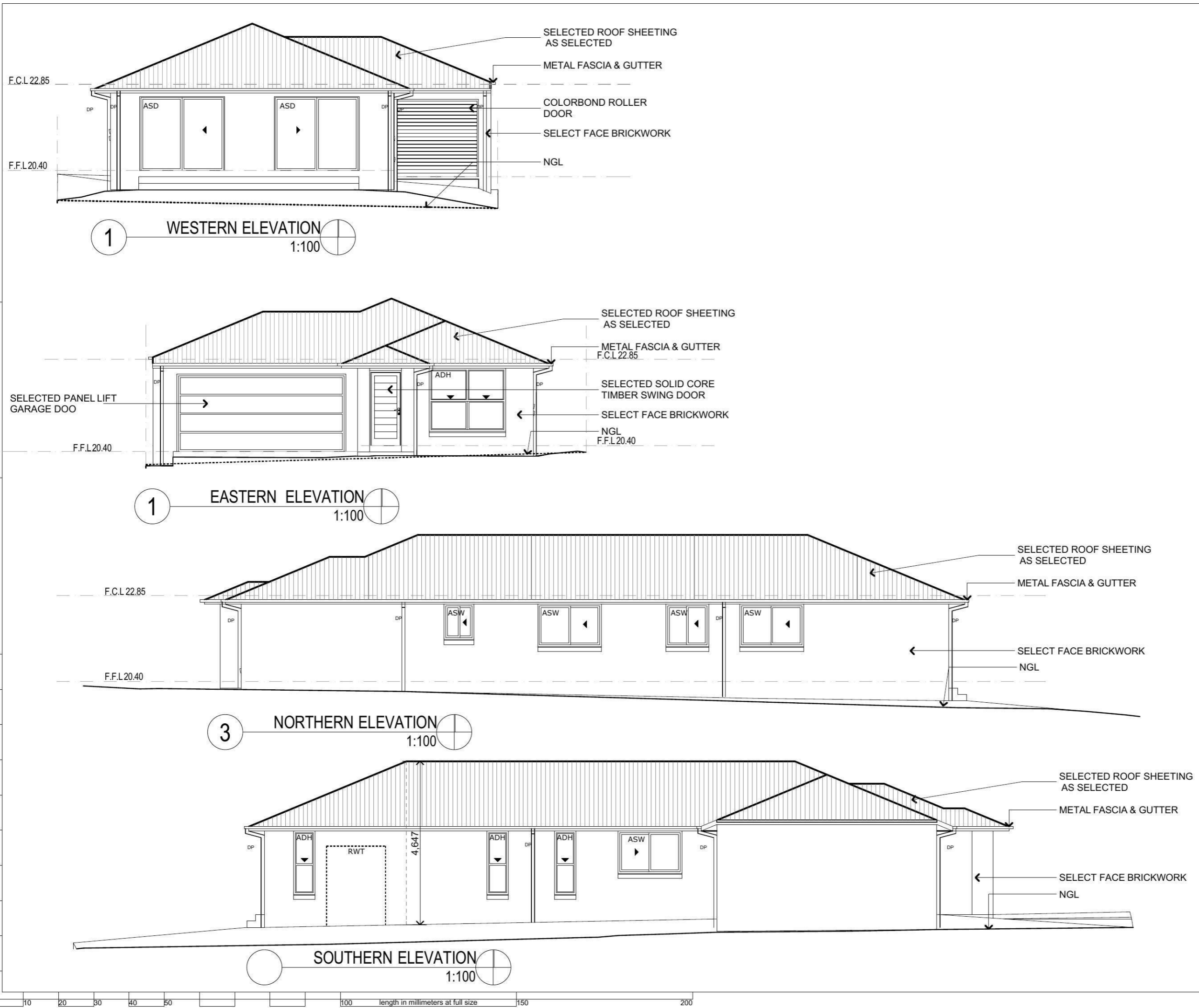
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MERIDIAN HOMES

For:
 Meridian Homes Pty Ltd
 Project Name:
Proposed Single Storey Residence
 At : Lot 2354 DP1168993 Greenwood Parkway
 Jordon Springs NSW

Drawing Title: - LANDSCAPE PLAN LANDSCAPE PLAN	
Scale: as noted	Date:
Status:	Checked By:
Project No: MQ1313	Layout No.: 4/8
Plot Date:	1/08/2013



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MERIDIAN HOMES

For:
Meridian Homes Pty Ltd
Project Name
Proposed Single Storey Residence
At : Lot 2354 DP1168993 Greenwood Parkway
Jordon Springs NSW

Drawing Title: - ELEVATIONS WESTERN ELEVATION, EASTERN ELEVATION, NORTHERN ELEVATION, SOUTHERN ELEVATION		Date:
Status:		Checked By:
Project No: MQ1313	Drawing No.: 8/8	

Plot Date: 1/08/2013