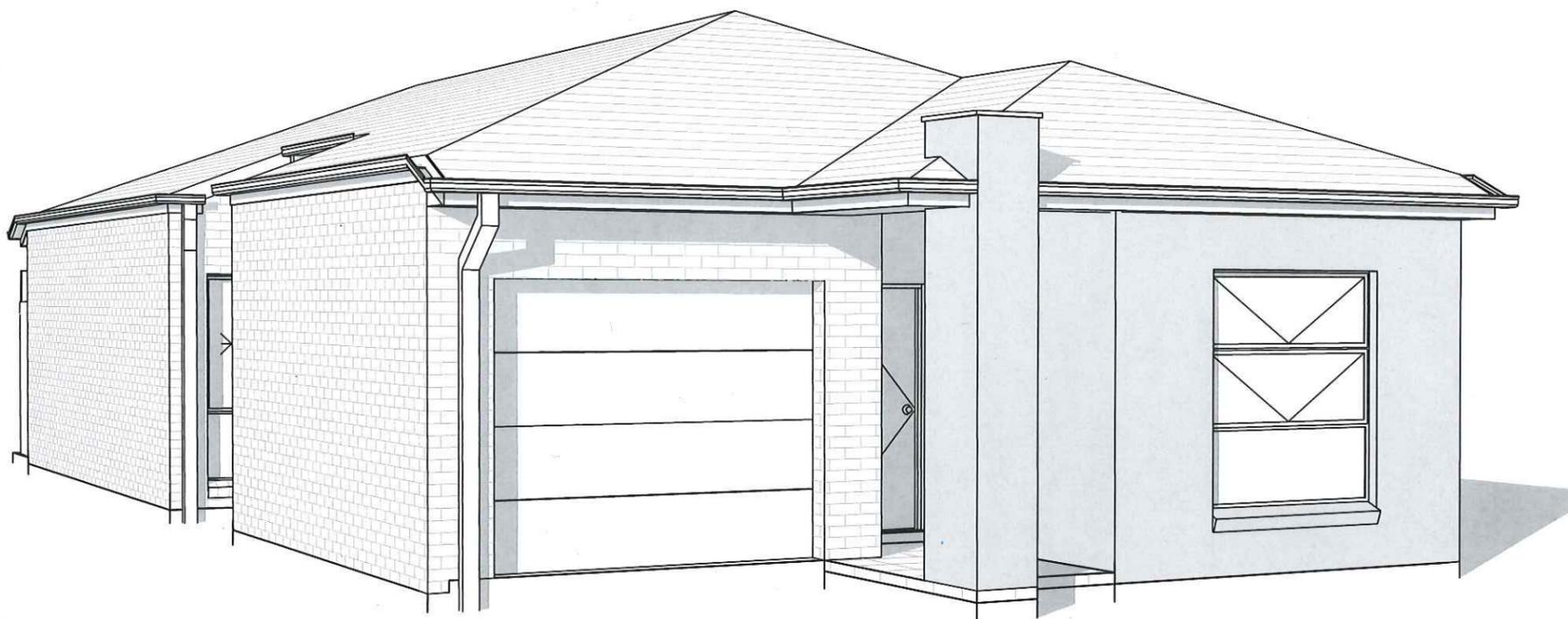
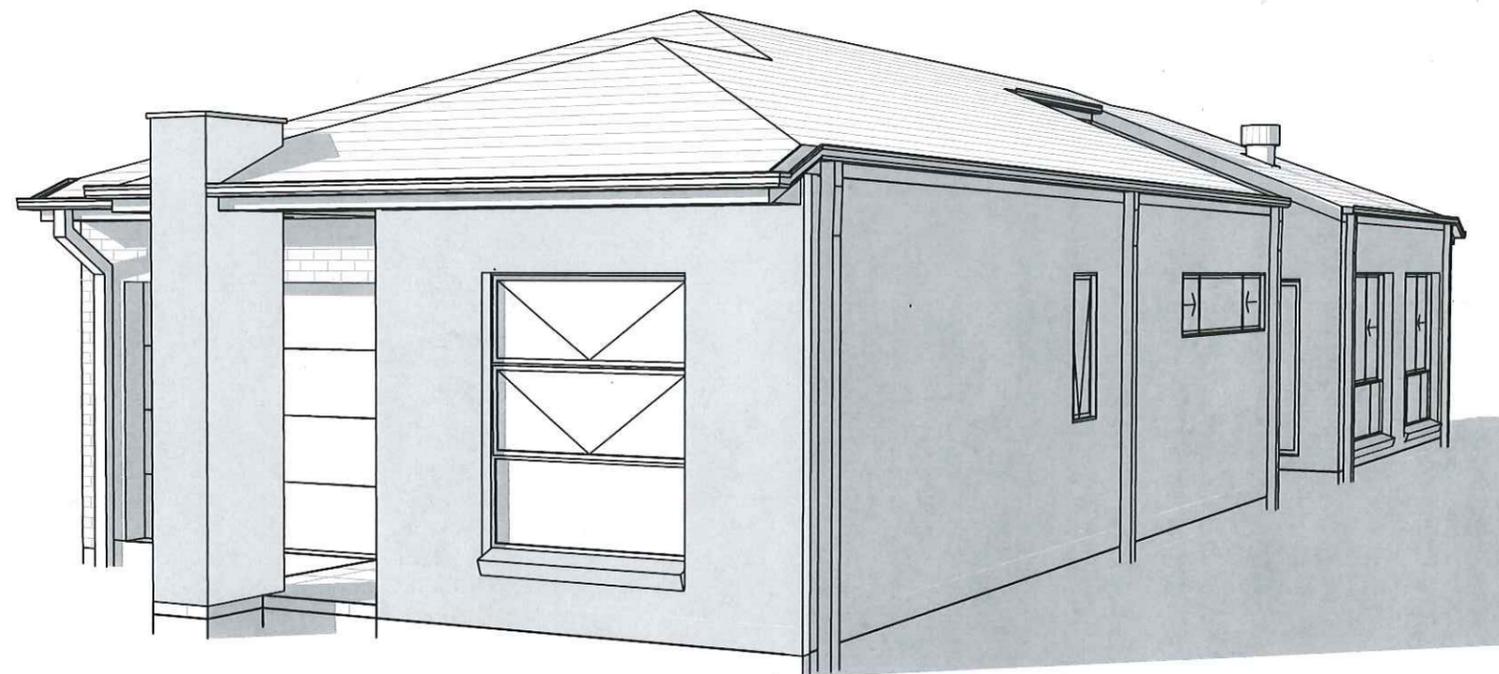


Alegra 15 - Modern



| Page | Drawing |
|------|----------------------|
| | TITLE PAGE |
| 1 | SITE PLAN |
| 2 | BENCHING PLAN |
| 3 | SITE ANALYSIS PLAN |
| 4 | FLOOR PLAN |
| 5 | ELEVATIONS |
| 6 | ELEVATIONS |
| 7 | SECTIONS |
| 8 | WINDOW/DOOR SCHEDULE |
| 9 | ELECTRICAL PLAN |
| 10 | WET AREA DETAILS |
| 11 | WET AREA DETAILS |
| 12 | STORMWATER PLAN |



**Wisdom
Smart
Theeasystart**
Ph: 4647 1200
Fax: 4647 1233
www.wisdomsmart.com.au

PROJECT: PROPOSED SINGLE-STOREY BRICK VENEER DWELLING
JOB No: 003534
CLIENT: Mr M. He. & Ms P. Ou
ADDRESS: Lot 2359 William Hart Crescent
Thornton Estate

AREAS SCHEDULE

SITE DETAILS

LOT NUMBER: 2359
 DP NUMBER: UNREG'D
 SITE AREA: 270m²

DWELLING AREAS

GROUND FLOOR LIVING: 118.37m²
 GARAGE: 19.89m²
 PORCH: 4.44m²

TOTAL FLOOR AREA: 142.70m²

DRIVEWAY AND PATH AREA: 15.94m²

ROOF AREA: 159.77m²
 (ROOF AREA TO R/WATER TANK AS PER BASIX CERTIFICATE)

PRIVATE OPEN SPACE:
 (min. dimension of 2m)
 REQUIRED (min.): 54m² / 20%
 PROPOSED: 73.43m² 28.57%

PRINCIPLE PRIVATE OPEN SPACE:
 (min. dimension of 3m)
 REQUIRED (min.): 3 X 6 = 18m²

'M' CLASS
 (subject to borehole report)

LOT: 2359
 AREA: 270m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

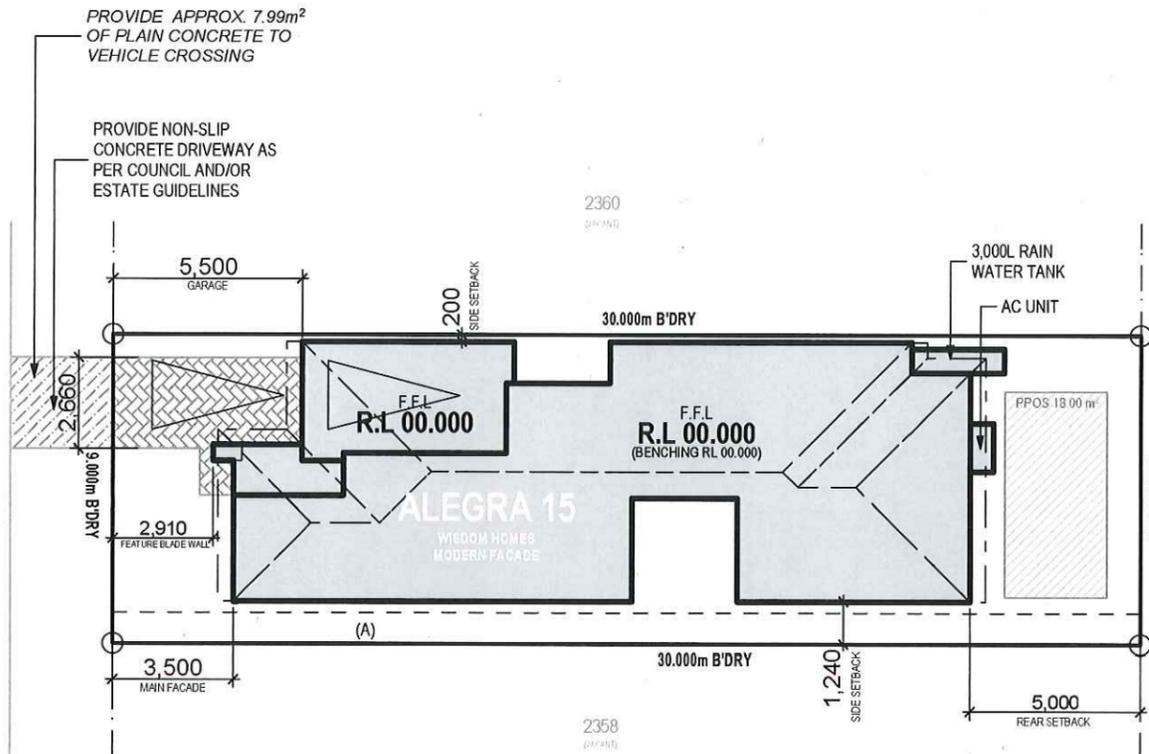
(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)



PRELIMINARY DEPOSITED PLAN

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WILLIAM HART CRESCENT



BASIX NOTES

WATER

- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
- RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
- RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 159.77m² OF ROOF AREA.
- RAINWATER TANK SUPPLY TO BE CONNECT TO ALL TOILETS IN THE DEVELOPMENT.
- KITCHEN TAP FITTING RATING: 4 STAR
- SHOWERHEAD RATING: 3 STAR
- TOILET RATING (DUAL FLUSH): 4 STAR
- BATHROOM TAP FITTING RATING: 6 STAR
- RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMFORT

- EXTERNAL WALLS: BRICK VEENER/TIMBER FRAME
- EXTERNAL WALL INSULATION: R2.0
- EXTERNAL WALL COLOUR: MEDIUM
- ROOFING MATERIAL: CONCRETE ROOF TILES
- ROOF INSULATION: SARKING
- ROOF COLOUR: MEDIUM
- CEILING INSULATION: R3.5

ENERGY

- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0). TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS. TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
- PROVIDE GAS 6 STAR INSTANTANEOUS HWS.
- PROVIDE GAS COOKTOP TO KITCHEN.
- PROVIDE ELECTRIC OVEN TO KITCHEN.
- ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
- PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT POINTS.
- PROVIDE OUTDOOR CLOTHES LINE BY OWNER.



SITE PLAN
 1:200

- NOTES:**
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LODGEMENT:
 D.A/C.C

- EXHAUST FAN
- SMOKE DETECTOR. AS 3786-1993

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JOB No:
 003534

LGA:
 PENRITH

DESCRIPTION:
 ALEGRA 15

CODE:
 WS-ALEG15S MO-RH

DRAWN:
 D.C

DATE:
 13/05/14

SITE CLASSIFICATION:
 M' CLASS (subject to borehole report)

FAÇADE:
 Modern

SHEET:
 1

'M' CLASS
(subject to borehole report)

LOT: 2359
AREA: 270m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)



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PROVIDE 1.80m HIGH SECURITY FENCE TO PERIMETER OF SITE AS PER COUNCIL REQUIREMENTS.

PROVIDE TEMPORARY STABILISED VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)

PROVIDE SEDIMENT CONTROL FENCE AS PER COUNCIL REQUIREMENTS.

BENCHING PLAN
1:200

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JOB No:
003534

LGA:
PENRITH

DESCRIPTION:
ALEGRA 15

CODE:
WS-ALEG15S MO-RH

DRAWN:
D.C

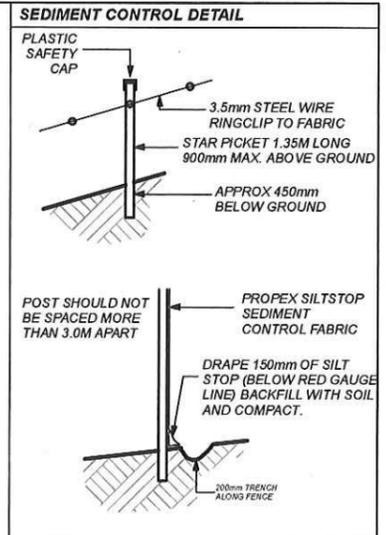
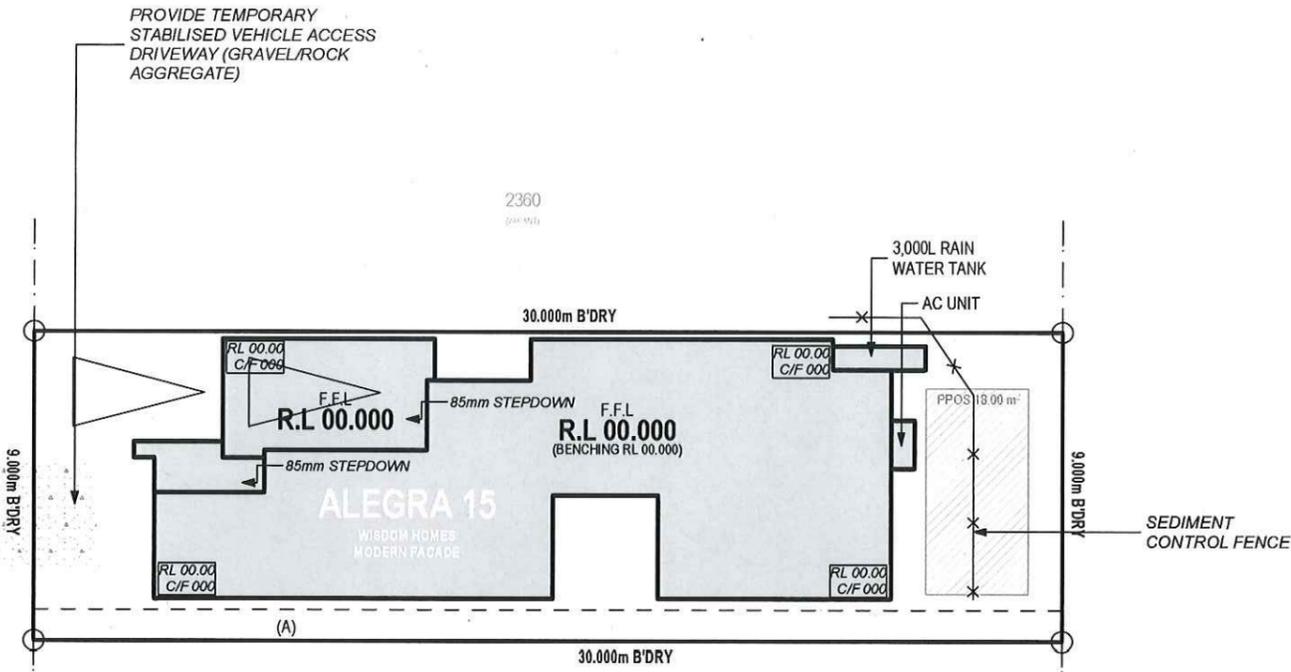
DATE:
13/05/14

SITE CLASSIFICATION:
'M' CLASS (subject to borehole report)

FAÇADE:
Modern

SHEET:
2

WILLIAM HART CRESCENT



Thorton Design Review Panel
LANDCOM
Reviewed *[Signature]* Date 21/7/14

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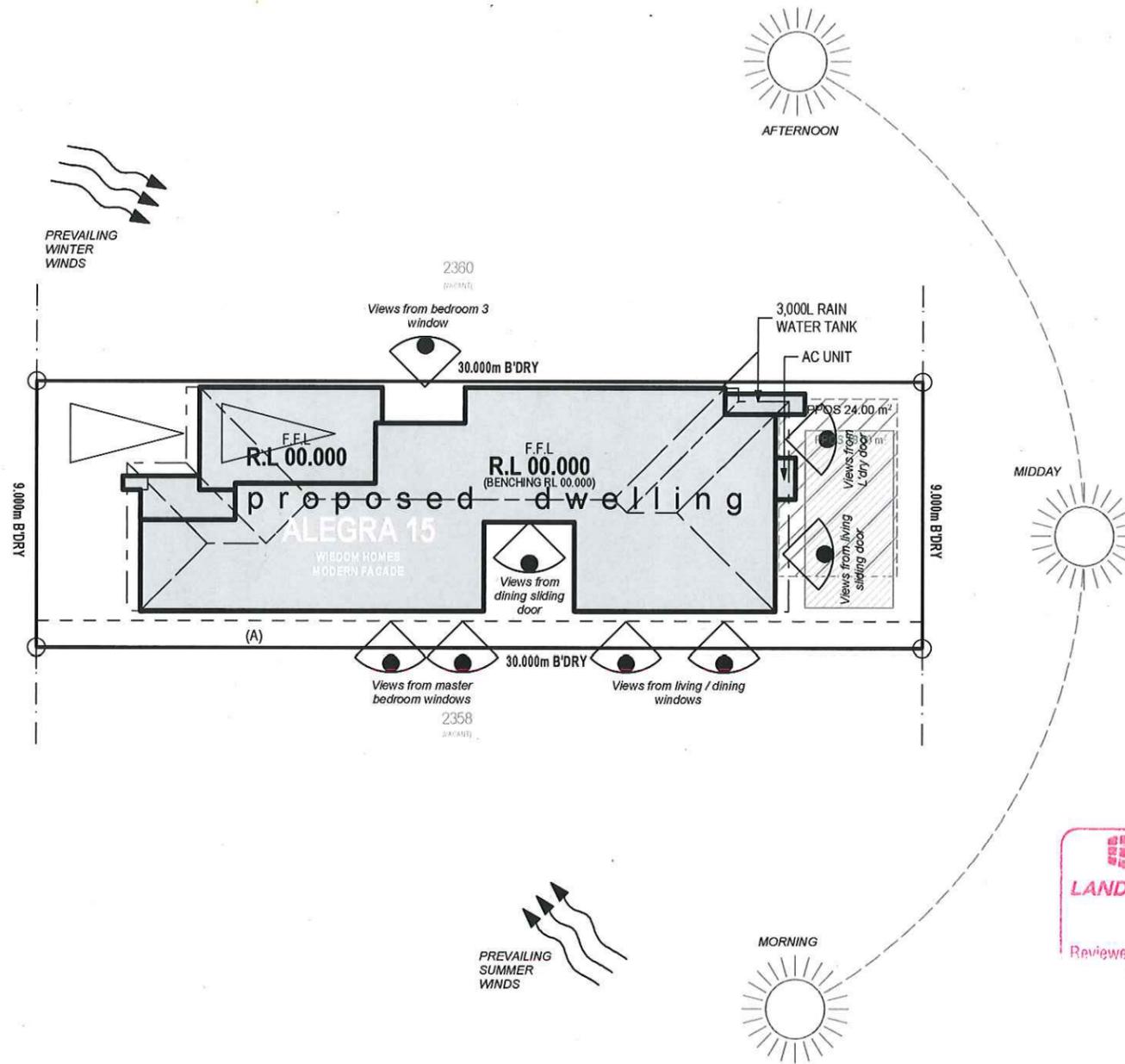
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WILLIAM HART CRESCENT



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LANDCOM
Reviewed *[Signature]* Date 21/7/14

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SITE ANALYSIS PLAN
1:200

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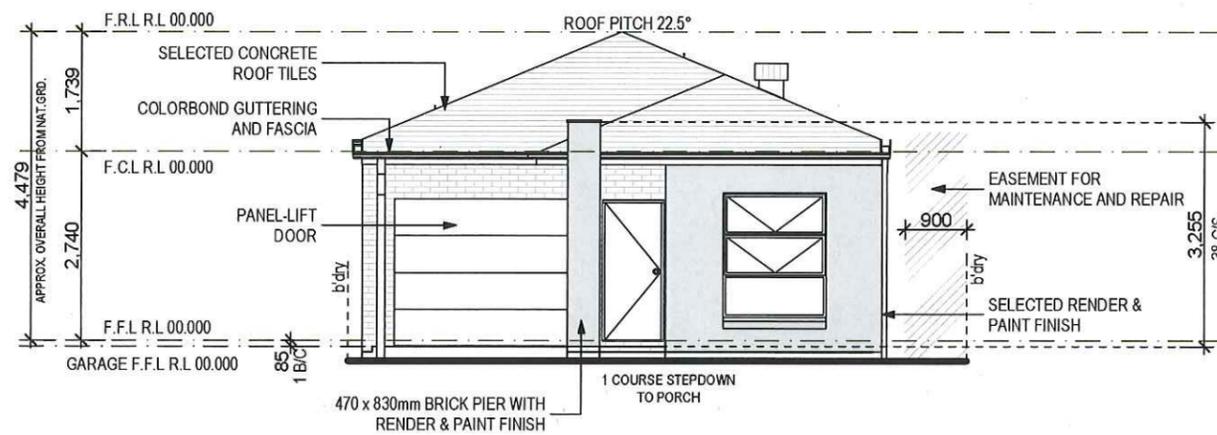
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D.A/C.C
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SMOKE DETECTOR. AS 3786-1993

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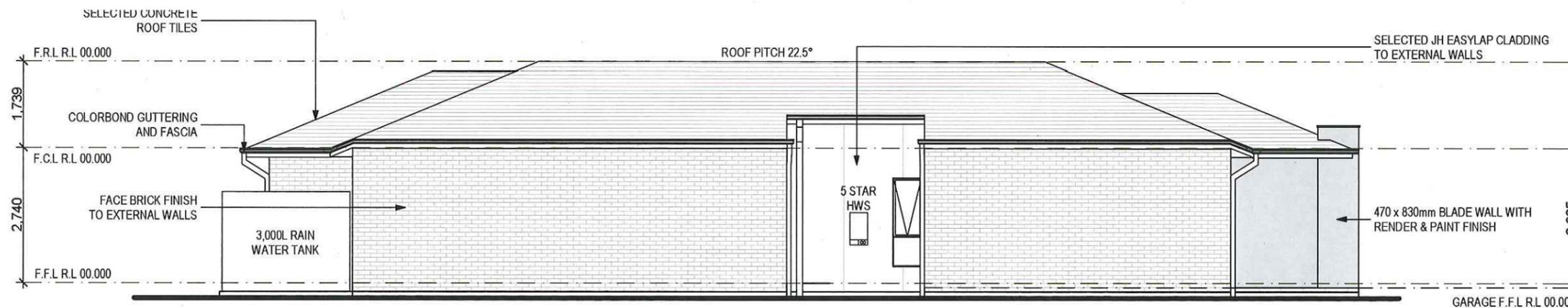
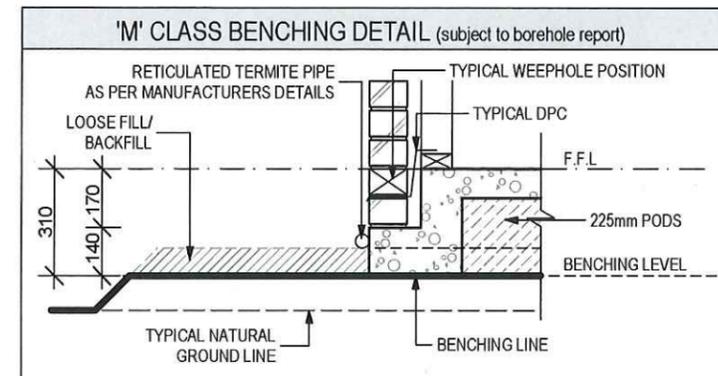
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| B-5 | UPDATE CLIENT NAME | SI | 10.06.14 |

JOB No:
003534
LGA:
PENRITH
DESCRIPTION:
ALEGRA 15
CODE:
WS-ALEG15S MO-RH

DRAWN:
D.C
DATE:
13/05/14
SITE CLASSIFICATION:
M' CLASS (subject to borehole report)
FACADE:
Modern
SHEET:
3



FRONT/SOUTH ELEVATION
1:100



LEFT/WEST ELEVATION
1:100

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LANDCOM
Reviewed *[Signature]* Date 8/7/14

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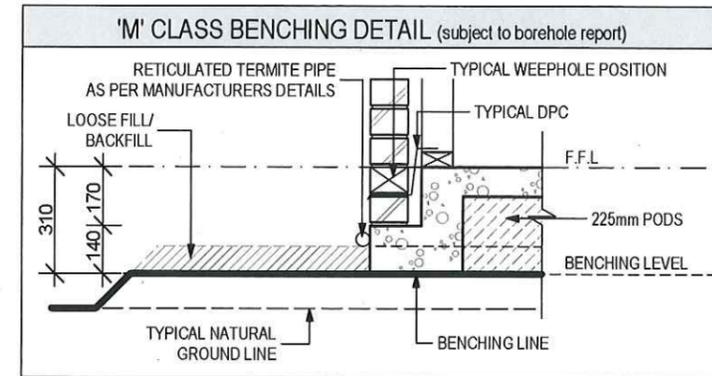
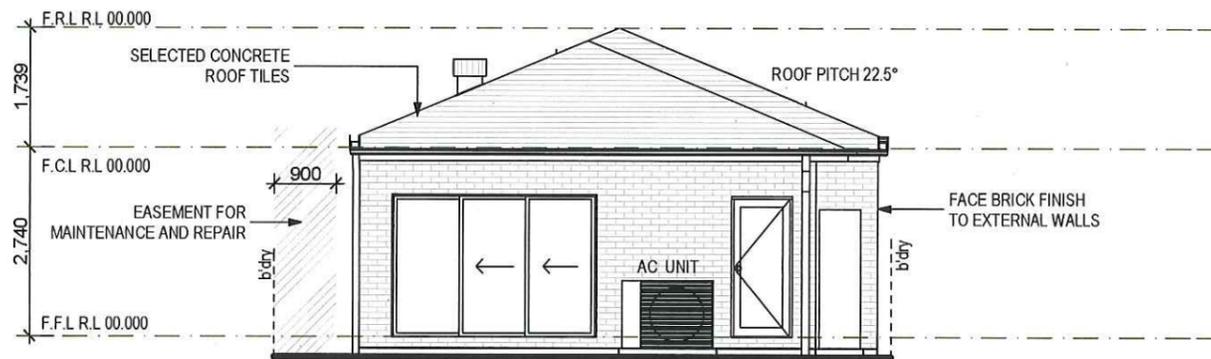
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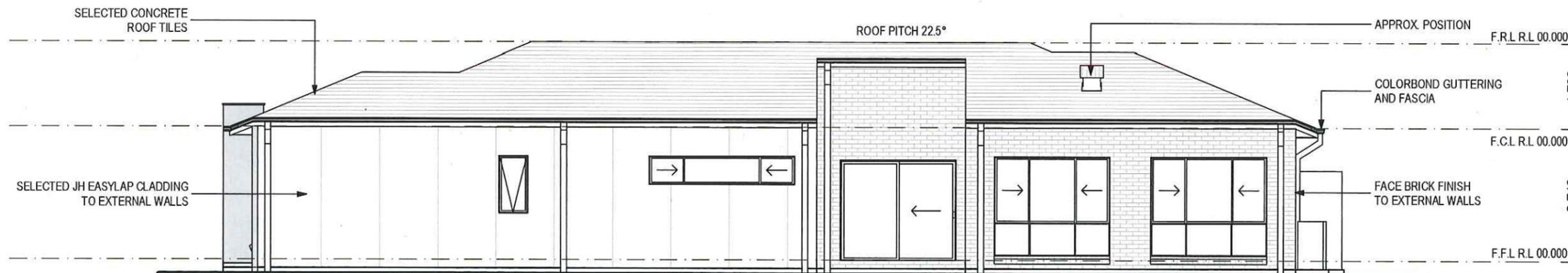
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 13/05/14
 SITE CLASSIFICATION:
 M' CLASS (subject to borehole report)
 FACADE:
 Modern
 SHEET:
5



REAR/NORTH ELEVATION
1:100



RIGHT/EAST ELEVATION
1:100

Thorton Design Review Panel
LANDCOM
Reviewed *[Signature]* Date 2/7/14

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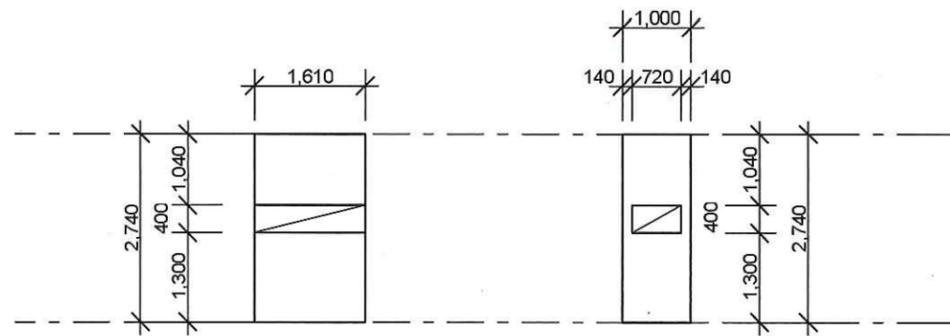
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SITE CLASSIFICATION:
M' CLASS (subject to borehole report)
FAÇADE:
Modern
SHEET:
6

| Window Schedule | | | | | | | | | |
|-----------------|-----------------|-------------|-------|-----------|------------|--------------|--------------------|------------|-------|
| Window No. | Type | Window Size | | Plan View | Elev. View | Glazing | Frame & Reveal | Flyscreens | Other |
| | | Height | Width | | | | | | |
| W1 | AAA1815 Special | 1,800 | 1,500 | | | Single clear | 240mm Brick veneer | - | - |
| W2 | AA1206 | 1,191 | 600 | | | Single obs. | 90mm Timber frame | - | - |
| W3 | AS0630 Special | 590 | 3,010 | | | Single clear | 90mm Timber frame | - | - |
| W4 | AS2024T | 2,042 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| W5 | AS2024T | 2,042 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| W6 | AS2008T | 2,042 | 800 | | | Single clear | 240mm Brick Veneer | - | - |
| W7 | AA1806T | 1,800 | 600 | | | Single obs. | 90mm Timber frame | - | - |

| Door Schedule | | | | | | | | | |
|---------------|-----------------------------|-----------|-------|-----------|------------|--------------|--------------------|------------|-------|
| Door No. | Type | Door Size | | Plan View | Elev. View | Glazing | Frame & Reveal | Flyscreens | Other |
| | | Height | Width | | | | | | |
| D1 | MEF 5 | 2,040 | 820 | | | - | 240mm Brick Veneer | - | - |
| D2 | MEF 5 | 2,040 | 820 | | | - | 240mm Brick Veneer | - | - |
| D3 | MEF 5 | 2,040 | 820 | | | Single clear | 240mm Brick Veneer | - | - |
| D4 | TSD2030 | 2,065 | 3,000 | | | Single clear | 240mm Brick Veneer | - | - |
| D5 | TXD2024 | 2,065 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| D6 | TXD2024 | 2,065 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| D7 | TXD2024 | 2,065 | 2,391 | | | Single clear | 90mm Timber frame | - | - |
| D8 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D9 | Int. 2 x 620mm hung door | 2,040 | 1,240 | | | - | 70mm Timber frame | - | - |
| D10 | Int. 2 x 620mm hung door | 2,040 | 1,240 | | | - | 70mm Timber frame | - | - |
| D11 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D12 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D13 | Int. 720mm hung door | 2,040 | 720 | | | - | 70mm Timber frame | - | - |
| D14 | Int. 720mm hung door | 2,040 | 720 | | | - | 70mm Timber frame | - | - |
| D15 | Int. 820mm CSD | 2,040 | 820 | | | - | 90mm Timber frame | - | - |
| D16 | Int. 2 x 820mm sliding door | 2,040 | 1,640 | | | - | 70mm Timber frame | - | - |
| D17 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D18 | Int. 2 x 520mm hung door | 2,040 | 1,040 | | | - | 70mm Timber frame | - | - |
| D19 | Int. 720mm hung door | 2,040 | 720 | | | - | 70mm Timber frame | - | - |



DETAIL 'A'
SHOWER NICHE
ENSUITE

DETAIL 'B'
SHOWER NICHE
BATH

DETAILS
1:100

Thorton Design Review Panel
LANDCOM
Reviewed *[Signature]* Date 8/7/14

NOTES:
*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
*FLOOR FINISHES AS SELECTED AS PER TENDER.

Wisdom Smart

Ph: 4647 1200 Fax: 4647 1233
www.wisdomhomes.com.au

PROJECT:
PROPOSED SINGLE-STOREY BRICK VENEER DWELLING

ADDRESS:
Lot 2359 William Hart Crescent
Thornton Estate

CLIENT:
Mr M. He. & Ms P. Ou

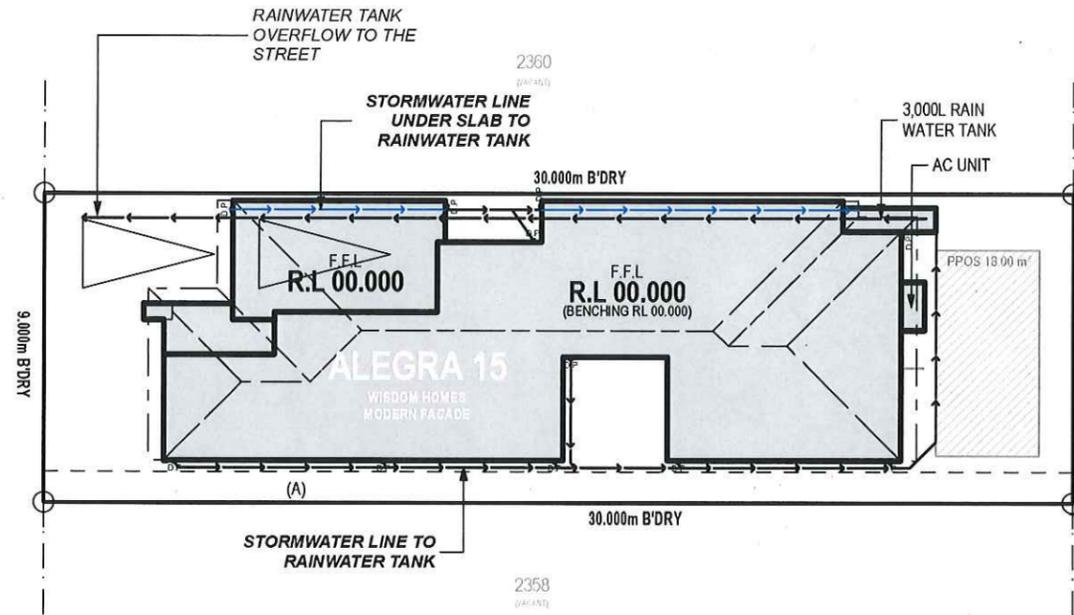
LODGEMENT:
D.A/C.C

- EXHAUST FAN
- SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

| REVISION SCHEDULE | | | | JOB No: | DRAWN: |
|-------------------|---|-------|----------|--------------|------------------|
| ISSUE | DESCRIPTION | DRAWN | DATE | 003534 | D.C |
| B-6 | BED 2 WINDOW CHANGE | AE | 17.06.14 | DATE: | 13/05/14 |
| B | CONTRACT PLAN AMENDMENTS | DC | 11/03/14 | LGA: | PENRITH |
| B-2 | CONTRACT PLAN AMENDMENTS | DC | 27/03/14 | DESCRIPTION: | ALEGRA 15 |
| B-3 | D.A PACK | D.W | 13.05/14 | CODE: | WS-ALEG15S MO-RH |
| B-4 | AMENDED PLANS AS PER VARIATION DATED 27.05.14 | AS | 03.06.14 | FAÇADE: | Modern |
| B-5 | UPDATE CLIENT NAME | SI | 10.06.14 | SHEET: | 8 |

WILLIAM HART CRESCENT



'M' CLASS
(subject to borehole report)

LOT: 2359
AREA: 270m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.



(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

PRELIMINARY DEPOSITED PLAN

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL

STORMWATER PLAN
1:200

Thorton Design Review Panel
LANDCOM
Reviewed *[Signature]* Date *13/05/14*

NOTES:
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*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
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- EXHAUST FAN
- SMOKE DETECTOR. AS 3786-1993

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| B-5 | UPDATE CLIENT NAME | SI | 10.06.14 |

JOB No:
003534
LGA:
PENRITH
DESCRIPTION:
ALEGRA 15
CODE:
WS-ALEG15S MO-RH

DRAWN:
D.C
DATE:
13/05/14
SITE CLASSIFICATION:
M' CLASS (subject to borehole report)
FACADE:
Modern
SHEET:
12

Lot 2359 William Hart

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

| SYMBOL | BOTANICAL NAME | COMMON NAME | QUANTITY | POT SIZE | MATURE SIZE |
|------------|------------------------------------|------------------|----------|----------|-------------|
| Aw | Agapanthus 'White' | White Agapanthus | 9 | 200mm | 0.5m |
| Bmm | Buxus microphylla var. microphylla | Dwarf Box Hedge | 18 | 200mm | 0.5m |
| Cbn | Catalpa bignonioides 'Nana' | Designer Catalpa | 1 | 75L | 5m |
| Sr | Strelitzia reginae | Bird of Paradise | 1 | 300mm | 1.5m |
| Vo | Viburnum odoratissimum | Sweet Viburnum | 12 | 300mm | 2.5m |

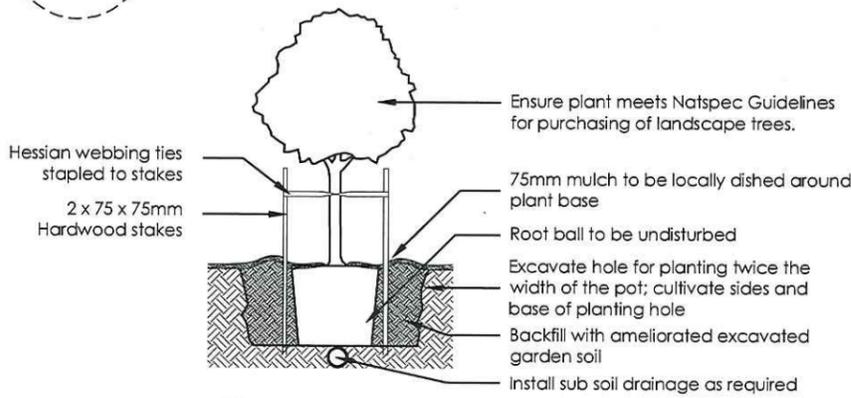
LOT PLANTING SUMMARY

| Total Plants | Total Fence Hedging | Street Planting | Other Shrubs/ground-covers | Total Trees |
|--------------|---------------------|-----------------|----------------------------|-------------|
| 41 | 6 | 9 | 26 | 1 |

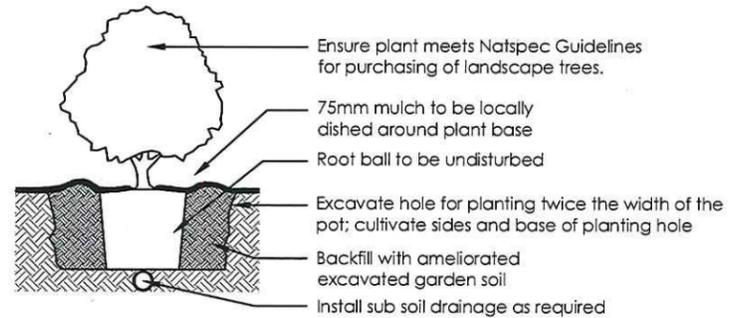


LEGEND

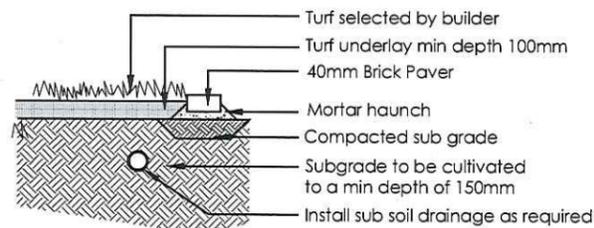
- Proposed trees - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Existing tree to be retained
- Existing tree to be removed
- Proposed shrubs - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Existing contours
- Boundary
- Garden edging
- Masonry retaining walls



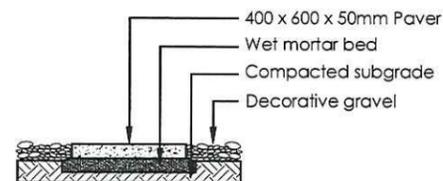
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



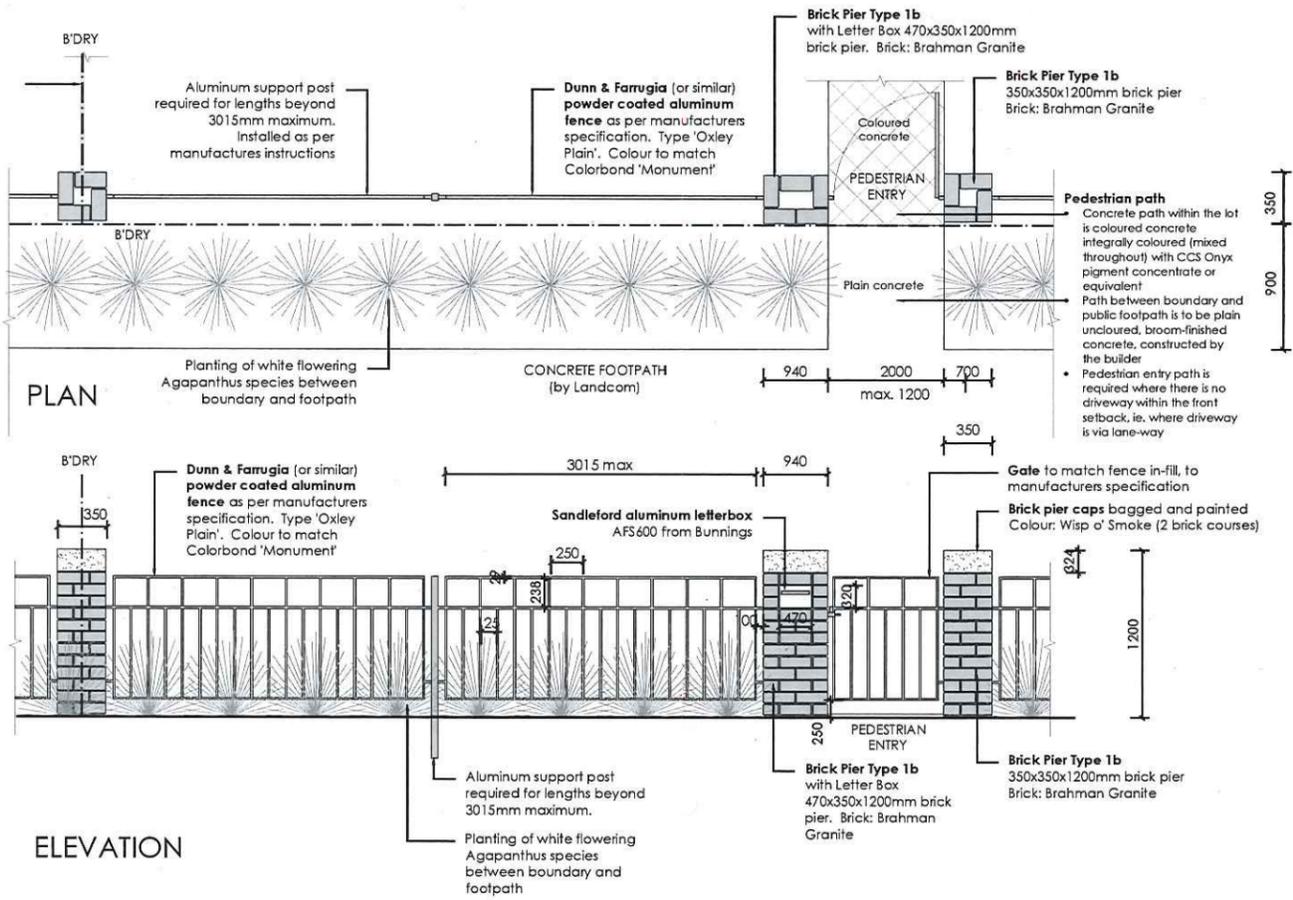
3 Turf Detail
NTS Brick Paver Edge



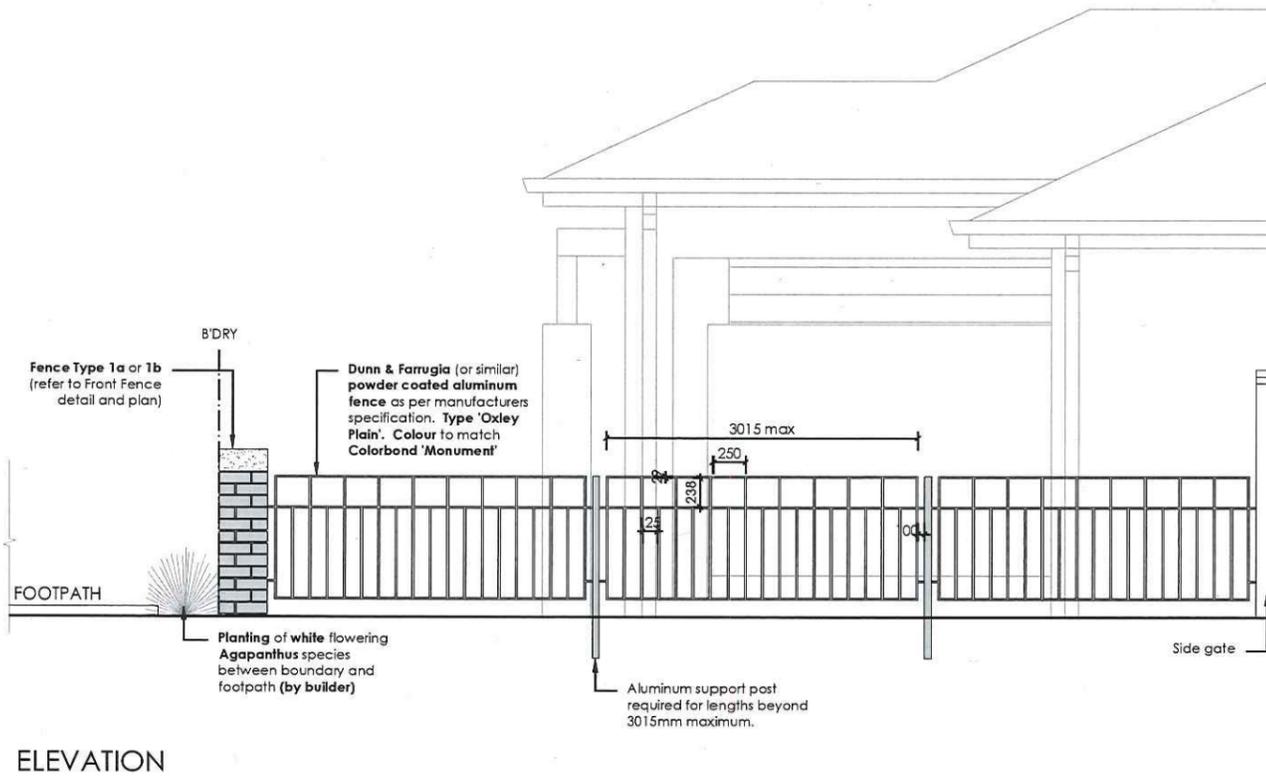
4 Stepping stones in gravel
NTS Low traffic zone

| <table border="1"> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>RS</td> <td>BT</td> <td>18-03-14</td> </tr> <tr> <td>B</td> <td>EXTEND STEPPERS AROUND REAR OF HOUSE</td> <td>RS</td> <td>RS</td> <td>18-03-14</td> </tr> <tr> <td>C</td> <td>AMEND FRONT FENCE TO TYPE 1B</td> <td>RS</td> <td>RS</td> <td>23-05-14</td> </tr> </table> | REVISION | DESCRIPTION | DRAWN | CHECK | DATE | A | ISSUE FOR CLIENT REVIEW | RS | BT | 18-03-14 | B | EXTEND STEPPERS AROUND REAR OF HOUSE | RS | RS | 18-03-14 | C | AMEND FRONT FENCE TO TYPE 1B | RS | RS | 23-05-14 | <p>PO Box 8136, Baulstham Hills, NSW 2153 Ph: (02) 9480 7712 Fax: (02) 9480 7705 Email: info@ecodeign.com.au Web: www.ecodeign.com.au Member of the ecodesign group of Landscape Designers and Managers</p> | <p>LOT 2359 WILLIAM HART CRESCENT, PENRITH</p> | <p>NEW RESIDENCE</p> |
|--|--|---------------------|-----------------------|--------------|------|---|-------------------------|----|----|----------|---|--------------------------------------|----|----|----------|---|------------------------------|----|----|----------|---|--|----------------------|
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| <p>1. Do not scale from drawings 2. Verify all measurements on site 3. Verify ecodeign of any inconsistencies 4. Copyright © ecodeign. All rights reserved 5. Drawing remains the property of ecodeign</p> | <p>4. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION</p> | <p>WISDOM HOMES</p> | <p>LANDSCAPE PLAN</p> | | | | | | | | | | | | | | | | | | | | |
| | | | <p>1:100 @ A3</p> | <p>DA 02</p> | | | | | | | | | | | | | | | | | | | |
| | | | <p>RS</p> | <p>RS</p> | | | | | | | | | | | | | | | | | | | |
| | | | <p>23-05-14</p> | <p>C</p> | | | | | | | | | | | | | | | | | | | |

Thornton Design Review Panel
 LANDCOM
 Reviewed by *[Signature]* Date 8/7/14



6 FENCE TYPE 1b - Front Fence
1:50 Typical detail



7 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

| REVISION | DESCRIPTION | DRAWN | CHECK | DATE |
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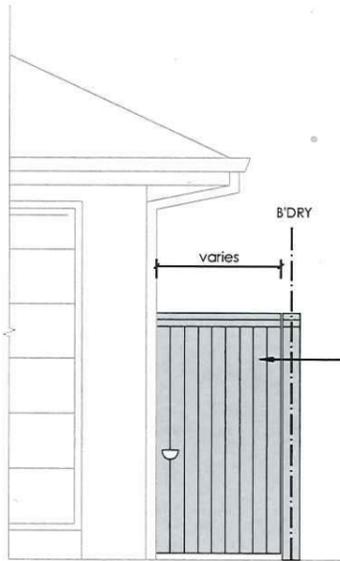
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 outdoor living environments
 PO Box 8136, Baulkham Hills NSW 2153
 Ph: (02) 9480 7712 Fax: (02) 9480 7708
 Email: info@ecodesign.com.au
 Web: www.ecodesign.com.au
 Member of the Australian Institute of Landscape Designers and Planners

PROJECT: LOT 2359 WILLIAM HART CRESCENT, PENRITH
 CLIENT: WISDOM HOMES

| PROJECT | | | |
|-------------------|-----------|----------------|-------------|
| NEW RESIDENCE | | | |
| LANDSCAPE PLAN | | | |
| SCALE: 1:100 @ A3 | DATE: DA | DRWT: 03 | |
| DRAWN: RS | CHECK: RS | DATE: 23-05-14 | REVISION: C |

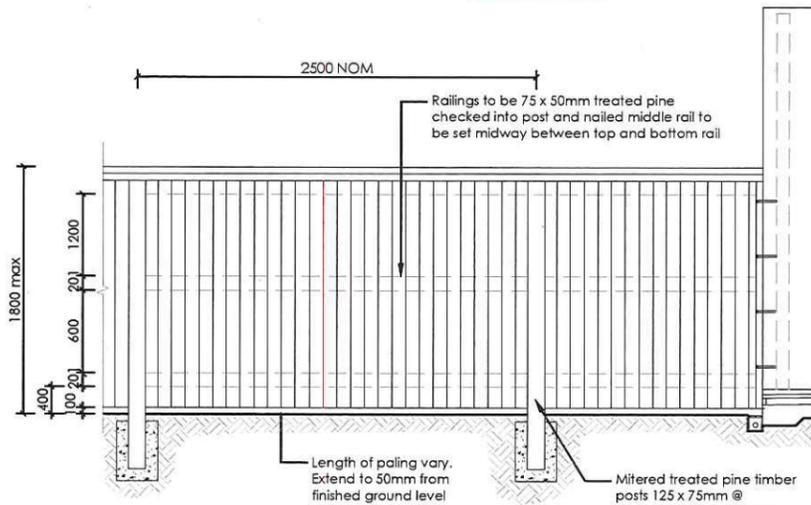


Thorton Design Review Panel
 LANDCOM
 Reviewed *[Signature]* Date 8/7/14

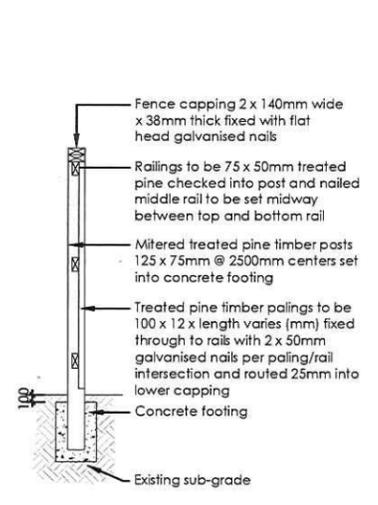


SIDE GATE

Note
 All gates and boundary side fencing that can be seen from the street must be painted in Colour 'Monument'. Where fence is only between the lots and not seen from the street, it can be left natural.

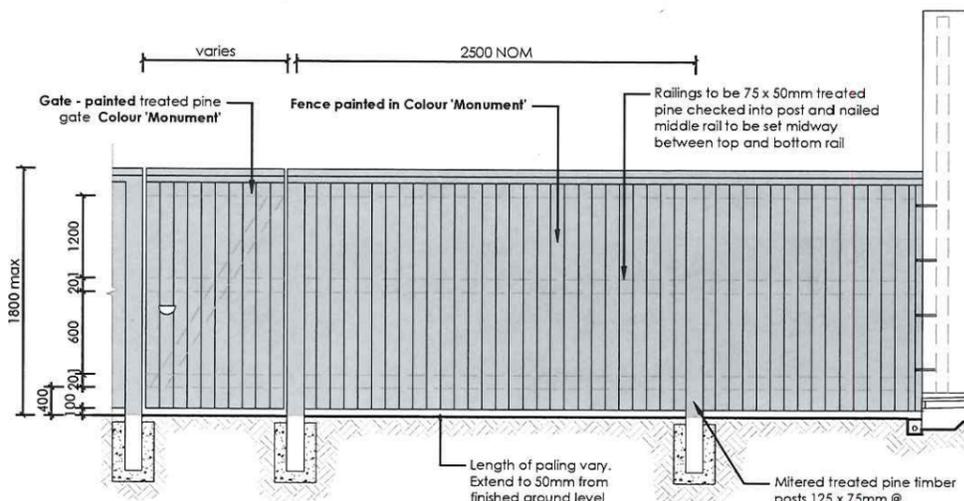


LOT BOUNDARY

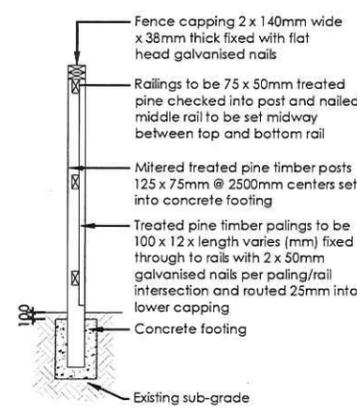


SECTION

8 FENCE TYPE 4a - Side Boundaries
 1:50 Typical detail



ELEVATION



SECTION

9 FENCE TYPE 4b - Rear Boundary
 1:50 All Laneways (except Barlett Lane)
 Typical detail

| REVISION | DESCRIPTION | DESIGN | CHECK | DATE |
|----------|--------------------------------------|--------|-------|----------|
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Member of the Australian Institute of Landscape Designers (AILD) and the Australian Institute of Professional Designers (AIPD)

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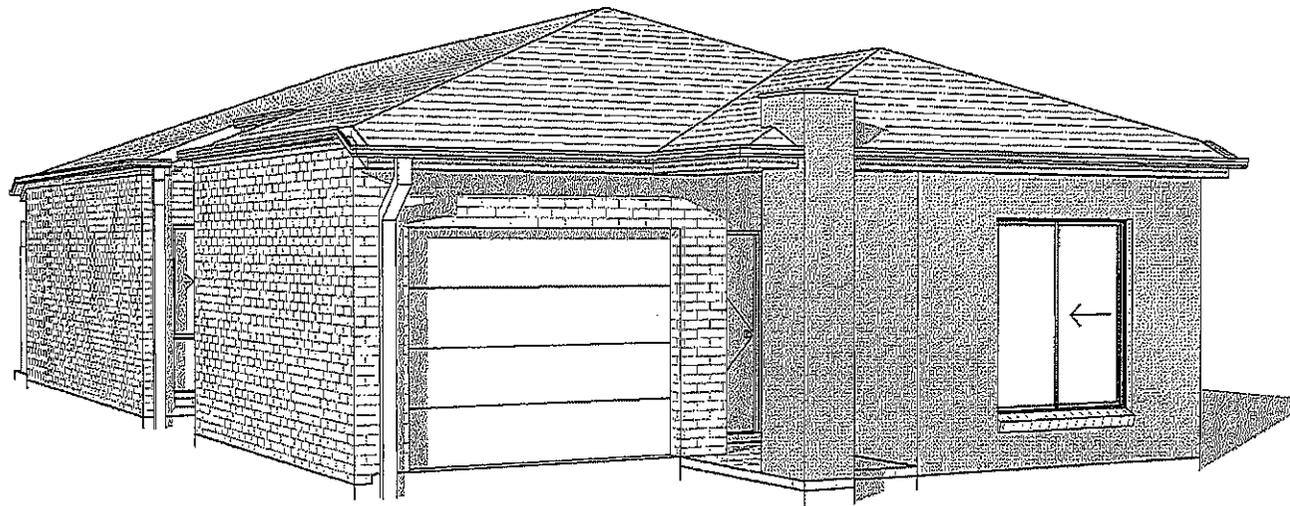
6. All work to comply with relevant Australian Standards or Building Code of Australia
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| | |
|---------|---|
| PROJECT | LOT 2359 WILLIAM HART CRESCENT, PENRITH |
| CLIENT | WISDOM HOMES |

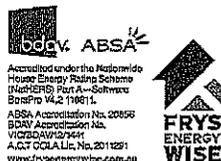
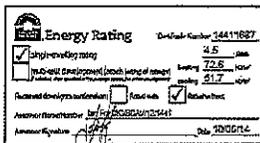
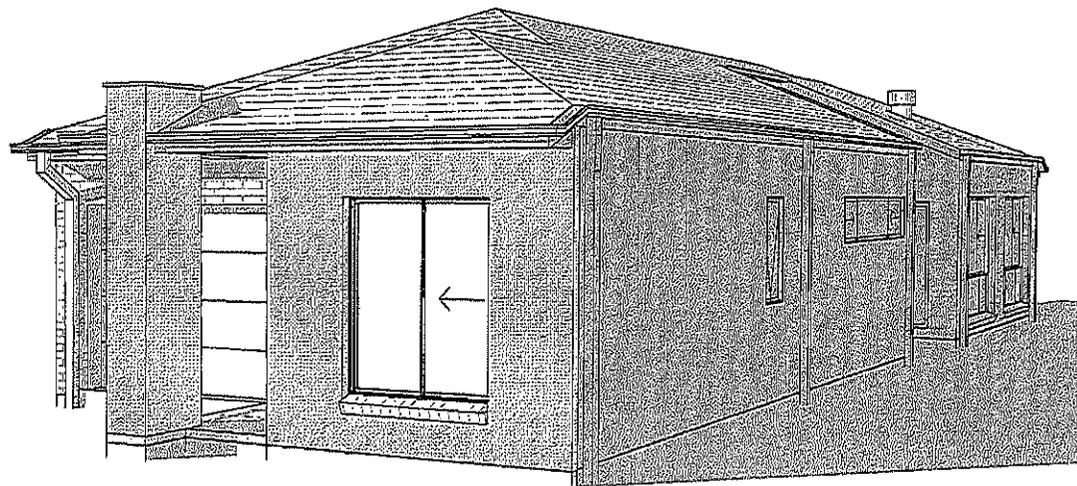
| | |
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| PROJECT | NEW RESIDENCE |
| REVISION | LANDSCAPE PLAN |
| SCALE | 1:100 @ A3 |
| DATE | DA 04 |
| DESIGNER | RS |
| CHECKER | RS |
| DATE | 23-05-14 |
| REVISION | C |



Alegra 15 - Modern



| Page | Drawing |
|------|----------------------|
| | TITLE PAGE |
| 1 | SITE PLAN |
| 2 | BENCHING PLAN |
| 3 | SITE ANALYSIS PLAN |
| 4 | FLOOR PLAN |
| 5 | ELEVATIONS |
| 6 | ELEVATIONS |
| 7 | SECTIONS |
| 8 | WINDOW/DOOR SCHEDULE |
| 9 | ELECTRICAL PLAN |
| 10 | WET AREA DETAILS |
| 11 | WET AREA DETAILS |
| 12 | STORMWATER PLAN |



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| | | | |
|----------|---|---------|--------|
| PROJECT: | PROPOSED SINGLE-STOREY BRICK VENEER DWELLING | JOB No: | 003534 |
| CLIENT: | Mr M. He. & Ms P. Ou | | |
| ADDRESS: | Lot 2359 William Hart Crescent Thornton Estate | | |

AREAS SCHEDULE

SITE DETAILS
 LOT NUMBER: 2359
 DP NUMBER: UNREG'D
 SITE AREA: 270m²

DWELLING AREAS
 GROUND FLOOR LIVING: 118.37m²
 GARAGE: 19.89m²
 PORCH: 4.44m²

TOTAL FLOOR AREA: 142.70m²
 DRIVEWAY AND PATH AREA: 15.94m²

ROOF AREA: 159.77m²
 (ROOF AREA TO R/WATER TANK AS PER BASIX CERTIFICATE)

PRIVATE OPEN SPACE:
 (min. dimension of 2m)
 REQUIRED (min.): 54m² / 20%
 PROPOSED: 73.43m² 28.57%

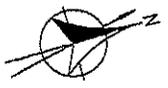
PRINCIPLE PRIVATE OPEN SPACE:
 (min. dimension of 3m)
 REQUIRED (min.): 3 X 6 = 18m²



LOT: 2359
 AREA: 270m²

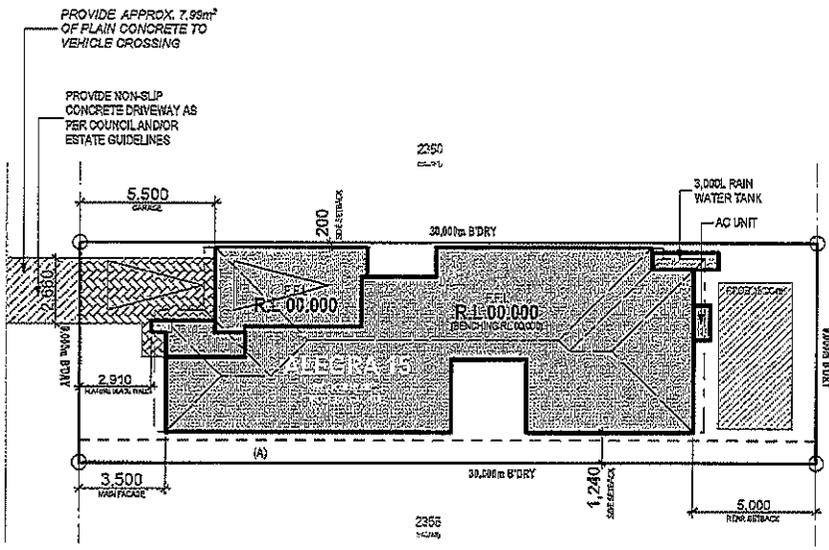
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(A) BASEMENT FOR MAINTENANCE AND SUPPORT 0.5 WIDE (ASSUMED)



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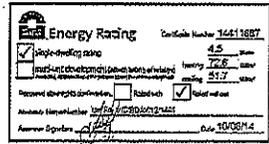
WILLIAM HART CRESCENT



BASIX NOTES

- WATER**
- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
 - RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
 - RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 159.77m² OF ROOF AREA.
 - RAINWATER TANK SUPPLY TO BE CONNECTED TO ALL TOILETS IN THE DEVELOPMENT.
 - KITCHEN TAP FITTING RATING: 4 STAR
 - SHOWERHEAD RATING: 3 STAR
 - TOILET RATING (DUAL FLUSH): 4 STAR
 - BATHROOM TAP FITTING RATING: 6 STAR
 - RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.
- THERMAL COMFORT**
- EXTERNAL WALLS: BRICK VEENER/TIMBER FRAME
 EXTERNAL WALL INSULATION: R2.0
 EXTERNAL WALL COLOUR: MEDIUM
 ROOFING MATERIAL: CONCRETE ROOF TILES
 ROOF INSULATION: SARKING
 ROOF COLOUR: MEDIUM
 CEILING INSULATION: R3.5
- ENERGY**
- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0), TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS, TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
 - PROVIDE GAS 6 STAR INSTANTANEOUS HWWS.
 - PROVIDE GAS COOKTOP TO KITCHEN.
 - PROVIDE ELECTRIC OVEN TO KITCHEN.
 - ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
 - PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT FIXTURES.
 - PROVIDE OUTDOOR CLOTHES LINE BY OWNER.

SITE PLAN
 1:200



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 EXHAUST FAN
 SMOKE DETECTOR, AS 3788-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTROL SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEER'S DETAILS. WHERE ENGINEER'S STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERING PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

| REVISION SCHEDULE | | | |
|-------------------|---|-------|----------|
| ISSUE | DESCRIPTION | DRAWN | DATE |
| A | CONTRACT PLAN | DC | 24/02/14 |
| B | CONTRACT PLAN AMENDMENTS | DC | 11/03/14 |
| B-2 | CONTRACT PLAN AMENDMENTS | DC | 27/03/14 |
| B-3 | D.A PACK | D.W | 13/05/14 |
| B-4 | AMENDED PLANS AS PER VARIATION DATED 27.05.14 | AS | 03.05.14 |
| B-6 | UPDATE CLIENT NAME | SI | 10.06.14 |

JOB No:
 003534

DRAWN:
 D.C

DATE:
 13/05/14

LGAs:
 PENRITH

DESCRIPTION:
 ALEGRA 15

CODE:
 WS-ALEG15S MO-RH

FACE:
 Modern

SHEET:
 1

M CLASS
(RESIDENTIAL DEVELOPMENT)

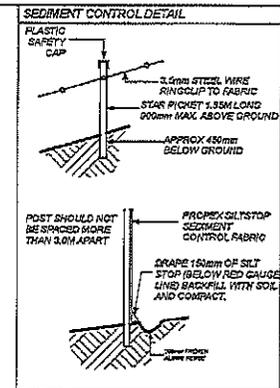
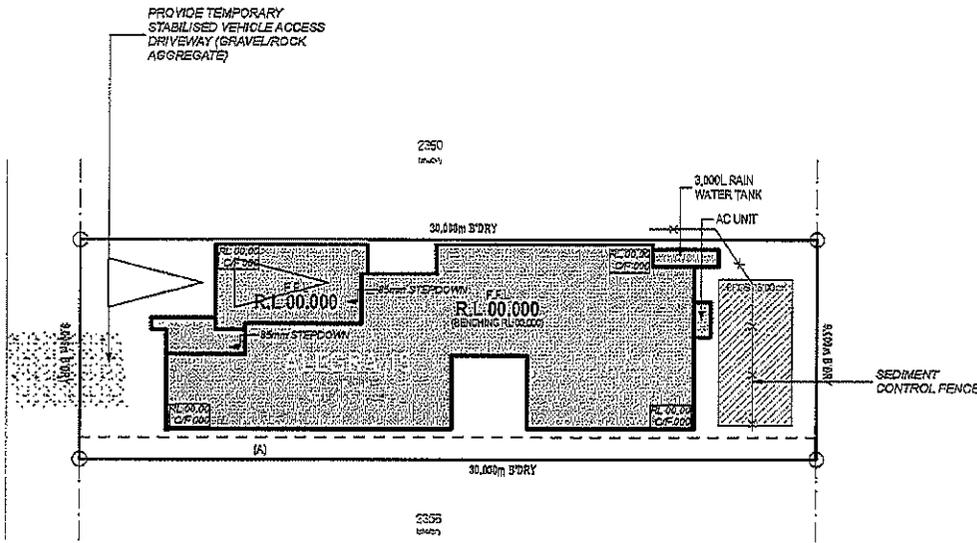
LOT: 2359
AREA: 270m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) BASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)



WILLIAM HART CRESCENT



PRELIMINARY DEPOSITED PLAN
THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL.

PROVIDE 1.80m HIGH SECURITY FENCE TO PERIMETER OF SITE AS PER COUNCIL REQUIREMENTS.

PROVIDE TEMPORARY STABILISED VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)

PROVIDE SEDIMENT CONTROL FENCES PER COUNCIL REQUIREMENTS.

| | | |
|---|------------------------------|---|
| Energy Rating | | Dr4664 Number: 54411687 |
| <input checked="" type="checkbox"/> 4.5 | <input type="checkbox"/> 4.0 | |
| <input type="checkbox"/> 3.5 | <input type="checkbox"/> 3.0 | |
| <input type="checkbox"/> 2.5 | <input type="checkbox"/> 2.0 | |
| <input type="checkbox"/> 1.5 | <input type="checkbox"/> 1.0 | |
| <input type="checkbox"/> 0.5 | <input type="checkbox"/> 0.0 | |
| Approved design/contractor: | Subclass: | <input checked="" type="checkbox"/> Other: none |
| Approved/Authoriser: | Signature: | Date: 10/05/14 |

BENCHING PLAN
1:200

NOTES:
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL DEAM AND FLOR JOIST LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
TAG DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (ROOF LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.

Wisdom Smart
Ph: 4647 1200 Fax: 4647 1233
www.wisdomhomes.com.au

PROJECT:
PROPOSED SINGLE-STOREY BRICK VENEER DWELLING
ADDRESS:
Lot 2359 William Hart Crescent
Thornton Estate
CLIENT:
Mr M. He. & Ms P. Ou

LODGE:
D./A./C.
 EXHAUST FAN
 SMOKE DETECTOR, AS 3786-1993

NOTE: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTIGUOUS SURVEY. PRESERVE BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE SECURED THE ENGINEERING PLAN WILL TAKE PRECEDENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

| REVISION SCHEDULE | | | |
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| B-4 | AMENDED PLANS AS PER VARIATION DATED 27.05.14 | AS | 03.06.14 |
| B-5 | UPDATE CLIENT NAME | SI | 10.06.14 |

JOB No:
003534
LGA:
PENRITH
DESCRIPTION:
ALEGRA 15
CODE:
WS-ALEG15S MO-RH
DRAWN:
D.C
DATE:
13/05/14
SITE CLASSIFICATION:
M CLASS
PACKAGE:
Modern
SHEET:
2

M1 CLASS
(Subject to Council Approval)

LOT: 2359
AREA: 270m²

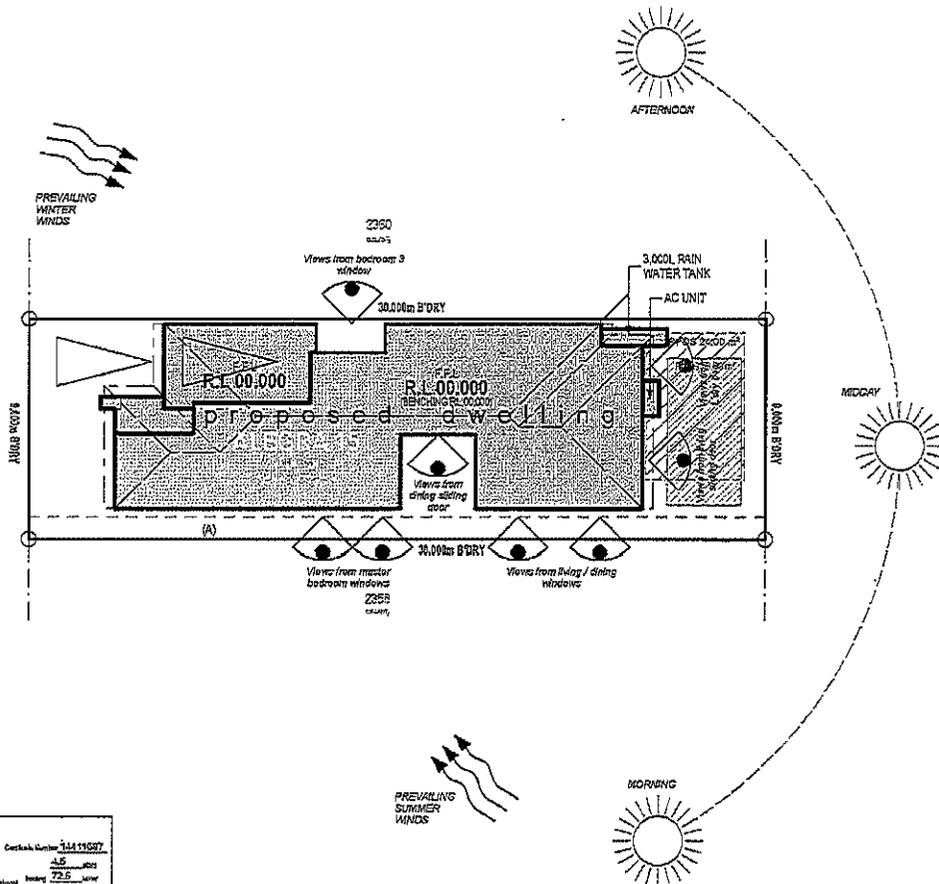
EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED)
DATUM POINT 020mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) BASEMENT FOR MAINTENANCE AND SUPPORT 0.8 WIDE (ASSUMED)

PRELIMINARY DEPOSITED PLAN
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WILLIAM HART CRESCENT



| | |
|---|--------------------------|
| Energy Rating | Details Number: 14411937 |
| <input checked="" type="checkbox"/> Above 6.0 stars | Rating: 4.5 stars |
| <input type="checkbox"/> Multi-level development (each level of rating) | Rating: 7.5 stars |
| <input type="checkbox"/> Single level development | Rating: 5.5 stars |
| Approved by: [Signature] | Date: 10/06/14 |

NOTES:
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REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.

SITE ANALYSIS PLAN
1:200

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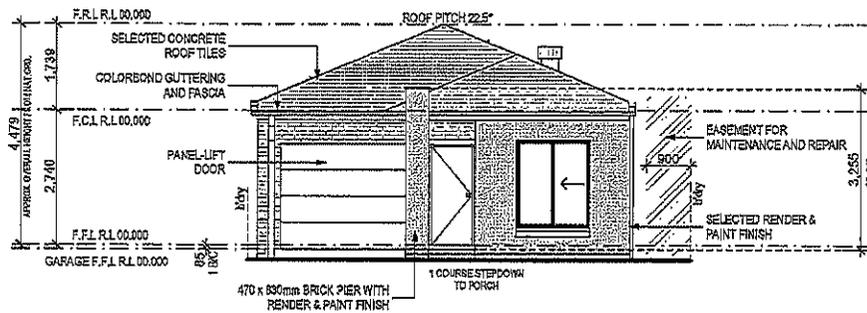
LODGEMENT:
D.A./C.C.
 EXHAUST FAN
 SMOKE DETECTOR, AS 3788-1993

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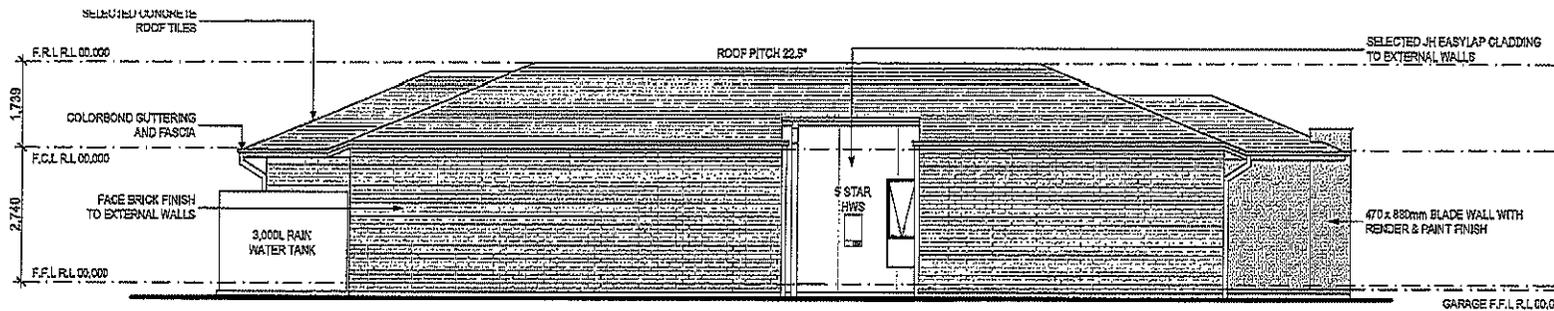
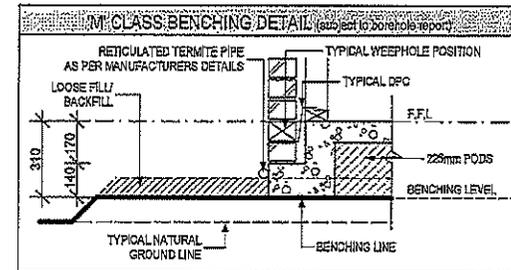
| REVISION SCHEDULE | | JOB No: | DRAWN: |
|-------------------|---|------------------|--|
| ISSUE | DESCRIPTION | 003534 | D.C |
| A | CONTRACT PLAN | LGA: | 13/05/14 |
| B | CONTRACT PLAN AMENDMENTS | PENRITH | SITE CLASSIFICATION: |
| B-2 | CONTRACT PLAN AMENDMENTS | DESCRIPTION: | M1 CLASS (Subject to Council Approval) |
| B-3 | D.A PACK | ALEGRA 15 | FRACADE: |
| B-4 | AMENDED PLANS AS PER VARIATION DATED 27.05.14 | CODE: | Modern |
| B-6 | UPDATE CLIENT NAME | WS-ALEG15S MO-RH | SHEET: |

DATE: 13/05/14
DATE: 13/05/14
DATE: 27/03/14
DATE: 13/05/14
DATE: 03.06.14
DATE: 10.06.14

3



FRONT/SOUTH ELEVATION
1:100



LEFT/WEST ELEVATION
1:100

Energy Rating Self Scale Number: 36411987

Energy Rating: 4.5

Energy Rating Legend: 4.5 (Green), 4.0 (Light Green), 3.5 (Yellow), 3.0 (Orange), 2.5 (Red), 2.0 (Dark Red), 1.5 (Black)

Energy Rating Legend: 4.5 (Green), 4.0 (Light Green), 3.5 (Yellow), 3.0 (Orange), 2.5 (Red), 2.0 (Dark Red), 1.5 (Black)

Energy Rating Legend: 4.5 (Green), 4.0 (Light Green), 3.5 (Yellow), 3.0 (Orange), 2.5 (Red), 2.0 (Dark Red), 1.5 (Black)

Energy Rating Legend: 4.5 (Green), 4.0 (Light Green), 3.5 (Yellow), 3.0 (Orange), 2.5 (Red), 2.0 (Dark Red), 1.5 (Black)

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Wisdom Smart

Ph: 4647 1200 Fax: 4647 1233
www.wisdomhomes.com.au

PROJECT:
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ADDRESS:
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Thornton Estate

CLIENT:
Mr M. He. & Ms P. Ou

LODGE/MENT:
D.A./C.C

EXHAUST FAN

SMOKE DETECTOR, AS 3786-1993

NOTER BOUNDARY CONDITIONS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL CONFORMANCE OF ANY BUILDING WORK WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS, LEVELS SHOWN AND BEARD ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR, DRAWINGS ARE TO BE READ IN CONSULTATION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS, WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEER'S PLAN WILL TAKE PRECEDENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WINDOW JOINER SEPARATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

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| B-5 | UPDATE CLIENT NAME | SI | 10.06.14 |

JOB No:
003534

DATE:
13/05/14

LG/:

PENRITH

DESCRIPTION:
ALEGRIA 15

CODE:
WS-ALEG15S MO-RH

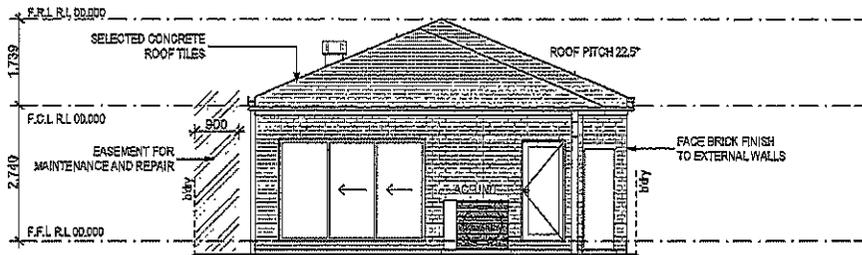
DRAWN:
D.C

DATE:
13/05/14

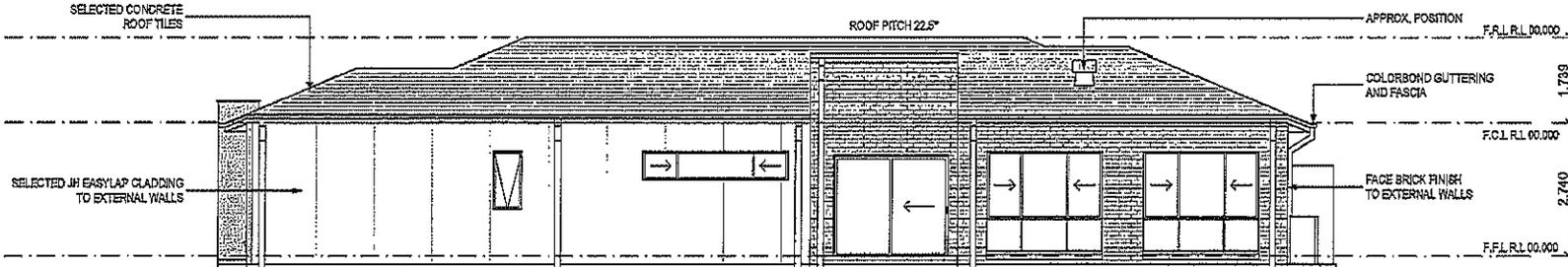
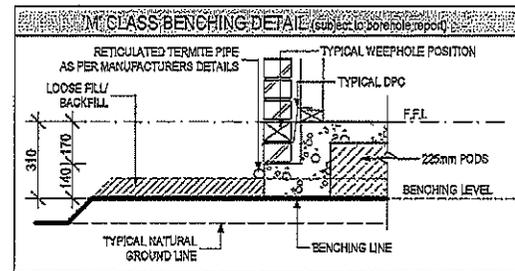
SITE CLASSIFICATION:
M CLASS

FACADE:
Modern

SHEET:
5



REAR/NORTH ELEVATION
1:100



RIGHT/EAST ELEVATION
1:100

Energy Rating Certificate Number: 14411557

Single dwelling heating 4.5 22.8
 Single dwelling cooling (split system) 21.7
 Single dwelling hot water 18.0
 Hot water tank

Approved Water Heating System: *[Signature]*
 Approved Date: 19/05/14

NOTES:
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 FLOOR FINISHES AS SELECTED AS PER TENDERS.

Wisdom Smart

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www.wisdomhomes.com.au

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CLIENT:
Mr M. He. & Ms P. Ou

LODGEMENT:
D.A/C.C

EXHAUST FAN
 SMOKE DETECTOR, AS 3785-1993

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| B-5 | UPDATE CLIENT NAME | SI | 10.08.14 |

JOB No:
003534

LGA:
PENRITH

DESCRIPTION:
ALEGRA 15

CODE:
WS-ALEG15S MO-RH

DRAWN:
D.C

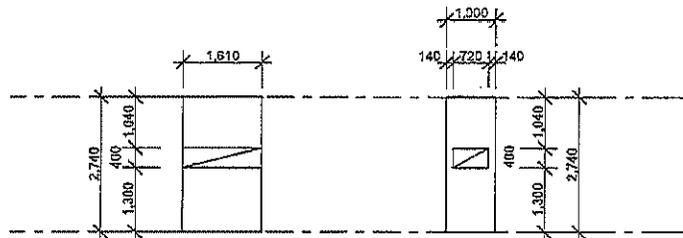
DATE:
13/05/14

SITE CLASSIFICATION:
M' CLASS (subject to local council requirements)

FACADE SHEET:
6

| Window Schedule | | | | | | | | | |
|-----------------|----------------|-------------|-------|-----------|------------|--------------|--------------------|------------|-------|
| Window No. | Type | Window Size | | Plan View | Elev. View | Glazing | Frame & Reveal | Flyscreens | Other |
| | | Height | Width | | | | | | |
| W1 | AS181S | 1,800 | 1,500 | | | Single clear | 240mm Brick veneer | - | - |
| W2 | AA120S | 1,191 | 600 | | | Single obs. | 90mm Timber frame | - | - |
| W3 | AS0630 Special | 590 | 3,010 | | | Single clear | 90mm Timber frame | - | - |
| W4 | AS2024T | 2,042 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| W5 | AS2024T | 2,042 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| W6 | AS2008T | 2,042 | 800 | | | Single clear | 240mm Brick Veneer | - | - |
| W7 | AA1808T | 1,800 | 600 | | | Single obs. | 90mm Timber frame | - | - |

| Door Schedule | | | | | | | | | |
|---------------|-----------------------------|-----------|-------|-----------|------------|--------------|--------------------|------------|-------|
| Door No. | Type | Door Size | | Plan View | Elev. View | Glazing | Frame & Reveal | Flyscreens | Other |
| | | Height | Width | | | | | | |
| D1 | MEF 5 | 2,040 | 820 | | | - | 240mm Brick Veneer | - | - |
| D2 | MEF 5 | 2,040 | 820 | | | - | 240mm Brick Veneer | - | - |
| D3 | MEF 5 | 2,040 | 820 | | | Single clear | 240mm Brick Veneer | - | - |
| D4 | TSD2030 | 2,085 | 3,000 | | | Single clear | 240mm Brick Veneer | - | - |
| D5 | TXD2024 | 2,065 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| D6 | TXD2024 | 2,065 | 2,391 | | | Single clear | 240mm Brick Veneer | - | - |
| D7 | TXD2024 | 2,065 | 2,391 | | | Single clear | 90mm Timber frame | - | - |
| D8 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D9 | Int. 2 x 620mm hung door | 2,040 | 1,240 | | | - | 70mm Timber frame | - | - |
| D10 | Int. 2 x 620mm hung door | 2,040 | 1,240 | | | - | 70mm Timber frame | - | - |
| D11 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D12 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D13 | Int. 720mm hung door | 2,040 | 720 | | | - | 70mm Timber frame | - | - |
| D14 | Int. 720mm hung door | 2,040 | 720 | | | - | 70mm Timber frame | - | - |
| D15 | Int. 820mm CSD | 2,040 | 820 | | | - | 90mm Timber frame | - | - |
| D16 | Int. 2 x 820mm sliding door | 2,040 | 1,640 | | | - | 70mm Timber frame | - | - |
| D17 | Int. 820mm hung door | 2,040 | 820 | | | - | 70mm Timber frame | - | - |
| D18 | Int. 2 x 520mm hung door | 2,040 | 1,040 | | | - | 70mm Timber frame | - | - |
| D19 | Int. 720mm hung door | 2,040 | 720 | | | - | 70mm Timber frame | - | - |



DETAIL 'A'
SHOWER NICHE
ENSUITE

DETAIL 'B'
SHOWER NICHE
BATH

DETAILS
1:100

| | | |
|--|-----------|-------------------------------|
| Energy Rating | | Certificate Number: 104115687 |
| <input checked="" type="checkbox"/> High-dwelling rating | 4.5 stars | |
| Detailed calculation method approved | | |
| Energy rating based on: 22.6 MJ/m²/year | | |
| Annual energy use: 21.7 MJ/m²/year | | |
| Approved energy and emission: <input type="checkbox"/> Standard <input checked="" type="checkbox"/> Reduced emission | | |
| Approved Manufacturer: WISDOM HOMES | | Date: 10/05/14 |

NOTES:
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A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED BY PERMITTEE.

| <p>Ph: 4647 1200 Fax: 4647 1233 www.wisdomhomes.com.au</p> | PROJECT: PROPOSED SINGLE-STOREY BRICK VENEER DWELLING ADDRESS: Lot 2359 William Hart Crescent Thornton Estate CLIENT: Mr M. He. & Ms P. Ou | LODGEMENT: D.A.C.C. <input checked="" type="checkbox"/> EXHAUST FAN <input checked="" type="checkbox"/> SMOKE DETECTOR, AS 3786-1993 | NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTIGUOUS SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEER DETAILS. HYDRO ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED. THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FINISHES DIMENSIONS TO BE READ IN PREFERENCE TO SEALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED. | <table border="1"> <thead> <tr> <th colspan="4">REVISION SCHEDULE</th> </tr> <tr> <th>ISSUE</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONTRACT PLAN</td> <td>DC</td> <td>24/02/14</td> </tr> <tr> <td>B</td> <td>CONTRACT PLAN AMENDMENTS</td> <td>DC</td> <td>11/03/14</td> </tr> <tr> <td>B-2</td> <td>CONTRACT PLAN AMENDMENTS</td> <td>DC</td> <td>27/03/14</td> </tr> <tr> <td>B-3</td> <td>D.A.PACK</td> <td>DJW</td> <td>13/05/14</td> </tr> <tr> <td>B-4</td> <td>AMENDED PLANS AS PER VARIATION DATED 27.05.14</td> <td>AS</td> <td>03.05.14</td> </tr> <tr> <td>B-5</td> <td>UPDATE CLIENT NAME</td> <td>SI</td> <td>10.05.14</td> </tr> </tbody> </table> | REVISION SCHEDULE | | | | ISSUE | DESCRIPTION | DRAWN | DATE | A | CONTRACT PLAN | DC | 24/02/14 | B | CONTRACT PLAN AMENDMENTS | DC | 11/03/14 | B-2 | CONTRACT PLAN AMENDMENTS | DC | 27/03/14 | B-3 | D.A.PACK | DJW | 13/05/14 | B-4 | AMENDED PLANS AS PER VARIATION DATED 27.05.14 | AS | 03.05.14 | B-5 | UPDATE CLIENT NAME | SI | 10.05.14 | JOB No: 003534 DRAWN: D.C. DATE: 13/05/14 SITE CLASSIFICATION: M1 CLASS FACADE: Modern SHEET: 8 |
|--|---|--|--|--|-------------------|--|--|--|-------|-------------|-------|------|---|---------------|----|----------|---|--------------------------|----|----------|-----|--------------------------|----|----------|-----|----------|-----|----------|-----|---|----|----------|-----|--------------------|----|----------|--|
| | REVISION SCHEDULE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ISSUE | DESCRIPTION | DRAWN | DATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A | CONTRACT PLAN | DC | 24/02/14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| B | CONTRACT PLAN AMENDMENTS | DC | 11/03/14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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M' CLASS

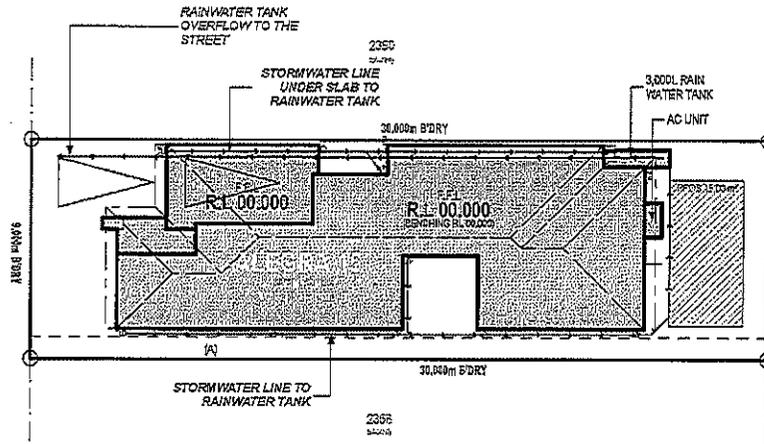
LOT: 2359
AREA: 270m²

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 030mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)



WILLIAM HART CRESCENT



PRELIMINARY DEPOSITED PLAN
THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL.

| | | |
|--|-------------|---------------------------|
| Energy Rating | | En-Trade Number: 12411687 |
| <input checked="" type="checkbox"/> Single-dwelling only | 4.5 | star |
| <input type="checkbox"/> Residential development (each level of energy rating is provided for each level of development) | 2.6 | star |
| Minimum acceptable percentage: | 100% | of the total |
| Actual percentage: | 100% | of the total |
| Contractor Signature: | [Signature] | Date: 10/06/14 |

STORMWATER PLAN
1:200

NOTES:
REFER TO ENGINEERS DETAILS FOR ALL EXHAUSTION JOINT LOCATIONS.
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOINT LOCATIONS AND DIRECTIONS.
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
RAG DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
FLOOR FINISHES AS SELECTED AS PER TENDER.

Wisdom Smart
Ph: 4647 1200 Fax: 4647 1233
www.wisdomhomes.com.au

PROJECT:
PROPOSED SINGLE-STOREY BRICK VENEER DWELLING

ADDRESS:
**Lot 2359 William Hart Crescent
Thornton Estate**

CLIENT:
Mr M. He. & Ms P. Ou

LODGE/MENT:
D.A.C.C

EXHAUST FAN
SMOKE DETECTOR, AS 3785-1998

NOTE: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PRECEDENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SIZING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

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| B-5 | UPDATE CLIENT NAME | SI | 10.06.14 |

JOB No:
003534

DATE:
13/05/14

LSA:
PENRITH

DESCRIPTION:
ALEGRA 15

CODE:
WS-ALEG15S MO-RH

DRAWN:
D.C

SITE CLASSIFICATION:
M' CLASS (subject to council report)

FAÇADE:
Modern

SHEET:
12