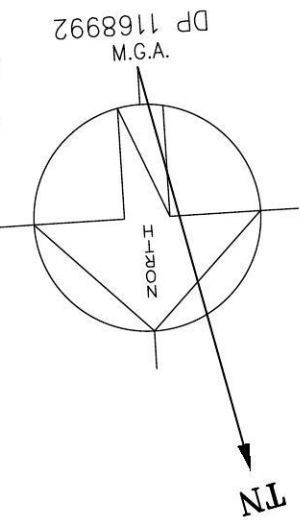


NORTH



(B) EASEMENT TO DRAIN WATER 1.5 WIDE

LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 144 REF: Appr

LOT 2189
D.P: 1168992
L.G.A: PENRITH

DP 1168991
LOT 2137

BRICK
RESIDENCE
TILE ROOF

VER.

(B)

LOT 2189
555.90m²

**PROPOSED
RESIDENCE**
FFL R.L. 20.485
FGL R.L. 20.100
 (Levels are +/-100mm)

LOT 2188
VACANT

Shadow outline for JUN21-9.00am

ILLOURA WAY

181201
RL20.34

W/M
CONN.

W/M
CONN.

TP TP

EL 116905

826833

BM 04
RL 20.00
(ASSUMED)

MILPERA STREET

SHADOW DIAGRAM @ 21st JUNE - 9am

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300
 Document Set ID: 6567056

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 # DIMENSIONS TO BE READ IN
 PREFERENCE TO SCALING

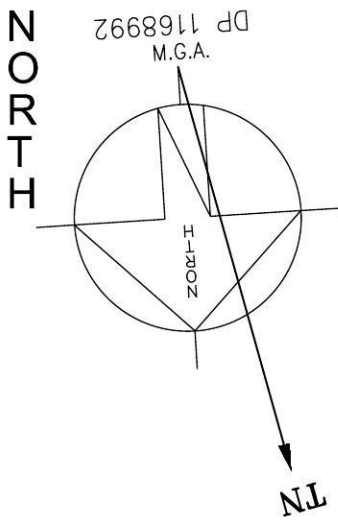
PRODUCT:
SHERWOOD 37
 Chilton
 R/H Garage
 Sapphire Specification

CLIENT:
Mrs MA

SITE ADDRESS:
 Lot 2189 No 20 (DP 1168992)
 Milpera Street
 JORDAN SPRINGS 2747

D.A. DRAWING

DRAWN: M.H.	DATE: 17.04.15	Rev:
RATIO @ A3: 1:200	CHECKED: -	D
SHEET: 2.1	JOB No: 29909642	NSW



(B) EASEMENT TO DRAIN WATER 1.5 WIDE

LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 144 REF: Appr

LOT 2189
D.P: 1168992
L.G.A: PENRITH

DP 1168991
LOT 2137

BRICK
RESIDENCE
TILE ROOF

VER.

W/M
CONN.

(B)

LOT 2189
555.90m²

PROPOSED
RESIDENCE
FFL R.L. 20.485
FGL R.L. 20.100
(Levels are +/-100mm)

Shadow outline for JUN21 - 12.00pm

LOT 2188
VACANT

ILLOURA WAY

181201
RL20.34

W/M
CONN.

W/M
CONN.

TP TP

BM 04
RL 20.00
(ASSUMED) MILPERA STREET

SHADOW DIAGRAM @ 21st JUNE - 9am

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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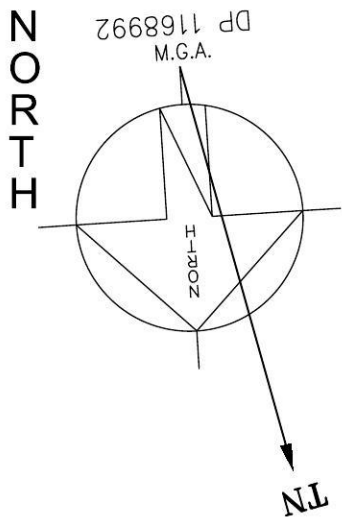
PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA

SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING

DRAWN: M.H.	DATE: 17.04.15	Rev:
RATIO @ A3: 1:200	CHECKED: -	D
SHEET: 2.2	JOB No: 29909642	NSW



DP 1168992
M.G.A.

(B) EASEMENT TO DRAIN WATER 1.5 WIDE

LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 144 REF: Appr

LOT 2189
D.P: 1168992
L.G.A: PENRITH

DP 1168991
LOT 2137

BRICK
RESIDENCE
TILE ROOF

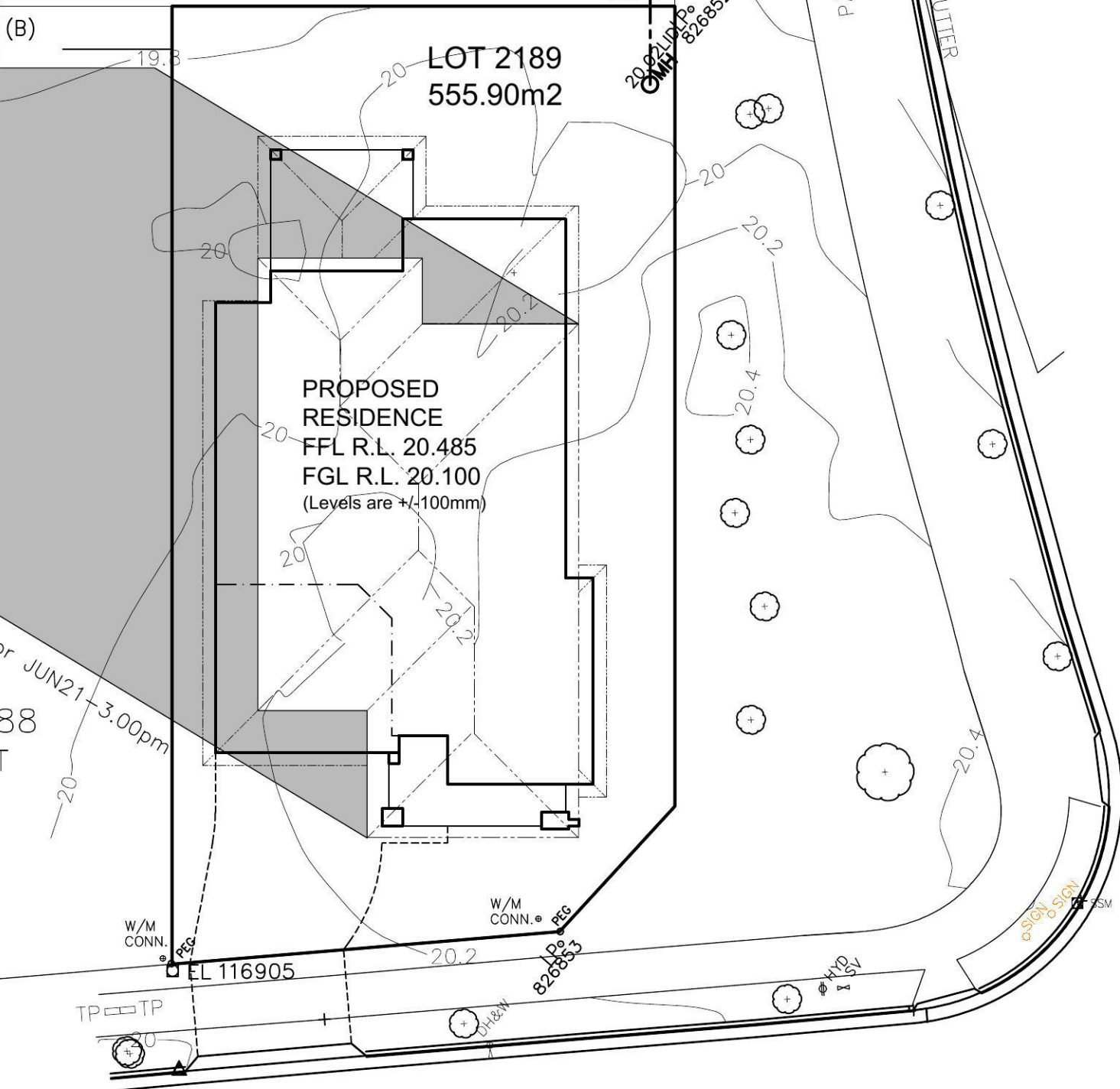
VER.

W/M
CONN.

20.2
D.P. 826852

19.6
PATH

GUTTER



**PROPOSED
RESIDENCE**
FFL R.L. 20.485
FGL R.L. 20.100
(Levels are +/-100mm)

Shadow outline for JUN21 - 3.00pm

LOT 2188
VACANT

ILLOURA WAY

181201
RL20.34

W/M
CONN.

EL 116905

W/M
CONN.

20.2
D.P. 826853

BM 04
RL 20.00
(ASSUMED) MILPERA STREET

SHADOW DIAGRAM @ 21st JUNE - 9am

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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Document Set ID: 6567056

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA
SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING

DRAWN: M.H.	DATE: 17.04.15	Rev:
RATIO @ A3: 1:200	CHECKED: -	D
SHEET: 2.1	JOB No: 29909642	NSW

NORTH

LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 144 REF: Appr

LOT 2189
D.P: 1168992
L.G.A: PENRITH

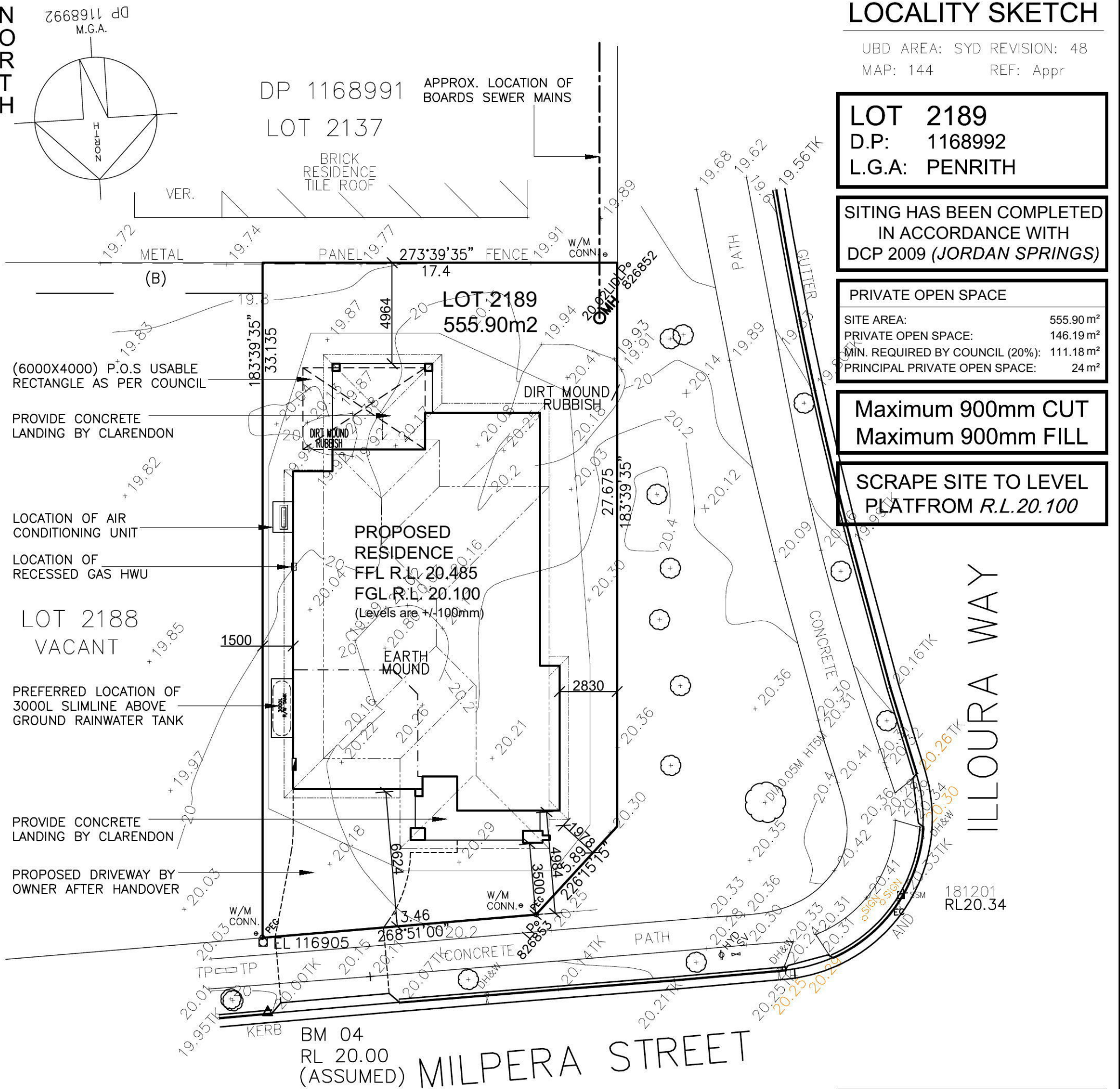
**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
DCP 2009 (JORDAN SPRINGS)**

PRIVATE OPEN SPACE

SITE AREA: 555.90 m²
PRIVATE OPEN SPACE: 146.19 m²
MIN. REQUIRED BY COUNCIL (20%): 111.18 m²
PRINCIPAL PRIVATE OPEN SPACE: 24 m²

**Maximum 900mm CUT
Maximum 900mm FILL**

**SCRAPE SITE TO LEVEL
PLATFORM R.L. 20.100**



(6000X4000) P.O.S USABLE
RECTANGLE AS PER COUNCIL

PROVIDE CONCRETE
LANDING BY CLARENDON

LOCATION OF AIR
CONDITIONING UNIT

LOCATION OF
RECESSED GAS HWU

LOT 2188
VACANT

PREFERRED LOCATION OF
3000L SLIMLINE ABOVE
GROUND RAINWATER TANK

PROVIDE CONCRETE
LANDING BY CLARENDON

PROPOSED DRIVEWAY BY
OWNER AFTER HANDOVER

MILPERA STREET
Kerb BM 04
RL 20.00
(ASSUMED)

ILLOURA WAY

181201
RL 20.34

**ELECTRICAL PILLAR
NO. 116905**

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



APPROXIMATE POSITION OF
SEWER MAIN. REFER TO
SEWER DIAGRAM FOR DETAILS

(B) EASEMENT TO DRAIN WATER 1.5 WIDE

32MPa CONCRETE
REFER TO ENGINEER'S DETAIL

**SALINE AFFECTED
SOILS**
REFER TO ENGINEER'S DETAIL

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "H1"

SITE INDUCTION

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS

- * LIMITED STREET PARKING
- * LIMITED SPACE FOR MATERIAL STOCK PILE
- * FOOTPATH / PEDESTRIAN TRAFFIC
- * TRAFFIC CONTROL REQUIRED

**STORMWATER TO
STREET VIA
RAINWATER TANK**

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300
Document Set ID: 6567056

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA
SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING

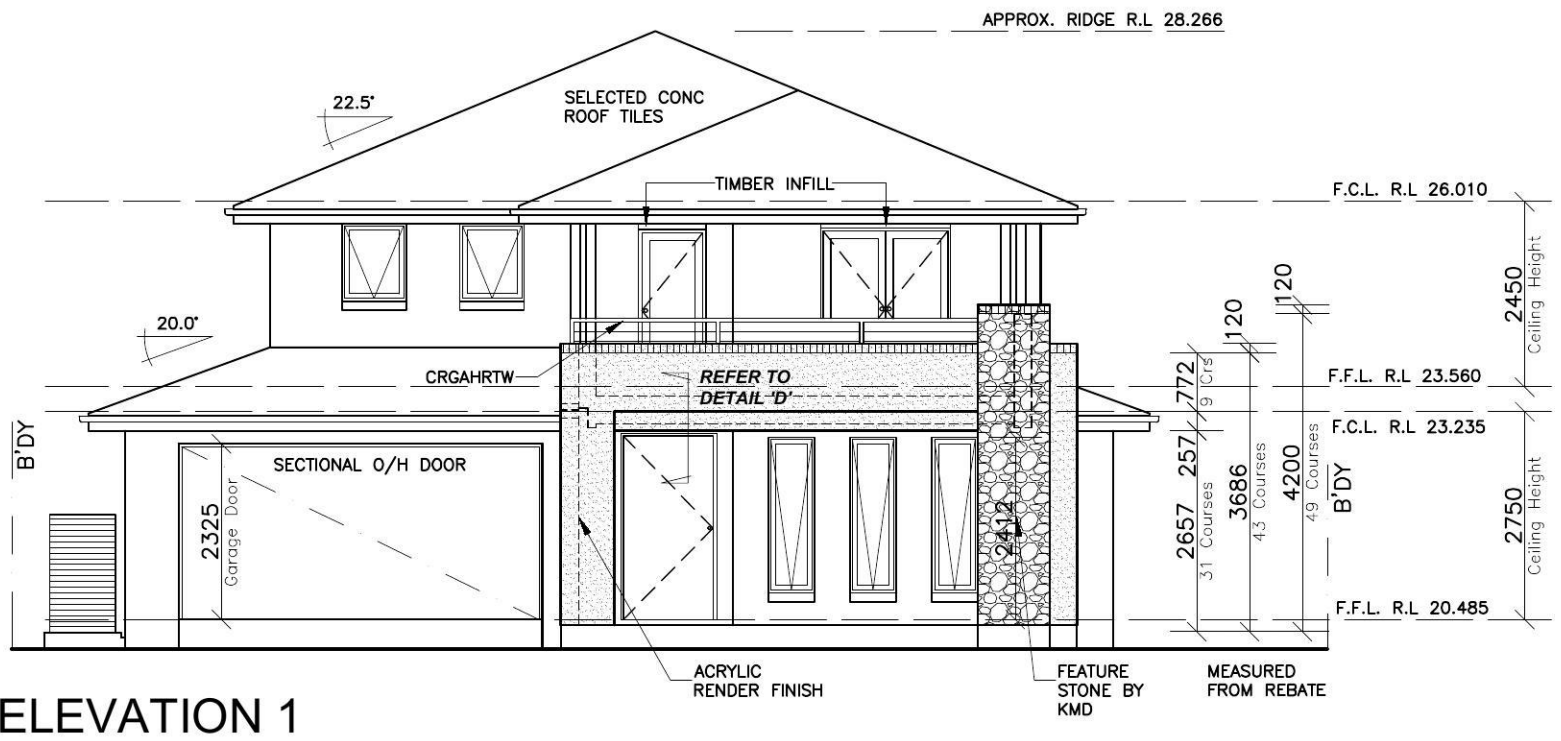
DRAWN: K.A.L.	DATE: 17.09.14	Rev:
RATIO @ A3: 1:200	CHECKED:	D
SHEET: 2	JOB No: 29909642	NSW

**SCRAPE SITE TO LEVEL
PLATFROM R.L.20.100**

**NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080**

**NOTE:
ALL WINDOWS WITH BRICKWORK
OVER TO HAVE MINIMUM OF 3
COURSES ABOVE LINTEL. EXTEND
BRICKWORK ABOVE EAVE SOFFIT
LINING IF REQUIRED**

**NOTE:
PROVIDE 32mm UNDERGROUND
CONDUIT FOR FUTURE TELEVISION
ANTENNA CABLING**



ELEVATION 1



ELEVATION 2

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300
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PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA
SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

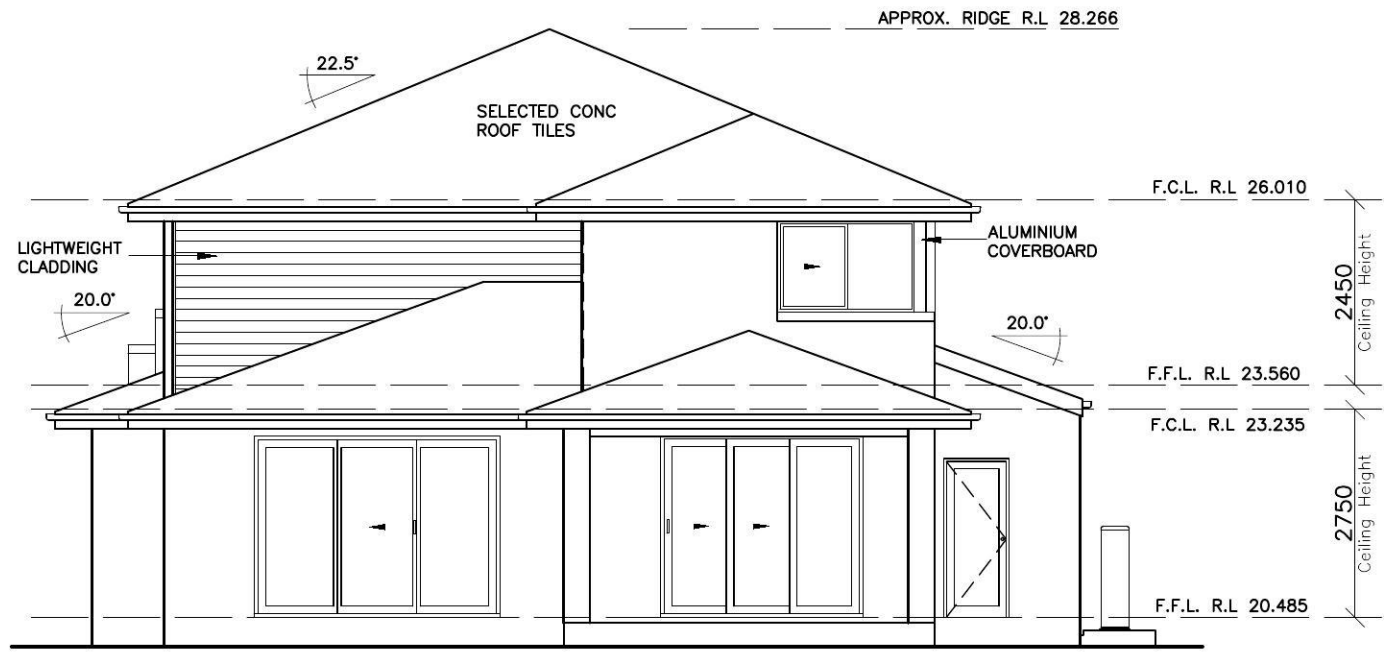
D.A. DRAWING		
DRAWN: MCA	DATE: 20.03.15	Rev: D
RATIO @ A3: 1:100	CHECKED: K.A.L.	
SHEET: 5	JOB No: 29909642	NSW

**SCRAPE SITE TO LEVEL
PLATFROM R.L.20.100**

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
ALL WINDOWS WITH BRICKWORK
OVER TO HAVE MINIMUM OF 3
COURSES ABOVE LINTEL. EXTEND
BRICKWORK ABOVE EAVE SOFFIT
LINING IF REQUIRED

NOTE:
PROVIDE 32mm UNDERGROUND
CONDUIT FOR FUTURE TELEVISION
ANTENNA CABLING



ELEVATION 3



ELEVATION 4

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

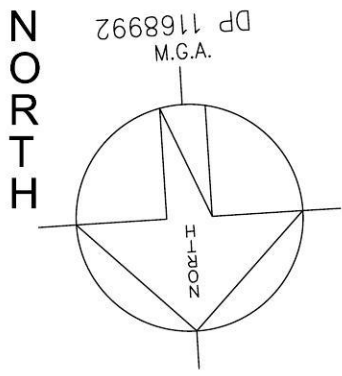
BL No. 2298C
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21 Solent Circuit, Baulkham Hills NSW 2153
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Document Set ID: 6567056

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PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

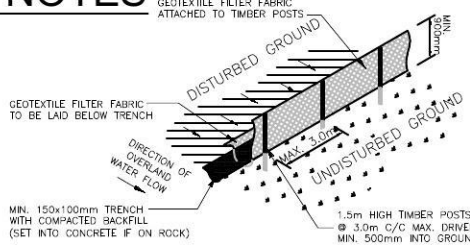
CLIENT:
Mrs MA
SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING		
DRAWN: MCA	DATE: 20.03.15	Rev: D
RATIO @ A3: 1:100	CHECKED: K.A.L.	
SHEET: 6	JOB No: 29909642	NSW



SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 144 REF: Appr

LOT 2189
D.P.: 1168992
L.G.A.: PENRITH

DP 1168991

LOT 2137
BRICK
RESIDENCE
TILE ROOF

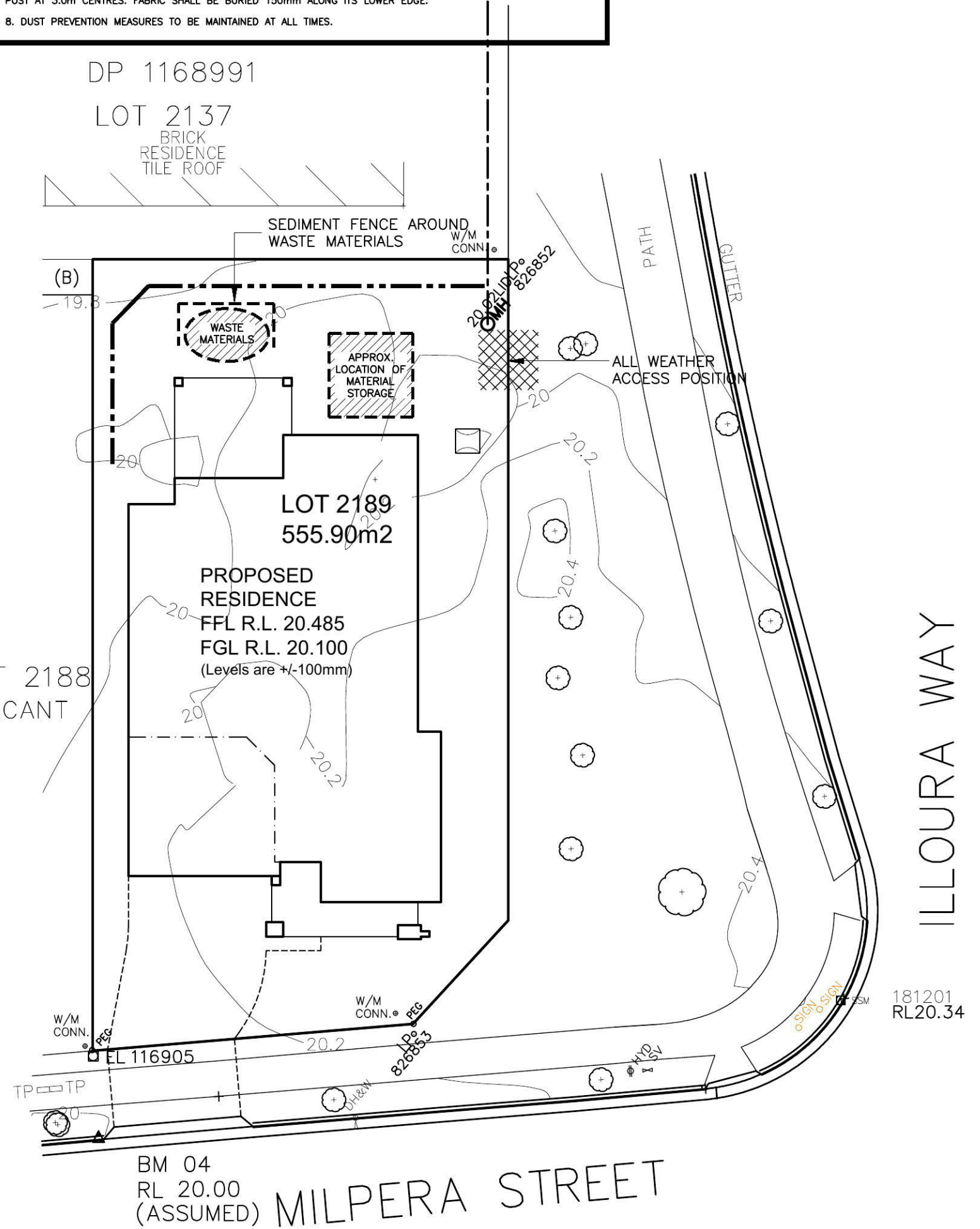
NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

PORTABLE TOILET

LOT 2188
VACANT



CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

(B) EASEMENT TO DRAIN WATER 1.5 WIDE

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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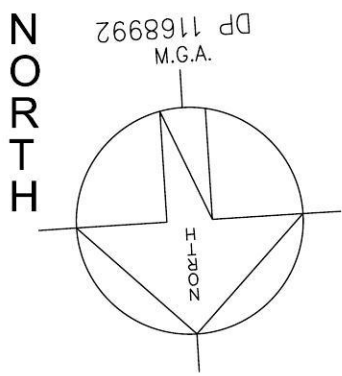
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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA
SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING

DRAWN: M.H.	DATE: 17.04.15	Rev:
RATIO @ A3: 1:200	CHECKED: -	D
SHEET: 2.4	JOB No: 29909642	NSW



LOCALITY SKETCH

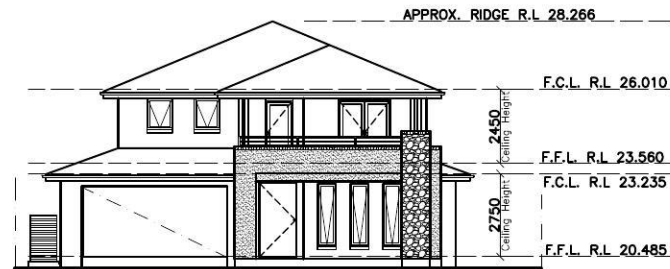
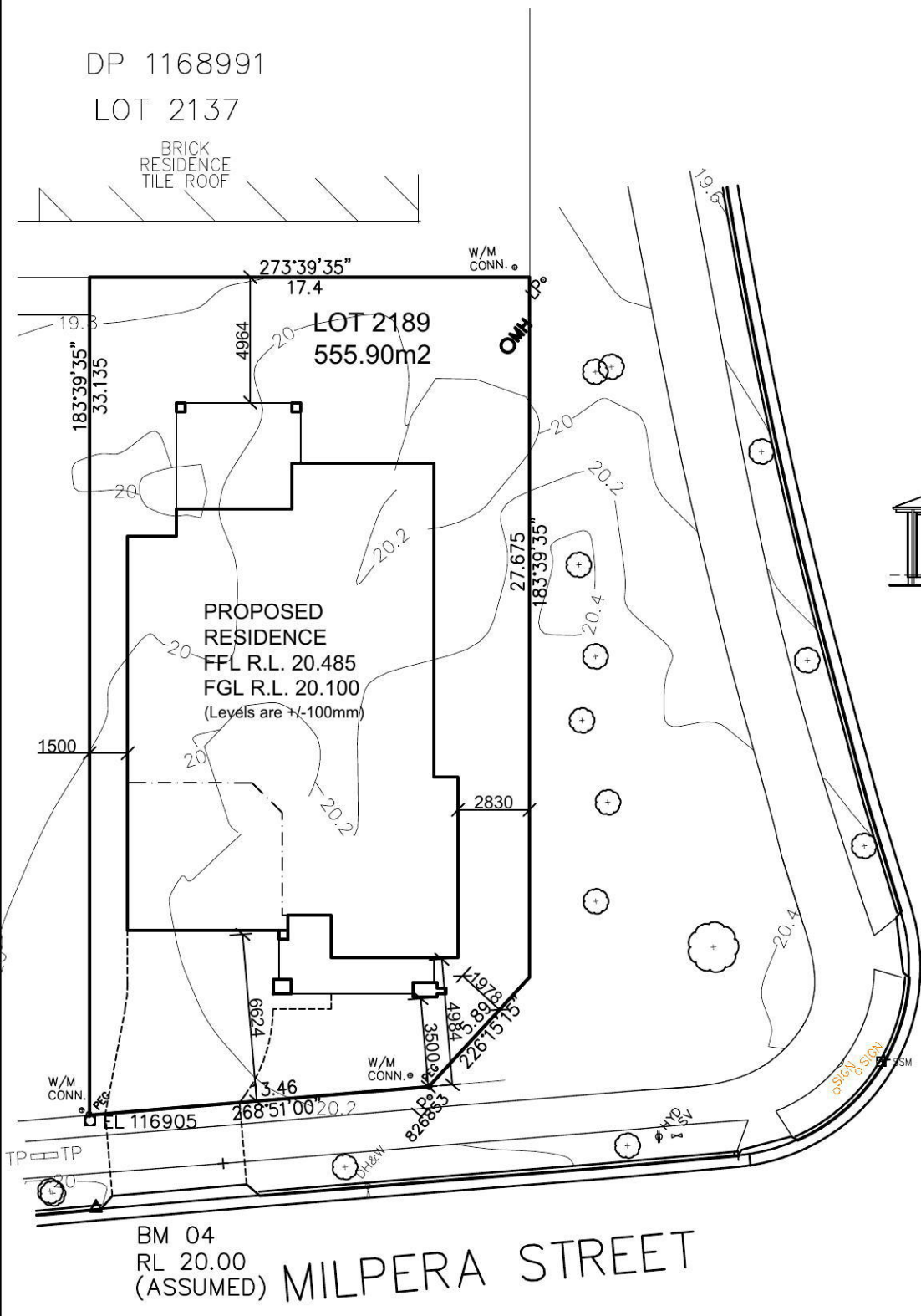
UBD AREA: SYD REVISION: 48
 MAP: 144 REF: Appr

LOT 2189
 D.P: 1168992
 L.G.A: PENRITH

(B) EASEMENT TO DRAIN WATER 1.5 WIDE

DP 1168991
 LOT 2137

BRICK RESIDENCE
 TILE ROOF



ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

LLOURA WAY

181201
 RL20.34

BM 04
 RL 20.00
 (ASSUMED) MILPERA STREET

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300
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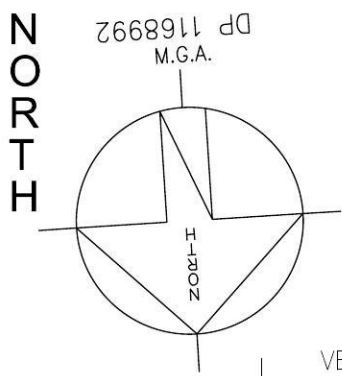
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SHERWOOD 37
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CLIENT:
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 SITE ADDRESS:
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 Milpera Street
 JORDAN SPRINGS 2747

D.A. DRAWING

DRAWN: M.H.	DATE: 17.04.15	Rev:
RATIO @ A3: 1:250	CHECKED: -	D
SHEET: 2.6	JOB No: 29909642	NSW



LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
 MAP: 144 REF: Appr

LOT 2189
 D.P: 1168992
 L.G.A: PENRITH

(B) EASEMENT TO DRAIN WATER 1.5 WIDE

DP 1168991
 LOT 2137

BRICK RESIDENCE
 TILE ROOF

VER.

W/M CONN.

20.22
 826852

PATH

CUTTER

APPROX. LOCATION OF OVERFLOW LINES TO STREET

(B)

LOT 2189
 555.90m²

APPROX. LOCATION OF STORMWATER LINES TO RAINWATER TANKS

PROPOSED RESIDENCE
 FFL R.L. 20.485
 FGL R.L. 20.100
 (Levels are +/-100mm)

APPROX. LOCATION OF STORMWATER LINES TO RAINWATER TANKS

LOT 2188
 VACANT

ILLOURA WAY

W/M CONN.

W/M CONN.

TP TP

BM 04
 RL 20.00
 (ASSUMED)

MILPERA STREET

181201
 RL20.34

CONCEPT STORMWATER MANAGEMENT PLAN

STORMWATER TO STREET VIA RAINWATER TANK

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

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 JORDAN SPRINGS 2747

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DRAWN: M.H.	DATE: 17.04.15	Rev: D
RATIO @ A3: 1:200	CHECKED: -	
SHEET: 2.5	JOB No: 29909642	NSW

BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300
 Document Set ID: 6567056

Certificate number: 621460S

AREAS	
SITE:	555.90 m ²
GROUND FLOOR:	185.09 m ²
FIRST FLOOR:	151.78 m ²
GARAGE:	35.07 m ²
PORCH:	12.41 m ²
BALCONY:	12.42 m ²
ALFRESCO:	19.99 m ²
	m ²
TOTAL:	416.76 m ²

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Energy Commitments			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry: Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study;		✓	✓
• at least 4 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

Reviewed by LEND
COVENANT MANA.
20 APR 2015
Signed: *[Signature]*

SHEET	DESCRIPTION
2.6	NEIGHBOUR NOTIFICATION PLAN
2.5	CONCEPT STORMWATER PLAN
2.4	CONSTRUCTION MANAGEMNT
2.3	SHADOW DIAGRAM - 3pm
2.2	SHADOW DIAGRAM - 12 Noon
2.1	SHADOW DIAGRAM - 9am
14	DETAILS/SECTION DRAWING ONLY
13	DETAILS/SECTION DRAWING ONLY
12	SCAB/PANITION DRAWING ONLY
11	STEEL PLANTION DRAWING ONLY
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

Energy Rating Certificate Number: 15240560

Single-dwelling rating: 4.5 Stars

Multi-unit development (attach listing of ratings): Heating 52.3 MJ/m², Cooling 69.6 MJ/m²

Recessed downlighter controls: Rated with Rated without

Assessor Name/Number: Manthoo Chetty VIC/BDW/1311524

Assessor Signature: *[Signature]* Date: 31 03 2015

Side & Rear fencing is to be 1.8m high 'Lysaght Smartascreen' or equivalent in Colorbond **Riversand** colour. This is not to be used on street frontages or for corner lot fencing.

REV	DATE	AMENDMENTS	BY
D	17.04.15	EXTERNAL COLURS & D.A. DRAWINGS	M.H.
C	30.03.15	PCV - DATED 26.03.15	D.L.
B	20.03.15	CONTRACT DRAWINGS	MCA
A	17.09.14	TENDER SITING	K.A.L.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baukham Hills NSW 2153
T: (02) 9854 5200

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DIMENSIONS TO BE READ IN CONFORMANCE TO AS/NZS 1101

PRODUCT:
SHERWOOD 37
Chilton
R/H Garage

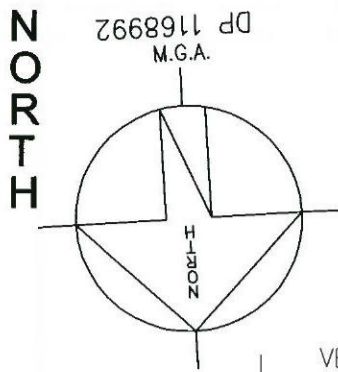
Sapphire Specification

CLIENT:
Mrs MA

SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING

DRAWN: MCA	DATE: 20.03.15	Rev: D
RATIO @ A3: N/A	CHECKED: K.A.L.	
SHEET: 1	JOB No: 29909642	NSW



LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 144 REF: Appr

DP 1168991 APPROX. LOCATION OF
BOARDS SEWER MAINS
LOT 2137

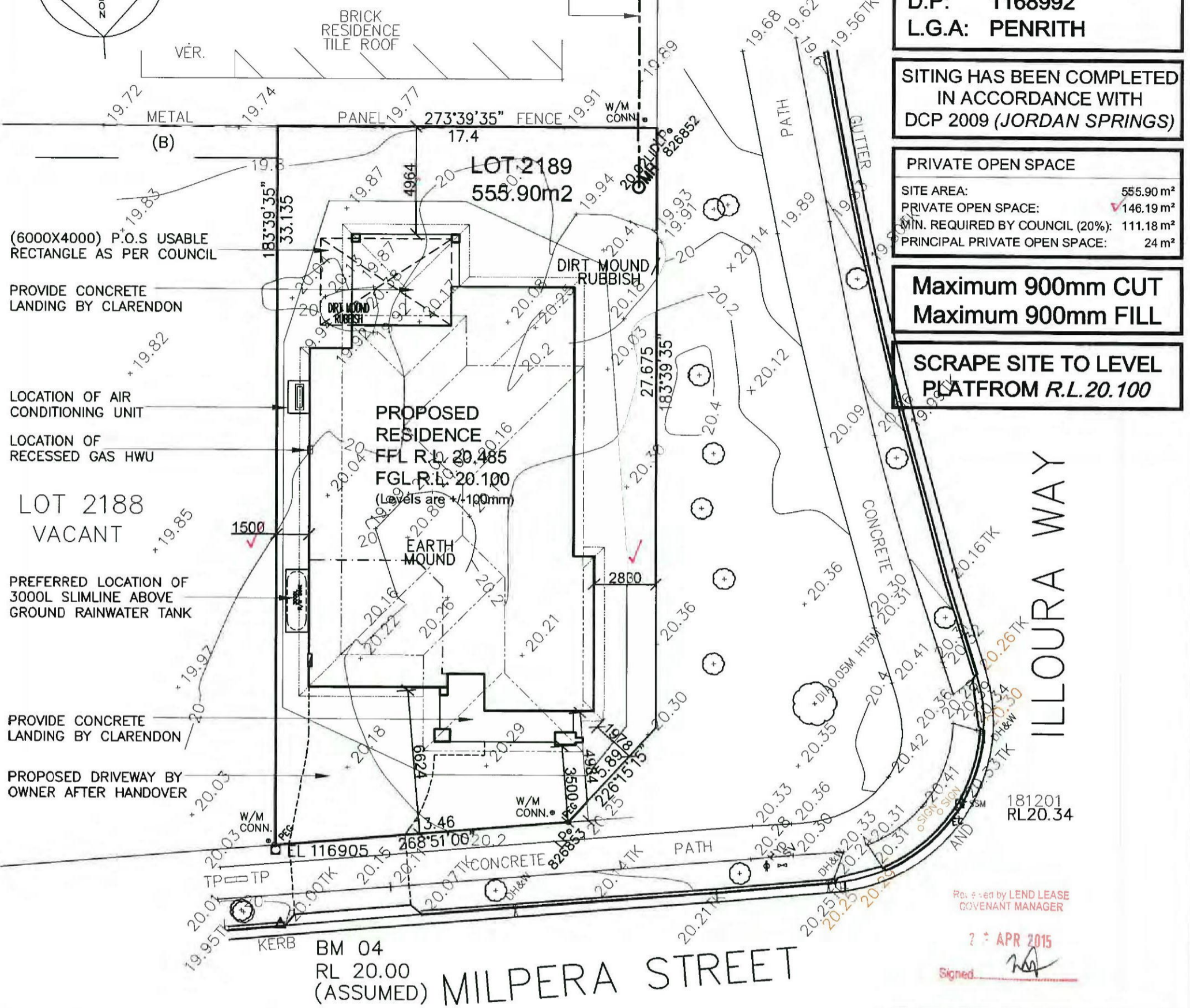
LOT 2189
D.P: 1168992
L.G.A: PENRITH

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
DCP 2009 (JORDAN SPRINGS)**

PRIVATE OPEN SPACE
SITE AREA: 555.90 m²
PRIVATE OPEN SPACE: 146.19 m²
MIN. REQUIRED BY COUNCIL (20%): 111.18 m²
PRINCIPAL PRIVATE OPEN SPACE: 24 m²

**Maximum 900mm CUT
Maximum 900mm FILL**

**SCRAPE SITE TO LEVEL
PLATFORM R.L. 20.100**



ILLOURA WAY

Revised by LEND LEASE
COVENANT MANAGER
APR 2015
Signed: [Signature]

**ELECTRICAL PILLAR
NO. 116905**

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC



32MPa CONCRETE
REFER TO ENGINEER'S DETAIL

**SALINE AFFECTED
SOILS**
REFER TO ENGINEER'S DETAIL

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "H1"

SITE INDUCTION
Before entering site please review and
make yourself familiar with Emergency
Contacts. Site Specific Induction information that is
located on the Site Induction Sign. If you
have any trouble understanding this
instruction, contact the Site Supervisor or
Emergency Contact Number located on the
sign.

SITE SPECIFIC HAZARDS
* LIMITED STREET PARKING
* LIMITED SPACE FOR MATERIAL STOCK PILE
* FOOTPATH / PEDESTRIAN TRAFFIC
* TRAFFIC CONTROL REQUIRED

SITE PLAN

SCALE 1:200
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

APPROXIMATE POSITION OF
SEWER MAIN. REFER TO
SEWER DIAGRAM FOR DETAILS

(B) EASEMENT TO DRAIN WATER 1.5 WIDE

**STORMWATER TO
STREET VIA
RAINWATER TANK**

ClarendonHomes
BL No. 2298C
ABN 18 003 862 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 9854 5000

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DIMENSIONS TO BE READ IN
REFERENCE TO COUNCIL

PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA
SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

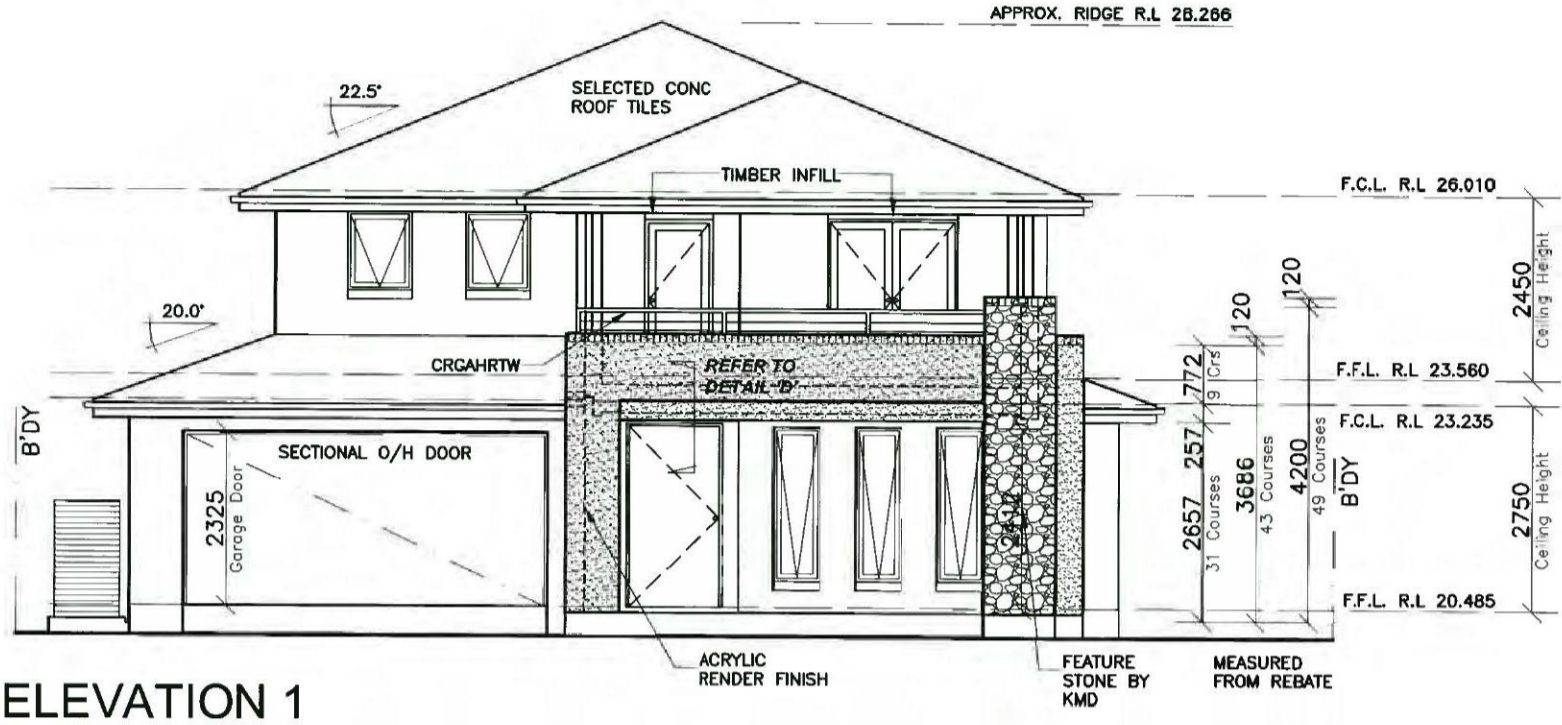
D.A. DRAWING		
DRAWN: K.A.L	DATE: 17.09.14	Rev: D
RATIO @ A3: 1:200	CHECKED:	
SHEET: 2	JOB No: 29909642	NSW

**SCRAPE SITE TO LEVEL
PLATFORM R.L. 20.100**

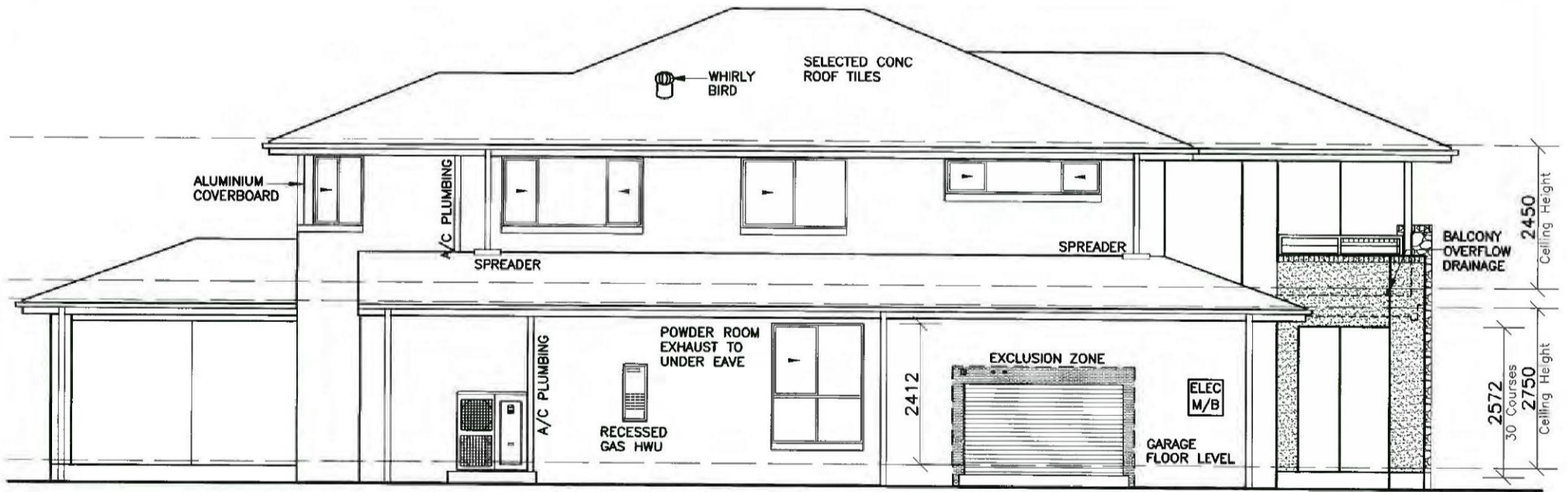
**NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080**

**NOTE:
ALL WINDOWS WITH BRICKWORK
OVER TO HAVE MINIMUM OF 3
COURSES ABOVE LINTEL. EXTEND
BRICKWORK ABOVE EAVE SOFFIT
LINING IF REQUIRED**

**NOTE:
PROVIDE 32mm UNDERGROUND
CONDUIT FOR FUTURE TELEVISION
ANTENNA CABLING**



ELEVATION 1



ELEVATION 2

Reviewed by LEND LEASE
COVENANT MANAGER

20 APR 2015

Signed: *MA*

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 9954 5000

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CLARENDON HOMES (NSW) P/L
DIMENSIONS TO BE READ IN
REFERENCE TO DRAWING

PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA
SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING

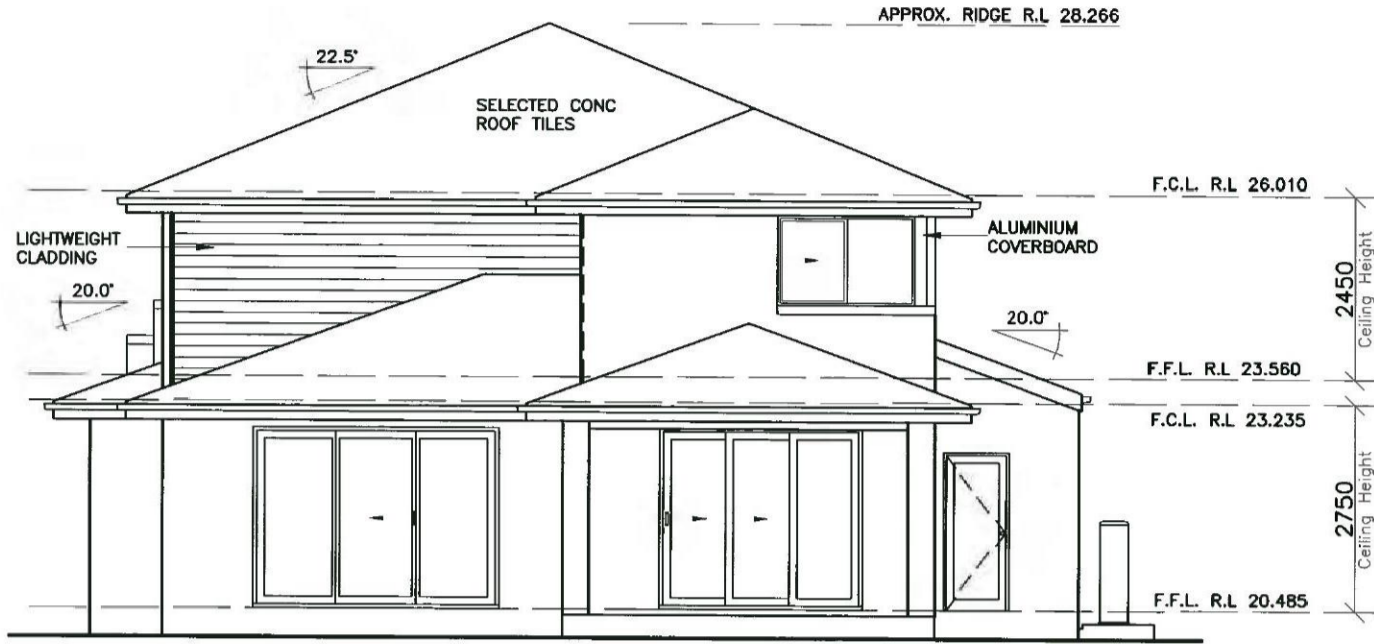
DRAWN: MCA	DATE: 20.03.15	Rev:
RATIO @ A3: 1:100	CHECKED: K.A.L	D
SHEET: 5	JOB No: 29909642	NSW

**SCRAPE SITE TO LEVEL
PLATFORM R.L. 20.100**

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
ALL WINDOWS WITH BRICKWORK
OVER TO HAVE MINIMUM OF 3
COURSES ABOVE LINTEL. EXTEND
BRICKWORK ABOVE EAVE SOFFIT
LINING IF REQUIRED

NOTE:
PROVIDE 32mm UNDERGROUND
CONDUIT FOR FUTURE TELEVISION
ANTENNA CABLING



ELEVATION 3



ELEVATION 4

Reviewed by LEND LEASE
COVENANT MANAGER

20 APR 2015

Signed: *[Signature]*

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 9954 5000

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DIMENSIONS TO BE READ IN
REFERENCE TO DRAWING

PRODUCT:
SHERWOOD 37
Chilton
R/H Garage
Sapphire Specification

CLIENT:
Mrs MA

SITE ADDRESS:
Lot 2189 No 20 (DP 1168992)
Milpera Street
JORDAN SPRINGS 2747

D.A. DRAWING

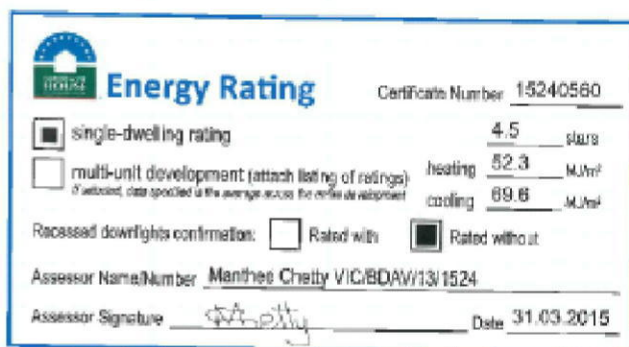
DRAWN: MCA	DATE: 20.03.15	Rev:
RATIO @ A3: 1:100	CHECKED: K.A.L	D
SHEET: 6	JOB No: 29909642	NSW

Certificate number: 621460S

AREAS	
SITE:	555.90 m ²
GROUND FLOOR:	185.09 m ²
FIRST FLOOR:	151.78 m ²
GARAGE:	35.07 m ²
PORCH:	12.41 m ²
BALCONY:	12.42 m ²
ALFRESCO:	19.99 m ²
	m ²
TOTAL:	416.76 m²

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Energy Commitments			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study;		✓	✓
• at least 4 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

SHEET	DESCRIPTION
2.6	NEIGHBOUR NOTIFICATION PLAN
2.5	CONCEPT STORMWATER PLAN
2.4	CONSTRUCTION MANAGEMNT
2.3	SHADOW DIAGRAM - 3pm
2.2	SHADOW DIAGRAM - 12 Noon
2.1	SHADOW DIAGRAM - 9am
14	DETAILS CONSTRUCTION DRAWING ONLY
13	DETAILS CONSTRUCTION DRAWING ONLY
12	SCAB PLAN CONSTRUCTION DRAWING ONLY
11	STEEL PLAN CONSTRUCTION DRAWING ONLY
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET



REV	DATE	AMENDMENTS	BY
D	17.04.15	EXTERNAL COLURS & D.A. DRAWINGS	M.H.
C	30.03.15	PCV - DATED 26.03.15	D.L
B	20.03.15	CONTRACT DRAWINGS	MCA
A	17.09.14	TENDER SITING	K.A.L

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
 BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300
 Document Set ID: 6567056

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 # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

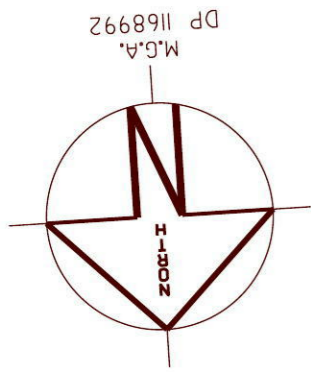
PRODUCT:
SHERWOOD 37
 Chilton
 R/H Garage
 Sapphire Specification
 Master Issued: 07.10.14 Revision: F

CLIENT:
 Mrs MA
 SITE ADDRESS:
 Lot 2189 No 20 (DP 1168992)
 Milpera Street
 JORDAN SPRINGS 2747

D.A. DRAWING

DRAWN: MCA	DATE: 20.03.15	Rev: D
RATIO @ A3: N/A	CHECKED: K.A.L	
SHEET: 1	JOB No: 29909642	NSW

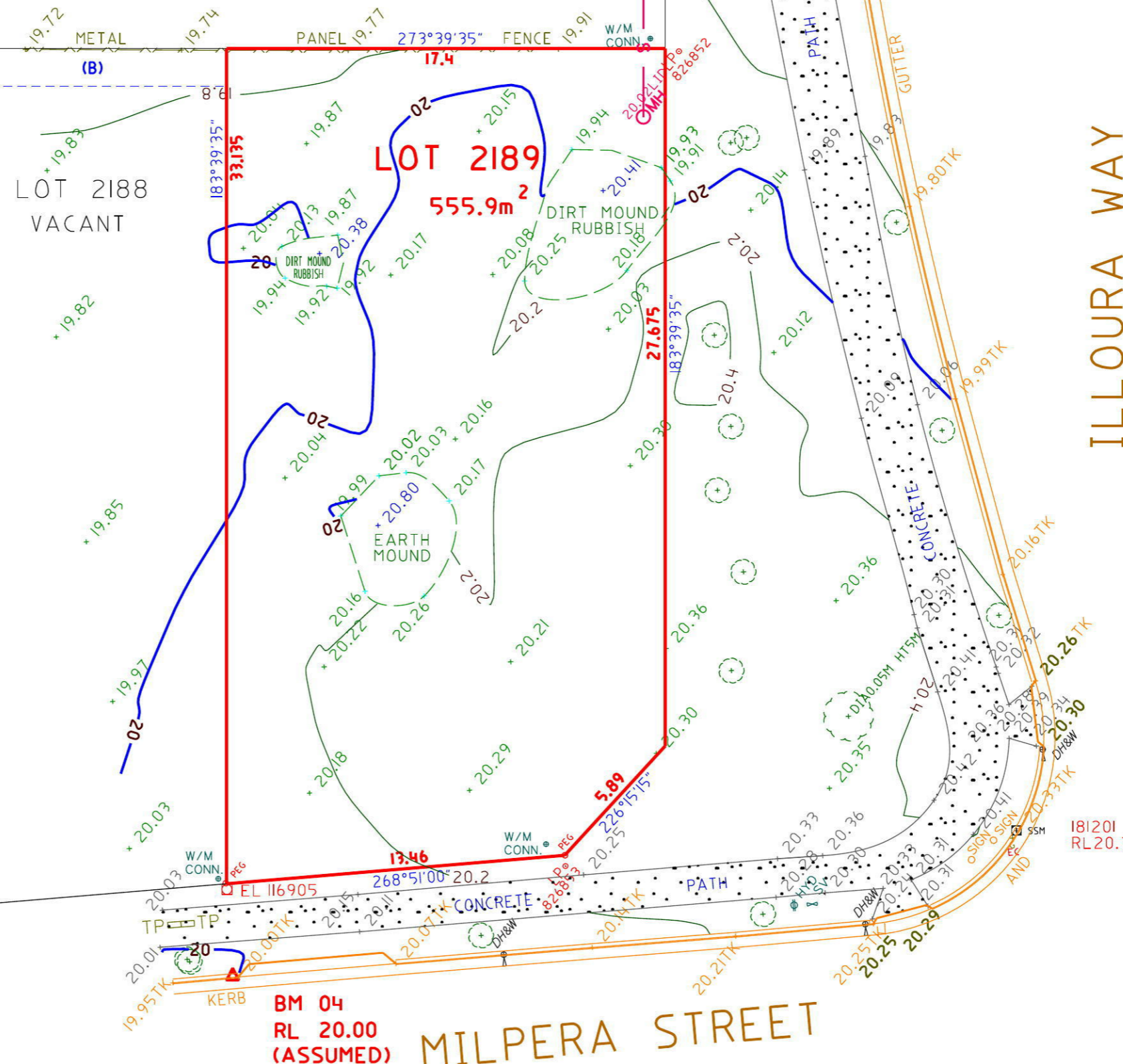
NORTH



LOCALITY SKETCH

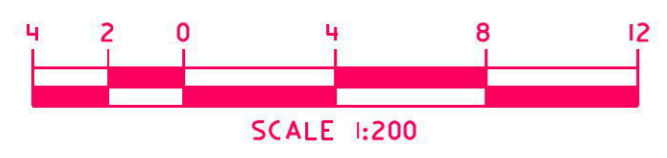
UBD AREA: SYD REVISION: 48
MAP: 144 REF: Appr
S
GPS E

DP 1168991
LOT 2137



APPROXIMATE POSITION OF SEWER MAIN. REFER TO SEWER DIAGRAM FOR DETAILS

(B) EASEMENT TO DRAIN WATER 1.5 WIDE



<p>COPYRIGHT</p> <p>COPYRIGHT OF THIS PLAN AND IN THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT & SURVEY PTY LTD.</p> <p>THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.</p>	<p>GENERAL NOTES</p> <p>A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.</p> <p>B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.</p> <p>C) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.</p>	<p>SYMBOLS & ABBREVIATIONS:</p> <table border="1"> <tr><td>GP</td><td>GULLY PIT</td><td>-E-</td><td>OVERHEAD ELEC LINE</td></tr> <tr><td>HYD</td><td>HYDRANT</td><td>-S-</td><td>SEWER LINE</td></tr> <tr><td>SIP</td><td>SURFACE INLET PIT</td><td>GM</td><td>GAS METER</td></tr> <tr><td>SIC</td><td>SEWER INSPECTION COVER</td><td>LP</td><td>LIGHT POLE</td></tr> <tr><td>SMH</td><td>SEWER MANHOLE</td><td>EC</td><td>ELECTRICITY CONDUIT</td></tr> <tr><td>W/M</td><td>WATER METER</td><td>ECT</td><td>ELEC & TELE CONDUIT</td></tr> <tr><td>EL</td><td>ELECTRICITY BOX</td><td>TC</td><td>TELECOM CONDUIT</td></tr> <tr><td>TP</td><td>TELECOM PIT</td><td>WC</td><td>WATER CONDUIT</td></tr> <tr><td>VC</td><td>VEHICLE CROSSING</td><td>INV</td><td>INVERT</td></tr> <tr><td>SV</td><td>STOP VALVE</td><td>KO</td><td>KERB OUTLET</td></tr> <tr><td>SMH</td><td>STORMWATER MANHOLE</td><td>TK</td><td>TOP OF KERB</td></tr> </table>	GP	GULLY PIT	-E-	OVERHEAD ELEC LINE	HYD	HYDRANT	-S-	SEWER LINE	SIP	SURFACE INLET PIT	GM	GAS METER	SIC	SEWER INSPECTION COVER	LP	LIGHT POLE	SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT	W/M	WATER METER	ECT	ELEC & TELE CONDUIT	EL	ELECTRICITY BOX	TC	TELECOM CONDUIT	TP	TELECOM PIT	WC	WATER CONDUIT	VC	VEHICLE CROSSING	INV	INVERT	SV	STOP VALVE	KO	KERB OUTLET	SMH	STORMWATER MANHOLE	TK	TOP OF KERB	<p>ASPECT DEVELOPMENT & SURVEY PTY LTD CONSULTING REGISTERED SURVEYORS</p> <p>ABN 68 078 649 000</p> <p>SUITE 1 103 VANESSA STREET KINGSGROVE NSW 2208 PHONE (02) 9554 8388 FAX (02) 9554 8388</p> <p>PO BOX 161 KINGSGROVE NSW 1480 DX 11392 WARRIMUN</p>	<p>PROJECT</p> <p>OUR REFERENCE 3/1022825/157626</p> <p>LOT 2189 DP 1168992 SECTION 8</p> <p>DATUM ASSUMED SOURCE</p> <p>ORIGIN OF LEVELS BM 04 REDUCED LEVEL 20.00</p> <p>SURVEYED MS DATE 04/09/14</p> <p>DRAWN BK DATE 09/09/14</p> <p>SCALE 1: 200 A3 SHEET</p>	<p>CLIENT: CLARENDON HOMES PTY LTD</p> <p>REF: MA</p> <p>REF: 29909642</p> <p>ADDRESS: MILPERA ST. & ILLOURA WAY</p> <p>SUBURB JORDAN SPRINGS</p>
GP	GULLY PIT	-E-	OVERHEAD ELEC LINE																																														
HYD	HYDRANT	-S-	SEWER LINE																																														
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