

KERB INLET SEDIMENT TRAP

SILT FENCE DETAIL

SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT

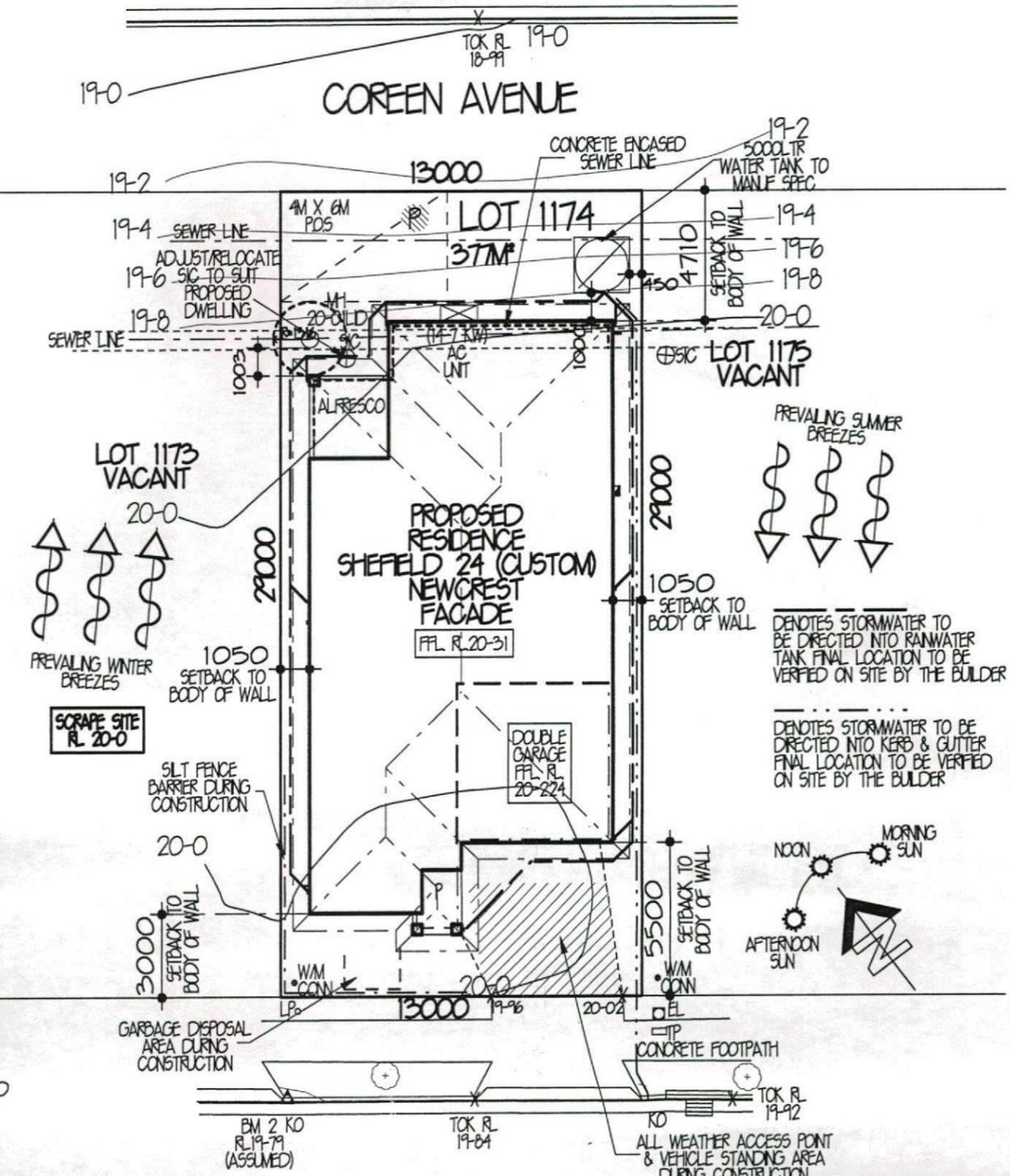
SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET FITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES), FABRIC SHALL BE BURIED 100MM ALONG ITS LOWER EDGE.



GENERAL NOTES

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO AS/N DESIGN BEFORE PROCEEDING
- SITE CLASSIFICATION M
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 20-0 GARAGE TO RL 20-0
- HOUSE FLOOR LEVEL RL 20-310, 310MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 20-224, 224MM ABOVE PLATFORM LEVEL
- TOTAL ROOF AREA = 256 M²

○ DENOTES EXISTING TREES TO BE REMOVED

— DENOTES RETAINING WALL BY OWNER

- - - DENOTES SILT FENCE BARRIER

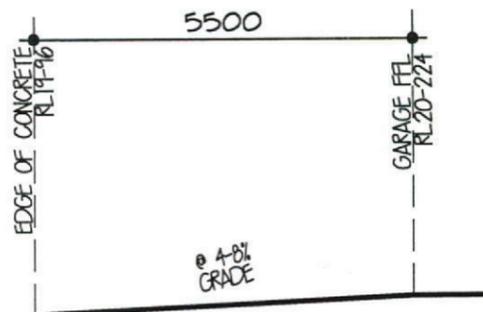
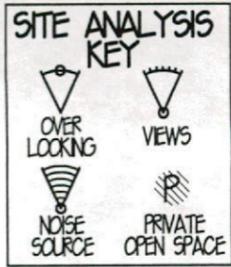
- - - DENOTES DROPPED EDGE BEAM

||||| DENOTES LINE OF BATTER TO CUT OR FILL

BARTLETT PLACE

SITE ANALYSIS & SITE PLAN 1:200

REFER TO LANDSCAPE PLANS FOR FENCING TYPES LOCATIONS & HEIGHTS TOGETHER WITH LETTERBOX LOCATION & RETAINING WALL DETAILS



DRIVEWAY PROFILE 1:100



Eden Brae Homes
22 BROOKHOLLOW AVENUE, NORTHWEST BUSINESS PARK, BALKHAM HILLS NSW 2153
P 8860 9222 F 8860 9233

FOR **EDEN BRAE HOMES** UED AREAS/D REMO MARKS REF:UB

AT **LOT 1174 BARTLETT PLACE THORNTON PARK, NORTH PENRITH**

TYPE **SHEPHERD 24 (CUSTOM)** JOB NO. **00163011**

FACADE **NEWCREST** HAND **RH**

DATE **AUG' 12** DWG NO. **A18827** PAGE NO. **1 OF 7**

SITE DATA
SITE AREA = 377 M²

PRIVATE OPEN SPACE REQUIRED 75-4 M² OR 20% OF THE SITE PROVIDED 80-5 M² OR 21-4% OF THE SITE

FLOOR AREAS
GROUND FLOOR AREA = 170-0 M² (EXCLUDING GARAGE)
GARAGE FLOOR AREA = 32-3 M²
PORCH FLOOR AREA = 3-5 M²
ALFRESCO FLOOR AREA = 8-6 M²

TOTAL FLOOR AREA = 214-4 M² OR 23-1 50%

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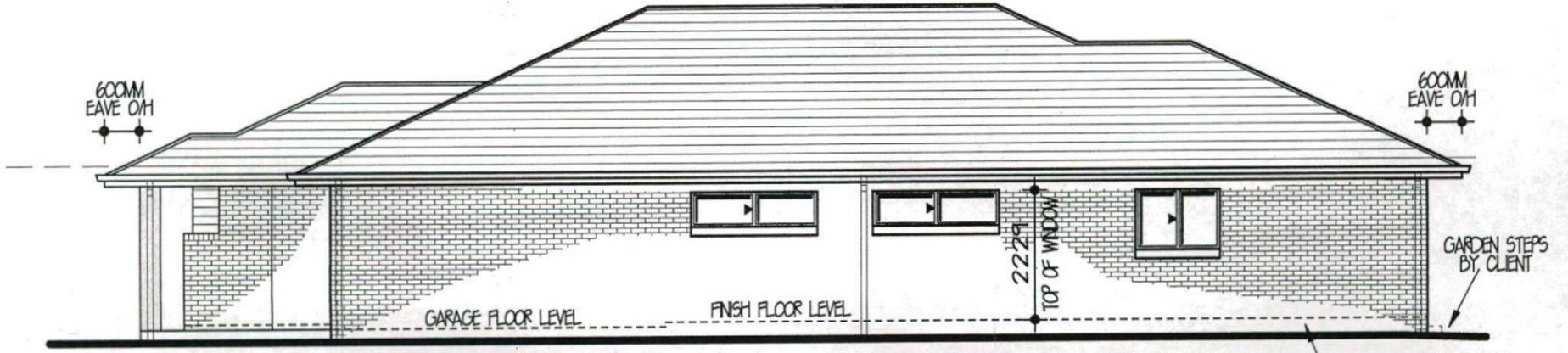
LEVEL 2 SUITE 216 MACARTHUR POINT NO. 25-27 SOLENT CIRCUIT BALKHAM HILLS PO BOX 6410 BALKHAM HILLS BUSINESS CENTRE NSW, 2153 PHONE: (02) 8824 3533 FAX: (02) 8824 3544 WWW.AGNSYDNEY.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	31-8-12	SITING + CC PLANS	SK
B	27-9-12	BASIX/AMENDMENTS	CL
C	8-04-13	RE-SITE/BASIX/AMENDMENTS	DB
D	12-4-13	RE-CONTRACT	DR/CM

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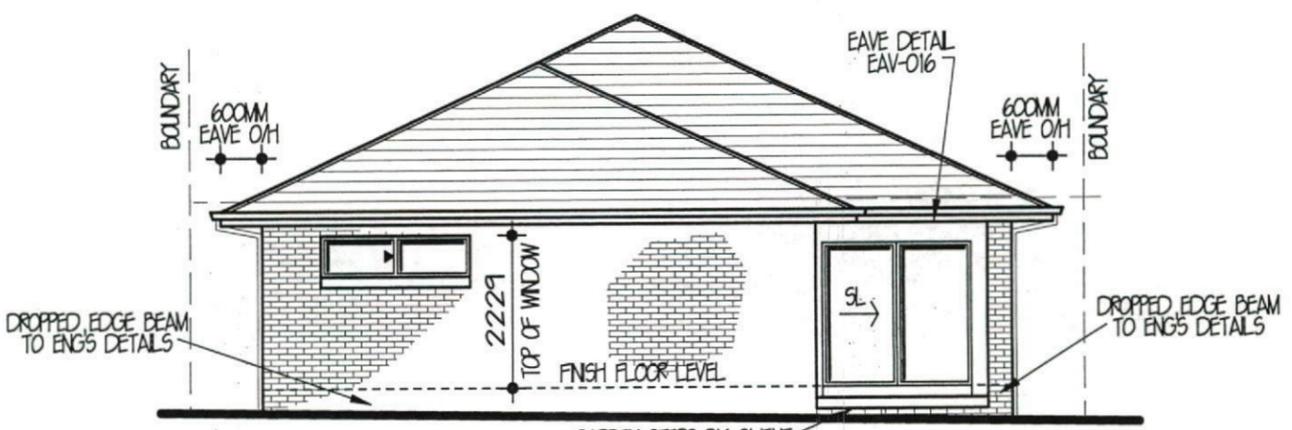
SOUTH WEST ELEVATION 1:100



SOUTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

Eden brae homes
"It's where you want to live"

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 F. 8860 9233

FOR EDEN BRAE HOMES
 LEAD ARCHITECT
 WARRIS REF: 40

AT LOT 1174 BARTLETT PLACE
 THORNTON PARK, NORTH PENRITH

TYPE SHEPHERD 24 (CUSTOM) JOB NO. 00163011

FACADE NEWCREST HAND R1

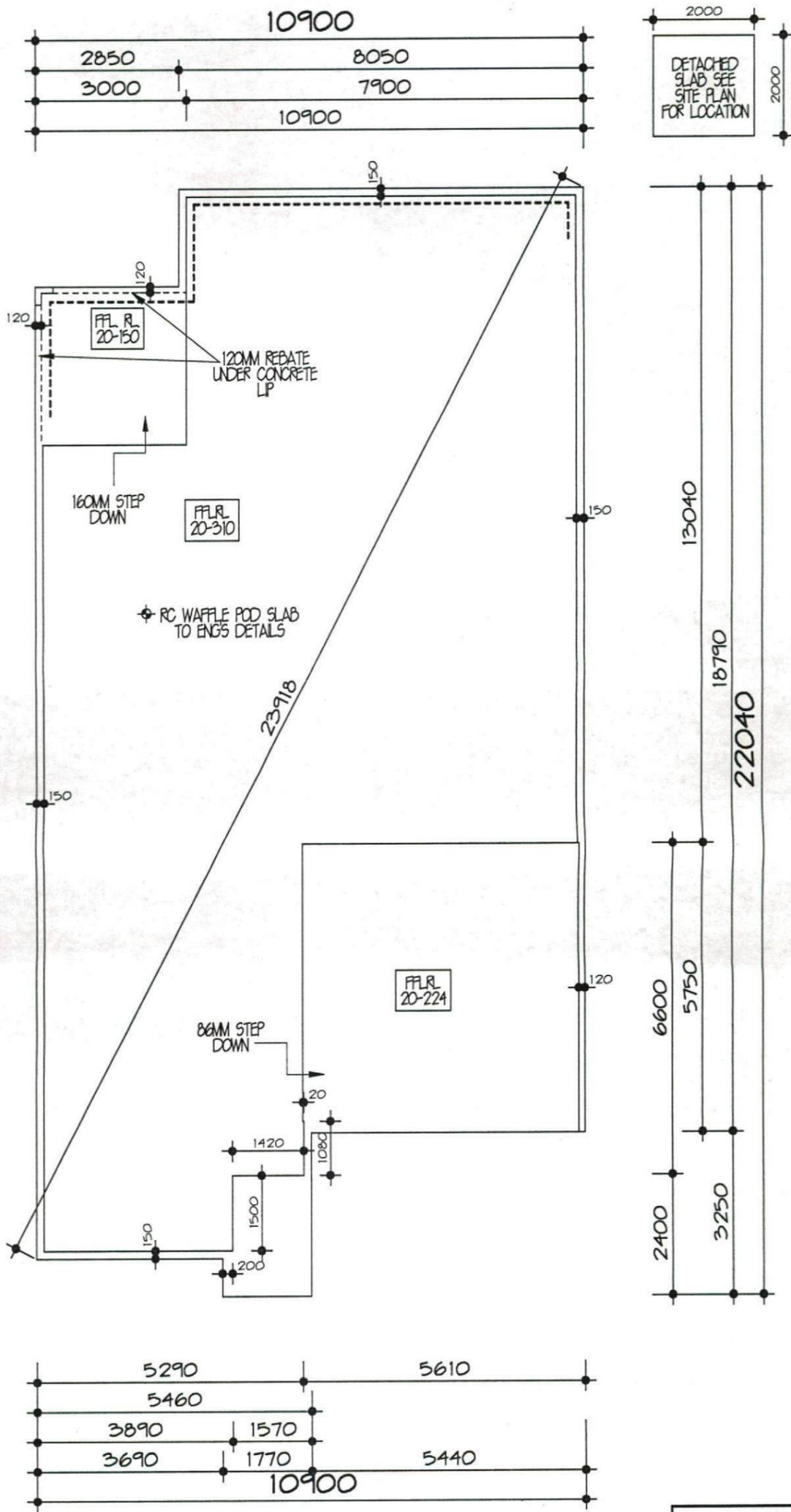
DATE AUG' 12 DWG NO. A18827 PAGE NO. 3 OF 7

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SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS, ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

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FOR EDEN BRAE HOMES LBD AREA/ID REV#6 MARKED REF:UB

AT LOT 1174 BARTLETT PLACE
THORNTON PARK, NORTH PENRITH

TYPE SHEPHERD 24 (CUSTOM) JOB NO. 00163011

FACADE NEWCREST HAND RH

DATE AUG' 12 DWG NO. A18827 PAGE NO. 5 OF 7

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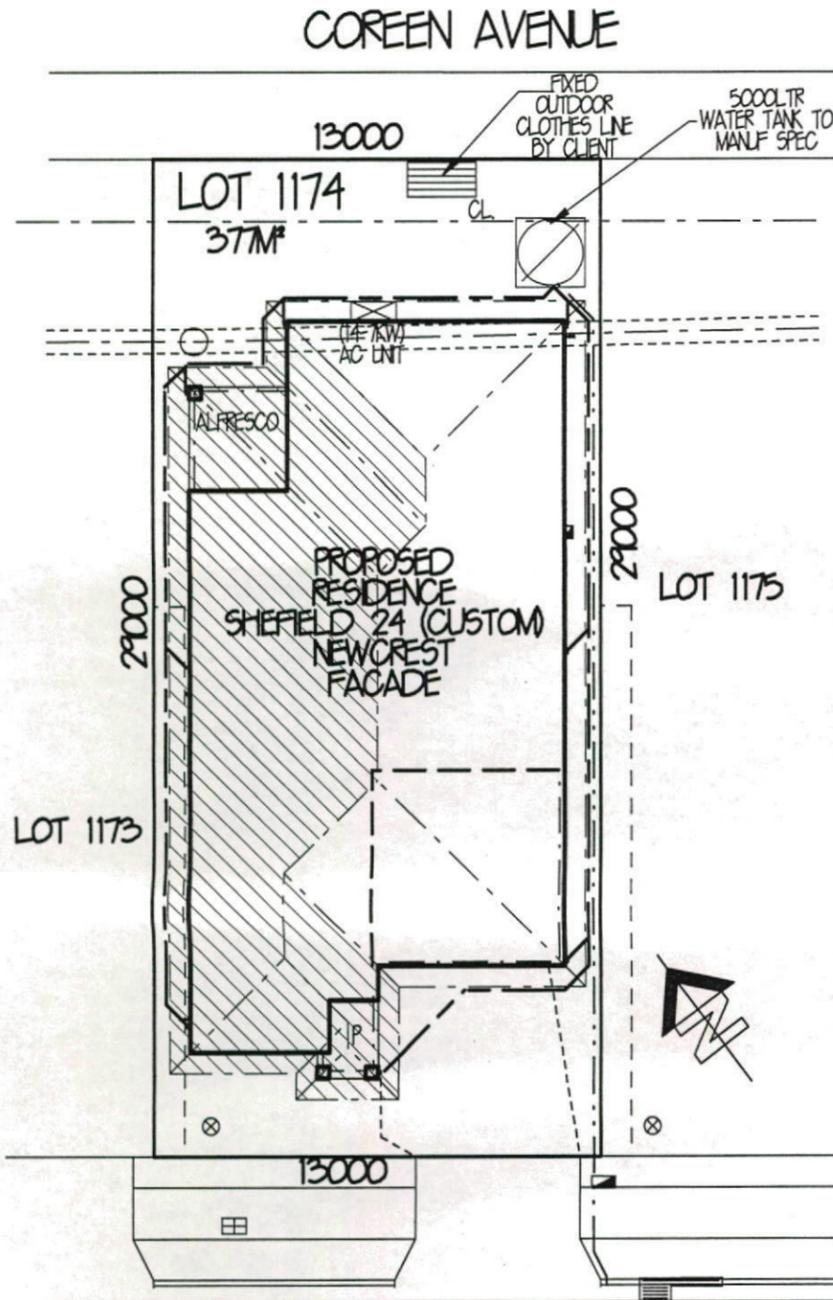
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INSULATION
 R20 WALL INSULATION
 R35 CEILING INSULATION
 FOL (SIGALATION)

BASIX SCORE
 WATER - 40% (TARGET 40%)
 THERMAL COMFORT - PASS (TARGET PASS)
 ENERGY - 40% (TARGET 40%)

 DENOTES 87M² OF ROOF TO BE COLLECTED



BARTLETT PLACE
BASIX PLAN 1:200

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER:
 THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK:
 THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 87 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 5000 LITRES.

SHOWERHEADS:
 THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 LITRES PER MINUTE) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
 THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
 THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER:
 THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
 GAS INSTANTANEOUS - 5 STARS. (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING:
 THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING EER 25 - 30, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING EER 25 - 30

ACTIVE HEATING:
 THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING EER 30 - 35, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING EER 30 - 35

VENTILATION:
 THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
 AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
 KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
 LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY. OPERATION CONTROL: N/A

NATURAL LIGHTING:
 THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

COOKING:
 THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
 THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N° 4480465 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N° 4480465

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FOR EDEN BRAE HOMES
 LED AREA/ID REVD
 MAPS REVD

AT LOT 1174 BARTLETT PLACE
 THORNTON PARK, NORTH PENRITH

TYPE SHEPHERD 24 (CUSTOM)
 JOB NO. 00163011

FACADE NEWCREST
 HAND RH

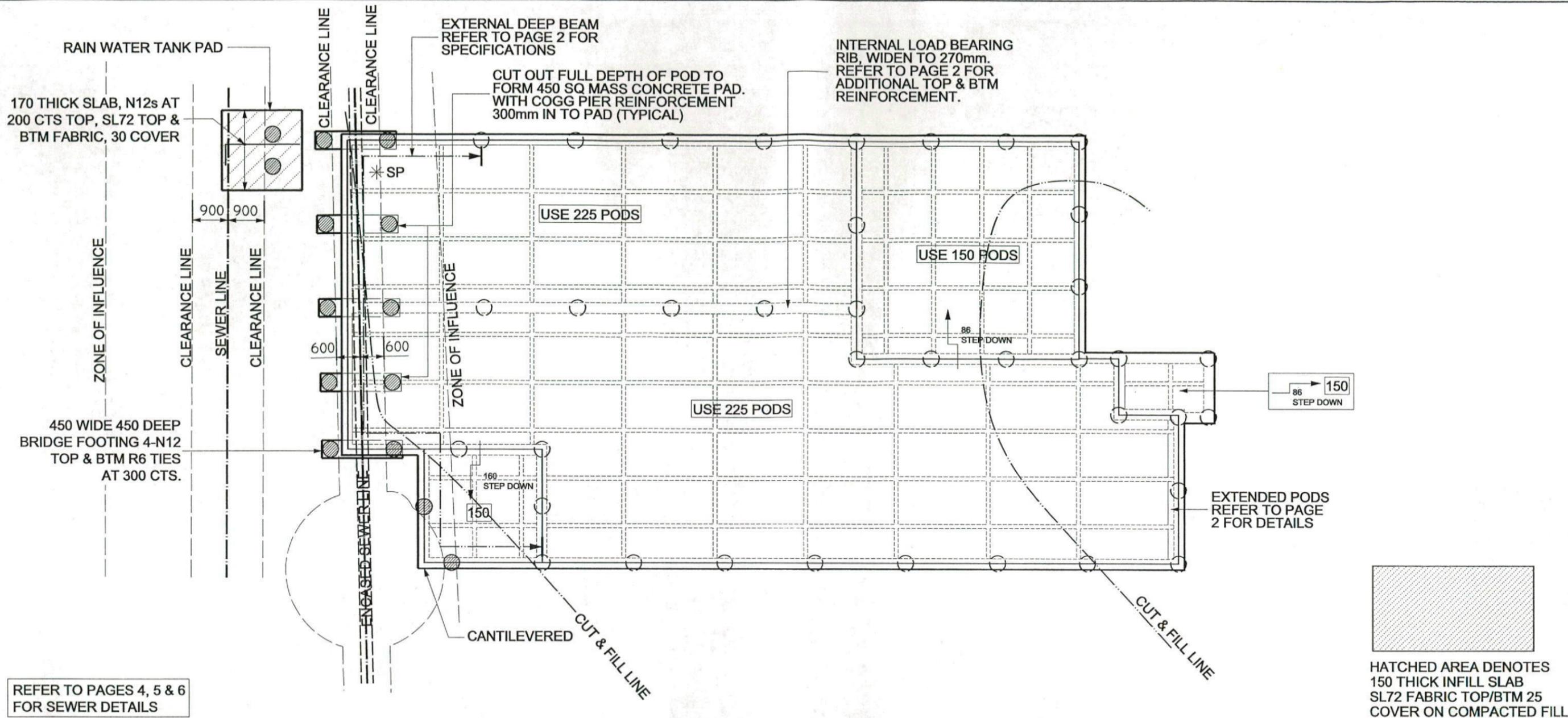
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REFER TO PAGES 4, 5 & 6 FOR SEWER DETAILS

HATCHED AREA DENOTES 150 THICK INFILL SLAB SL72 FABRIC TOP/BTM 25 COVER ON COMPACTED FILL

CONSTRUCTION NOTES

GENERAL: UNLESS NOTED OTHERWISE
 THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.
 DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
 THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
 ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.
 UNLESS REQUESTED AND PRODUCED ON THE PLANS, BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY
 FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.
 PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.
 FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION
 ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.
 ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.
 A 1 METRE WIDE APRON, WITH 2% CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE
 IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.
 ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HWS AND LPG UNITS.
 CONCRETE SPECIFICATION (F_c 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP

LOCATION	NORMAL F _c	SALINE AFFECTED F _c
PIERS	15 MPa	32 MPa
SLAB	20 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOWS:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

REINFORCEMENT SYMBOLS ARE AS FOLLOWS:
 (N) - HOT ROLLED DEFORMED BARS (400 n)
 (SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 sl)
 (S) - STRUCTURAL GRADE DEFORMED BARS
 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL.
 CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
 ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE
 PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
 ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK
 BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.
 (N) REINFORCED CONC. PIER (SL) SEWER AFFECTED PIER (S) SCREW PIER
 (O) UNREINFORCED CONC. PIER (A) ARTICULATION JOINT (*) STARTING POINT
DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODE

RAFELETOS
 ABN: 35 079 047 466
 LEVEL 2, 103 VANESSA STREET
 KINGSGROVE NSW 2208
 PO BOX 91 KINGSGROVE NSW 2208



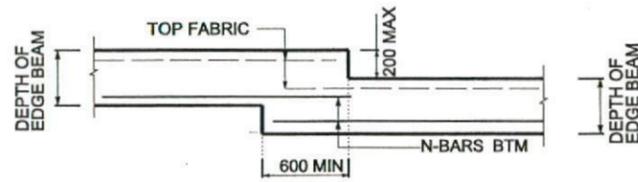
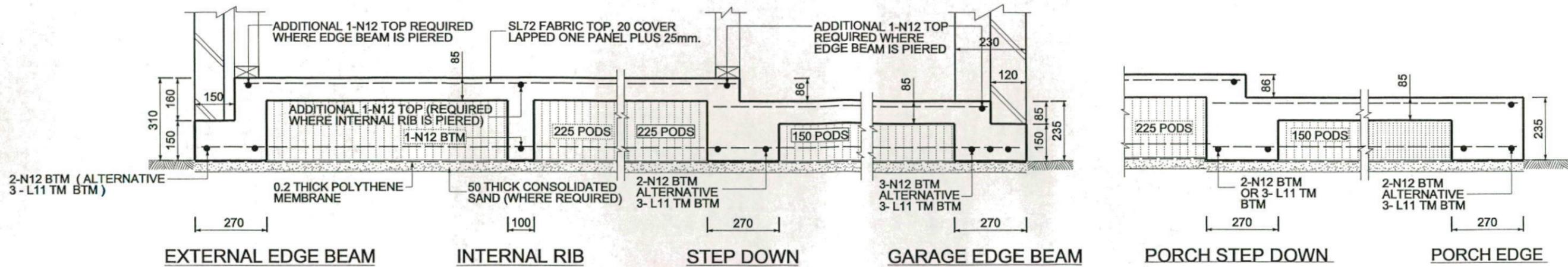
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[Signature]
 B.E., M.I.E. AUST.

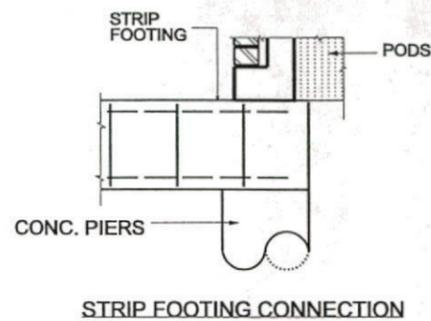


STRUCTURAL SLAB DETAIL PLAN

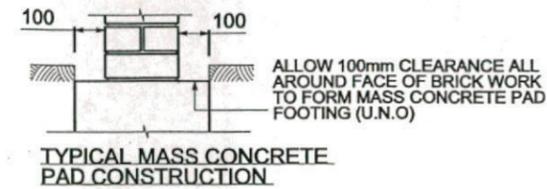
CLIENT LOCATION	EDEN BRAE HOMES LOT 1174 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH			A3			
CLASSIFICATION	M	DRAWN	N.P	SCALE	1:100	SHEET No.	1
REFERENCE	16311	ISSUE	B	DATE	30/05/13	JOB No.	55044EB



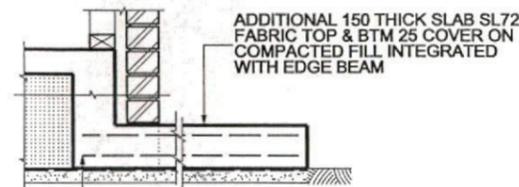
EXTERNAL BEAM STEP DOWN DETAIL
NOTE: STEP TO OCCUR ON TOP OF PIER



STRIP FOOTING CONNECTION



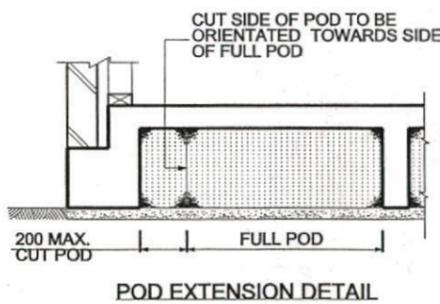
TYPICAL MASS CONCRETE PAD CONSTRUCTION



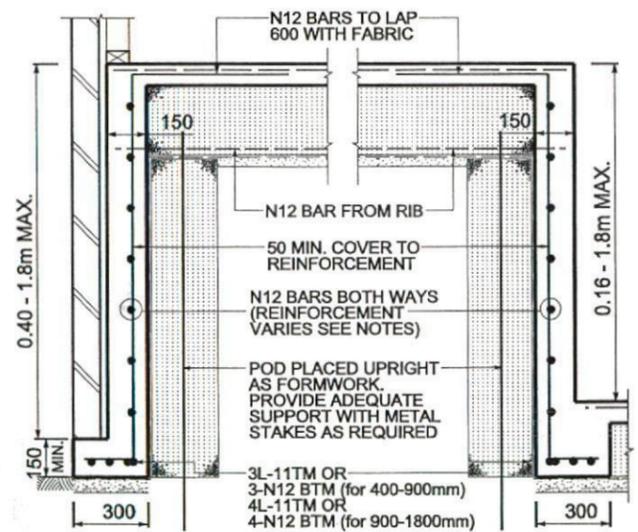
EXTERNAL EDGE BEAM SIZE AND REINFORCEMENT TO SUIT LOCATION OF PAD.

PAD DETAIL

- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



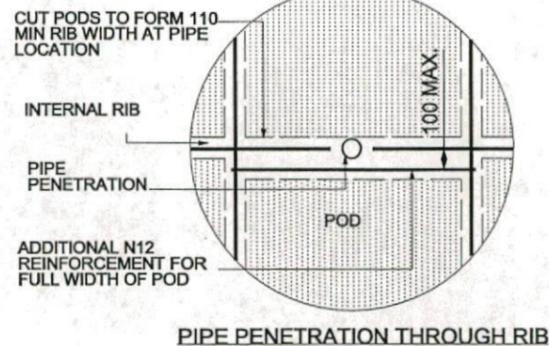
POD EXTENSION DETAIL



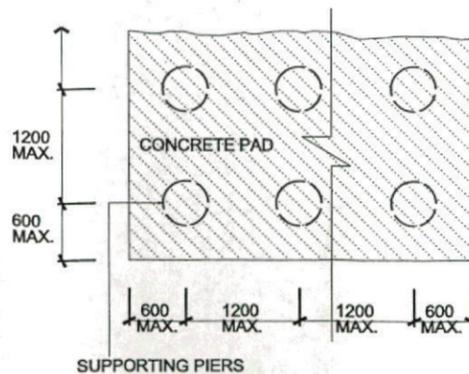
EXTERNAL DEEP BEAM

INTERNAL DEEP BEAM

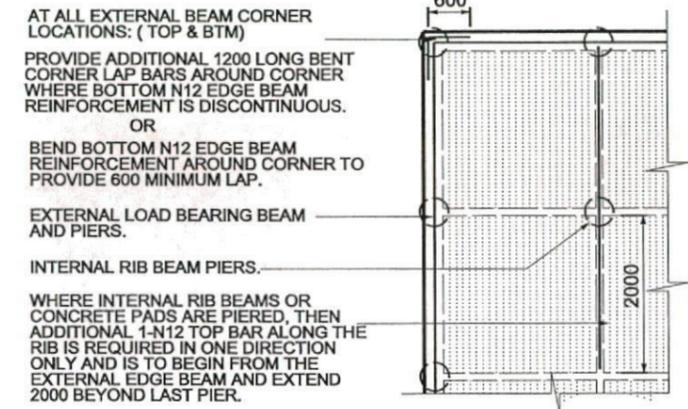
DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS



PIPE PENETRATION THROUGH RIB



SUPPORTING PIERS



AT ALL EXTERNAL BEAM CORNER LOCATIONS: (TOP & BTM)

PROVIDE ADDITIONAL 1200 LONG BENT CORNER LAP BARS AROUND CORNER WHERE BOTTOM N12 EDGE BEAM REINFORCEMENT IS DISCONTINUOUS.

OR
BEND BOTTOM N12 EDGE BEAM REINFORCEMENT AROUND CORNER TO PROVIDE 600 MINIMUM LAP.

EXTERNAL LOAD BEARING BEAM AND PIERS.

INTERNAL RIB BEAM PIERS.

WHERE INTERNAL RIB BEAMS OR CONCRETE PADS ARE PIERED, THEN ADDITIONAL 1-N12 TOP BAR ALONG THE RIB IS REQUIRED IN ONE DIRECTION ONLY AND IS TO BEGIN FROM THE EXTERNAL EDGE BEAM AND EXTEND 2000 BEYOND LAST PIER.

PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.

SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE

PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.

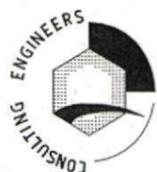
N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)

REINFORCEMENT FOR RIBS AND BEAMS

WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

RAFELETOS

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Eden brae homes

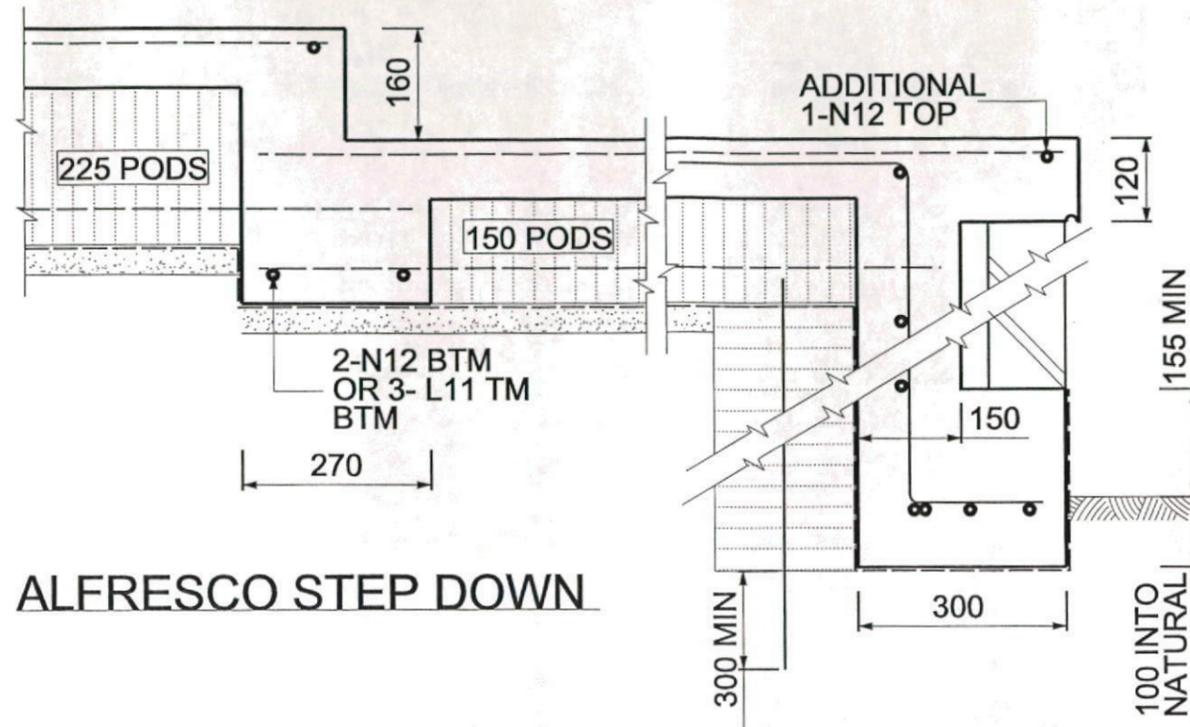
FORMWORK LEVEL CHECK BOOKED
FORMWORK LEVEL CHECK COMPLETE

225.72.2.N 225.150.86.2 225.150.86.2

STRUCTURAL DETAIL PLAN

CLIENT EDEN BRAE HOMES
LOCATION LOT 1174 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

CLASSIFICATION M SCALE NTS. SHEET No. 2
ISSUE B DATE 30/05/13 JOB No. 55044EB



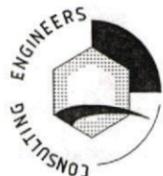
ALFRESCO STEP DOWN

ALFRESCO D.E.B

(REFER TO EXTERNAL DEEP BEAM DETAILS FOR REINFORCEMENT SPECIFICATIONS)

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STRUCTURAL SLAB DETAIL PLAN

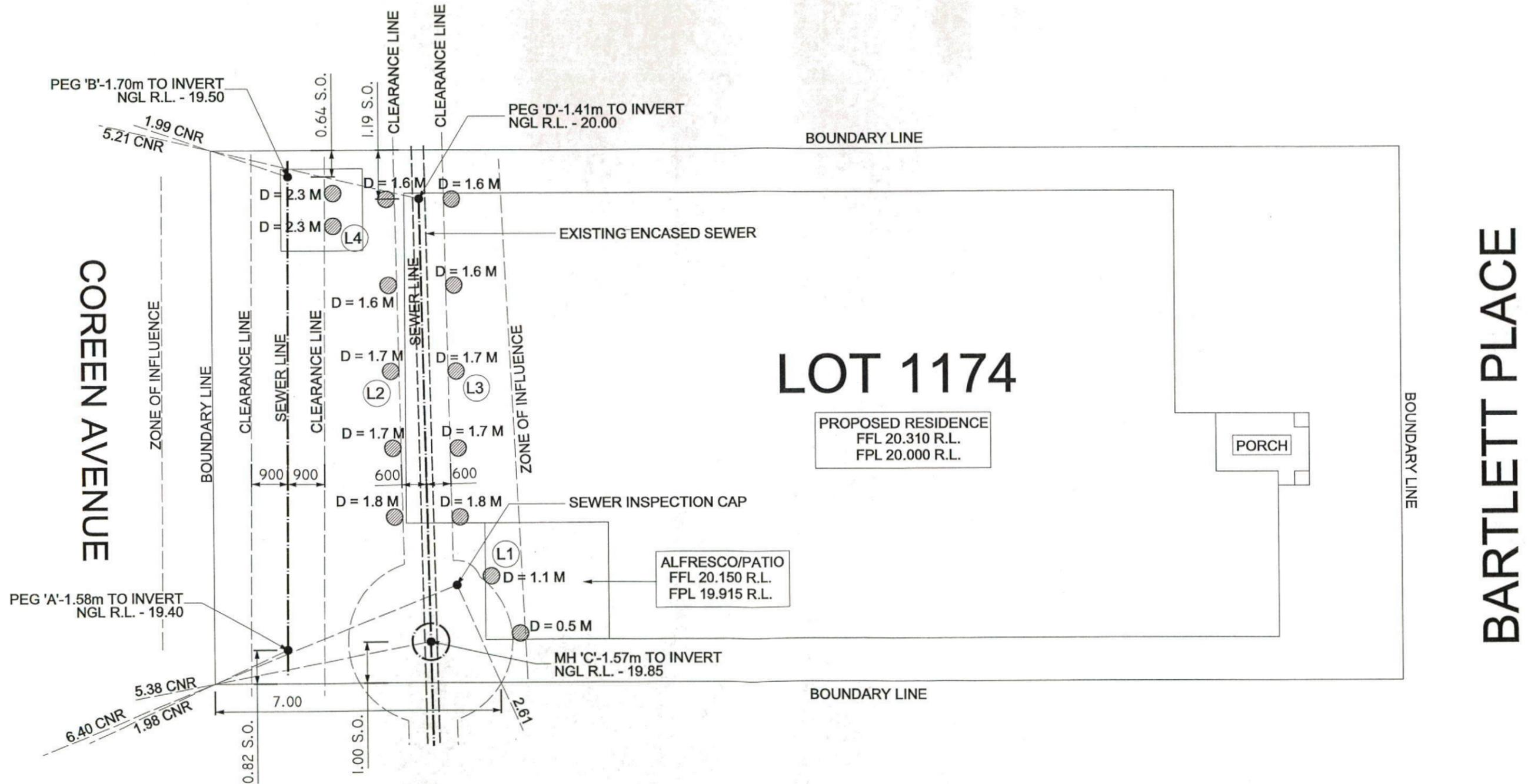
CLIENT EDEN BRAE HOMES
LOCATION LOT 1174 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

CLASSIFICATION	M	DRAWN	N.P	SCALE	1:100	SHEET No.	3
REFERENCE	16311	ISSUE	B	DATE	30/05/13	JOB No.	55044EB

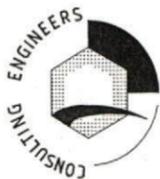
SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY



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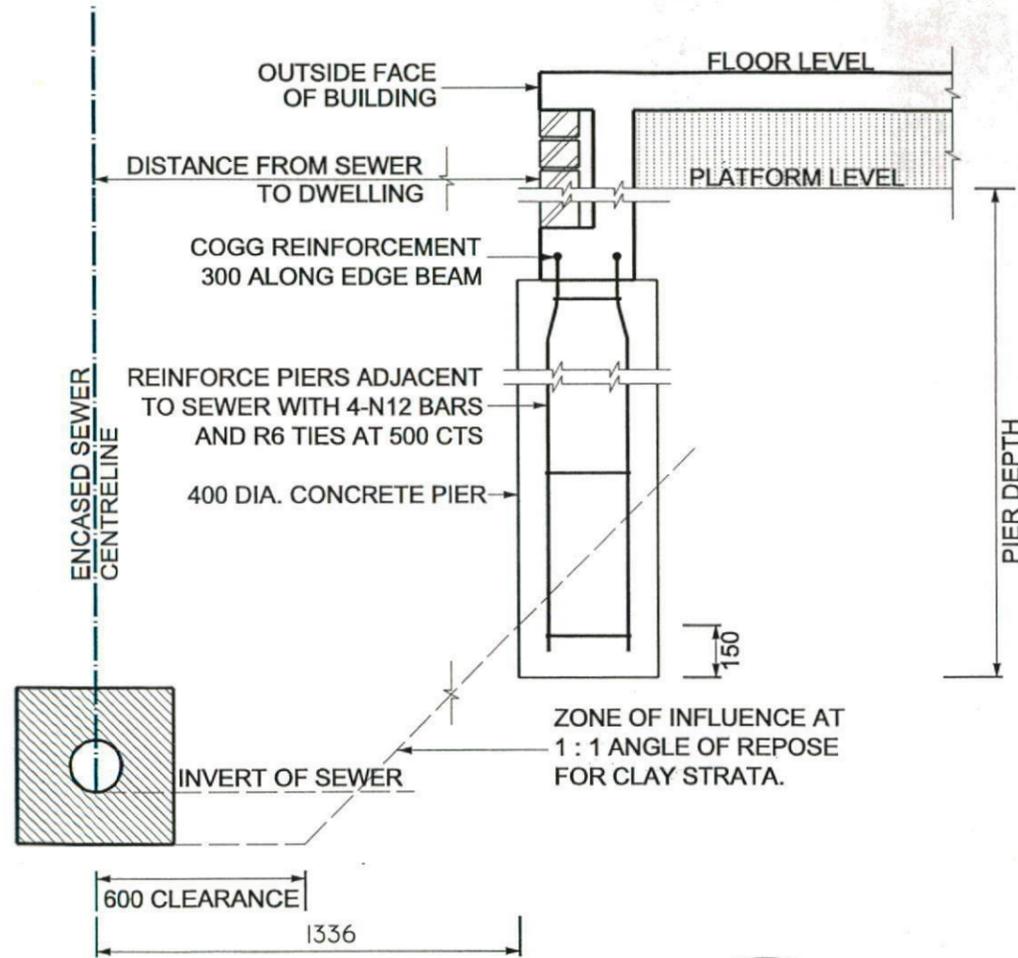
SITE AND B.A.S/B.O.S DETAIL PLAN

CLIENT LOCATION	EDEN BRAE HOMES LOT 1174 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH			A3
CLASSIFICATION	M	DRAWN	N.P	SCALE 1:100
REFERENCE	16311	ISSUE	B	DATE 30/05/13
SHEET No.			4	JOB No. 55044EB

SEWER NOTES:

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SEWER CALCULATIONS	L1	L2	L3	L4
PERPENDICULAR DISTANCE FROM SEWER TO PIER (m)	1.335	0.600	0.600	0.900
FINISHED PLATFORM LEVEL AT PIER LOCATION (r.l.) =	20.000	20.000	20.000	20.000
SEWER INVERT LEVEL PERPENDICULAR AT LOCATION (r.l.) =	18.326	18.469	18.469	17.802
PIER DEPTH FROM FINISHED PLATFORM LEVEL (m) =	1.1	1.7	1.7	2.3
Z.O.I. EXTENT FROM SEWER USING PLATFORM LEVEL (m) =	2.274	2.131	2.131	3.098
NATURAL GROUND LEVEL AT SEWER LOCATION (R.L.) =	19.872	19.942	19.942	19.490



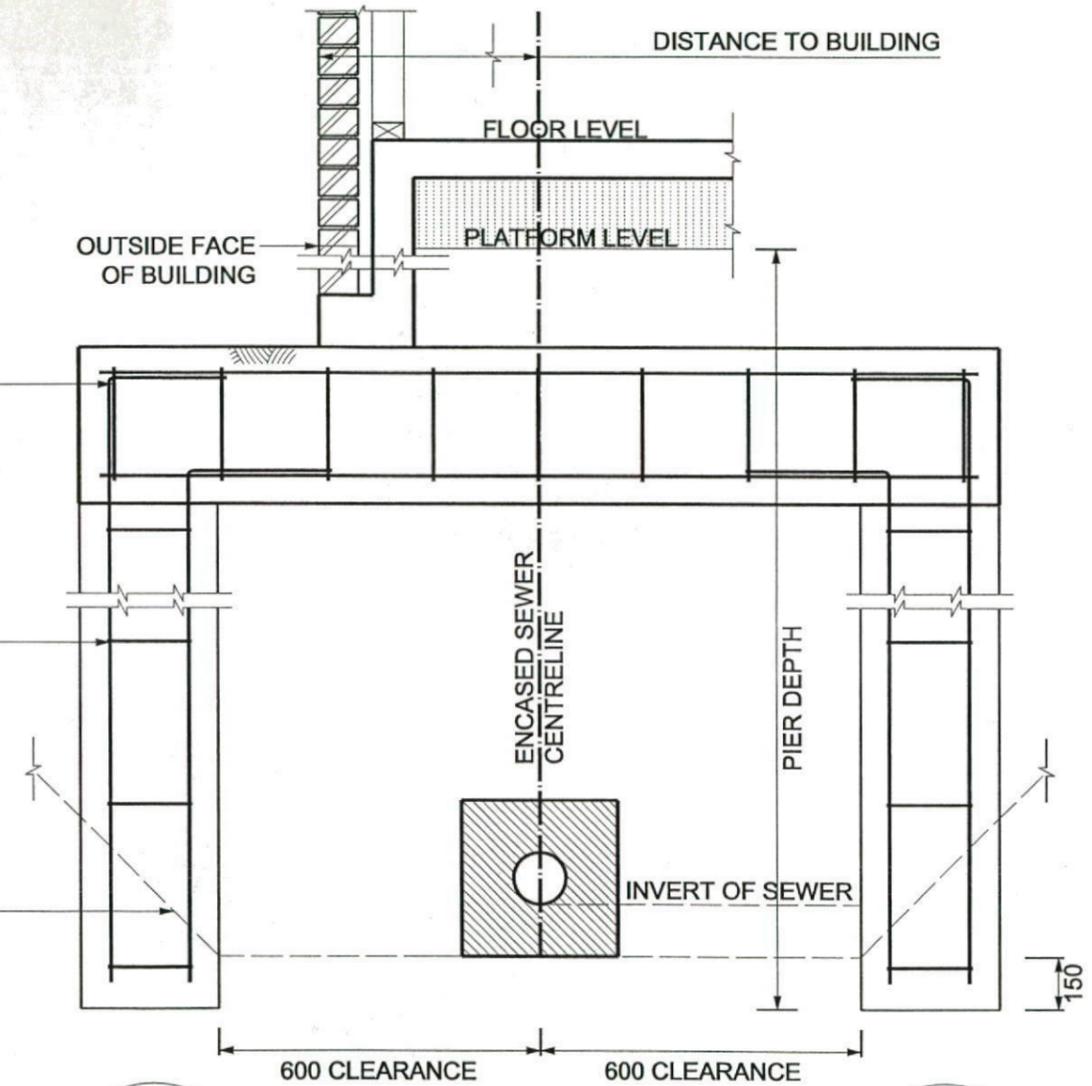
SEWER DETAIL

L1

450 WIDE BRIDGE FOOTING
4-N12 TOP & BTM R6 TIES
AT 300 CTS.

400 DIA. CONCRETE PIER
REINFORCED WITH 4-N12
BARS COGGED 300 ALONG
BRIDGE FOOTING WITH R6
TIES AT 500 CTS.

ZONE OF INFLUENCE AT
1:1 ANGLE OF REPOSE
FOR CLAY STRATA.



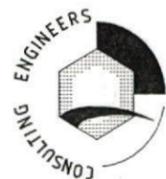
L2

SEWER DETAIL

L3

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SEWER SECTION/S PLAN

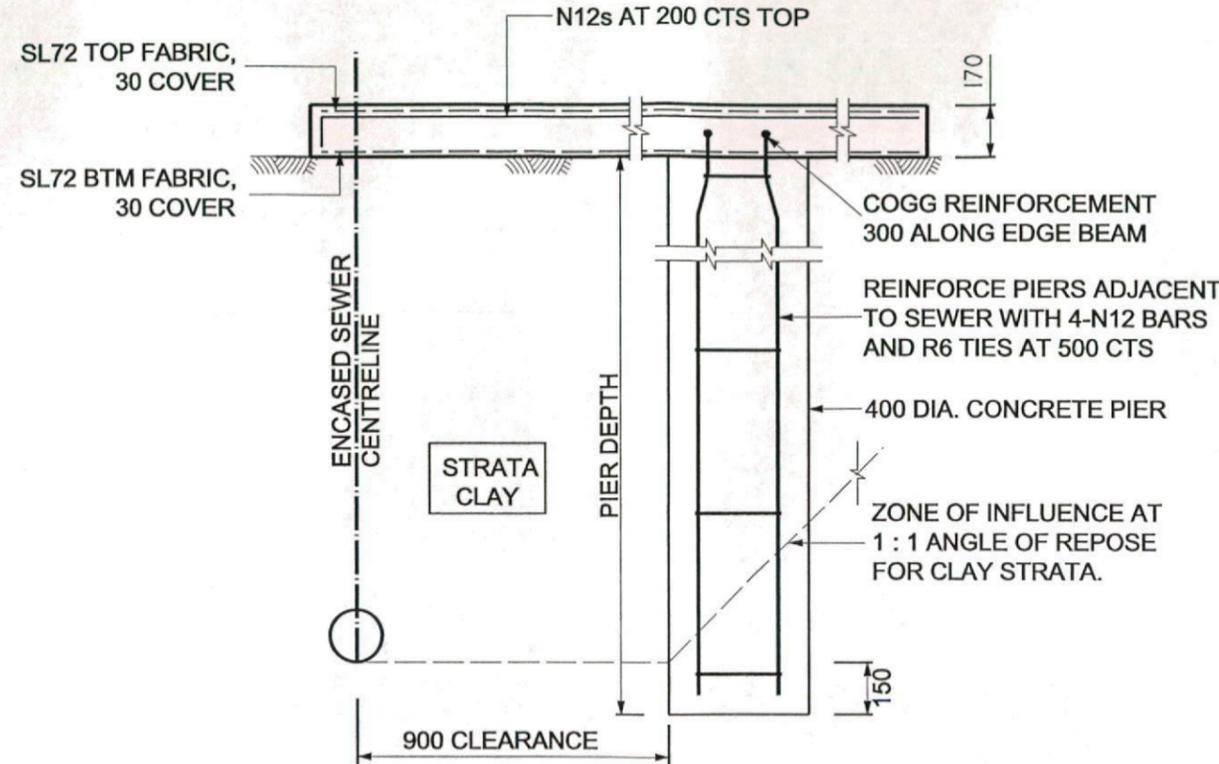
CLIENT EDEN BRAE HOMES
LOCATION LOT 1174 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

CLASSIFICATION	M	DRAWN	N.P	SCALE	1:20	SHEET No.	5
REFERENCE	16311	ISSUE	B	DATE	30/05/13	JOB No.	55044EB

SEWER NOTES:

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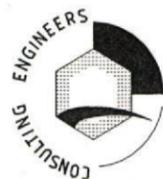


SEWER DETAIL

L4

RAFELETOS

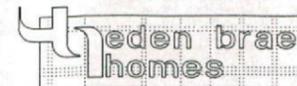
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SEWER SECTION/S PLAN

CLIENT EDEN BRAE HOMES
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A3

CLASSIFICATION	M	DRAWN	N.P	SCALE	1:20	SHEET No.	6
REFERENCE	16311	ISSUE	B	DATE	30/05/13	JOB No.	55044EB