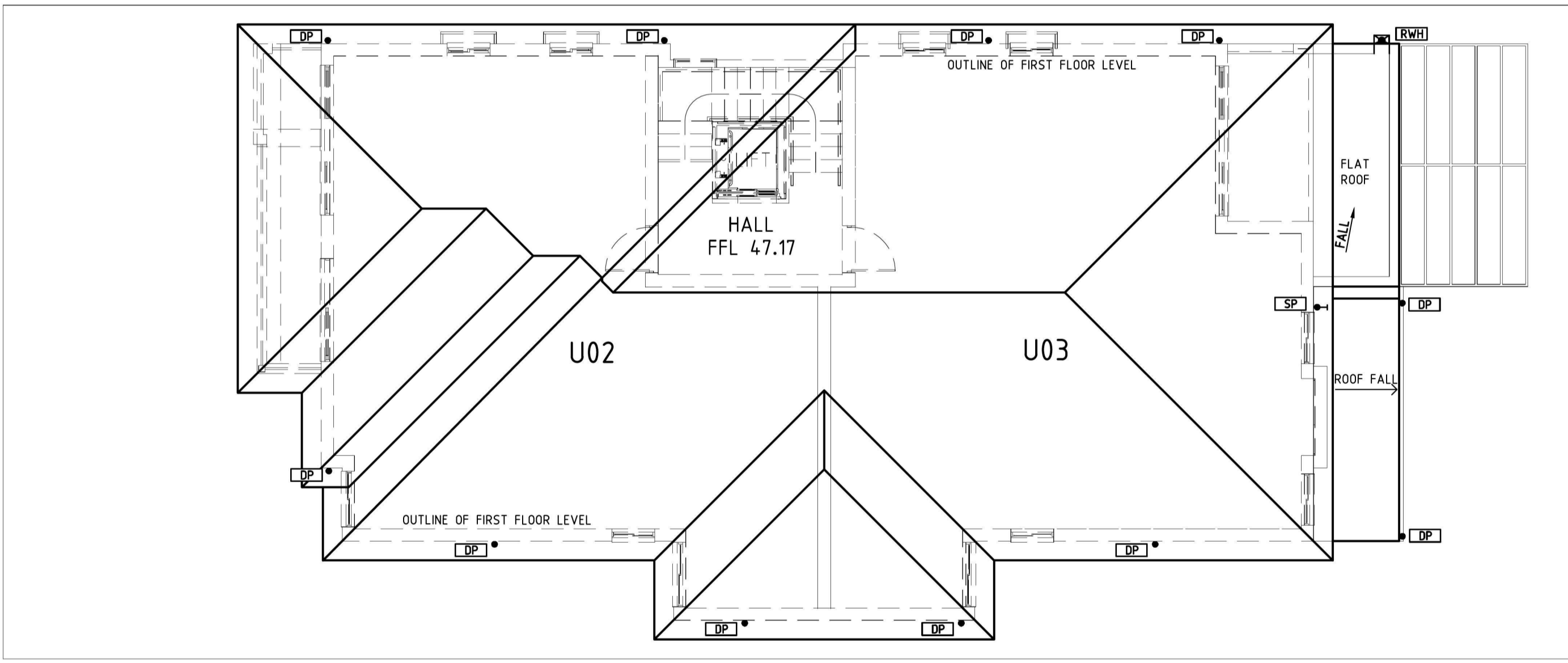


**STORMWATER LAYOUT PLAN  
GROUND LEVEL  
SCALE 1:100**

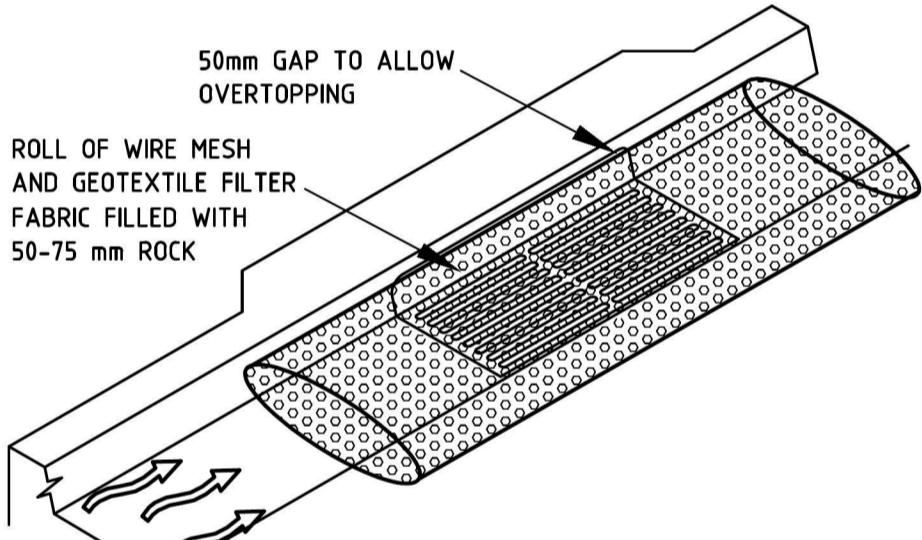


**STORMWATER LAYOUT PLAN  
ROOF LEVEL  
SCALE 1:100**

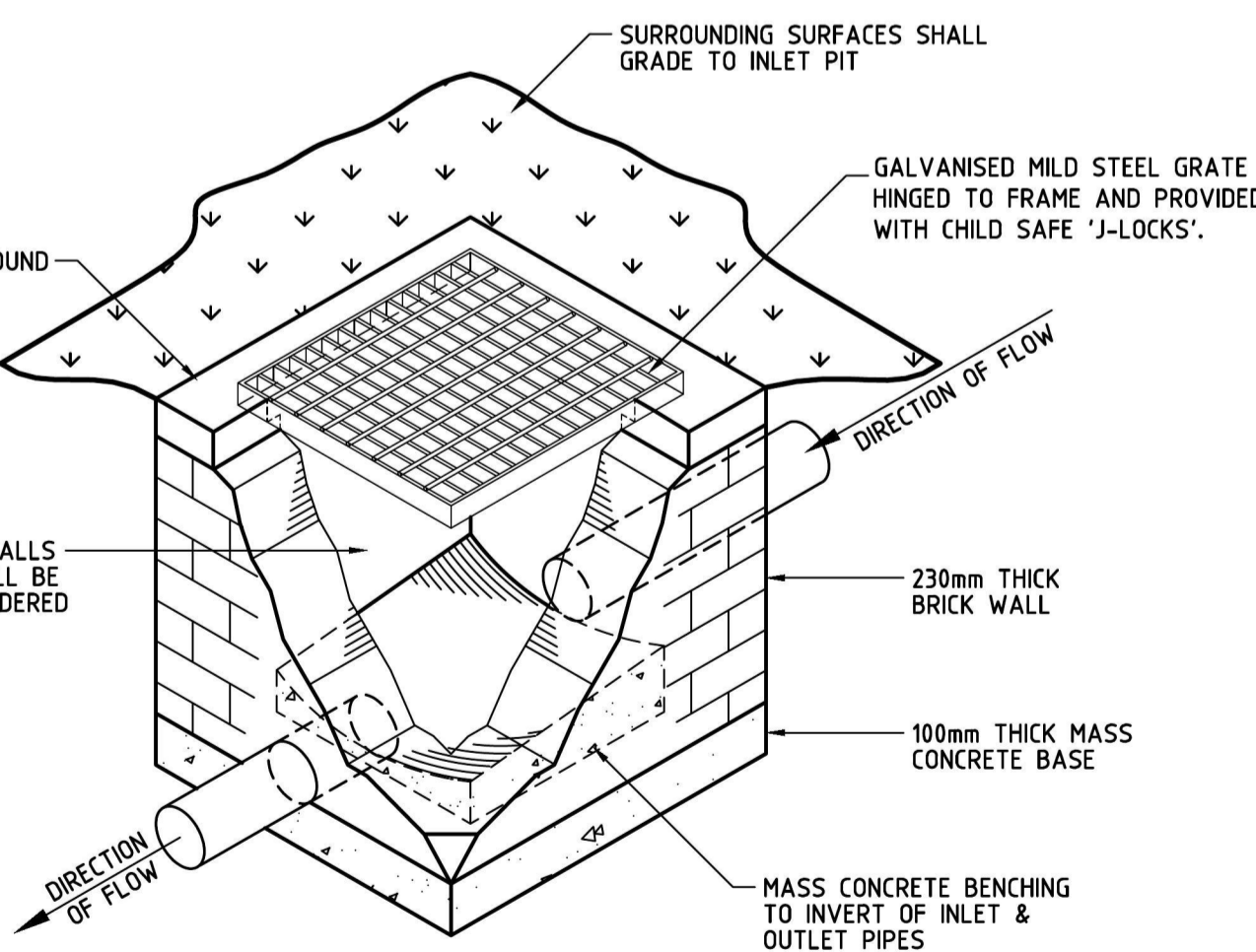
- NOTES**
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
  - THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
  - SILT FENCE IS TO BE ERECTED PRIOR TO COMMENCING WORK. FENCE TO BE MAINTAINED IN WORKING ORDER DURING TIME OF CONSTRUCTION.
  - W.A.E. DRAWING BY A REGISTERED SURVEYOR IS REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
  - ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDER GROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
  - ALL TERRACE FLOOR & PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
  - ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANISED STEEL IRONS AT 300mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS 4198-1994.
  - ALL LEVELS SHALL RELATE TO THE ESTABLISHED BENCH MARK.
  - THE BASE OF ALL DRAINAGE PITS SHALL BE BENCH TO THE INVERT OF THE OULET PIPE.
  - ALL GUTTERS SHALL BE MINIMUM 100 x 75mm AND DOWNPIPES SHALL BE MINIMUM 100 x 75mm UNLESS NOTED OTHERWISE.
  - ALL STORMWATER DRAINAGE PIPES SHALL BE A MINIMUM 100mm PVC LAID AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE IN THE DRAWING. WHERE GROUND COVER OVER THE PIPES IS LESS THAN 300mm THE STORMWATER PIPES SHALL BE SEWER GRADE uPVC.
  - THE BUILDER SHALL ENSURE THAT THE STORMWATER ENGINEERING DRAWINGS CORRESPOND TO THE ARCHITECTURAL, STRUCTURAL AND LANDSCAPE DRAWINGS. IF THERE EXISTS ANY DISCREPANCIES BETWEEN THE DRAWINGS THE BUILDER SHALL REPORT THE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORKS.
  - ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. PINE BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
  - ALL WORKS WITHIN THE FOOTPATH AREA SHALL BE SUITABLY BARRICADED AND SIGNPOSTED IN ACCORDANCE WITH A TRAFFIC MANAGEMENT PLAN THAT HAS BEEN PREPARED BY A QUALIFIED AND RTA ACCREDITED TRAFFIC ENGINEER AND APPROVED BY COUNCIL. IT IS THE RESPONSIBILITY OF THE BUILDER OR CONTRACTOR CARRYING OUT THE WORKS WITHIN THE FOOTPATH AREA AND ROAD RESERVE TO OBTAIN THE NECESSARY APPROVED DOCUMENTS AS OUTLINED ABOVE.
  - ALL RETAINING WALLS SHALL BE CONSTRUCTED COMPLETELY WITHIN THE PROPERTY BOUNDARY LIMITS TO DETAILS PREPARED BY THE STRUCTURAL ENGINEER. WALLS FORMING THE ON SITE DETENTION SYSTEM SHALL BE OF MASONRY/BRICK CONSTRUCTION AND SHALL BE WATER TIGHT.
  - ALL SUB-SOIL DRAINAGE SHALL BE A MINIMUM OF 65mm AND SHALL BE PROVIDED WITH A FLITER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT.
  - PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE STORMWATER SYSTEM CONNECTS INTO THE COUNCIL'S KERB/DRAINAGE SYSTEM MATCHES THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.

**LEGEND**

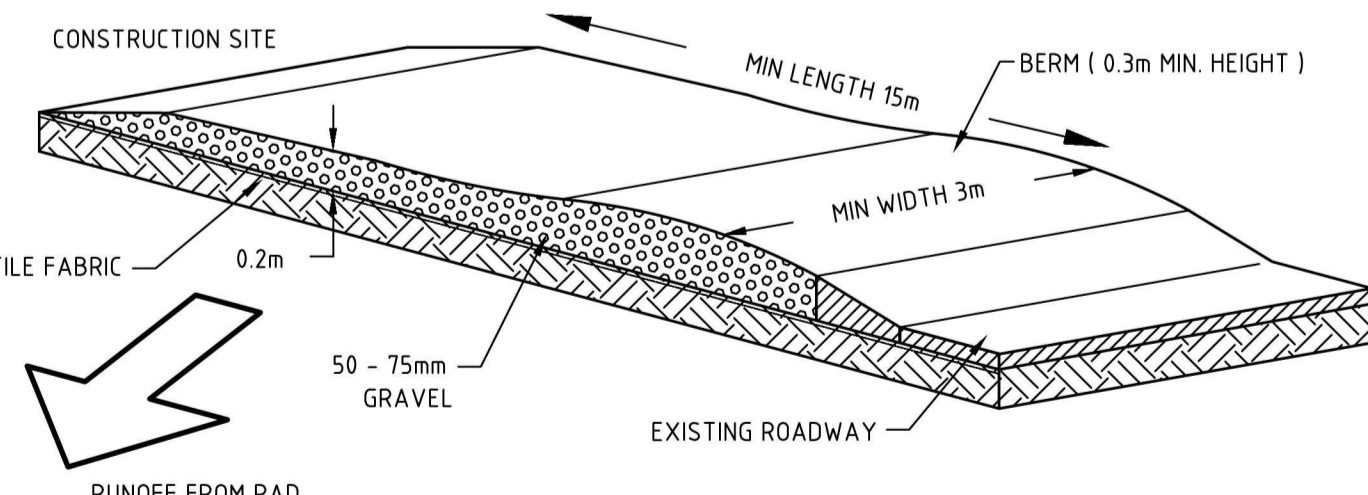
DRAINAGE LINE	---	SURFACE INLET PIT	⊞
DRAINAGE LINE TO RAINWATER TANK	— RW —	SEALED JUNCTION PIT	⊞
AG. LINE	o — o	CLEANING EYE (OR INSPECTION EYE)	⊞
SILT FENCE	— X —	DOWN PIPE	• DP
EXISTING LEVEL x 165.00	---	SPREADER PIPE	⊞ SP
DESIGN LEVEL x 166.00	---	PLANTER GRATE	⊞ PG
SILT BARRIER AROUND PIT	⊞	RISING MAIN	⊞ RISER
TOP OF WALL R.L. 166.00 - TOW 166.00	---	SPS TRUFO	⊞
		FLAT GRATE, MODEL SPECIFIED ON PLAN	⊞



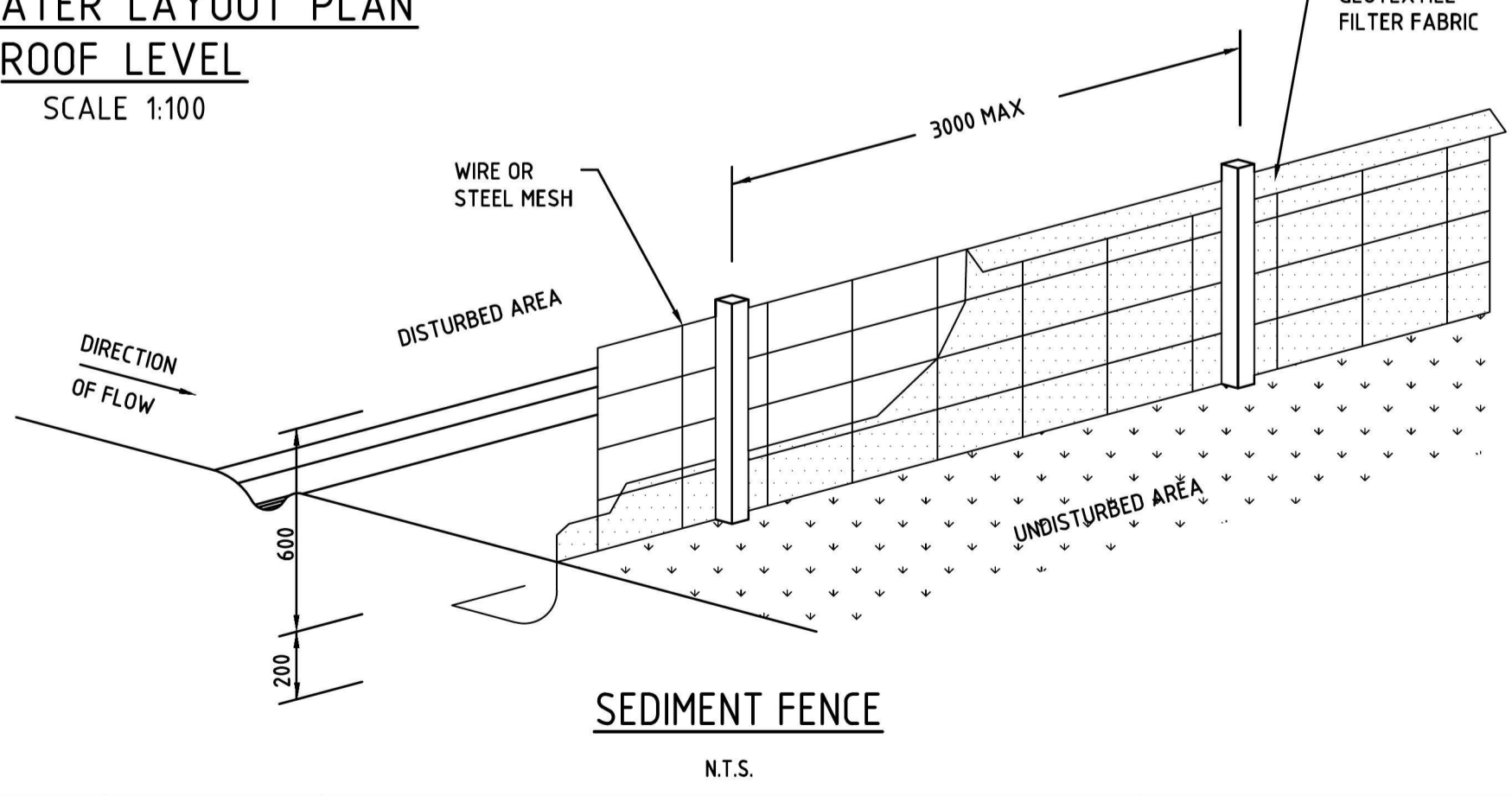
**PORTABLE ROCK KERB INLET  
SEDIMENT TRAP  
N.T.S.**



**TYPICAL GRATED INLET PIT DETAIL  
NOT TO SCALE**



**TEMPORARY CONSTRUCTION  
EXIT / ENTRANCE  
N.T.S.**



**SEDIMENT FENCE  
N.T.S.**

**DANGER**

WHEN EXCAVATING WITHIN ANY SITE, FOOTPATH AND ROADWAY, ALL SERVICES SHALL BE LOCATED PRIOR TO COMMENCEMENT OF THE EXCAVATION WORKS. CONTACT "DIAL BEFORE YOU DIG" ON PHONE No. 1100 OR GO TO THE WEB SITE "www.1100.com.au"

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--	--	---	--	--	--	---	--	--	--	---	--	------------------------------------	--	------------------	--

# SPECIALIST DISABILITY ACCOMMODATION

12 Manning Street, KINGSWOOD  
DEVELOPMENT APPLICATION



## KENNEDY ASSOCIATES ARCHITECTS

level 3 / 1 booth street, annandale 2038  
nominated architect - anthony nolan - registration no. 6773  
p + 61 2 9557 6466 f + 61 2 9557 6477

Document Set ID: 8370100

Version: 1, Version Date: 06/09/2018

## COVER PAGE

Specialist disability accommodation at:  
**12 Manning Street, KINGSWOOD**

project number	drawing number	rev.
<b>1810</b>	<b>DA00</b>	<b>A</b>
date		
30/08/18 Development Application		

1819 - no 12 180830 AN.wvx

## DRAWING LIST

Project	Dwg No.	Name
1810	DA00	COVER PAGE
1810	DA01	INTRODUCTION
1810	DA02	SITE ANALYSIS
1810	DA03	SITE PLAN
1810	DA04	GROUND FLOOR PLAN
1810	DA05	FIRST FLOOR PLAN
1810	DA06	ROOF PLAN
1810	DA07	ELEVATION 01
1810	DA08	ELEVATION 02
1810	DA09	SECTION
1810	DA10	VIEWS FROM SUN - 21st June
1810	DA11	VIEWS FROM SUN - 21st June
1810	DA12	SHADOW DIAGRAMS - 21st June
1810	DA13	LANDSCAPED AREA COUNT

## THE SITE

The site is located at 12 Manning Street, KINGSWOOD.

The site has a 15.2m street frontage to Manning Street.

The site has an area of approximately 557 sq m.

The existing site consists of a single storey brick residence and a brick garage.

The site lies within a R3 Medium Density Residential zone.

## ACCOMMODATION SUMMARY

### unit sizes schedule

Number	Type	Area
COMMUNAL		63 sq m
U01	2B - platinum	125 sq m
U02	2B - platinum	108 sq m
U03	2B - platinum	116 sq m

## DEVELOPMENT YIELD

The proposed development will provide:

### Parking

the development provides:

- 2 x standard indoor car spaces

### Residential

- Ground & First floor level residential

- 3 unit group home

- Communal Room

## KENNEDY ASSOCIATES ARCHITECTS

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p + 61 2 9557 6466 f + 61 2 9557 6477

Document Set ID: 8370100

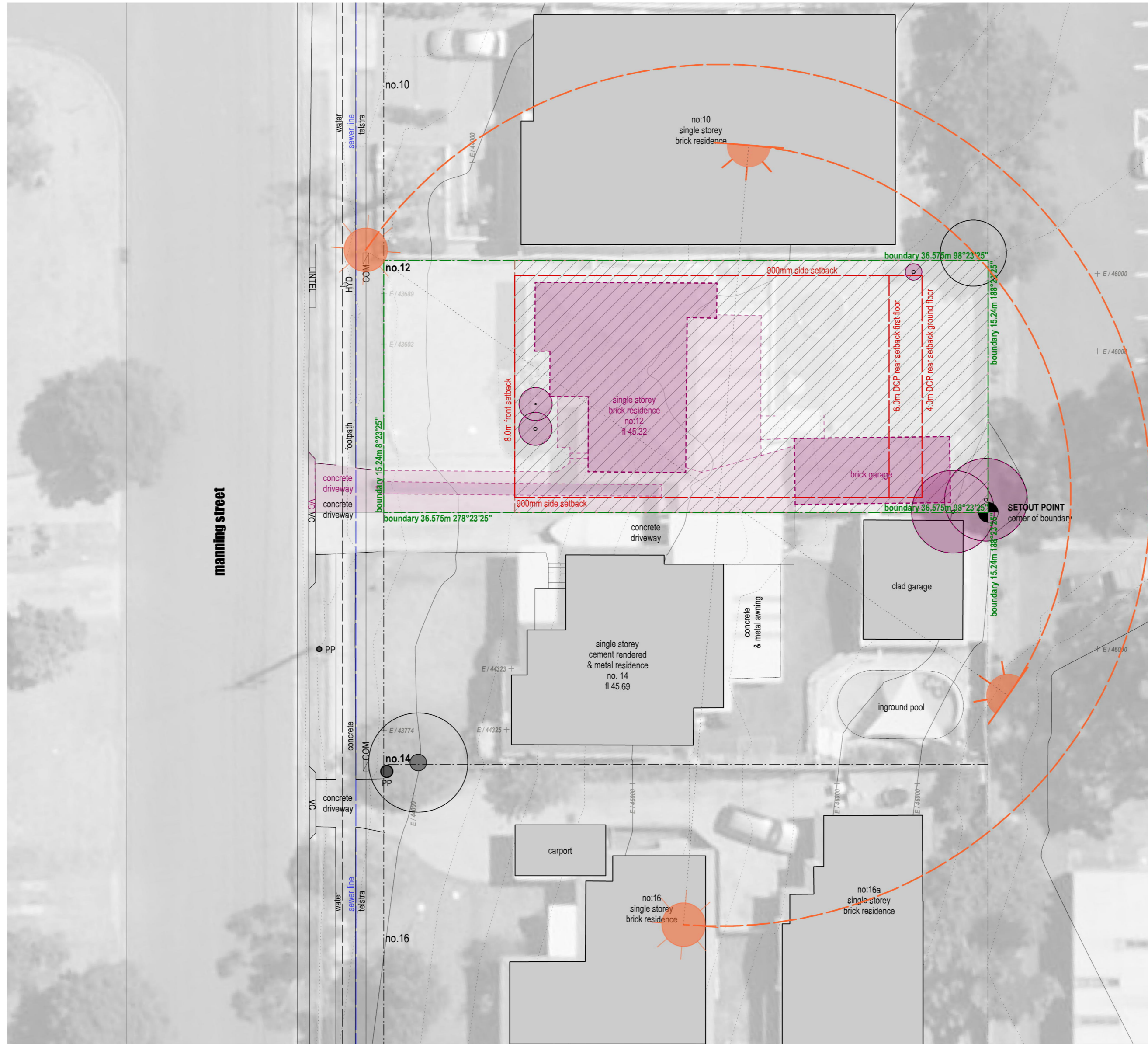
Version: 1, Version Date: 06/09/2018

## INTRODUCTION

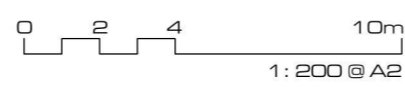
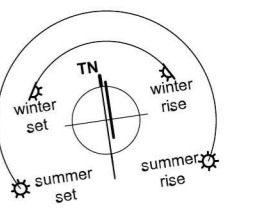
Specialist disability accommodation at:

**12 Manning Street, KINGSWOOD**

project number	drawing number	rev.
<b>1810</b>	<b>DA01</b>	<b>A</b>
dsk		
30/08/18	Development Application	



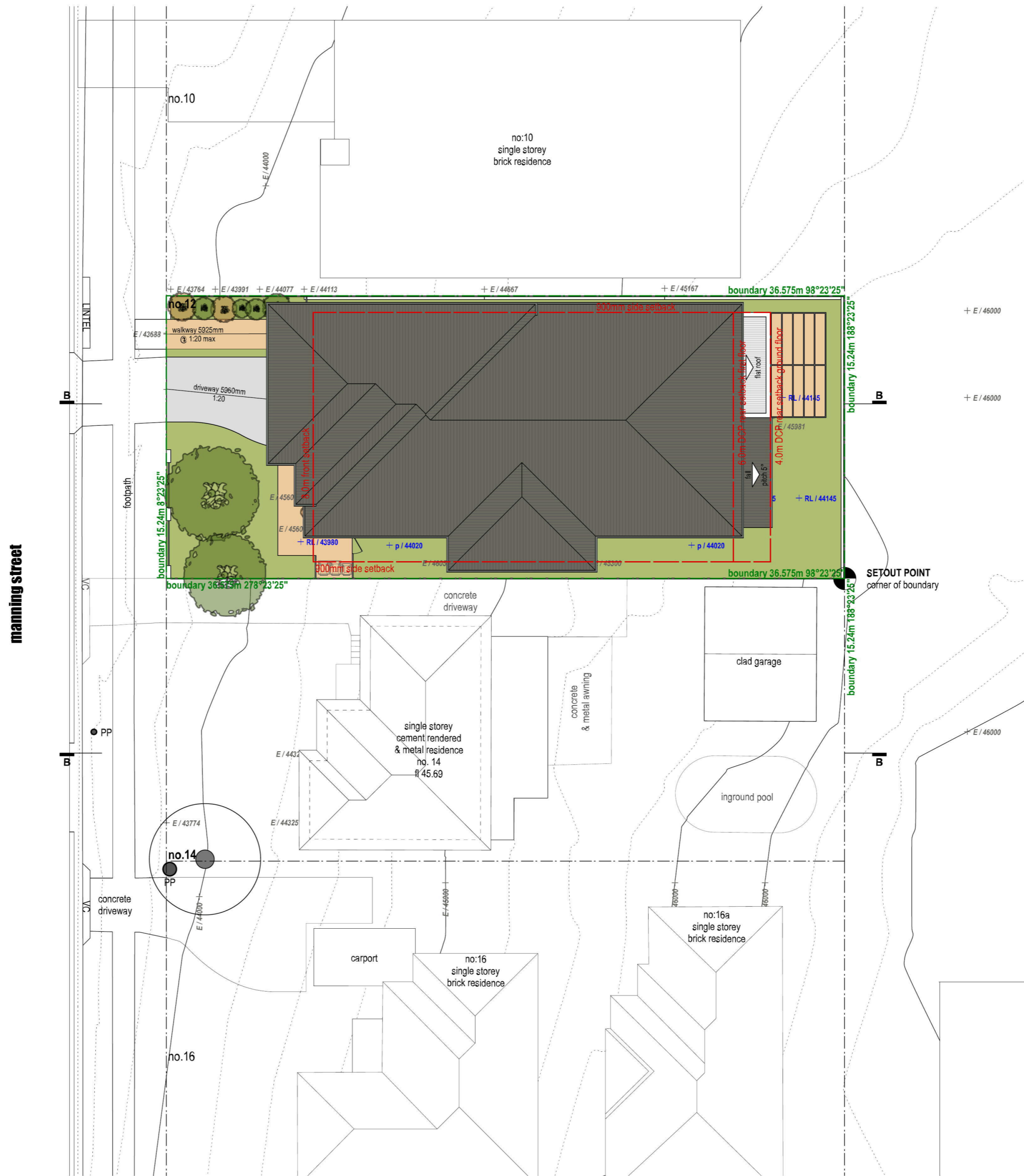
- site legend**
- boundary
  - setback
- tree legend**
- existing tree to be retained
  - existing tree to be removed
- demolition & excavation legend**
- existing to be demolished
  - zone of excavation
  - zone of fill
- landscape legend**
- driveway & parking
  - paved area
  - client outdoor area
  - staff outdoor area



**SITE ANALYSIS**

Specialist disability accommodation at:  
**12 Manning Street, KINGSWOOD**

project number	1819	1819 - no 12 180830 AN.wxw
drawing number	DA02	drawing number rev.
date	30/08/18	Development Application



**site legend**

- boundary
- setback

**tree legend**

- existing tree to be retained
- proposed trees

**landscape legend**

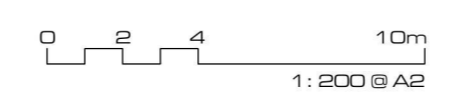
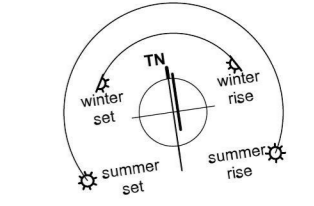
- driveway & parking
- paved area
- client outdoor area
- staff outdoor area

**area counts**

location	area sq m
Total Enclosed Floor Area	242.8 sq m
Carport	47.6 sq m
Driveway	30.9 sq m
Hard Landscaped Area	41.6 sq m
Soft Landscaped Area	194.5 sq m
<b>Total Site</b>	<b>557.4 sq m</b>

**unit sizes schedule**

Number	Type	Area
COMMUNAL		
U01	2B - platinum	125 sq m
U02	2B - platinum	108 sq m
U03	2B - platinum	116 sq m



**SITE PLAN**

Specialist disability accommodation at:  
**12 Manning Street, KINGSWOOD**

1819 - no 12 180830 AN.wxd	
project number	drawing number rev.
<b>1810</b>	<b>DA03 A</b>
date	
30/08/18	Development Application

**KENNEDY ASSOCIATES ARCHITECTS**

level 3 / 1 booth street, annandale 2038  
 nominated architect - anthony nolan - registration no. 6773  
 p + 61 2 9557 6466 f + 61 2 9557 6477  
 Document Set ID: 8370100  
 Version: 1, Version Date: 06/09/2018

**site legend**

- boundary
- setback

no.10

no:10  
single storey  
brick residence

A

no.12

boundary 36.575m 98°23'25"

boundary 15.24m 188°23'25"

B

boundary 15.24m 8°23'25"

boundary 36.575m 278°23'25"

900mm side setback

900mm side setback

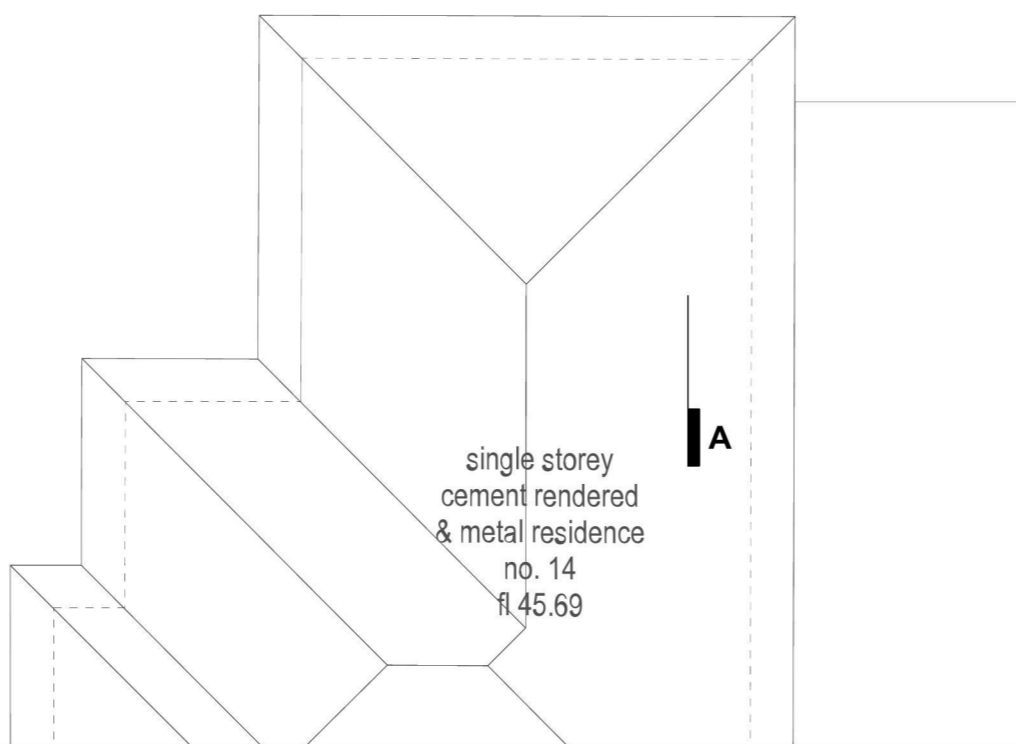
boundary 36.575m 98°23'25"

SETOUT POINT  
corner of boundary

boundary 15.24m 188°23'25"

manning street

B



single storey  
cement rendered  
& metal residence  
no. 14  
fl. 45.69

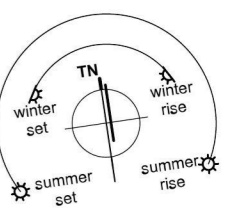
A



clad garage

**unit sizes schedule**

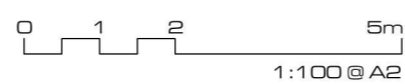
Number	Type	Area
COMMUNAL		63 sq m
U01	2B - platinum	125 sq m
U02	2B - platinum	108 sq m
U03	2B - platinum	116 sq m



**KENNEDY ASSOCIATES ARCHITECTS**

level 3 / 1 booth street, annandale 2038  
nominated architect - anthony nolan - registration no. 6773  
p + 61 2 9557 6466 f + 61 2 9557 6477

Document Set ID: 8370100  
Version: 1, Version Date: 06/09/2018



**ROOF PLAN**

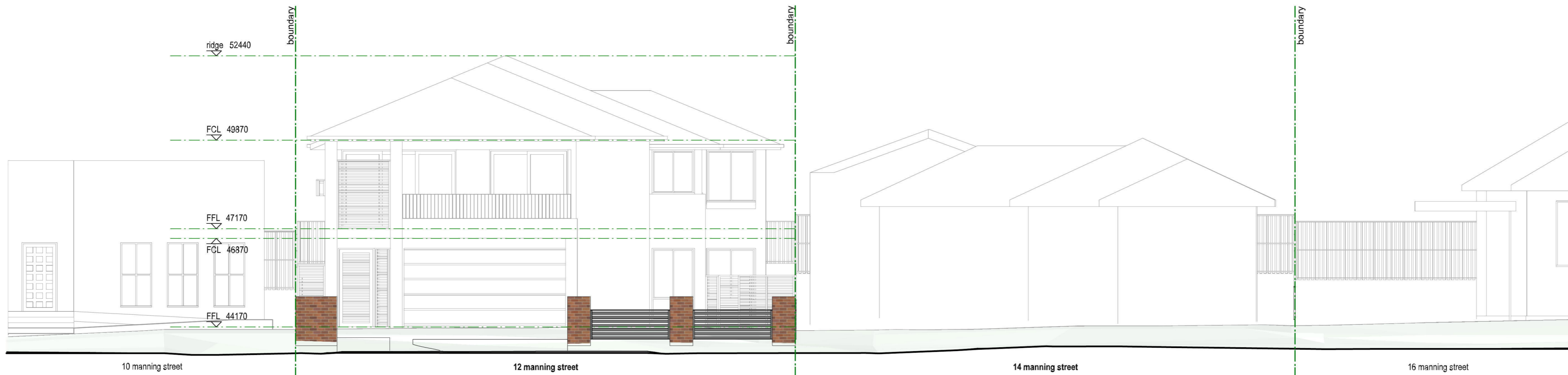
Specialist disability accommodation at:

**12 Manning Street, KINGSWOOD**

project number 1810 drawing number DA06 rev. A

date 30/08/18 Development Application

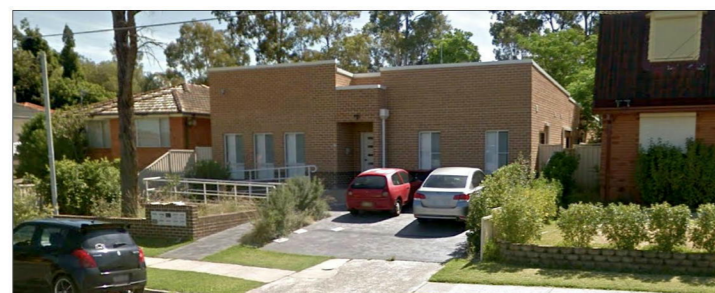
1819 - no 12 180830 AN.wvx



**manning street elevation**



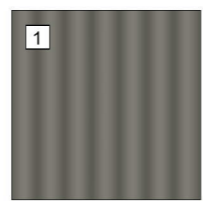
**west elevation**



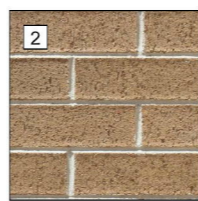
**10 manning street**  
(northern neighbours to site)



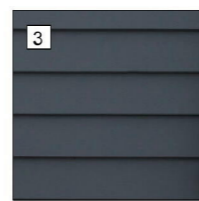
**16 manning street**  
(southern neighbours to site)



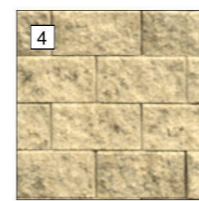
**1**  
roof:  
Colorbond  
Custom Orb metal roof  
sheeting  
Colour: Wallaby



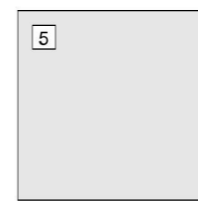
**2**  
facebrick 1:  
PGH Bricks & Pavers  
Velour - Pearl Grey  
Off-white mortar with  
ironed joints



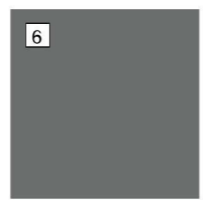
**3**  
horizontal cladding:  
Scyon Linea 150 mm  
board  
Dark



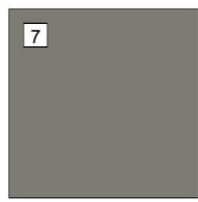
**4**  
retaining wall:  
Adbri Masonry  
Versawall Block  
Colour: Oatmeal



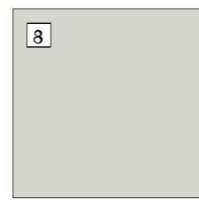
**5**  
windows & glazed  
doors: Trend  
powder-coated  
aluminium windows  
Finish: Matt  
Colour: Basalt



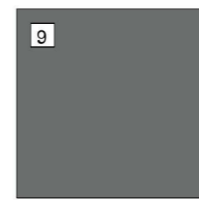
**6**  
render, window frames,  
gutters,  
screening/fencing 1 &  
timber posts:  
Colorbond  
Basalt



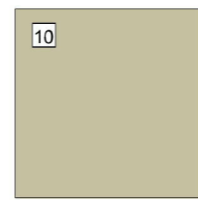
**7**  
downpipes & fascia &  
bargeboard:  
Colorbond  
Wallaby



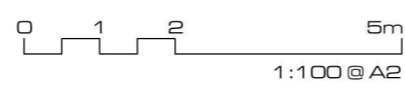
**8**  
render & balustrade:  
Dulux Colorbond  
Surfmist



**9**  
garage door:  
B&D Panelift door  
Finish/Pattern: Nullarbor  
Texture  
Colour: Basalt



**10**  
screening/fencing 2:  
Colorbond  
Paperbark



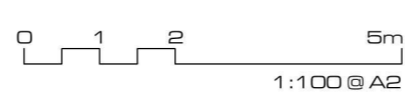
**ELEVATION 01**

Specialist disability accommodation at:  
**12 Manning Street, KINGSWOOD**

project number	1819 - no 12 180830 AN.wx
drawing number	DA07 A
date	30/08/18
Development Application	



**KENNEDY ASSOCIATES ARCHITECTS**  
 level 3 / 1 booth street, annandale 2038  
 nominated architect - anthony nolan - registration no. 6773  
 p + 61 2 9557 6466 f + 61 2 9557 6477  
 Document Set ID: 8370100  
 Version: 1, Version Date: 06/09/2018

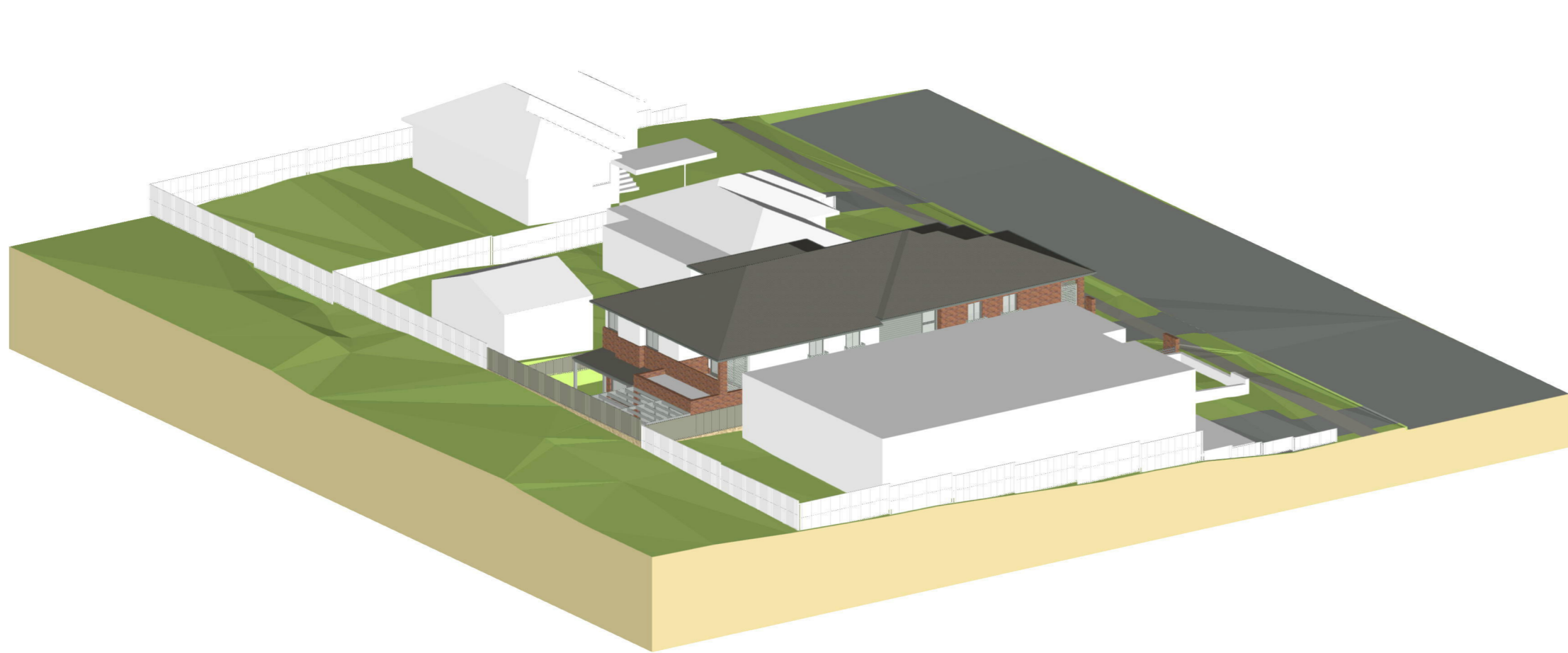


**ELEVATION 02**

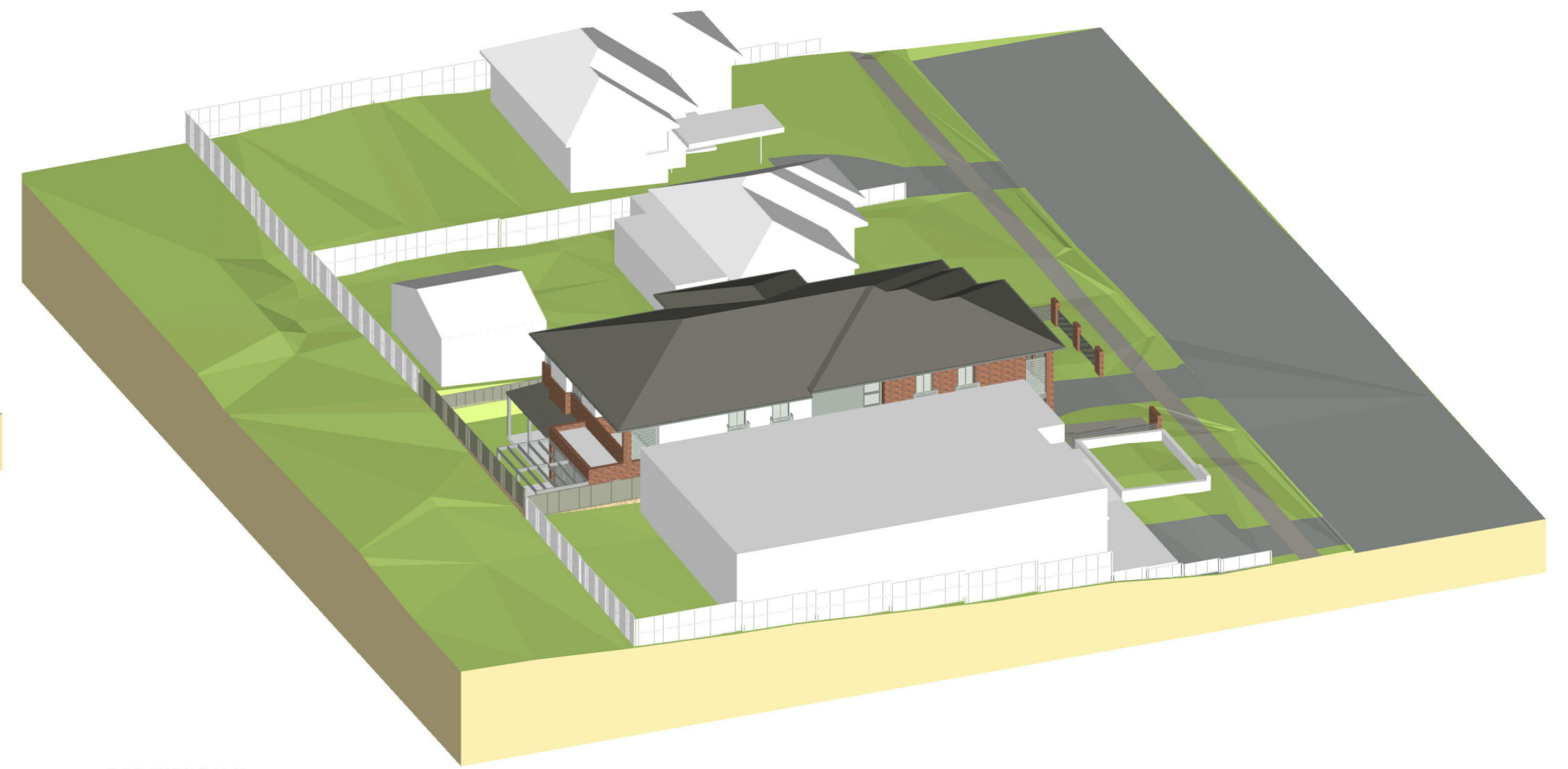
Specialist disability accommodation at:  
**12 Manning Street, KINGSWOOD**

1819 - no 12 180830 AN.wvx	
project number	drawing number rev.
<b>1810</b>	<b>DA08 A</b>
date	
30/08/18 Development Application	

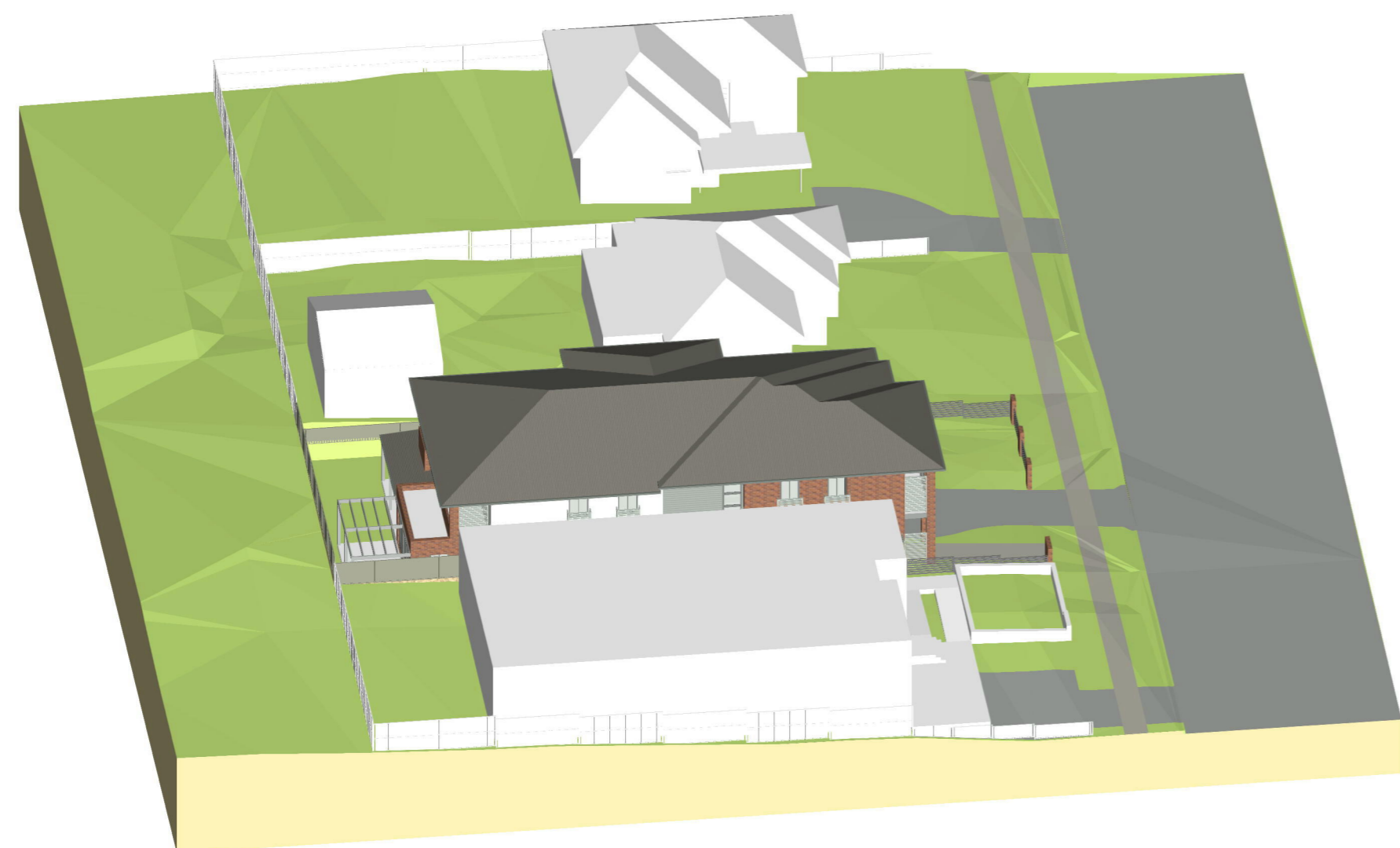




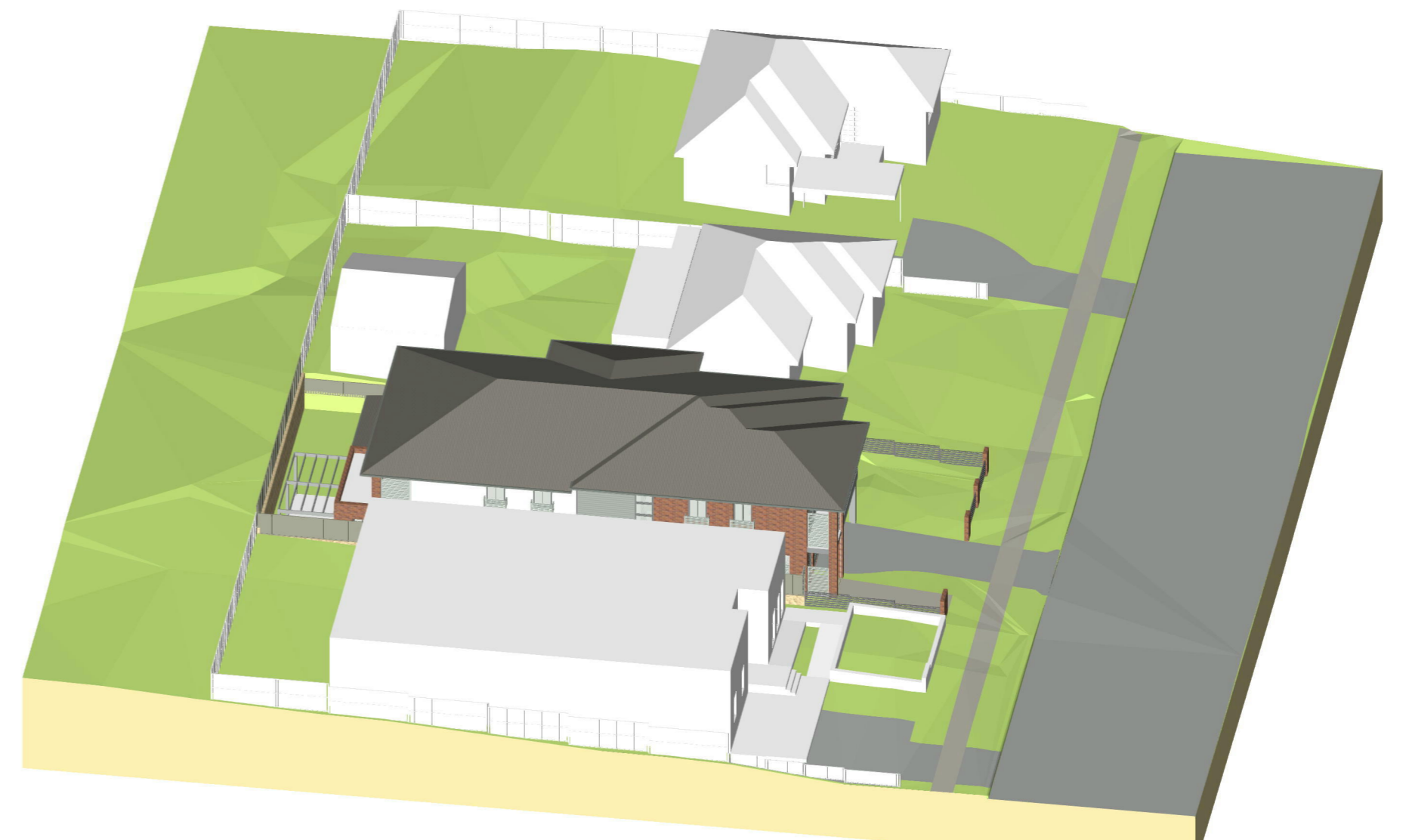
09:00AM



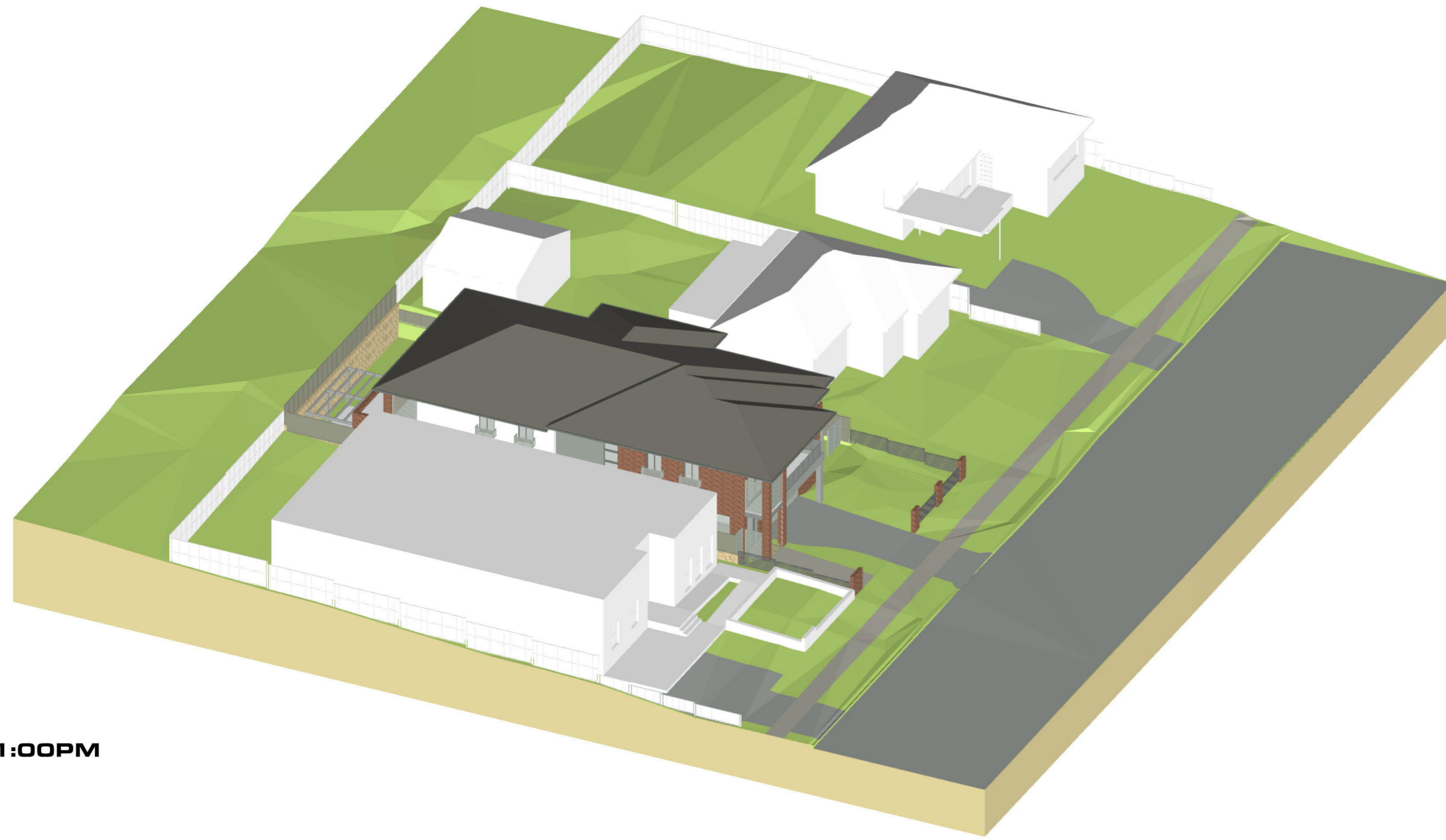
10:00AM



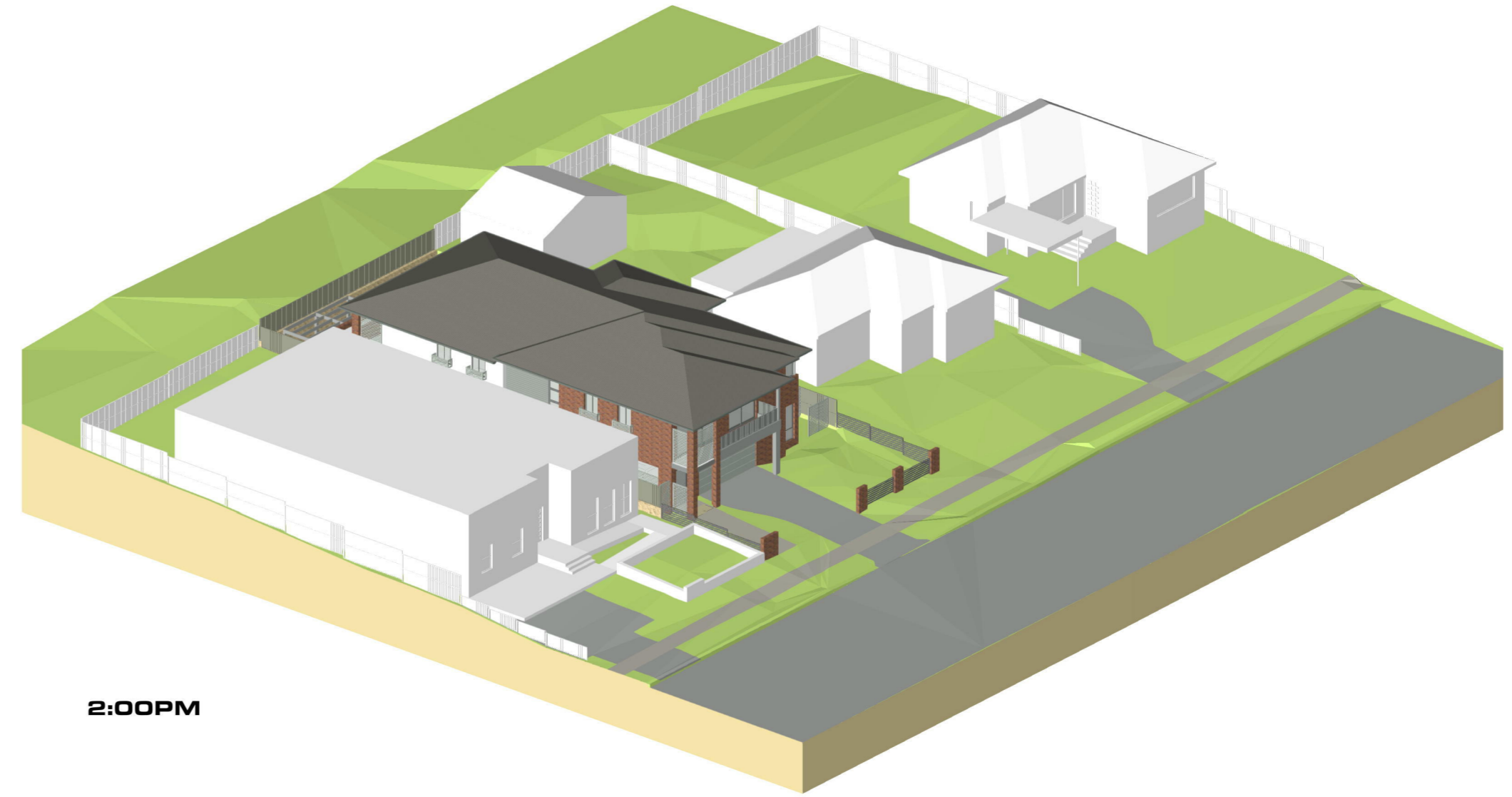
11:00AM



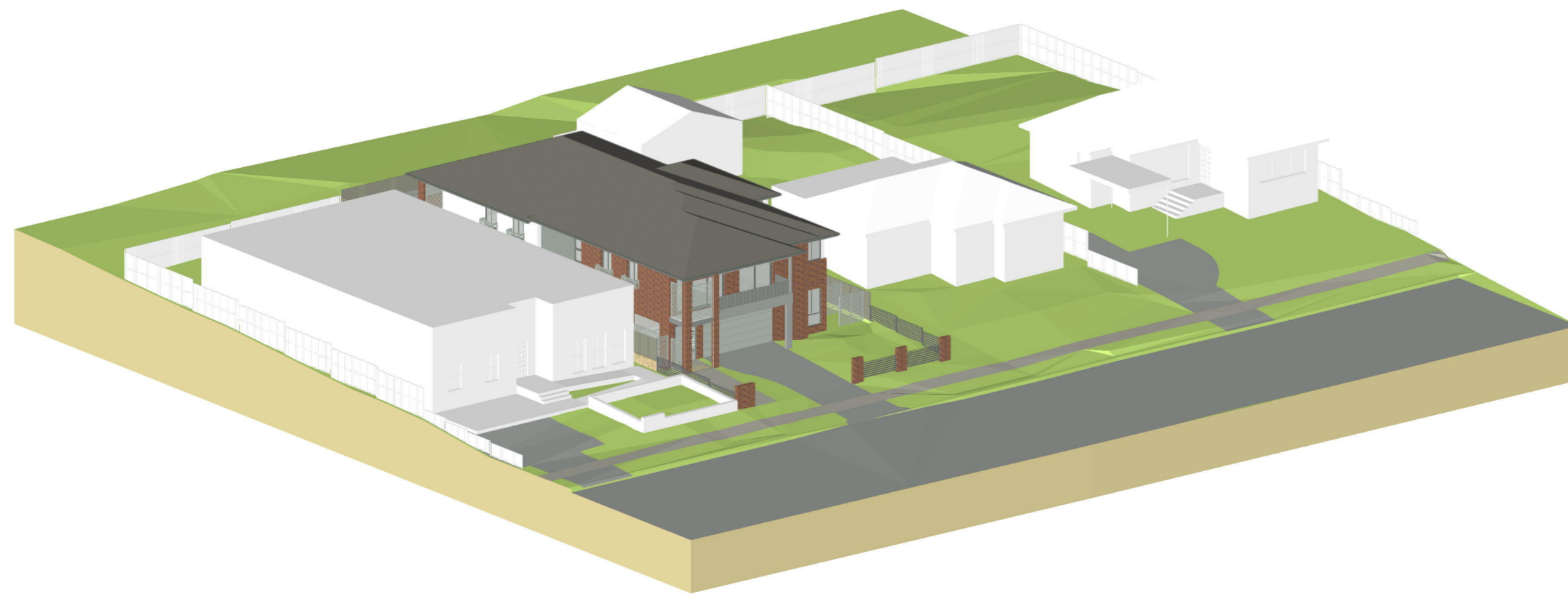
12:00PM



1:00PM



2:00PM

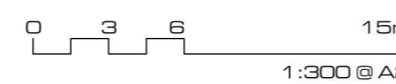


3:00PM

**KENNEDY ASSOCIATES ARCHITECTS**

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 p + 61 2 9557 6466 f + 61 2 9557 6477

Document Set ID: 8370100  
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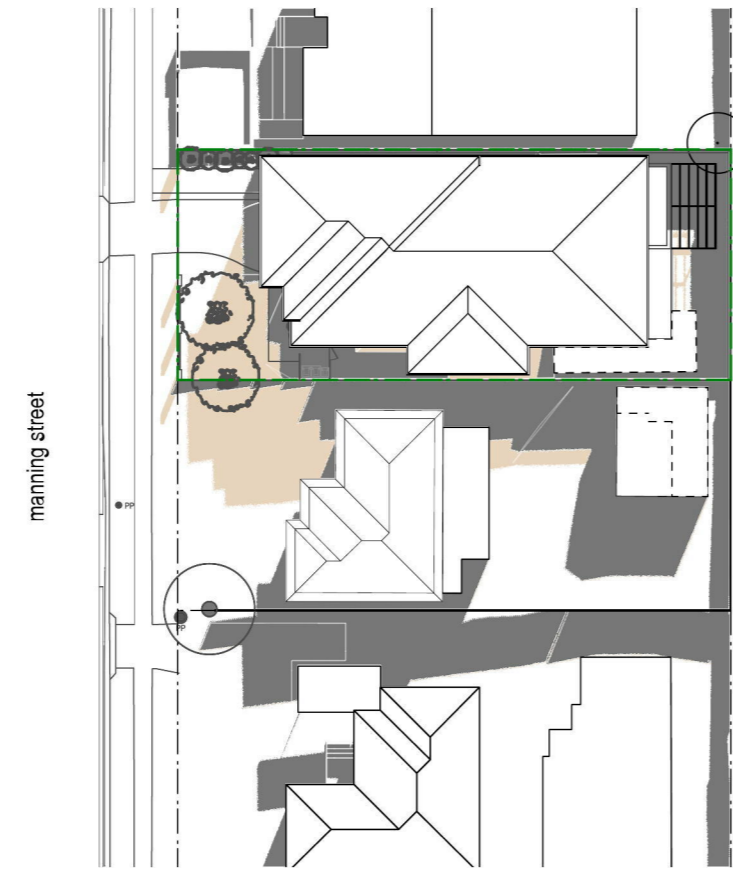
**VIEWS FROM SUN - 21st  
 June**

Specialist disability accommodation at:  
**12 Manning Street, KINGSWOOD**

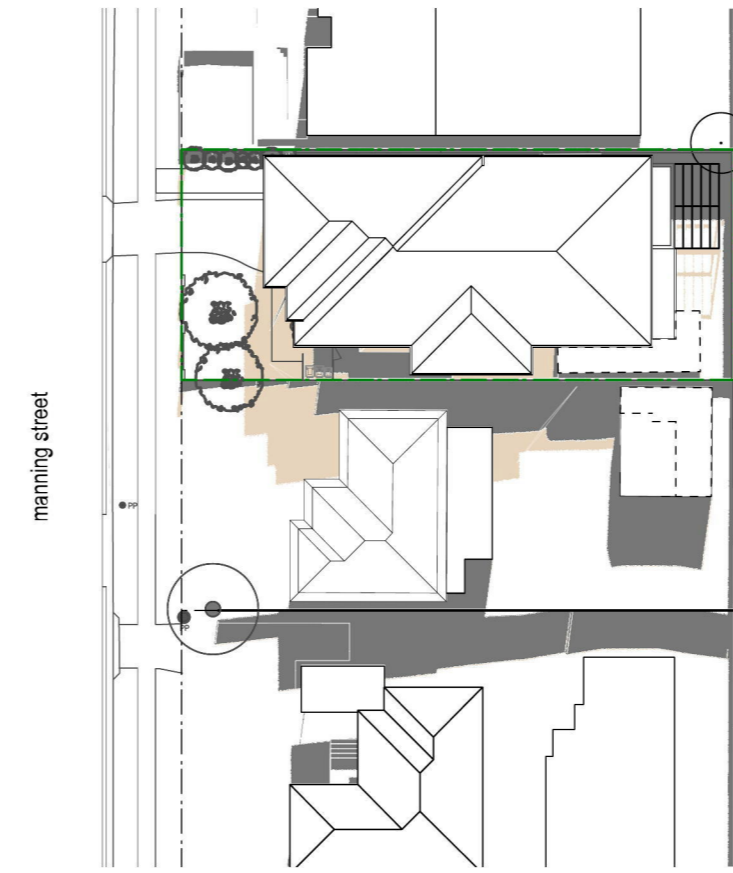
1819 - no 12 180830 AN.wvx	
project number	drawing number rev.
<b>1810</b>	<b>DA11 A</b>
date	
30/08/18 Development Application	



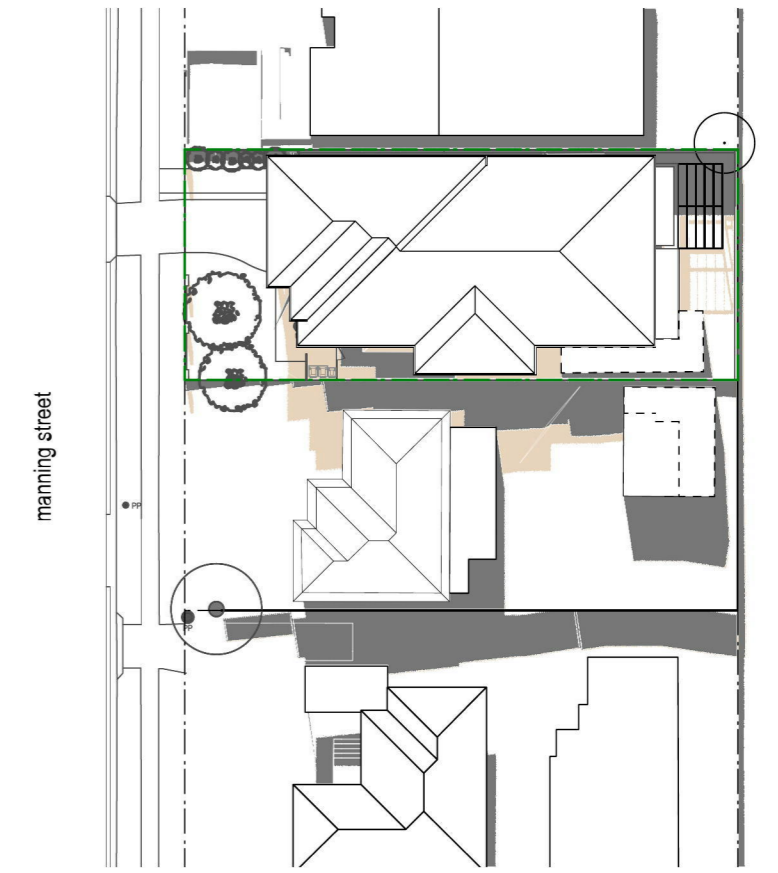
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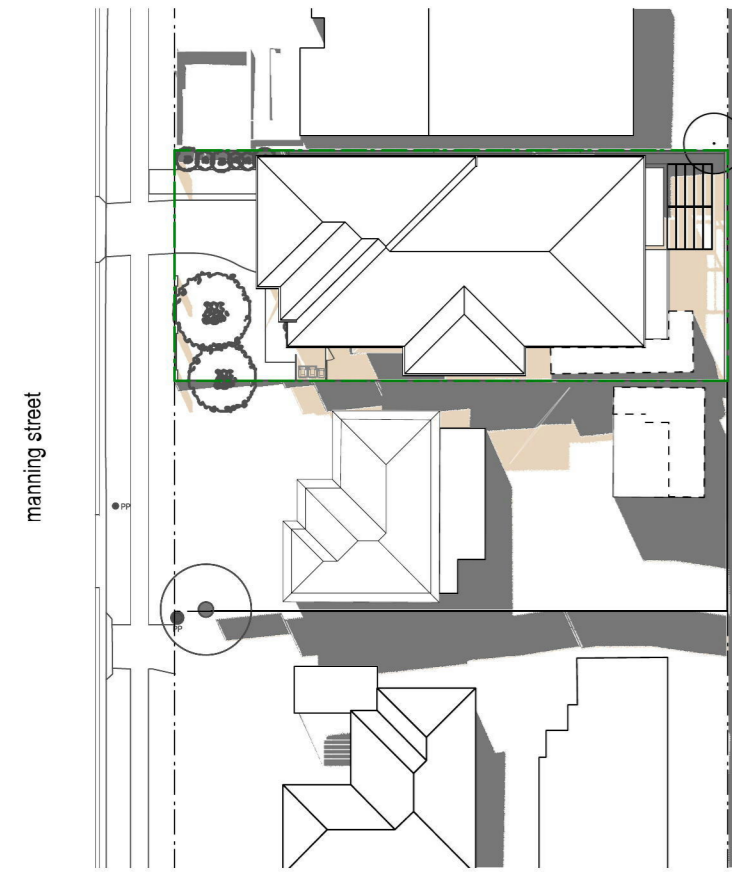
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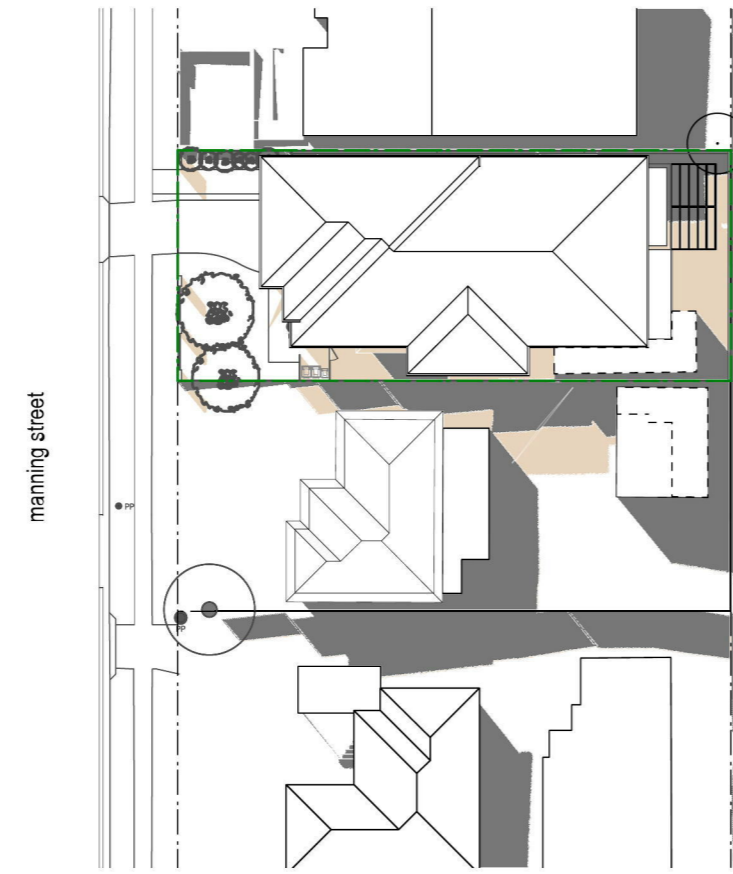
11:00AM



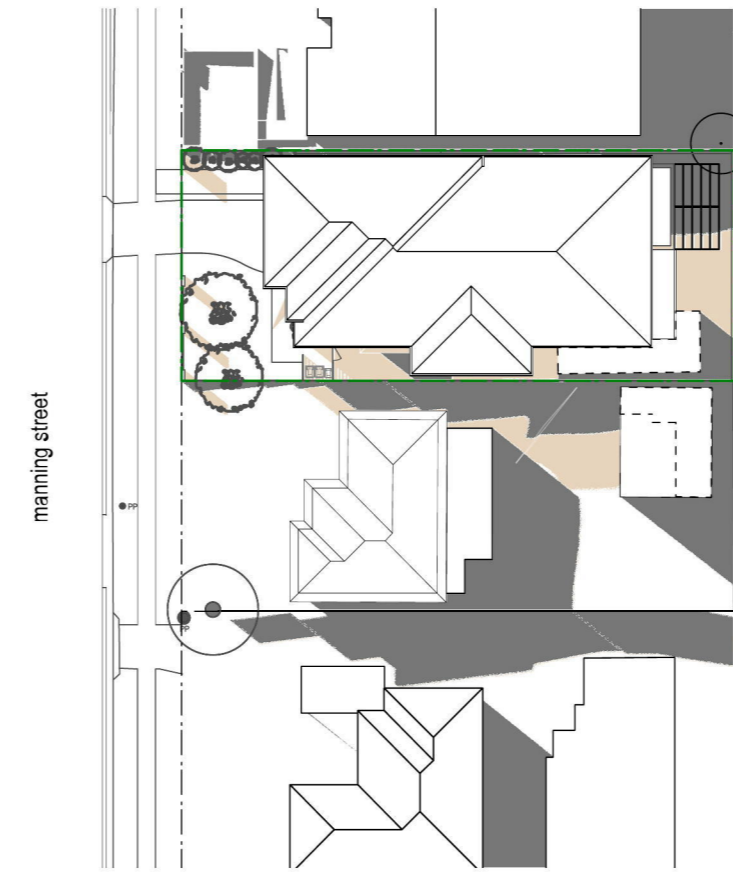
12:00PM



1:00PM

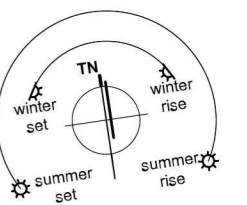


2:00PM



3:00PM

shadows cast by proposed development  
 shadows cast by existing buildings & fences  
**legend**



**KENNEDY ASSOCIATES ARCHITECTS**

level 3 / 1 booth street, annandale 2038  
 nominated architect - anthony nolan - registration no. 6773  
 p + 61 2 9557 6466 f + 61 2 9557 6477

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**SHADOW DIAGRAMS - 21st  
 June**

Specialist disability accommodation at:  
**12 Manning Street, KINGSWOOD**

project number	1819 - no 12 180830 AN.wx
drawing number	rev.
<b>1810</b>	<b>DA12 A</b>
date	30/08/18 Development Application