

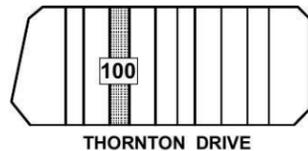
**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



**LOT: 100**  
**152.5m<sup>2</sup>**

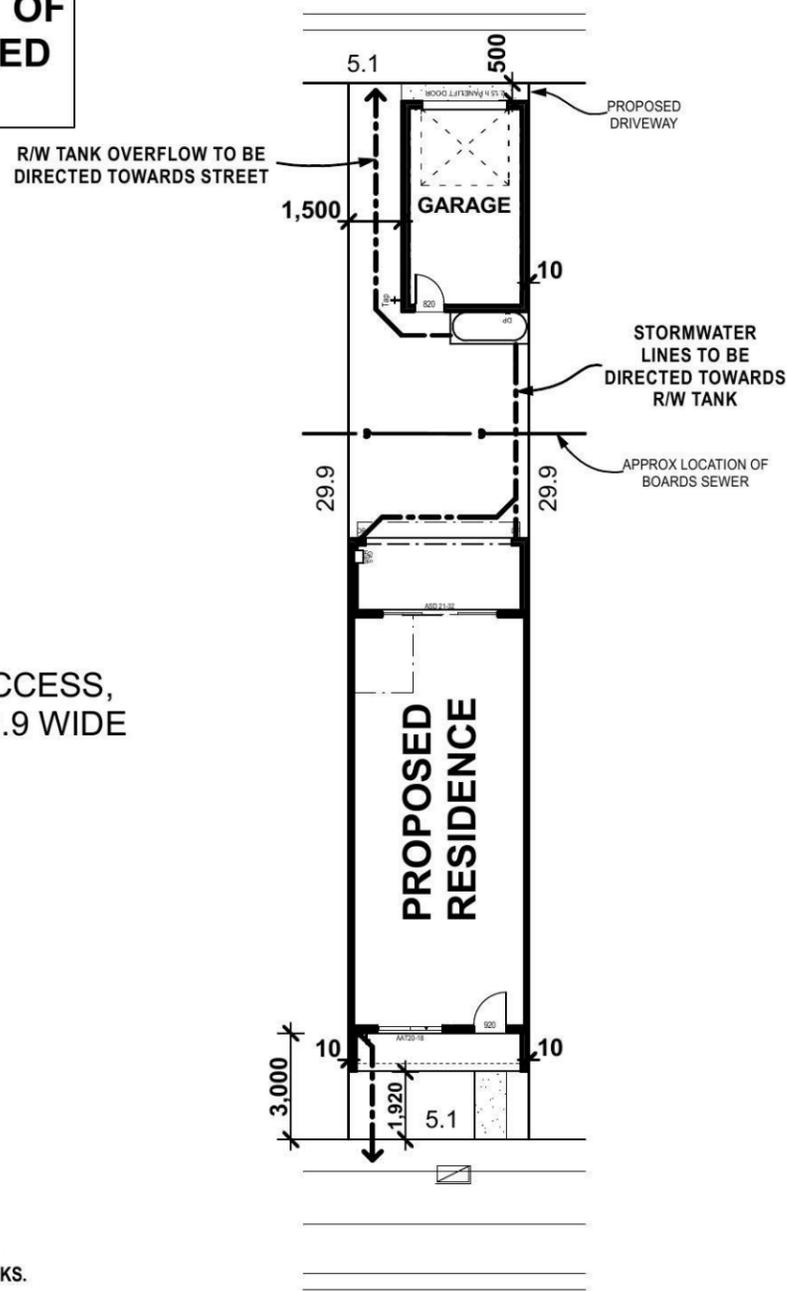
(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**NOTE:**  
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.  
  
FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Plan & Drainage Plan**

SCALE 1:200

**Energy Rating** Certificate Number 14561079

single-dwelling rating 5.5 stars

heating 63 MJ/m<sup>2</sup>

cooling 28 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDV/12/1456

Assessor Signature *T. Ruck* Date 20/10/14

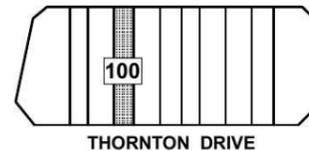
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



**LOT: 100**  
**152.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



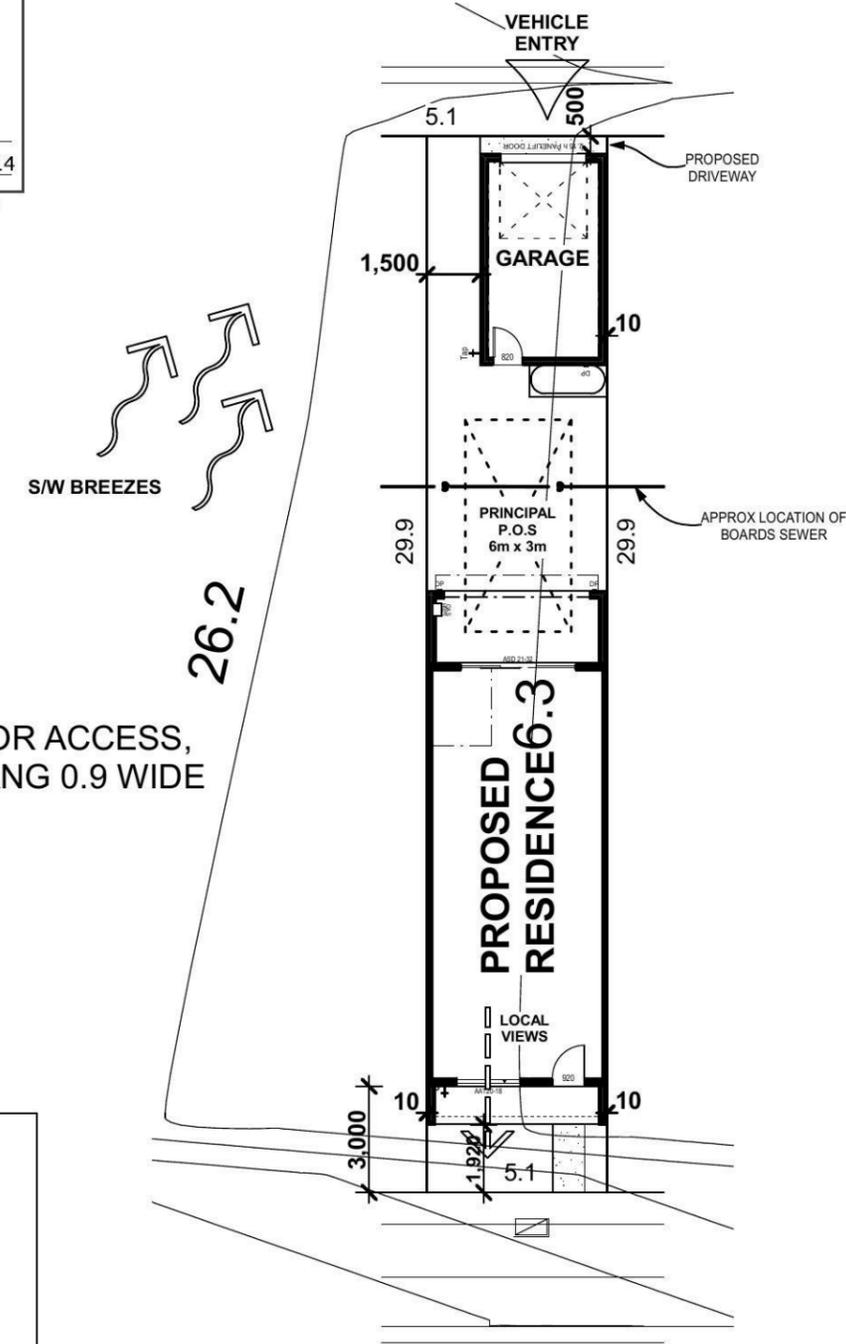
**NORTH PENRITH "THORNTON" REQUIREMENTS:**

**SITE AREA:** 152.5m<sup>2</sup>

**PRIVATE OPEN SPACE:**  
(Min 2.0m Wide)  
REQUIRED: 20% or 30.5m<sup>2</sup>  
ACHIEVED: 26% or 39.97m<sup>2</sup>

**LANDSCAPE AREA:**  
ACHIEVED: 24% or 37.39m<sup>2</sup>

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Analysis Plan**

SCALE 1:200

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.



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Revision	Date	Amendment
B	27.10.14	DA PLANS - BT
A	27.08.14	CONTRACT DRAWINGS - MT

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Proposed Terrace at Lot: 100, Thornton Drive, Penrith (Thornton)

Plot Date  
Mon 27 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3279N** Sheet 1 of 10

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	390 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.

Wind Speed category is **TO BE CONFIRMED**

# Proposed Erosion & Sediment Control Plan

SCALE 1:200

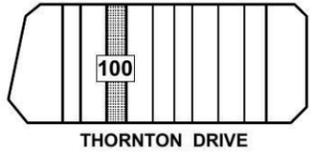
**NOTE:**  
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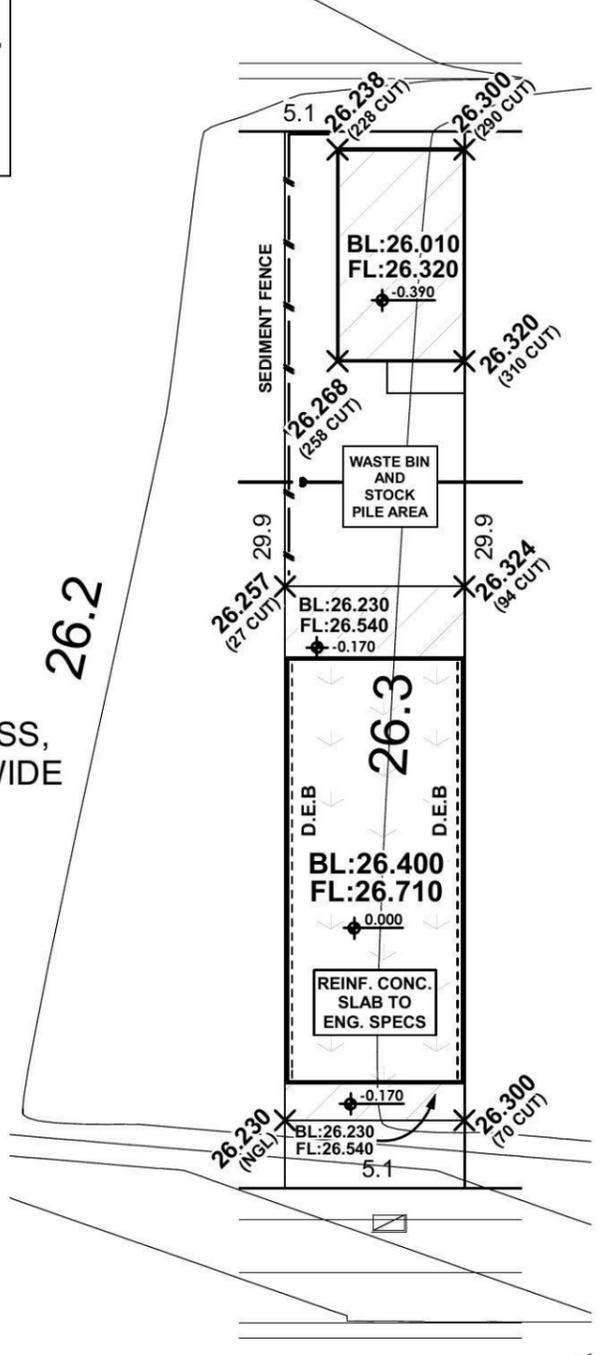
**LOT: 100**  
**152.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**STODDART LANE**



**THORNTON DRIVE**

**Energy Rating** Certificate Number 14561079

single-dwelling rating

5.5 stars

heating 63 MJ/m<sup>2</sup>

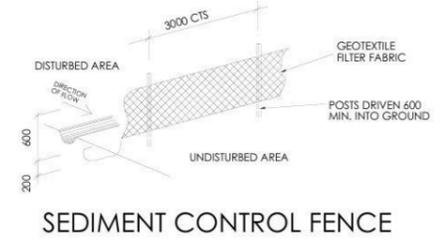
cooling 28 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456

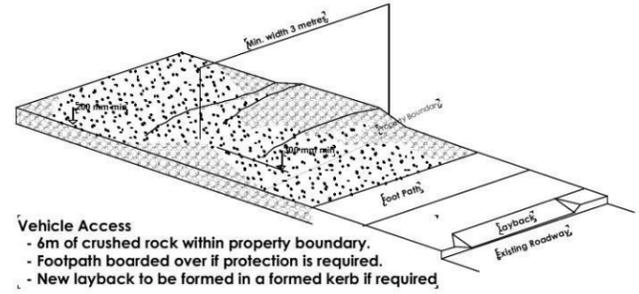
Assessor Signature *T. Ruck* Date 20/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



**SITE PLAN**

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date  
Mon 27 Oct 2014

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
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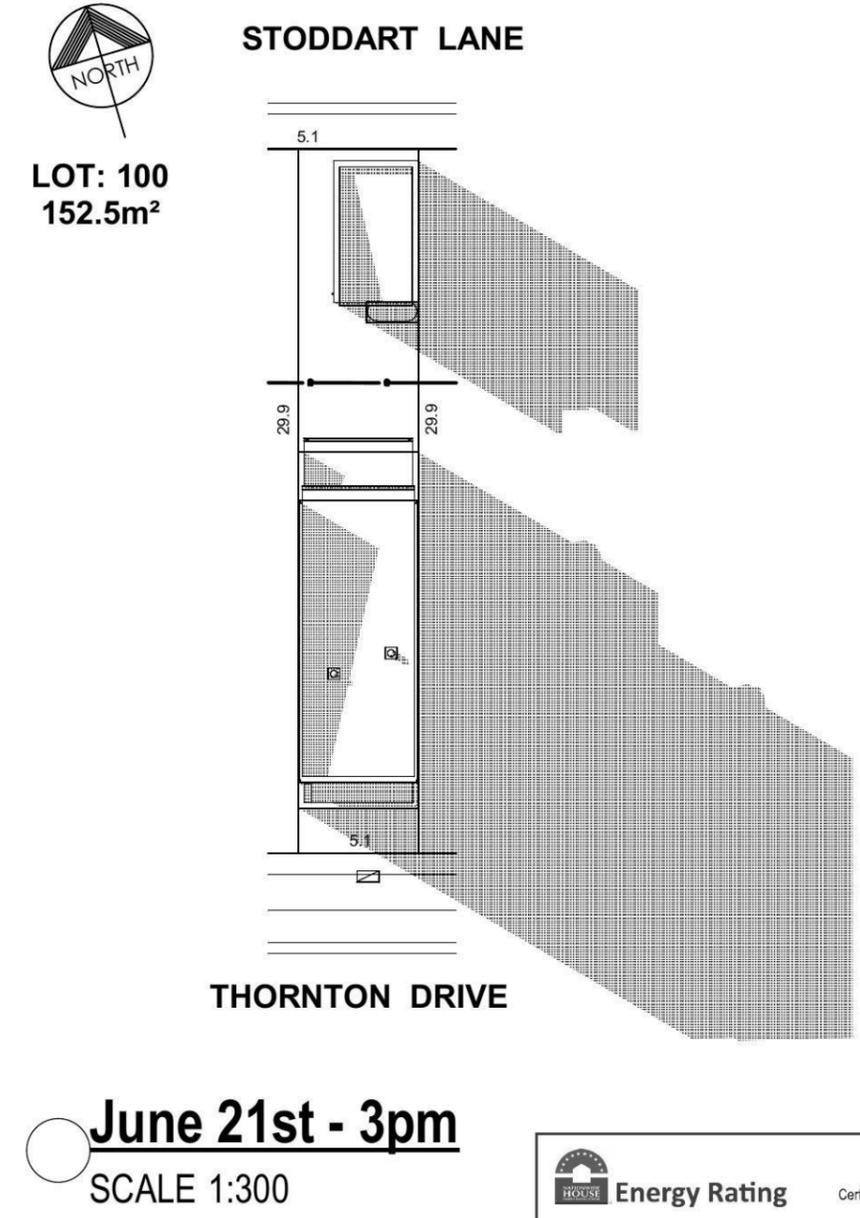
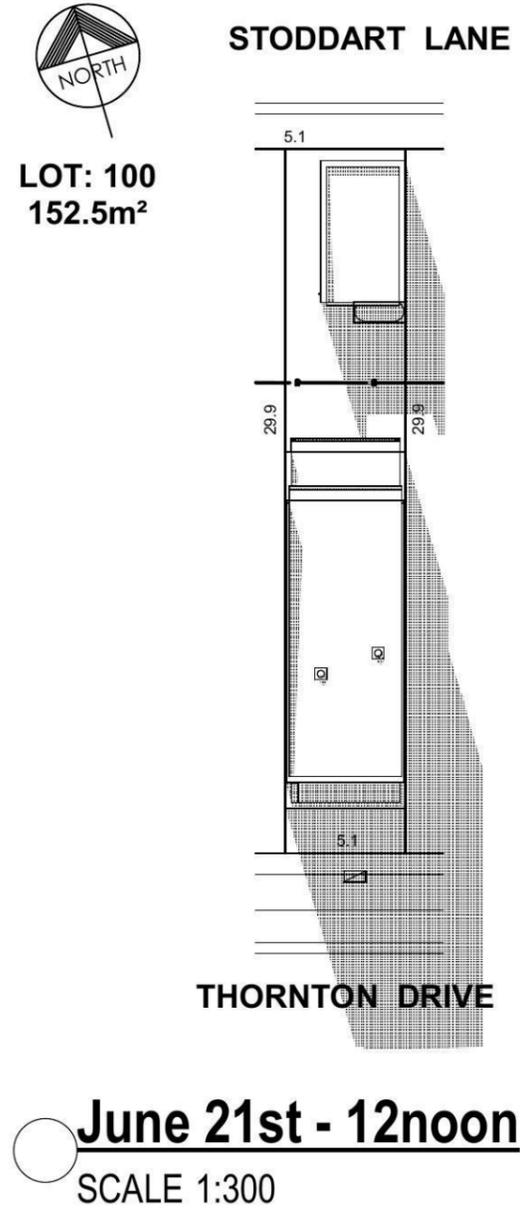
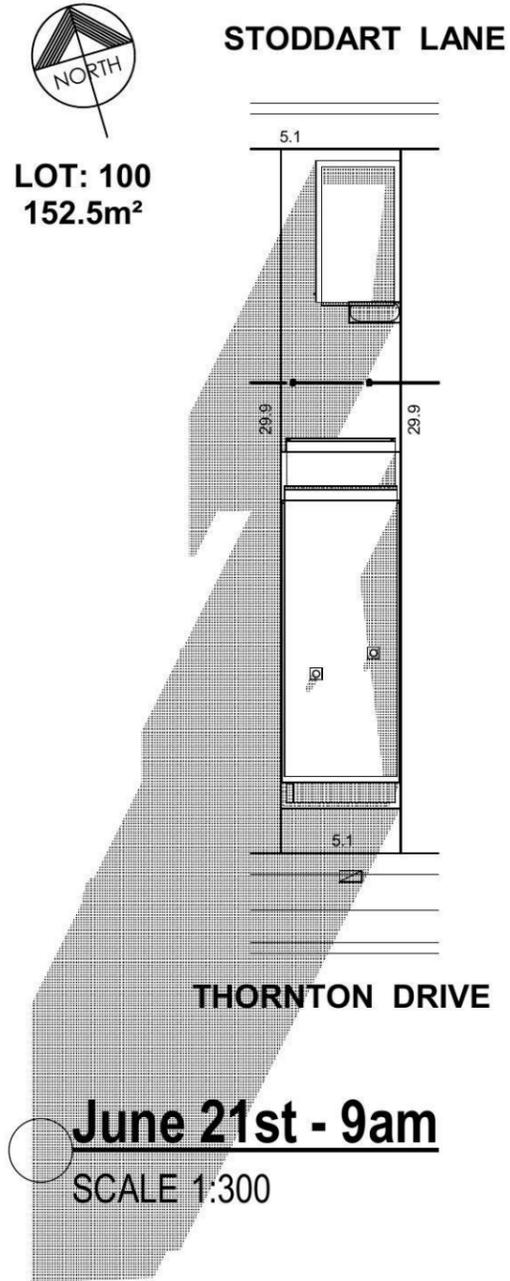
Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3279N** Sheet 2 of 10

# PROPOSED SHADOW DIAGRAMS



**Energy Rating** Certificate Number **14561079**

single-dwelling rating

heating **5.5** stars  
cooling **28** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number: Thomas Ruck VIC/BDV/12/1456  
Assessor Signature: *T. Ruck* Date: 20/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

Plot Date  
Mon 27 Oct 2014

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**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

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*Simply the Best*

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Client:  
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Sheet Size: A3 Date: 27.08.14 Drawn: MT  
Design:  
**Custom Mid-Terrace**  
Job No. **3279N** Sheet 3 of 10

# BASIX REQUIREMENTS

## BASIX & NatHERS COMMITMENTS NOTES

\*REFER TO APPROVED BASIX\* REPORT Number – 581764S

WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star (>7.5 but <= 9 L/min)	4 star	4 star	5 star
Alternative water source	Individual water tank to collect run off from at least 44 m <sup>2</sup> of roof area - Tank size min 3000 litres			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	N/A	N/A
ENERGY				
Hot water system: Gas Instantaneous 5 stars				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)				
Heating system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)				
Natural lighting: As per BASIX				
Artificial lighting: As per BASIX				
Must install a gas cooktop and electric oven				
Must install a fixed outdoor clothes drying line as part of the development.				

 <b>Energy Rating</b>	Certificate Number <b>14561079</b>	
	<input checked="" type="checkbox"/> single-dwelling rating	5.5 stars heating <b>63</b> MJ/m <sup>2</sup> cooling <b>28</b> MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Thomas Ruck VIC/BDAV/12/1456</b>		
Assessor Signature <i>Thomas Ruck</i>		Date <b>20/10/14</b>

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



## NATHERS - THERMAL COMFORT CERTIFICATE



<b>Project Address:</b> Lot 100, Thornton Drive Penrith, NSW 2750		 <b>Energy Rating</b> Certificate Number <b>14561079</b> <input checked="" type="checkbox"/> single-dwelling rating 5.5 stars heating <b>63</b> MJ/m <sup>2</sup> cooling <b>28</b> MJ/m <sup>2</sup> Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without Assessor Name/Number <b>Thomas Ruck VIC/BDAV/12/1456</b> Assessor Signature <i>Thomas Ruck</i> Date <b>20/10/14</b>
Accreditation # : <b>BDAV/12/1456</b>	Certificate # : <b>14561079</b>	
Software: <b>BERS 4.2 V110811/A</b>	Date: <b>20/10/2014</b>	
Heating load (MJ/m <sup>2</sup> ): <b>63</b> Cooling load (MJ/m <sup>2</sup> ): <b>28</b> Star rating: <b>5.5</b>		
Conditioned area (m <sup>2</sup> ): <b>103</b> Unconditioned area (m <sup>2</sup> ): <b>0</b>		
Building Elements	Material	Detail
External walls	Brick Veneer	R1.5 Bulk Insulation
	Light Weight Cladding	
Internal walls	Plasterboard on studs	-
Ceiling	Plasterboard	R3.5 bulk insulation
Floors	Concrete-ground floor	Waffle Pod
	Timber-first floor	-
Roof	Metal Roof	Foil (sisalation) to underside of roof
Windows	Aluminium frame, single glazed clear	U value 6.65 or less and SHGC of 0.70 +/- 10%
<b>Lighting: This dwelling has been rated with a maximum of 20 non ventilated LED / Fluorescent downlights to insulated ceilings</b>		
<b>Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA</b>		

Building Elements	Material	Detail
External walls	Brick Veneer	R1.5 Bulk Insulation
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Do not assume - if in doubt ASK.

Plot Date  
Mon 27 Oct 2014

SITE & SLAB CLASSIFICATION  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:		
EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	390	mm FROM F.F.L.
FRONT PORCH/VERANDAH	170	mm FROM F.F.L.
BALCONY	110	mm FROM F.F.L.

Wind Speed category is  
**TO BE CONFIRMED**



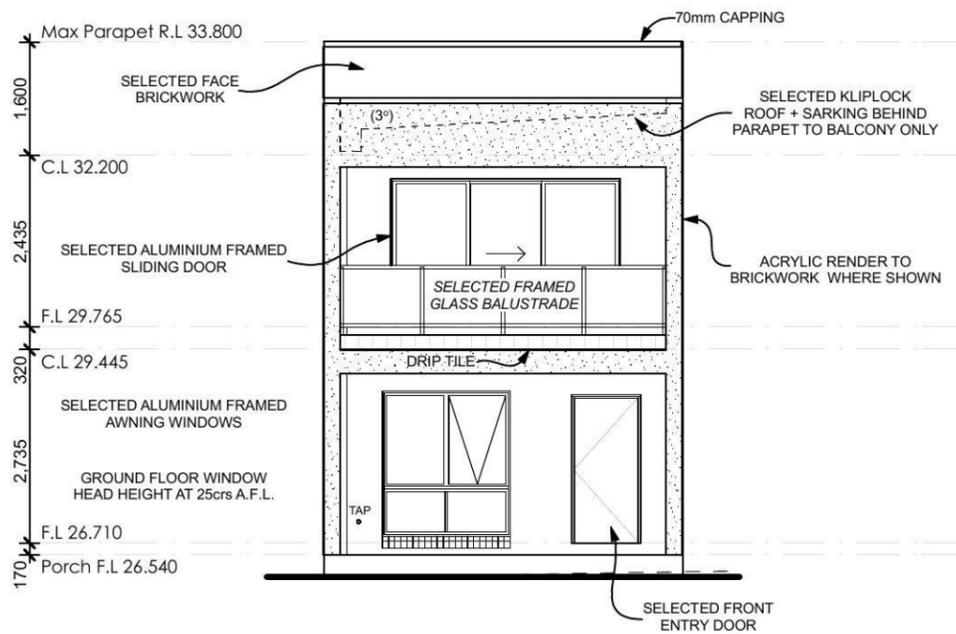
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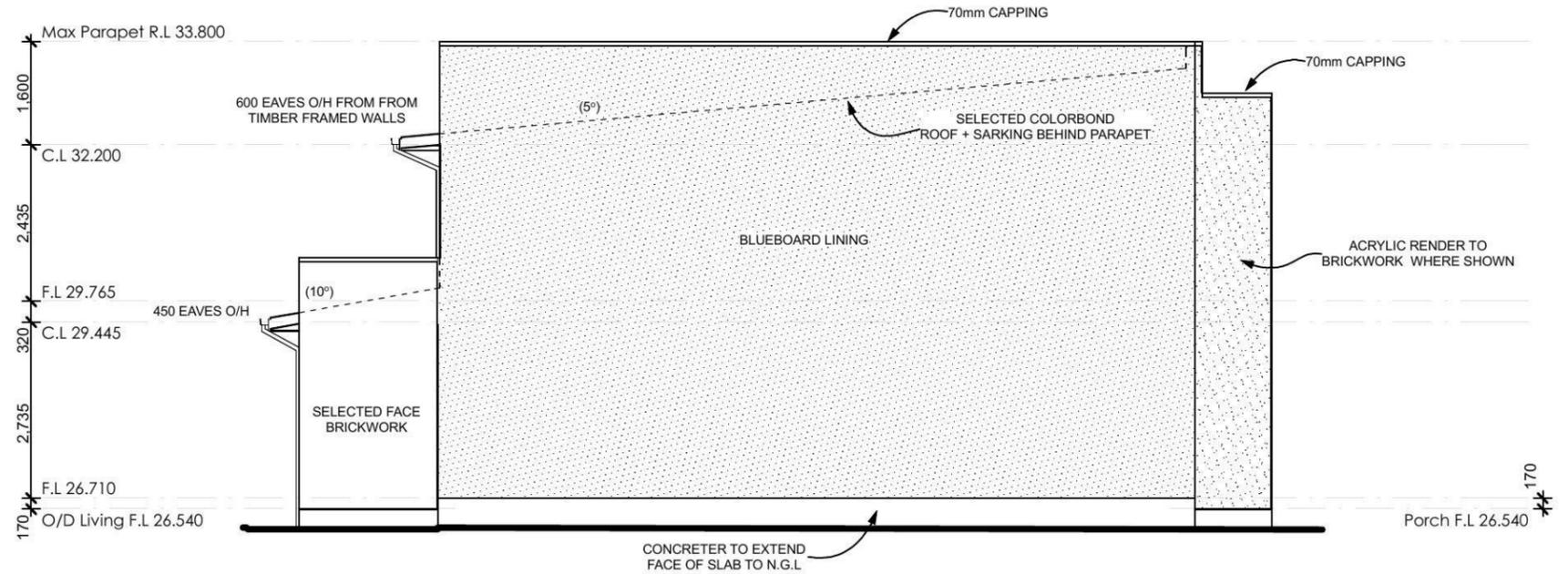
Proposed Terrace  
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Penrith (Thornton)

Client :  
**Champion Homes**  
Sheet Size: A3 Date: 27.08.14 Drawn: MT  
Design :  
**Custom Mid-Terrace**  
Job No. **3279N** Sheet 4 of 10



## Southern Elevation

SCALE 1:100

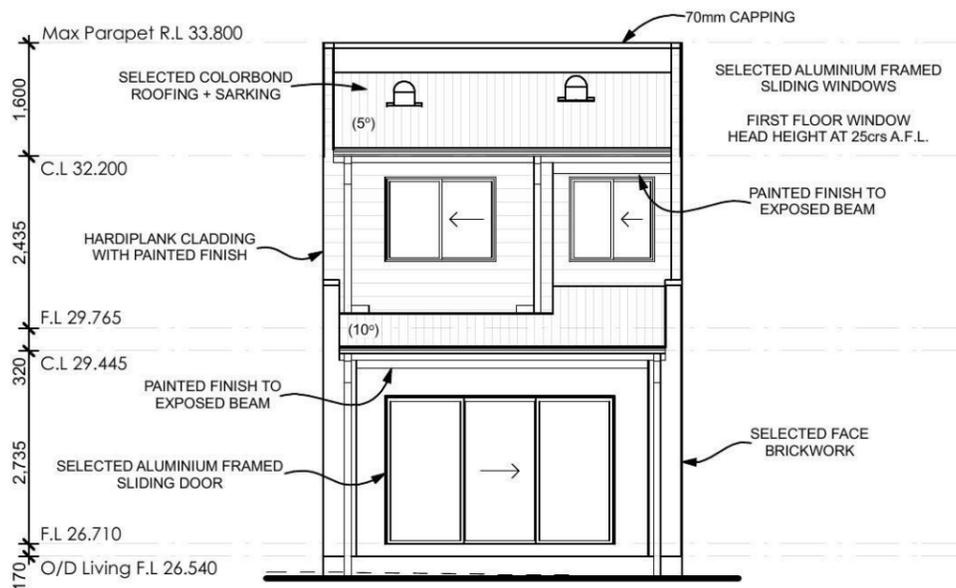


## Western Elevation

SCALE 1:100

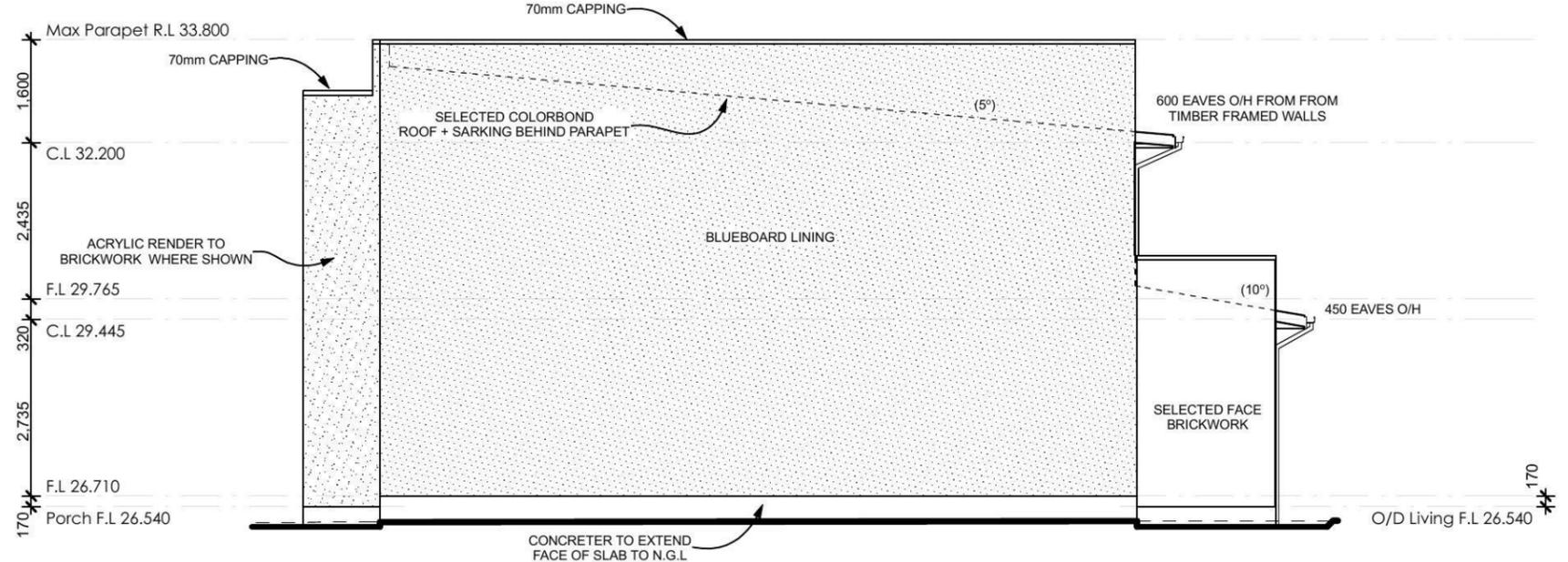
### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



## Northern Elevation

SCALE 1:100



## Eastern Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

	<b>Energy Rating</b>	Certificate Number <b>14561079</b>
<input checked="" type="checkbox"/> single-dwelling rating		<b>5.5</b> stars
	heating	<b>63</b> MJ/m <sup>2</sup>
	cooling	<b>28</b> MJ/m <sup>2</sup>
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number <b>Thomas Ruck V/C/BDAV/12/1456</b>		
Assessor Signature <i>T. Ruck</i>		Date <b>20/10/14</b>
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE		

Plot Date  
Mon 27 Oct 2014

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Wind Speed category is **TO BE CONFIRMED**

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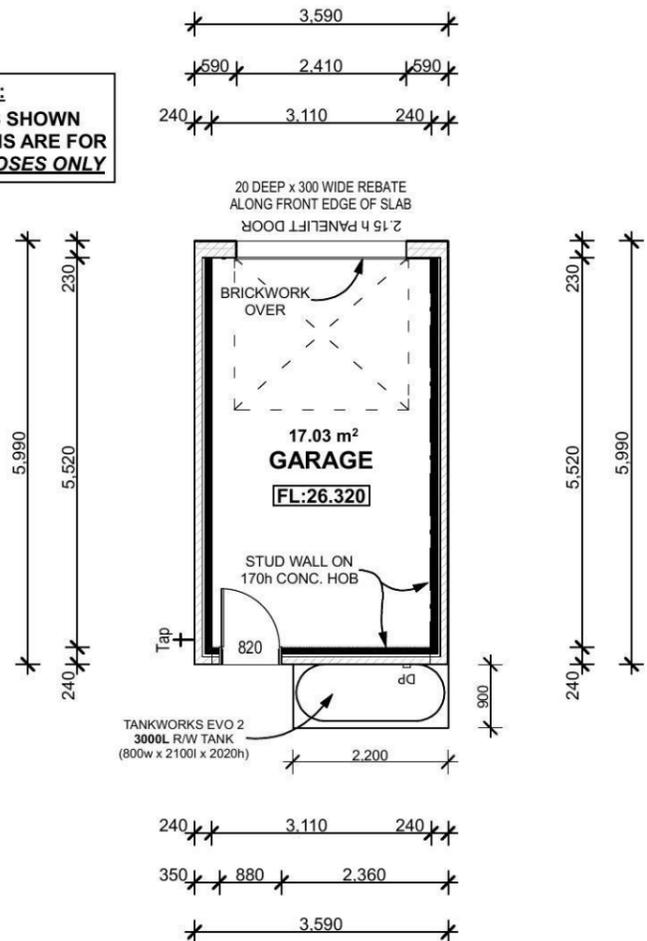
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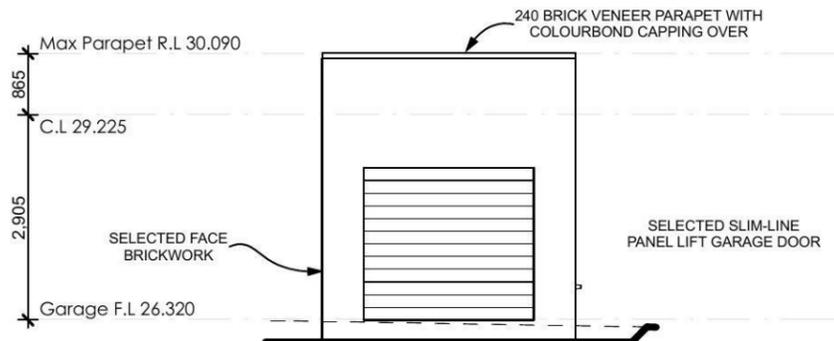
Client:  
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Sheet Size: A3 Date: 27.08.14 Drawn: MT  
Design:  
**Custom Mid-Terrace**  
Job No. **3279N** Sheet 7 of 10

**NOTE:**  
ROOM AREAS SHOWN  
ON FLOOR PLANS ARE FOR  
COUNCIL PURPOSES ONLY



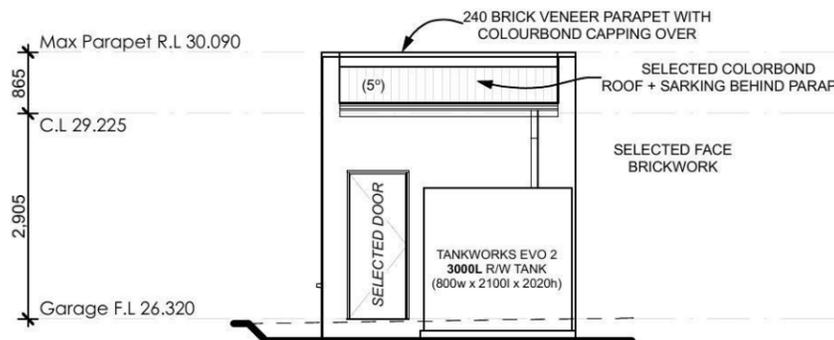
### Garage Floor Plan

SCALE 1:100



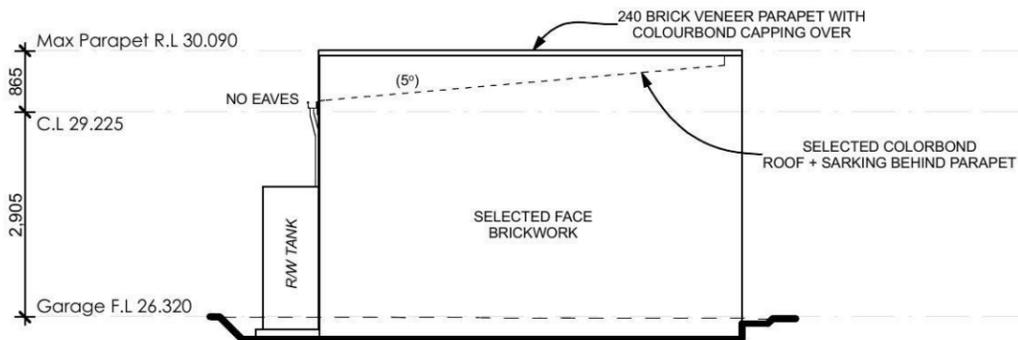
### Northern Elevation

SCALE 1:100



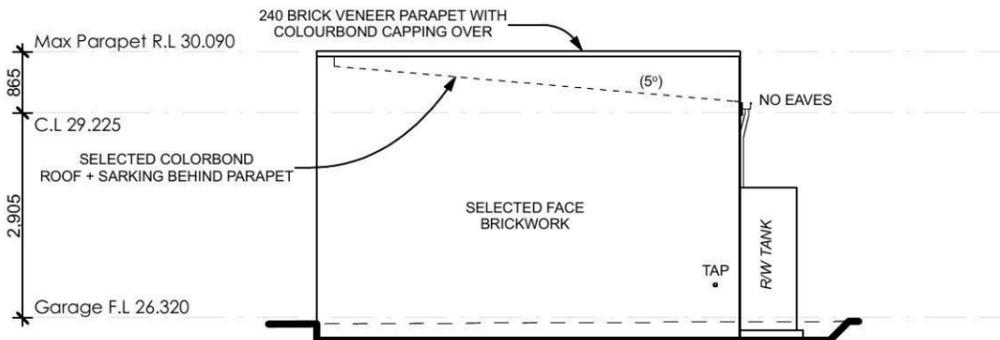
### Southern Elevation

SCALE 1:100



### Eastern Elevation

SCALE 1:100



### Western Elevation

SCALE 1:100

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AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

**Energy Rating** Certificate Number **14561079**

single-dwelling rating

heating **63** MJ/m<sup>2</sup>

cooling **28** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDV/12/1456**

Assessor Signature *T. Ruck* Date **20/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

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Do not assume - if in doubt ASK.

Plot Date  
Mon 27 Oct 2014

**SITE & SLAB  
CLASSIFICATION  
IS TO BE CONFIRMED**

Wind Speed category is  
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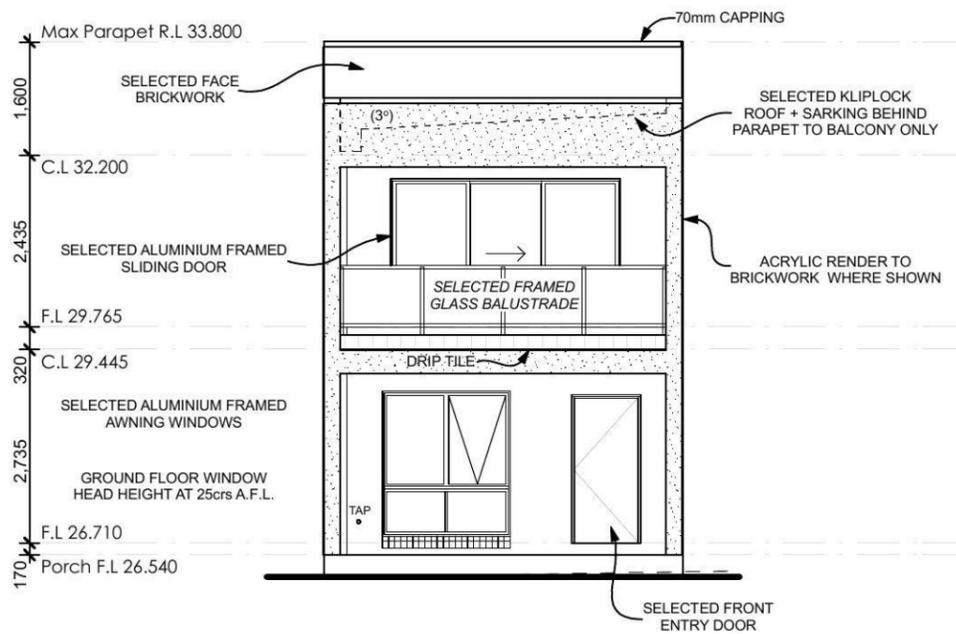
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Client :  
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Sheet Size: A3 Date: 27.08.14 Drawn: MT

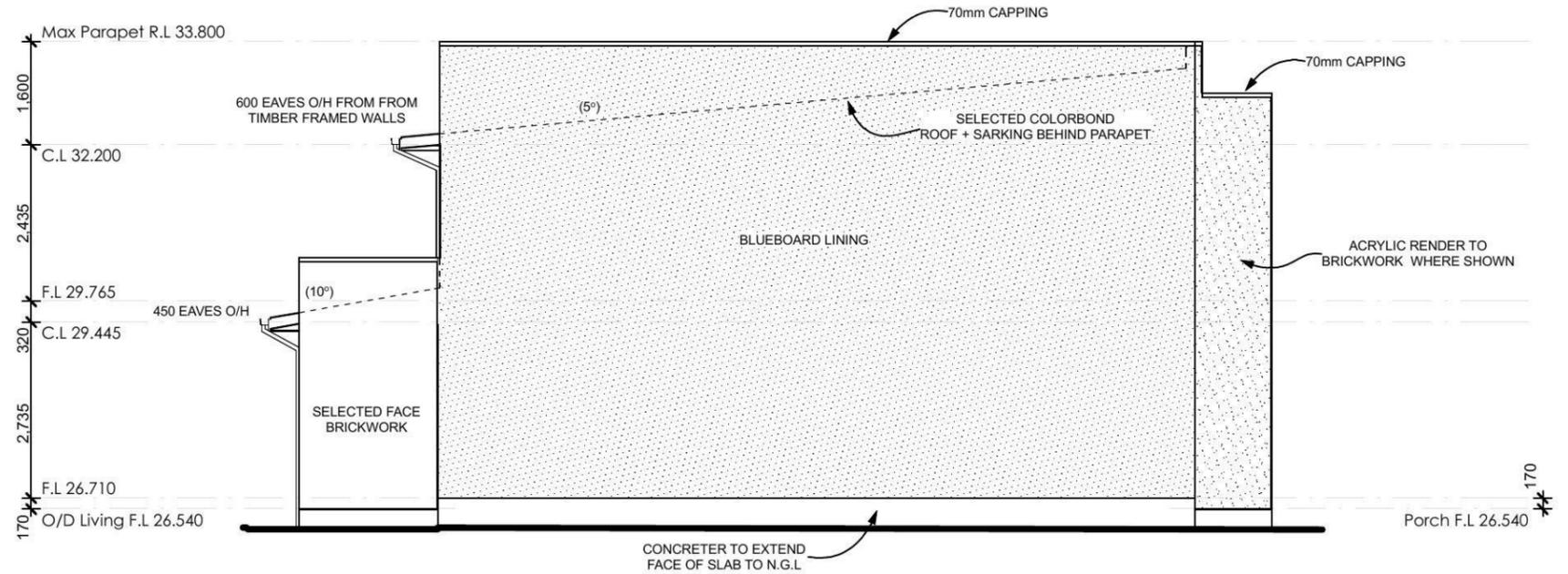
Design :  
**Custom Mid-Terrace**

Job  
No. **3279N** Sheet 8 of 10



## Southern Elevation

SCALE 1:100

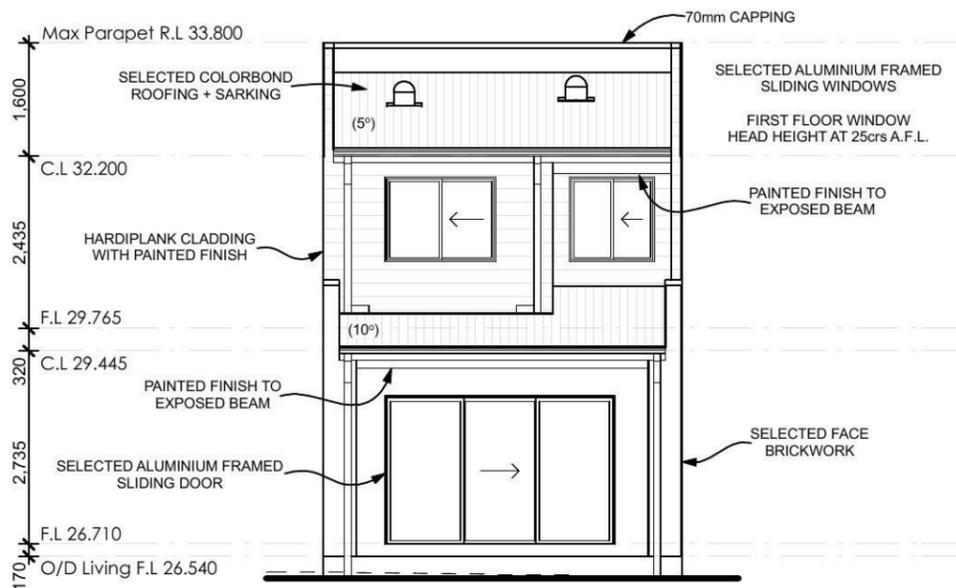


## Western Elevation

SCALE 1:100

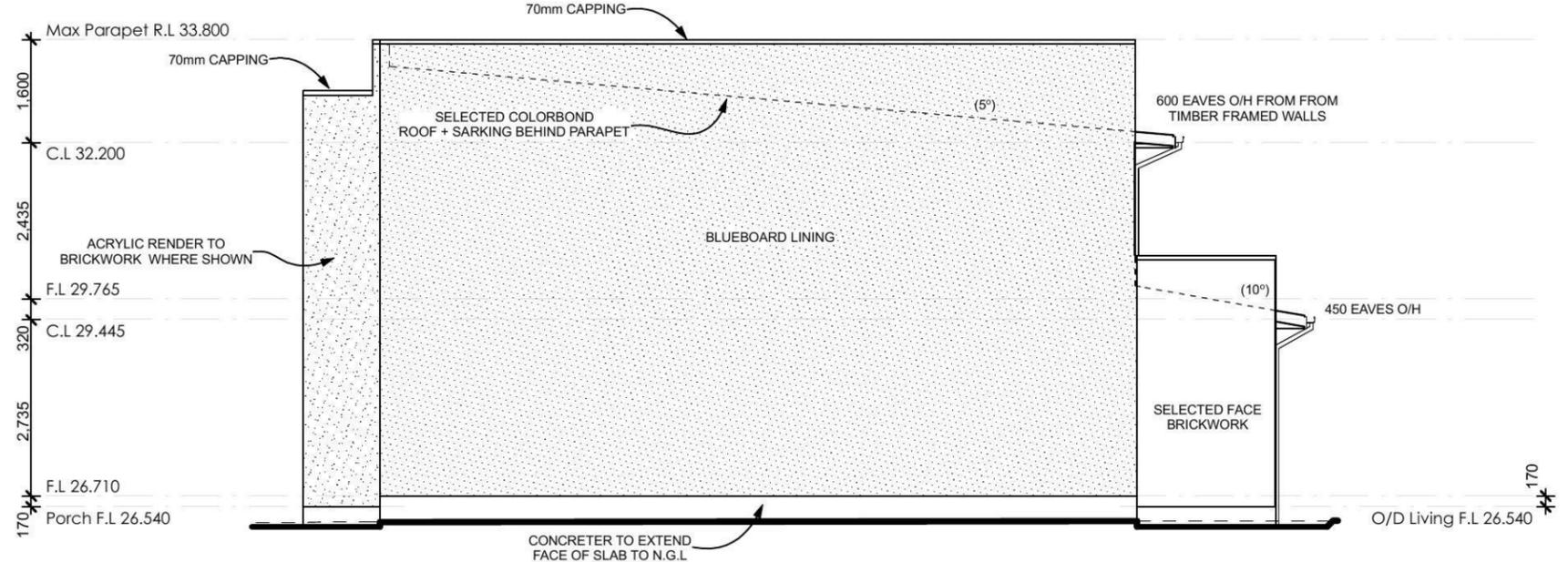
### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



## Northern Elevation

SCALE 1:100



## Eastern Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF TO BE AS PER TABLE 3.5.1.1(a) and TABLE 3.5.1.1(b) AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

	<b>Energy Rating</b>	Certificate Number <b>14561079</b>
<input checked="" type="checkbox"/> single-dwelling rating		<b>5.5</b> stars
	heating	<b>63</b> MJ/m <sup>2</sup>
	cooling	<b>28</b> MJ/m <sup>2</sup>
Recessed downlights confirmation:	<input checked="" type="checkbox"/> Rated with	<input type="checkbox"/> Rated without
Assessor Name/Number	Thomas Ruck V/C/BDAV/12/1456	
Assessor Signature		Date <b>20/10/14</b>
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE		

Plot Date  
Mon 27 Oct 2014

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	390 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.



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Revision	Date	Amendment
B	27.10.14	DA PLANS - BT
A	27.08.14	CONTRACT DRAWINGS - MT

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Proposed Terrace  
at Lot: 100,  
Thornton Drive,  
Penrith (Thornton)

Client:  
**Champion Homes**  
Sheet Size: A3 Date: 27.08.14 Drawn: MT  
Design:  
**Custom Mid-Terrace**  
Job No. **3279N** Sheet 7 of 10

# Proposed Erosion & Sediment Control Plan

SCALE 1:200

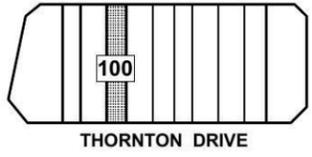
**NOTE:**  
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



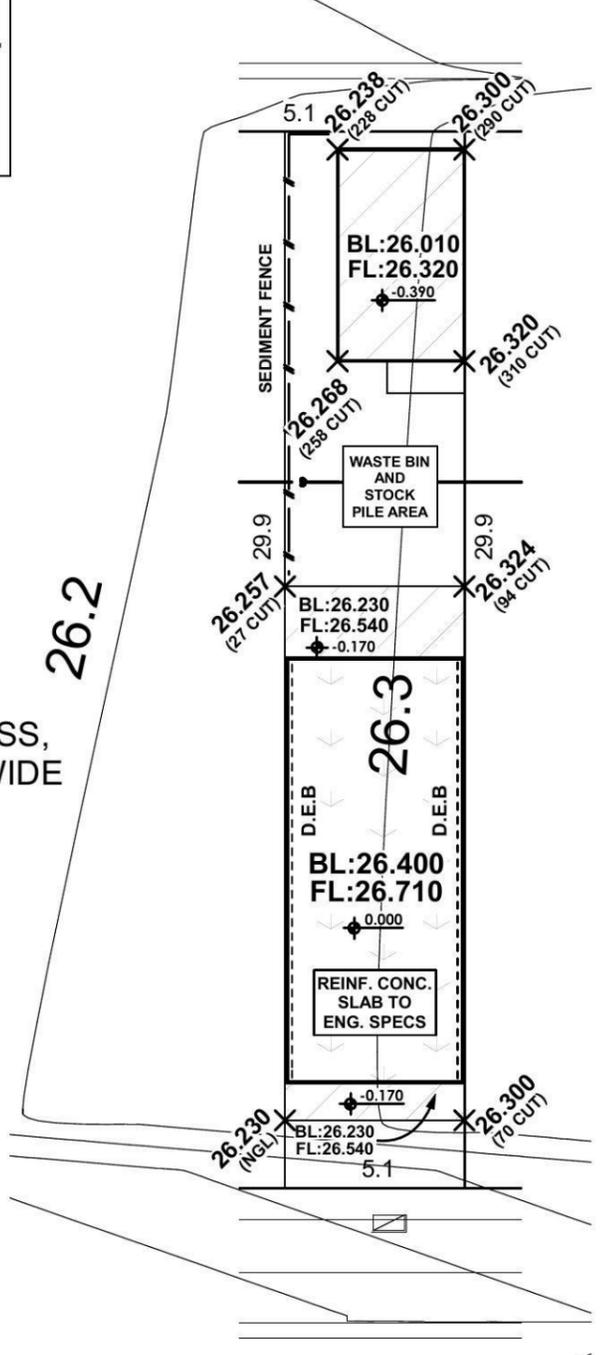
**LOT: 100**  
**152.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**STODDART LANE**



**THORNTON DRIVE**

**Energy Rating** Certificate Number 14561079

single-dwelling rating

5.5 stars

heating 63 MJ/m<sup>2</sup>

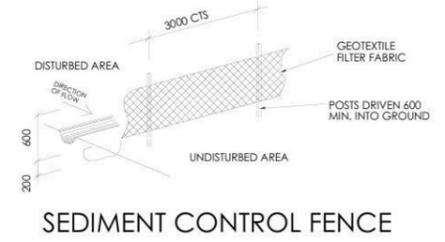
cooling 28 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDAV/12/1456

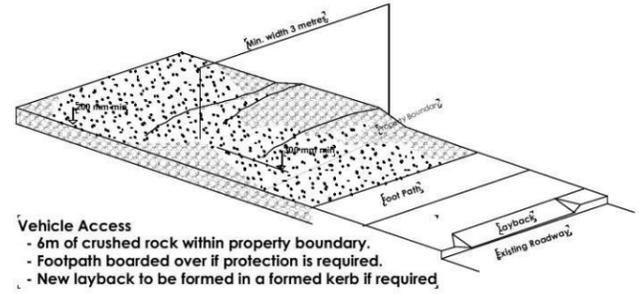
Assessor Signature *T. Ruck* Date 20/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



**SITE PLAN**

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date  
Mon 27 Oct 2014

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**  
Wind Speed category is **TO BE CONFIRMED**

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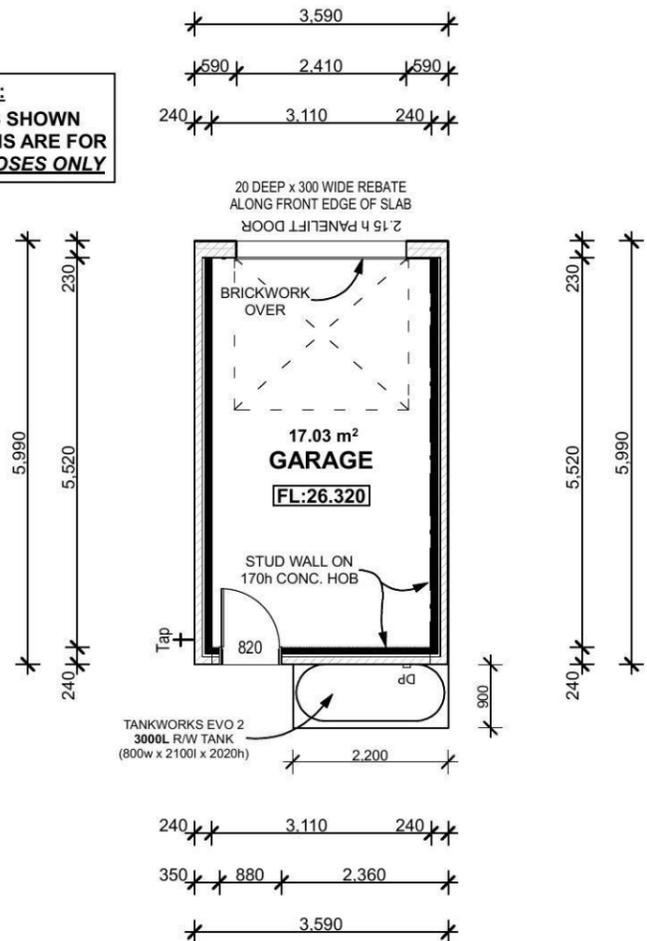
Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

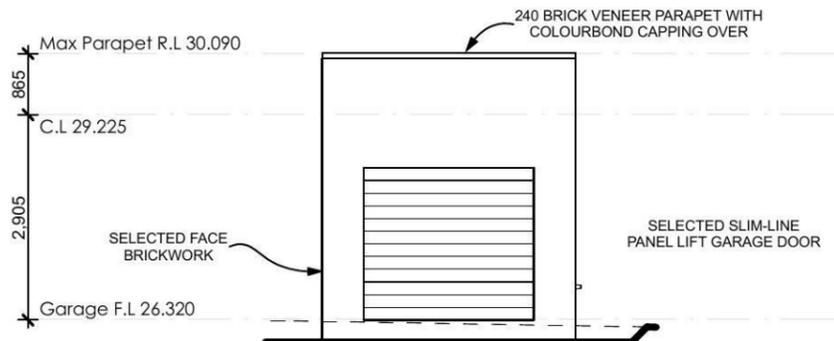
Job No. **3279N** Sheet 2 of 10

**NOTE:**  
ROOM AREAS SHOWN  
ON FLOOR PLANS ARE FOR  
COUNCIL PURPOSES ONLY



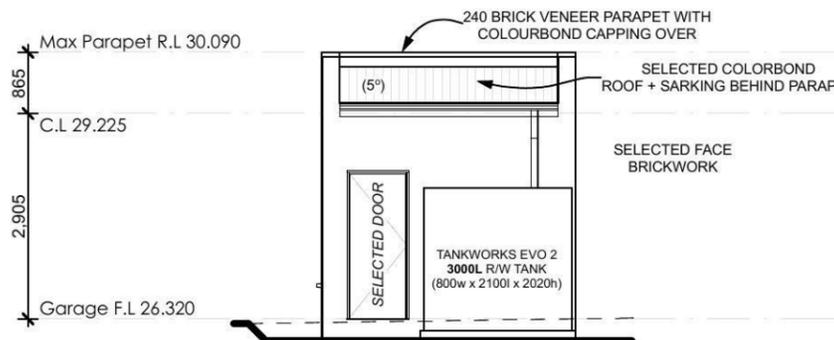
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SCALE 1:100



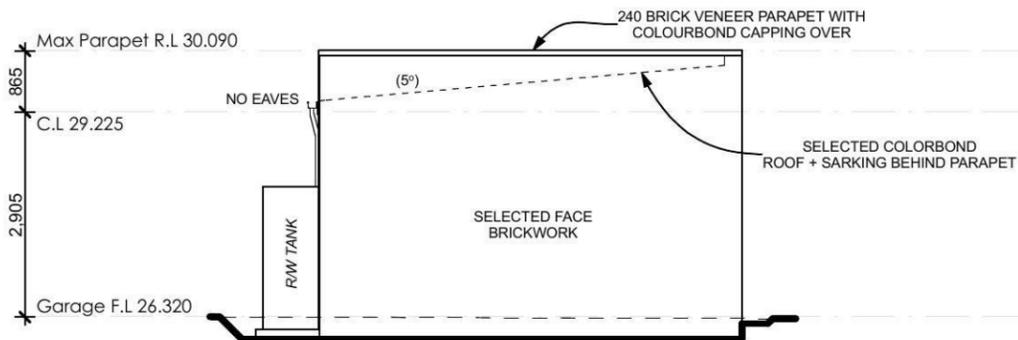
### Northern Elevation

SCALE 1:100



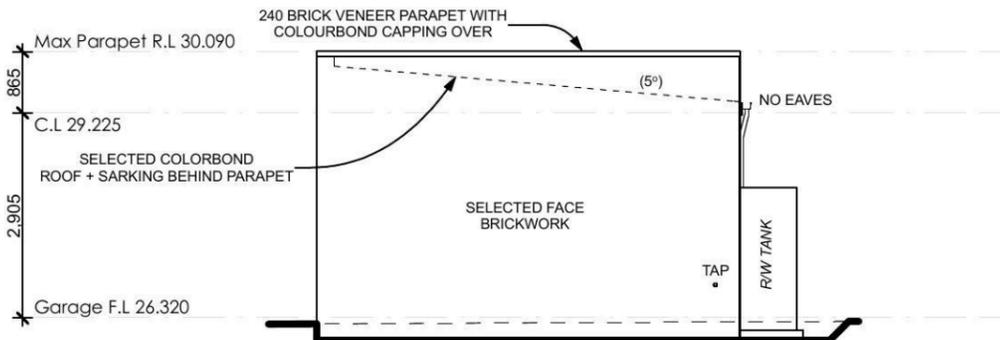
### Southern Elevation

SCALE 1:100



### Eastern Elevation

SCALE 1:100



### Western Elevation

SCALE 1:100

**SARKING REQUIREMENTS FOR PROPOSED ROOF  
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AS SET OUT IN THE BUILDING CODE OF AUSTRALIA.**

**Energy Rating** Certificate Number **14561079**

single-dwelling rating

heating **63** MJ/m²  
cooling **28** MJ/m²

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number **Thomas Ruck VIC/BDV/12/1456**  
Assessor Signature *T. Ruck* Date **20/10/14**

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

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Plot Date  
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**SITE & SLAB  
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Wind Speed category is  
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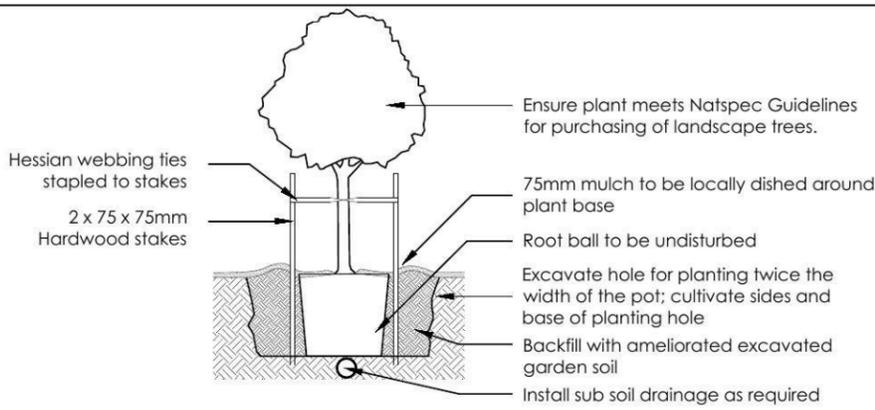
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Penrith (Thornton)

Client:  
**Champion Homes**

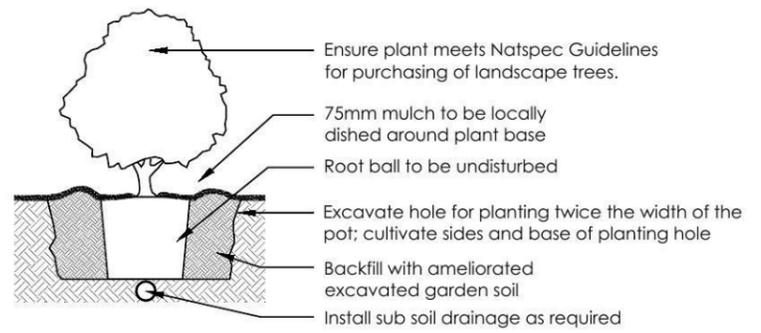
Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

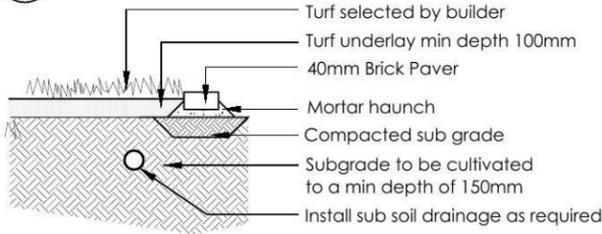
Job  
No. **3279N** Sheet 8 of 10



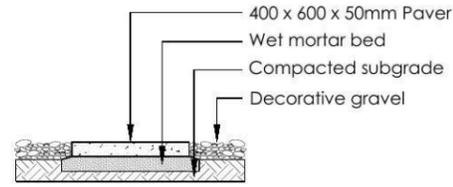
1 Tree Planting Detail  
NTS 25L - 100L Pot Size



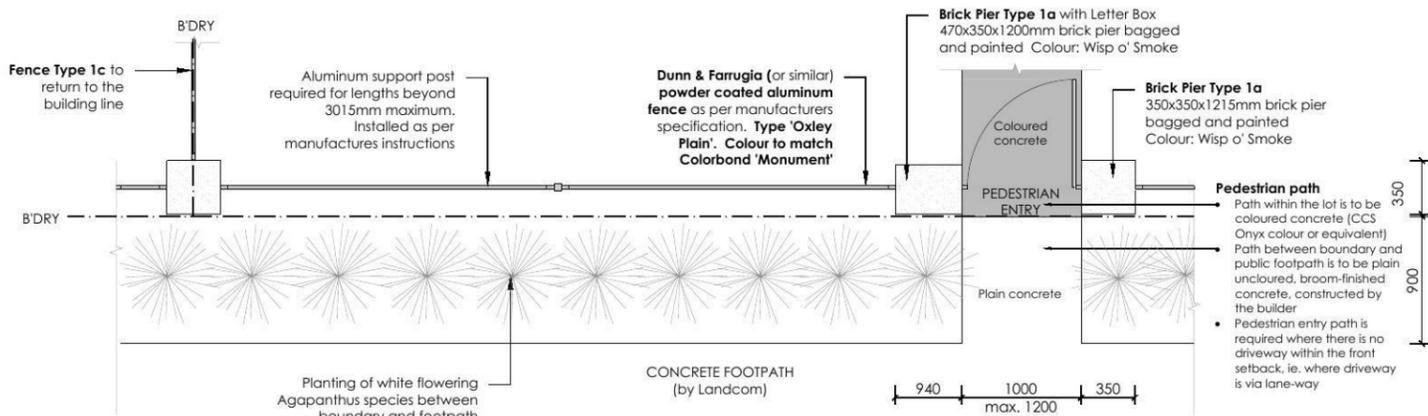
2 Planting Detail  
NTS 150mm, 200mm Pot Size



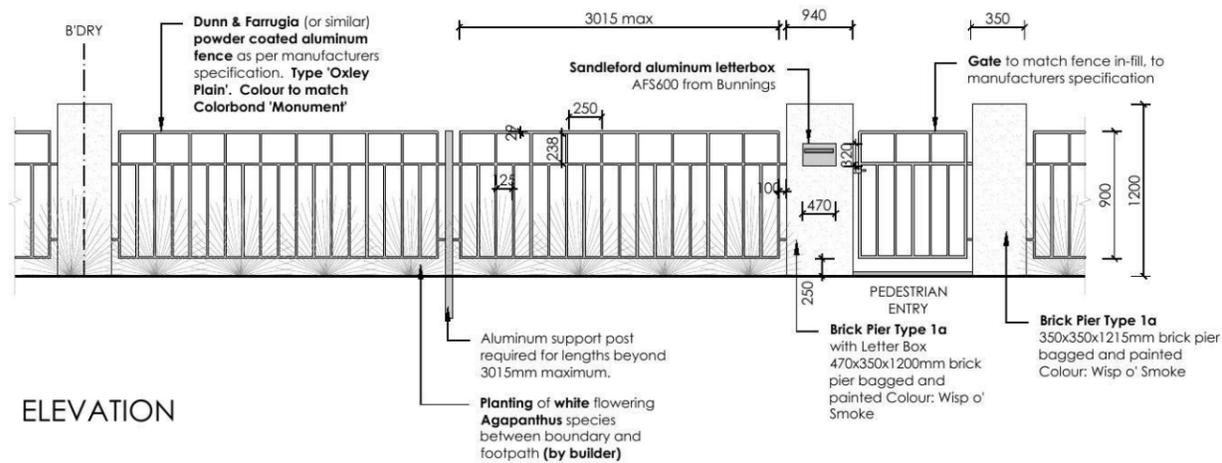
3 Turf Detail  
NTS Brick Paver Edge



4 Stepping stones in gravel  
NTS Low traffic zone

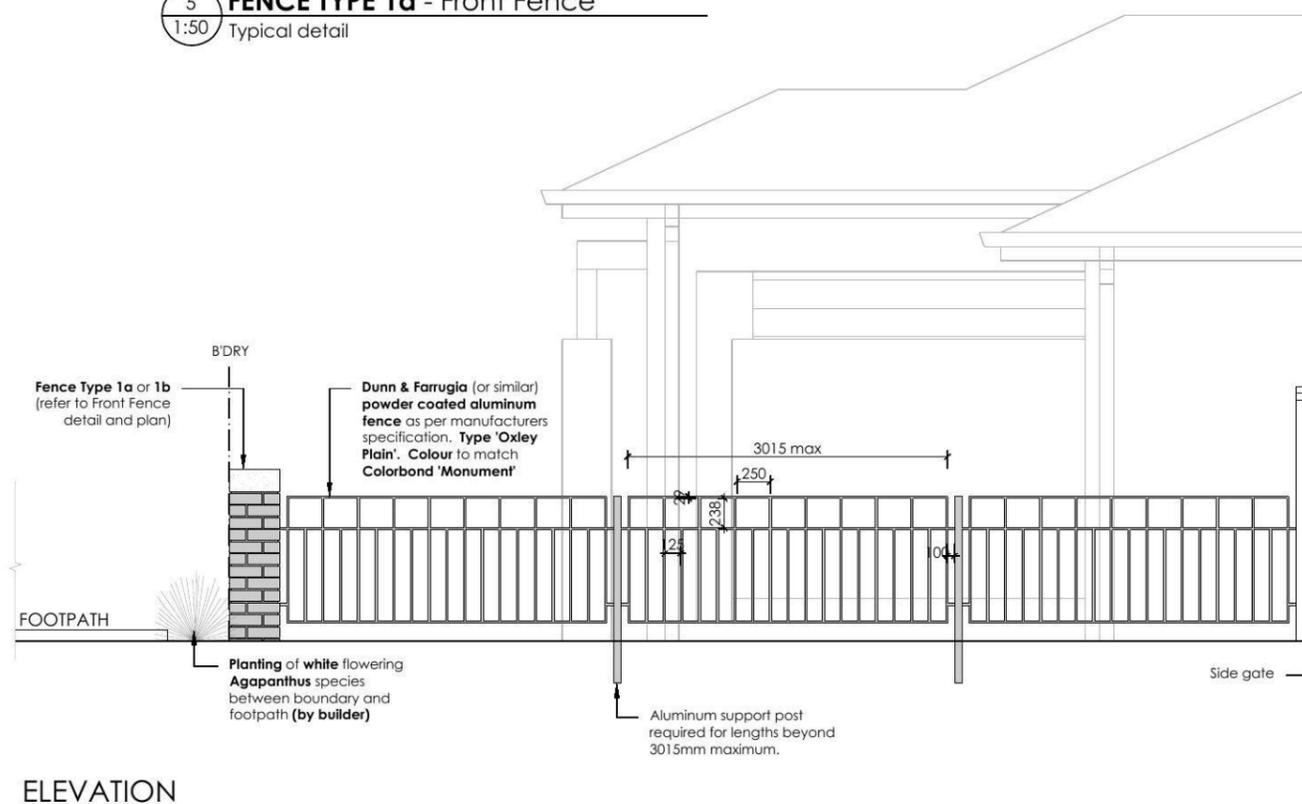


PLAN



ELEVATION

5 FENCE TYPE 1a - Front Fence  
1:50 Typical detail



ELEVATION

6 FENCE TYPE 1c - Side Boundary Front Setback  
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	GC	RS	25-09-14
B	AMENDED TO BUILDER FEEDBACK	GC	RS	29-09-14
C	AMENDED TO BUILDER FEEDBACK	GC	RS	30-09-14
D	AMENDED TO INCLUDE AREA CALCULATIONS	GC	RS	02-10-14

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7. All work to be performed by a suitably qualified tradesperson  
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS: **LOTS 97-107 THORNTON DRIVE, PENRITH**

CLIENT: **CHAMPION HOMES**

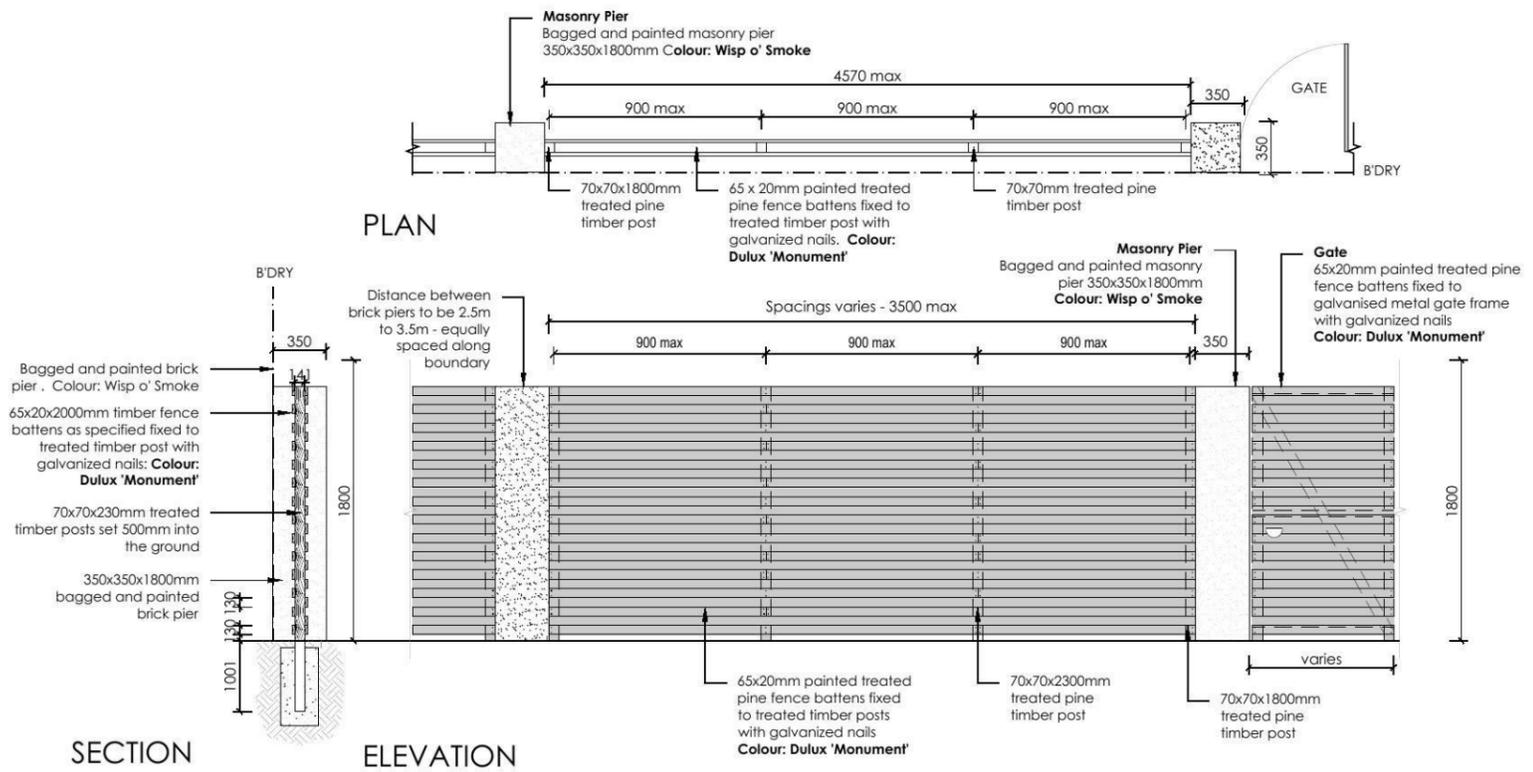
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DRAWING: **LANDSCAPE PLAN**

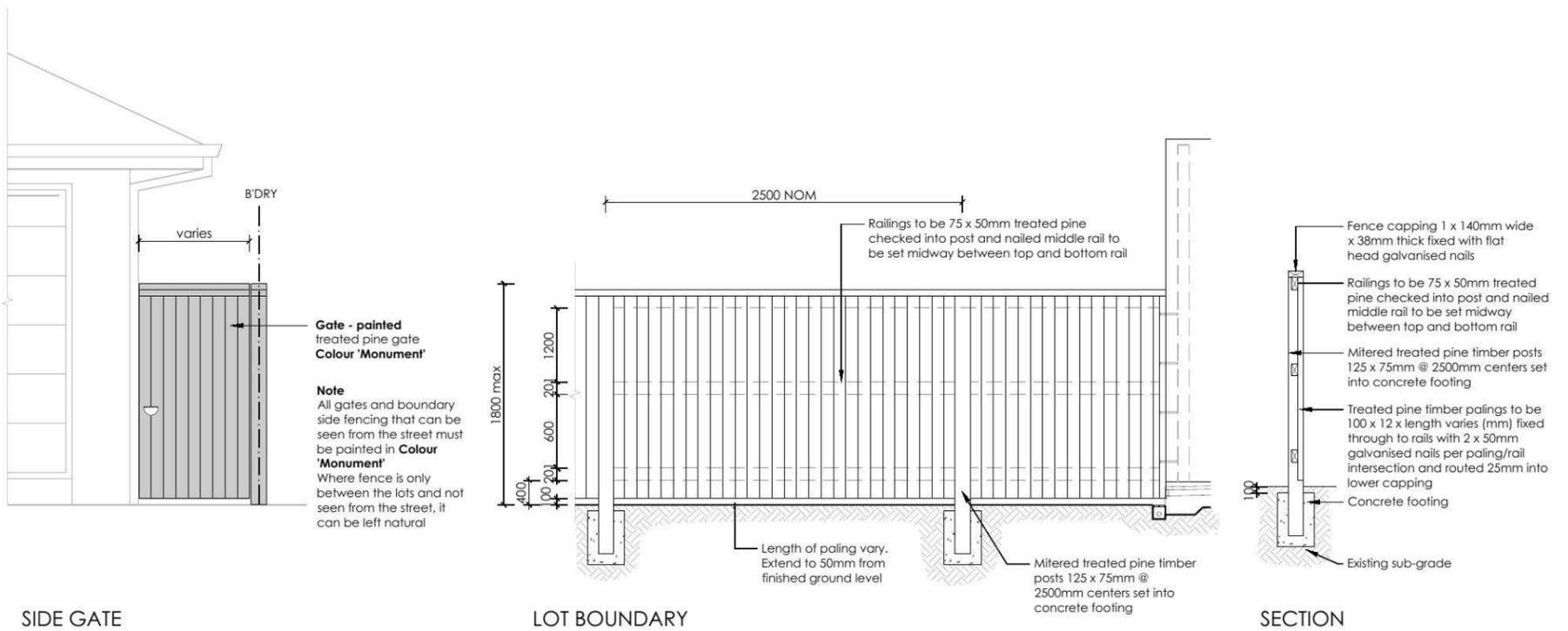
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DRAWN: **GC** CHECK: **RS** DATE: **02-10-14** REVISION: **D**

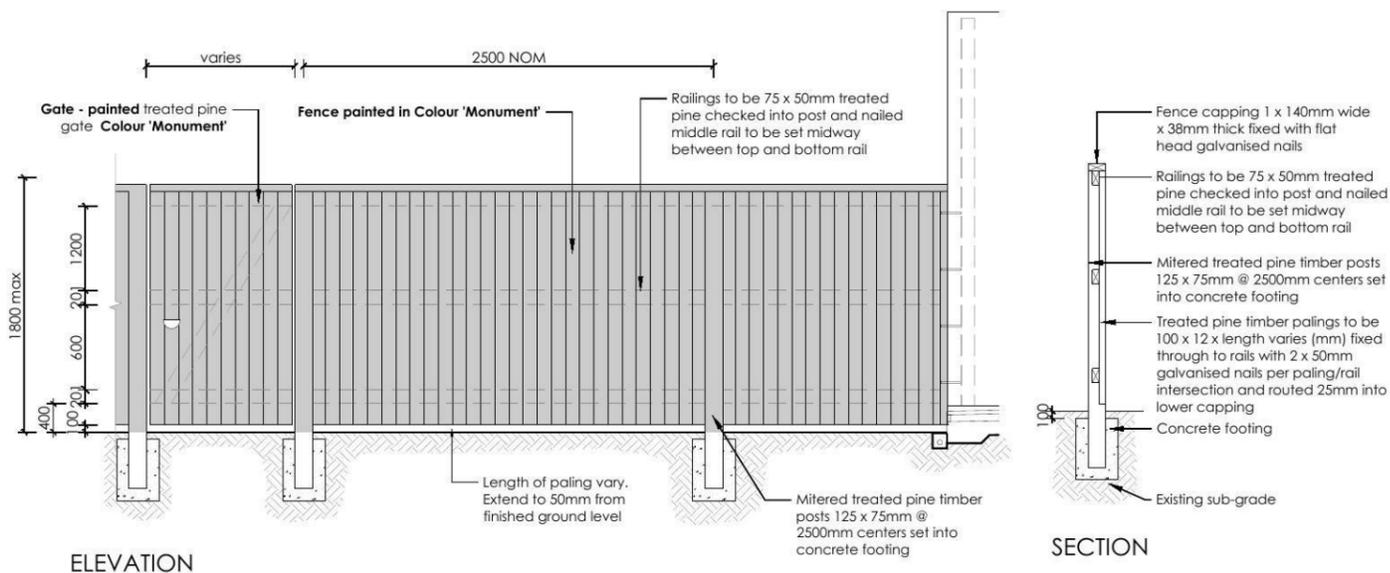




7 **FENCE TYPE 2a - Secondary Street Fencing**  
1:50 Typical detail



8 **FENCE TYPE 4a - Side Boundaries**  
1:50 Typical detail



9 **FENCE TYPE 4b - Rear Boundary**  
1:50 All Laneways (except Barlett Lane)  
Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	GC	RS	25-09-14
B	AMENDED TO BUILDER FEEDBACK	GC	RS	29-09-14
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CLIENT  
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PROJECT  
**NEW RESIDENCE**

DRAWING  
**LANDSCAPE PLAN**

SCALE  
**1:100 @ A3**

ISSUE  
**DA**

SHEET  
**03**

DRAWN  
**GC**

CHECK  
**RS**

DATE  
**02-10-14**

REVISION  
**D**



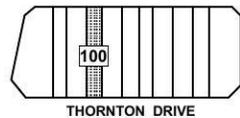
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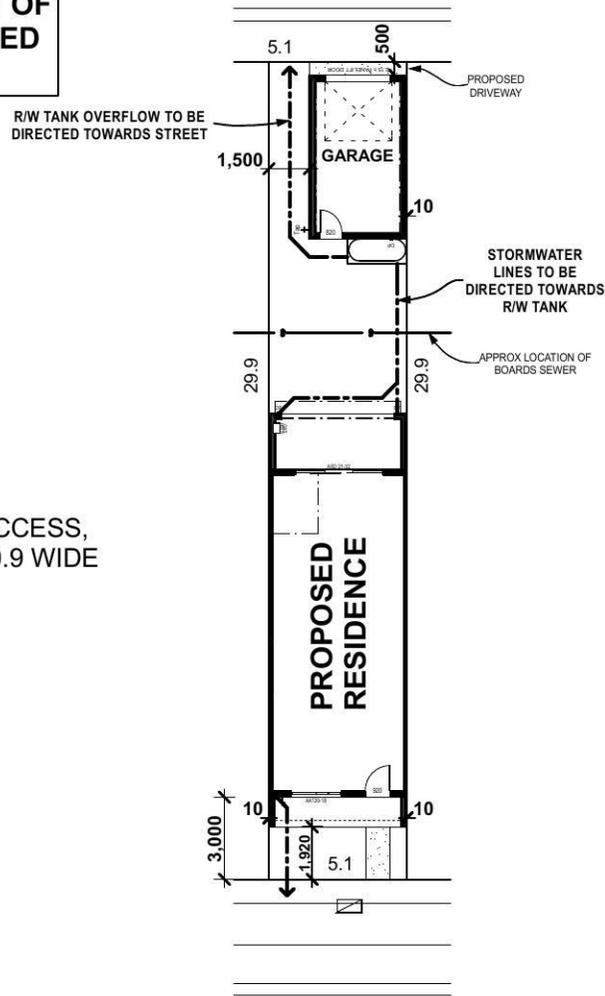
**LOT: 100**  
**152.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENANCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Plan**  
 Not To Scale

**NOTIFICATION PLAN**

Proposed Terrace  
 At: Lot 100, Thornton Drive,  
 Penrith (Thornton)

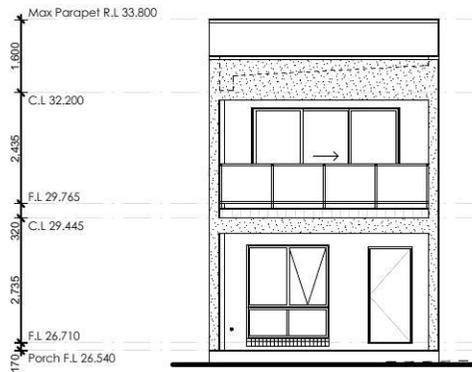


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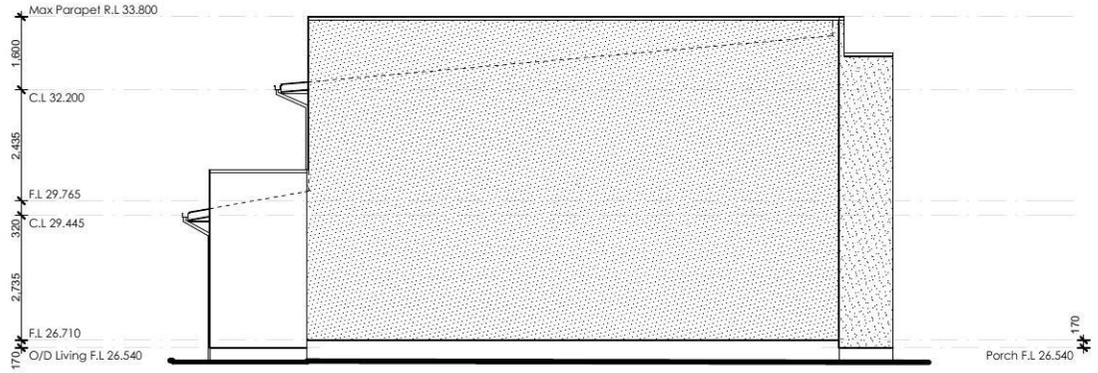
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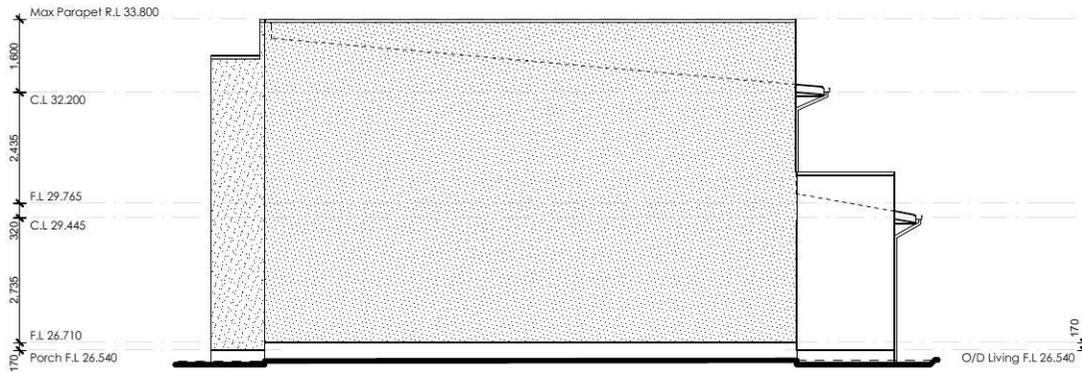
Builders Licence No. 92732C



**Southern Elevation**  
Not To Scale



**Western Elevation**  
Not To Scale



**Eastern Elevation**  
Not To Scale



**Northern Elevation**  
Not To Scale

**NOTIFICATION PLAN**

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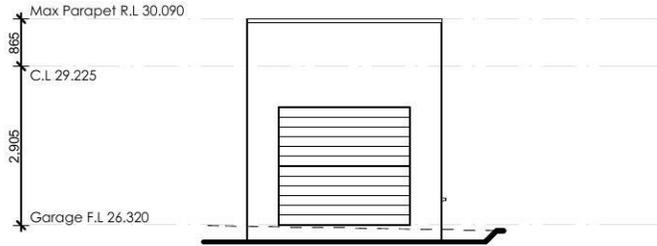


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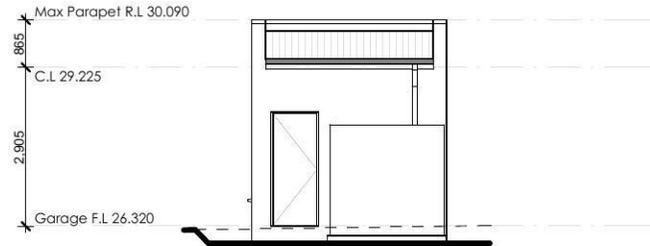
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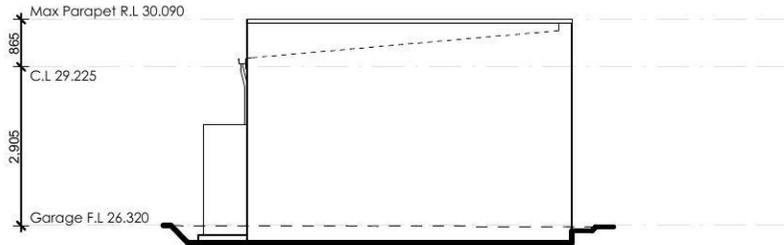
Builders Licence No. 92732C



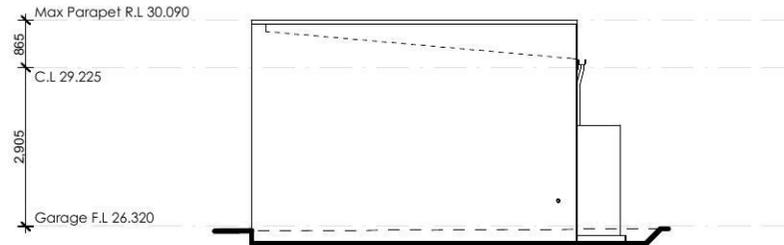
**Northern Elevation**  
Not To Scale



**Southern Elevation**  
Not To Scale



**Eastern Elevation**  
Not To Scale



**Western Elevation**  
Not To Scale

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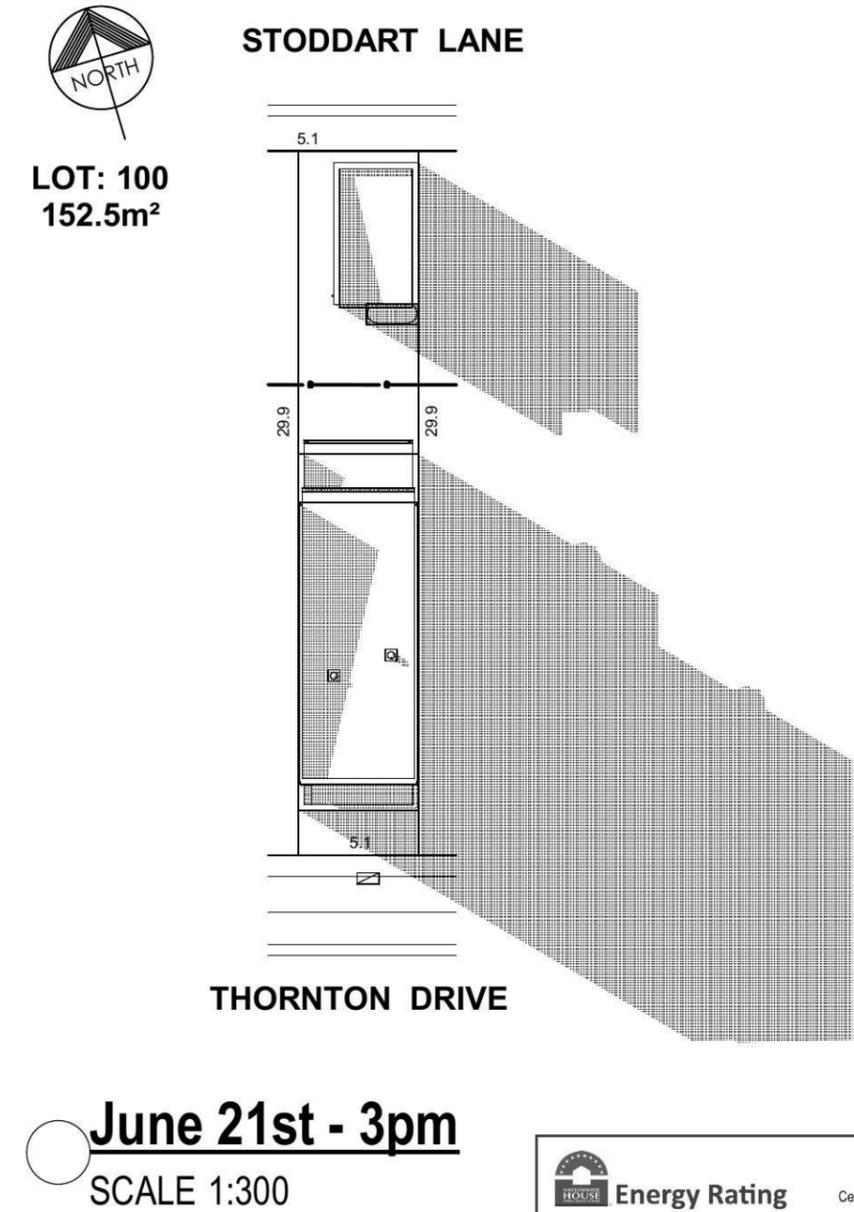
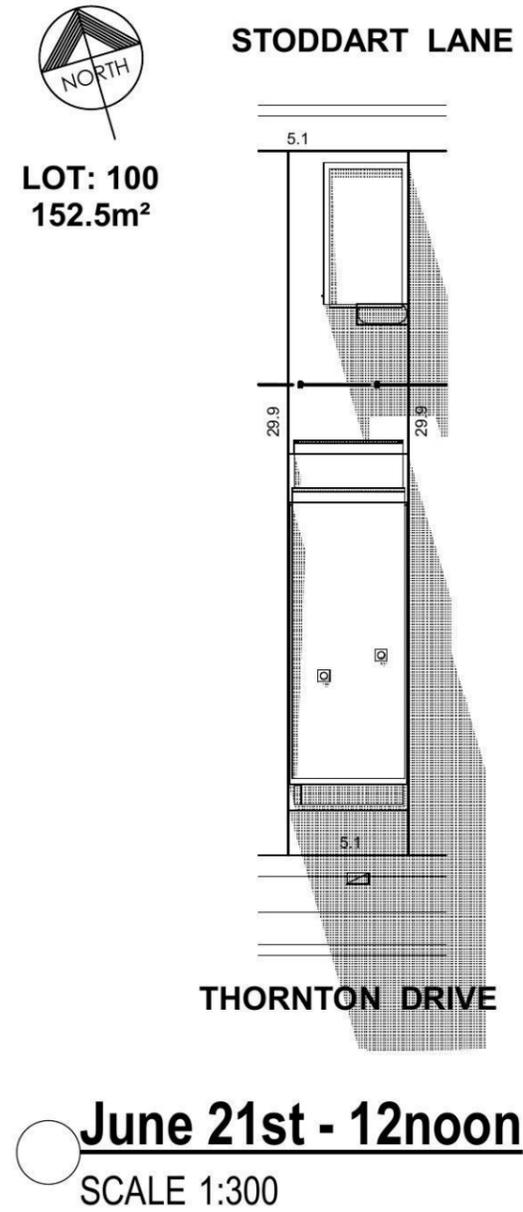
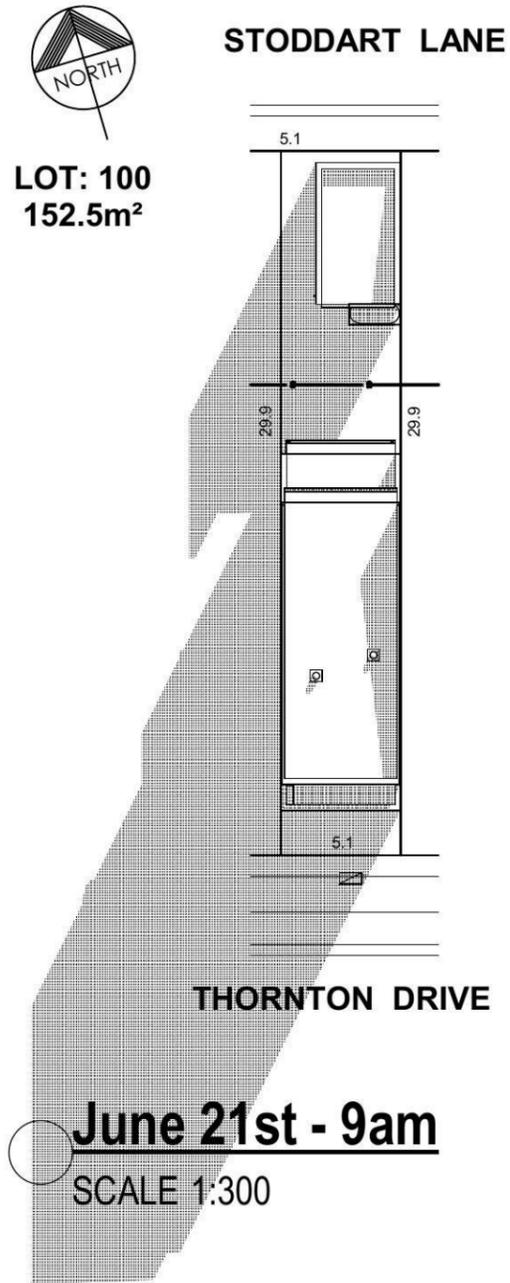
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# PROPOSED SHADOW DIAGRAMS



**Energy Rating** Certificate Number **14561079**

single-dwelling rating

heating **5.5** stars

cooling **63** MJ/m<sup>2</sup>

cooling **28** MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number: Thomas Ruck VIC/BDV/12/1456

Assessor Signature: *T. Ruck* Date: 20/10/14

PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE

Plot Date  
Mon 27 Oct 2014

Figured dimensions to be used in preference to scaling this drawing.  
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Wind Speed category is **TO BE CONFIRMED**

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Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3279N** Sheet 3 of 10

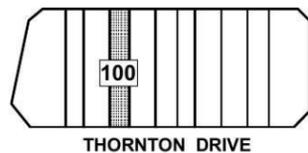
**NOTE:**  
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**LOT: 100**  
**152.5m<sup>2</sup>**

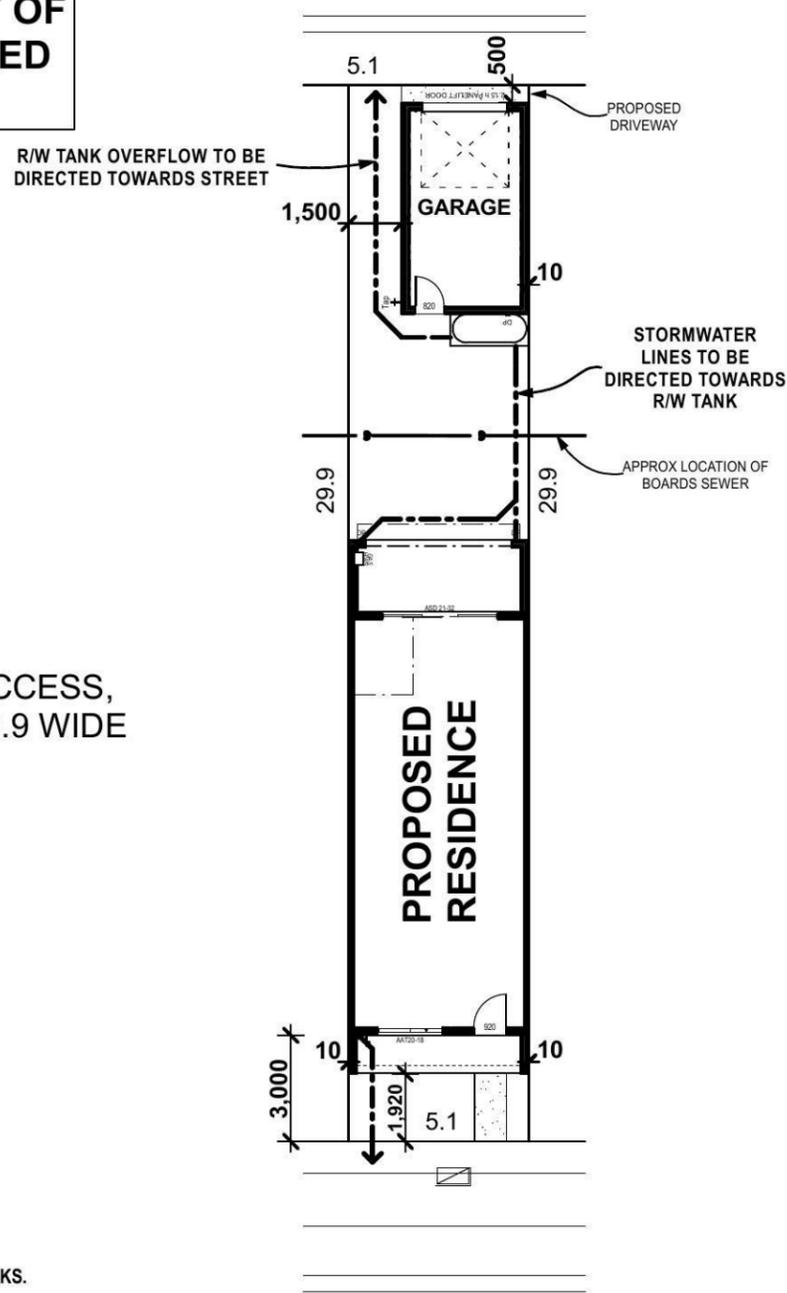
(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



**NOTE:**  
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.  
  
FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Plan & Drainage Plan**

SCALE 1:200

**Energy Rating** Certificate Number 14561079

single-dwelling rating 5.5 stars

heating 63 MJ/m<sup>2</sup>

cooling 28 MJ/m<sup>2</sup>

Recessed downlights confirmation:  Rated with  Rated without

Assessor Name/Number Thomas Ruck VIC/BDV/12/1456

Assessor Signature *T. Ruck* Date 20/10/14

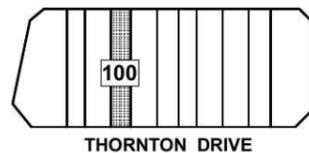
PLEASE REFER TO NATHERS THERMAL COMFORT CERTIFICATE



**LOT: 100**  
**152.5m<sup>2</sup>**

(A) = PROPOSED EASEMENT FOR ACCESS, MAINTENCE AND OVERHANG 0.9 WIDE

**LOCATION PLAN**



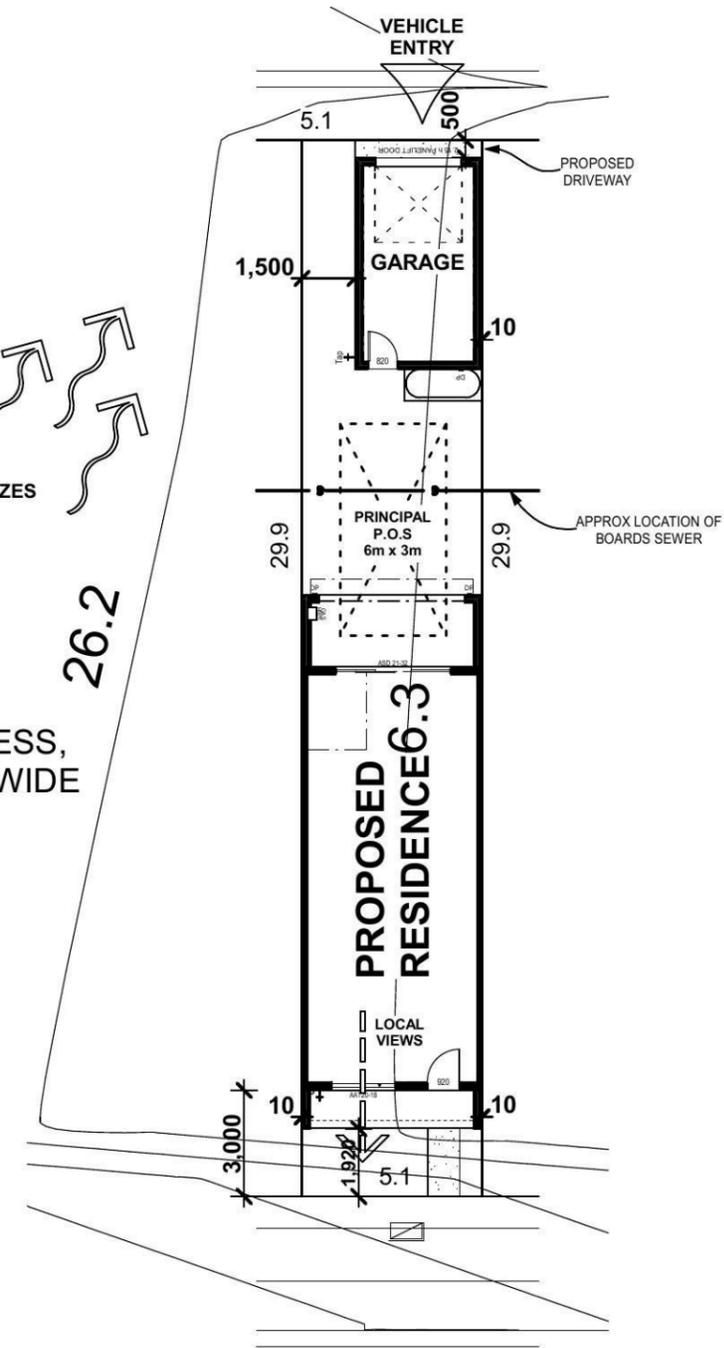
**NORTH PENRITH "THORNTON" REQUIREMENTS:**

**SITE AREA:** 152.5m<sup>2</sup>

**PRIVATE OPEN SPACE:**  
(Min 2.0m Wide)  
REQUIRED: 20% or 30.5m<sup>2</sup>  
ACHIEVED: 26% or 39.97m<sup>2</sup>

**LANDSCAPE AREA:**  
ACHIEVED: 24% or 37.39m<sup>2</sup>

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Analysis Plan**

SCALE 1:200

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.



Suite 1, Level 1,  
600 Hoxton Park Rd,  
Hoxton Park, N.S.W. 2171.  
P.O. Box 95 Hoxton Park,  
N.S.W. 2171.  
Telephone (02) 9825 8000  
Fax (02) 9825 8110  
  
Builders Licence No. 92732C

Revision	Date	Amendment
B	27.10.14	DA PLANS - BT
A	27.08.14	CONTRACT DRAWINGS - MT

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Proposed Terrace at Lot: 100, Thornton Drive, Penrith (Thornton)

Plot Date  
Mon 27 Oct 2014

Client:  
**Champion Homes**

Sheet Size: A3 Date: 27.08.14 Drawn: MT

Design:  
**Custom Mid-Terrace**

Job No. **3279N** Sheet 1 of 10

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	390 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	110 mm FROM F.F.L.

Wind Speed category is **TO BE CONFIRMED**

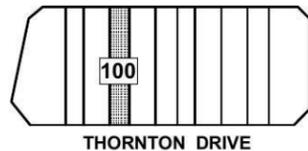
**NOTE:**  
**FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR**



**LOT: 100**  
**152.5m<sup>2</sup>**

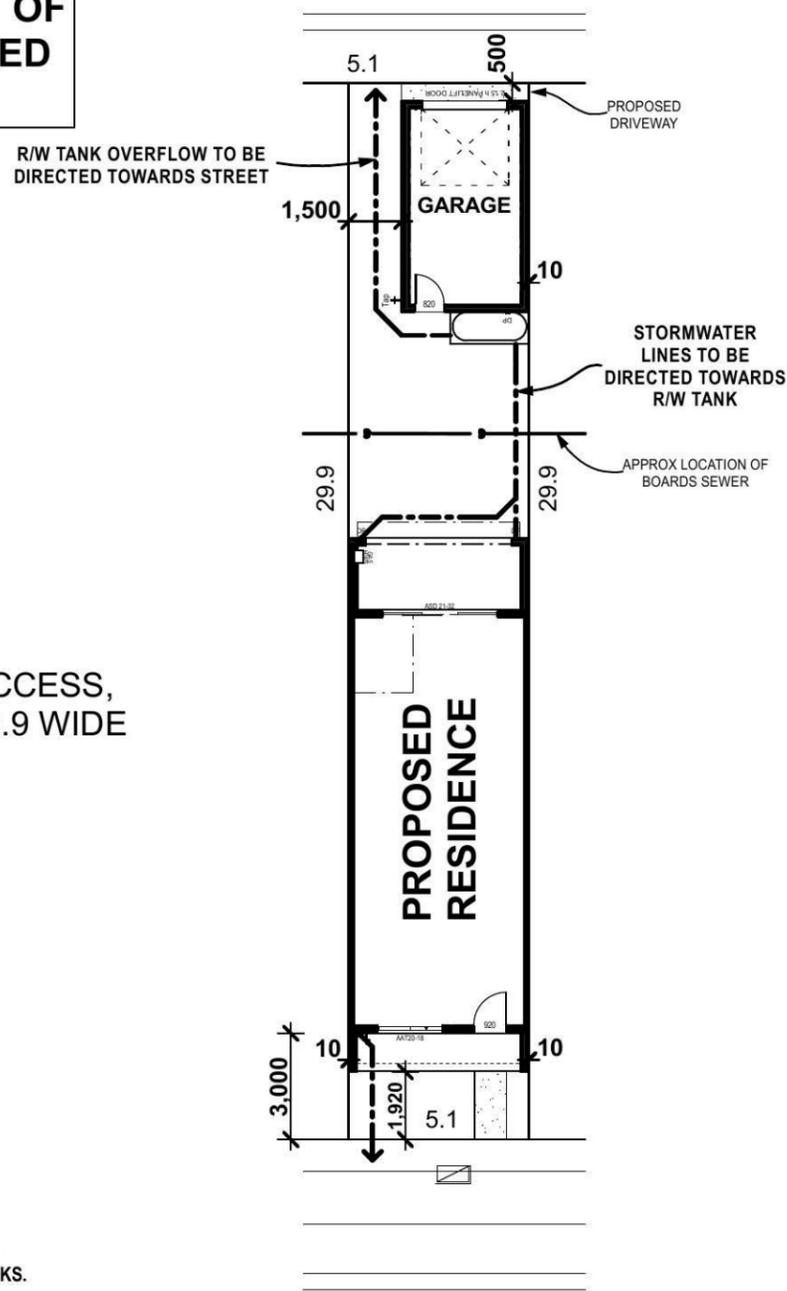
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**LOCATION PLAN**



**NOTE:**  
 FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.  
 FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

**STODDART LANE**



**THORNTON DRIVE**

**Proposed Site Plan & Drainage Plan**

SCALE 1:200

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*Simply the Best*

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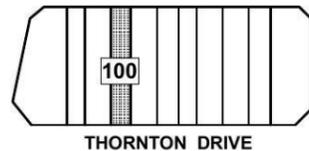
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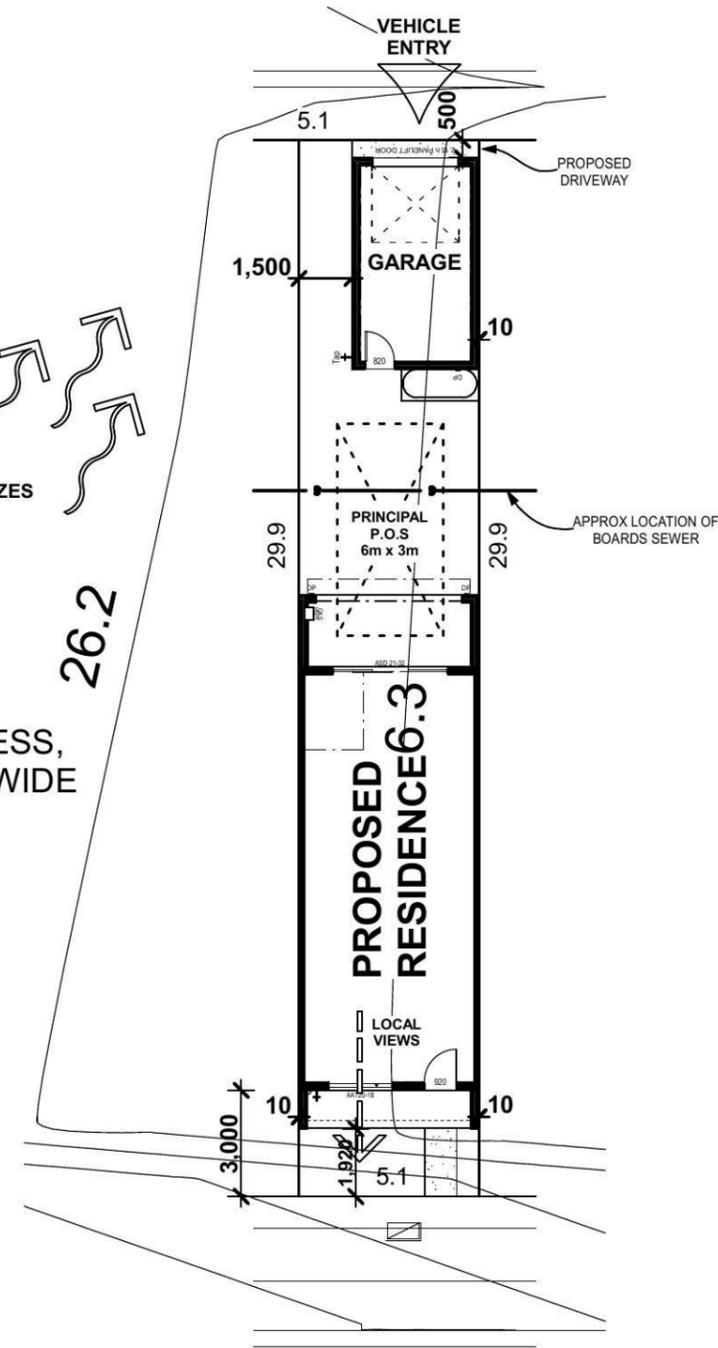
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SCALE 1:200

