PENRITH
CITY COUNCIL

MAJOR ASSESSMENT REPORT

Application number:	DA18/1253
Proposed development:	Demolition of Existing Structures & Construction of a Seniors Housing Development Including 6 x Villas and Associated Works
Property address:	8 Linksview Avenue, LEONAY NSW 2750
Property description:	Lot 69 DP 218969 Lot 68 DP 218969
Date received:	20 December 2018
Assessing officer	Lauren Van Etten
Zoning:	Zone R2 Low Density Residential - LEP 2010
Class of building:	Class 1a
Recommendations:	Refuse

Executive Summary

Council is in receipt of a development application for the construction of 6 x 2 storey seniors living townhouses at 8 Linksview Avenue, Leonay. The subject site is zoned R2 Low Density Residential under the provisions of Penrith Local Environmental Plan 2010. The proposal is a permissible land use under the provisions of the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

Key issues identified for the proposed development and site include:

- Extensive tree removal and impacts upon neighbouring trees;
- Poor streetscape presentation given the removal of all existing trees, the provision of narrow street setbacks and proposed excessive filling and retaining walls;
- Incompatible built form and siting with the low density residential character given narrow landscaped side setbacks proposed, bulky design and materials plus extensive hardstand areas in the street setbacks;
- The design does not provide adequate parking nor adequate grades and accessibility;
- The stormwater design is inadequate in detail to address likely impacts and Council's Stormwater Drainage Policy.

The proposed development was advertised and notified in accordance with Penrith Development Control Plan 2014. Affected property owners and occupies were notified in the surrounding area and invited to make a submission of the proposal during the exhibition period from 18 January to 1 February 2019. During this period, Council received thirty (30) submissions in response, 10 or more which are considered unique and in this regard the application is referred to the Local Planning Panel for determination.

The applicant was advised of the key issues and Council received an amended response on 11 March 2019. The key issues were not addressed.

An assessment under Section 4.15 of the *Environmental Planning and Assessment Act 1979* has been undertaken and the application is recommended for refusal.

Site & Surrounds

Properties of the site

The subject site is located on the southern western corner of the intersection of Linksview Avenue and Fairways Avenue. The site has a total area of 1725m², is irregular in shape and currently occupied by a dwelling house, pool and 15 trees. Adjoining the site is low density residential development.

Proposal

The proposed development involves:

- Construction of a seniors living development consisting of 6 dwellings (4 x 1 storey attached dwellings and 2 x 1 storey attached dwellings);

- Each dwelling will accommodate 2-3 bedrooms (3 x 3 bedroom dwellings, 3 x 2 bedroom dwelling), living room, kitchen, laundry, bathroom and single car garage. A patio is directly accessible from the living areas of each unit.

- 8 car parking spaces (4 within single car garages, 3 within carports and 1 stacked parking space).

- Associated drainage and landscaping works.

- Removal of all 15 existing trees and earthworks.

Plans that apply

- Local Environmental Plan 2010 (Amendment 4)
- Development Control Plan 2014
- State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004
- State Environmental Planning Policy No 55—Remediation of Land
- Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River

Planning Assessment

- ### Section 4.15 - Evaluation

  The development has been assessed in accordance with the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979, and having regard to those matters, the following issues have been identified for further consideration.

Section 79C(1)(a)(i) The provisions of any environmental planning instrument

State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

The development is proposed under the provisions of *State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 (SEPP Seniors),* which applies to the subject land by virtue of Clause 4(1)(a)(i), as development for the purpose of dwelling houses is permitted within the R2 Low Density Residential zone under *Penrith Local Environmental Plan 2010*. Pursuant to Clause 16, development for seniors housing under SEPP Seniors may be carried out with consent on any land to which the SEPP applies.

The development is categorised as "*self-contained dwellings*", more specifically *"infill self care housing"*.

The relevant provisions of SEPP Seniors are address below.

GENERAL CONSIDERATIONS

DEVELOPMENT STANDARD	SEPP REQUIREMENT	PROPOSED DEVELOPMENT	COMPLIANCE
Permissibility	Land zoned primarily for urban purposes or adjacent to urban land.	The site is zoned R2 Low Density Residential under LEP 2010.	Yes
Site Compatibility Certificate (Clause 24)	Not required for urban zoned (unless a vertical village is proposed)	N/A	N/A
Location, facilities and support services such as (Clause 26)	Max 400m from shops, banks, retail, community services and medical services being no more than 1:14 gradient or as otherwise stipulated within Clause 26(2)	The site is located within 400m of a bus stop on River Road. The applicant has proposed a footpath along Linksview avenue, Buring Avenue and along the eastern side of River Road, kerb ramps and a provision of a compliant boarding point. However, the plans have not shown the detail to demonstrate that these services are available via a suitable service access pathway with an overall average gradient of not more than 1:14.	No
Water and Sewer (Clause 28)	Housing will be connected to a reticulated water system with adequate waste water disposal.	Services are currently available within the surrounding locality. If the proposal was recommended for approval a standard condition for obtaining a Section 73 Certificate would be imposed.	Yes
Site Capability Criteria (Clause 29)	If Clause 24 is not applicable, the consent authority is to consider the requirements within Clause 25 (5) (b)(i), (ii) and (v) being natural environment and existing uses in immediate locality, impact of proposed works on future uses of that land (being more than the subject site) and impact of bulk, scale and built form on character of area.	Developments in the area are predominantly low density residential. It is considered that the bulk, scale, built form and character of the proposed development will result in negative detrimental impacts upon the amenity of the streetscape and that of adjacent residential dwellings. Refer to discussion in Part 3, Division 2.	No
PART 3 - DIVISION 1 - GENERAL DESIGN REQUIREMENTS			
DEVELOPMENT STANDARD	**SEPP REQUIREMENT**	**PROPOSED DEVELOPMENT**	**COMPLIANCE**
Site Analysis (Clause 30)	Site Analysis required by Applicant	The application was accompanied by a site analysis prepared in accordance with this Clause.	Yes

Design Consideration (Clause 31)	Assessment Against Seniors Living Policy – Urban Design Guideline for Infill Development (DOP March 2004)	* The development is inconsistent with the Seniors Living Policy which is further discussed below.	No
PART 3 - DIVISION 2 - DESIGN PRINCIPLES			
DEVELOPMENT STANDARD	**SEPP REQUIREMENT**	**PROPOSED DEVELOPMENT**	**COMPLIANCE**
Neighbourhood Amenity & Streetscape (Clause 33)	Recognize and respond to area character and consider heritage items, maintain reasonable amenity and character through setbacks, height, fencing, planting and retaining vegetation where reasonable.	The development is not considered to maintain the character of the surrounding locality. The front setbacks of the adjoining dwelling along Linksview Avenue is 8.7m at a minimum and from 7m to 9.5m along Fairways Avenue. In contrast the proposal is setback 2.7m at a minimum along Linksview Avenue and 5.8m along Fairways Avenue. In addition, the surrounding locality is predominantly single storey detached dwellings. Comparatively, the proposal is attached townhouses. No existing vegetation has been retained even though mature canopy cover contributes to the streetscape character in the surrounding area which is not considered an appropriate design solution. It is noted that while there may be other front setback retaining walls within the surrounding area, there is no development of a comparable scale in terms of minimal setbacks coupled with excessive retaining walls and fencing close to the front boundary. It is therefore considered that a combination of building siting, topography and landscaping renders this proposal incompatible with the character of the area.	No
Visual & Acoustic Privacy (Clause 34)	Appropriate site planning, consider location of windows and balconies, use of screening devises, landscaping and noise generation by locating paths, parking and driveways away from new dwellings.	The proposal is considered to result in visual and acoustic privacy issues for the adjoining property to the west due to the narrow side setback for more than 50% of the building alignment, that being a side setback of 0.8 to 1m for a length of 28m along the western boundary.	No

Solar Access (Clause 35)	Adequate solar access to living areas and POS of neighbour's and reduce energy use by locating windows of living and dining areas north.	The shadow diagrams that accompanies the DA have indicated that neighbouring properties will experience minimal overshadowing in mid winter. The orientation of the site ensures adequate solar access to the living area and private open space of the proposed dwellings.	Yes
Stormwater (Clause 36)	Control and minimize storm water runoff and include (where practical) OSD.	The application was accompanied by a Stormwater drainage plan which has not demonstrated that stormwater could be appropriately managed on the site. Refer to the likely impacts section of this report for further details.	No
Crime Prevention (Clause 37)	Ensure passive surveillance and lockable shared entries and see people coming.	The units are designed to provide passive surveillance.	Yes
Accessibility (Clause 38)	Safe pedestrian links to public transport and facilities and safe and convenient access and parking.	The location of a number of parking spaces are considered unacceptable as they will impact on manoeuvrability of vehicles. Further, the gradient for the driveway to Unit 4 is not in accordance with the requirements for accessible parking under AS 2890. The width of all parking spaces do not comply with parking for persons with a disability as set out in AS 2890 as required in Schedule 3, Clause 5(a).	No
Waste Management (Clause 39)	Provide waste facilities that maximize recycling.	The development bin bay does not maximise recycling as it does not meet Council's minimum waste requirements for multi- dwelling housing. Refer to the appendix of this report for further details.	No
PART 4 - DIVISION 1 – GENERAL STANDARDS TO BE COMPLIED WITH			
DEVELOPMENT STANDARD	**SEPP REQUIREMENT**	**PROPOSED DEVELOPMENT**	**COMPLIANCE**
Site Area * **does not apply to social housing provider**	Min 1,000m2	1725m²,	Yes
Frontage * **does not apply to social housing provider**	Min 20 metres	31m at minimum along Fairways Avenue	Yes

Building Height *** Rear 25% control does not apply to social housing provider**	Height not to exceed 8m metres. Adjacent to boundary must be not more than 2 storeys in height Rear 25% to be single storey	5.9m	Yes Yes
PART 7 – DIVISION 1 – GENERAL (CANNOT BE GROUNDS FOR REFUSAL)			
General Consent Restriction	Cannot grant consent if site analysis considerations are not satisfactory.	Satisfactory	Yes
DIVISION 4 – SELF CONTAINED DWELLINGS (CANNOT BE GROUNDS FOR REFUSAL)			
DEVELOPMENT STANDARD	**SEPP REQUIREMENT**	**PROPOSED DEVELOPMENT**	**COMPLIANCE**
Height	8m (max two storeys at rear)	5.9m	Yes
FSR	0.5:1	0.37:1	Yes
Landscaped Area	A minimum 30% of the area of the site is to be landscaped	37%	Yes
Deep Soil zones	A minimum of 15% of the site	19% with two thirds within the rear of the site	Yes
Solar Access	70% solar access to living areas for 3 hrs between 9am and 3pm	3 hours of solar access is provided to all units.	Yes
POS (Infill)	Single Storey: 15m2 of POS per unit being min 3 x 3 POS. accessed off living area	All units have in excess of 15m². Each is provided with an area of 3m x 3m. The POS for each unit is accessible directly off the living areas.	Yes Yes
Parking	Parking – 0.5 car spaces for each bedroom where the development application is made by a person other than a social housing provider.	7.5 spaces required & 8 spaces proposed	Yes

SCHEDULE 3 – SELF CONTAINED DWELLING STANDARD

All proposed parking spaces should comply with SEPP Housing for Seniors or People with a Disability Schedule 3 Clause 5 (a) regarding parking spaces complying with the requirements for parking for persons with a disability set out in AS 2890. The additional advice and plans from the applicant show that these comments were not addressed. The applicant suggested that only one parking space should be 3.8m and the other spaces 3.2m. However, all spaces should be at least 3.8m wide and this has not been provided nor is possible without substantial redesign.

Further, Unit 4 has 3 bedroom and so requires two parking spaces however only one carport space has been provided and the driveway has grades of 1 in 4 and 1 in 8 which is not in accordance with AS 2890 required grades and accessibility for disabled parking. The proposed stacked parking space for Unit 4 therefore does not comply due to the gradient.

The application was accompanied by Access Review Report prepared by Funktion and dated 18 December 2018. This report confirms that the development could comply with the design requirements outlined in Schedule 3. If the application was being recommended for approval these recommendations would form a condition of consent.

**** Seniors Living Policy - Urban Design Guidelines for Infill Development***

The development is not considered acceptable as it is inconsistent with the following sections of the Seniors Living Policy:

a) Responding to Context

The development is not considered to complement the surrounding locality of detached dwellings with generous landscaped front setbacks and established canopy cover along front, side and rear setbacks. The development is inconsistent with the existing streetscape elements and pattern of development given the narrow street setbacks proposed and excessive hardstand areas within that setback, namely two driveways, a ramp and retaining walls. Given the existing pattern of planting is extensive across the site, the new development does not protect nor enhance the existing natural features that contribute to neighbourhood character, but rather proposes all to be removed which is an inappropriate design solution. Further, the proposal has not responded to the topography of the site, with extensive filling retaining walls and ramps proposed within the front setback. The built form, being rows of townhouses is considered to be inconsistent with the surrounding area which is predominantly single storey detached dwellings.

b) Site Planning and Design

The limited proportion of the front setbacks given to landscaped area and deep soil is inappropriate given the surrounding locality characterized by detached dwellings surrounded by large landscaped setbacks. The removal of trees along the front and rear of the site will also increase the impact of the new development upon the streetscape and neighboring properties. The development does not allow for the retention of any existing trees on-site despite their healthy and mature condition and the positive impact they could provide to soften the built form along the site's frontage

c) *Impacts on Streetscape*

The development is not considered to complement the surrounding dwellings. The front setback are significantly smaller than neighbouring properties. The presence of two driveways in close proximity, coupled with an accessibility ramp and retaining walls in between, results in a streetscape that is dominated by driveways and hardstand areas.

The narrow setbacks coupled with minimal vegetation results in a scale and massing that is inappropriate in relation to the existing streetscape. Further, variation in materials and colours are not provided to order building facades with scale and proportions that respond to the contextual character. Consequently, the proposed white cladding does not respond to the earthy tones and predominant use of brick or render in the surrounding area.

The length of buildings (28m and 44m respectively) exacerbates the building massing, increasing the visual impacts of the proposal. The development does not comply with Council's policies in terms of both maximum building length and minimum front & side setbacks. Given the above the proposed development would not achieve a harmonious fit with the existing streetscape.

d) *Impacts on Neigbhours*
In addition to the above discussed concerns, the visual impact as viewed from neighboring sites is also affected by the extensive unrelieved walls coupled with the removal of trees. The amenity of the neighbouring property to the south is also compromised by the second driveway proposed within the rear setback with a minimal buffer/barrier between the said driveway and the southern boundary. Further, as previously discussed in the SEPP table, the western side setback does not comply with the Guidelines rule of thumb that side setbacks less than 1.2m shall not be built for more than 50% of the development. The 600mm to 1m buffers provided do not allow for adequate screen planting. The majority of the side boundaries, then, do not provide a suitable interface.

State Environmental Planning Policy No 55—Remediation of Land

State Environmental Planning Policy No. 55 - Remediation of Land (SEPP 55) aims to provide a framework for the assessment, management and remediation of contaminated land throughout the state. Clause 7(1) of SEPP 55 prevents consent authorities from consenting to a development unless it has considered whether the land is contaminated and is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out.

The Statement of Environmental Effects notes that the site has historically been used for residential purposes and stated the risk of the site being contaminated is unlikely. However, as no contamination assessment was provided in support of this statement the applicant has not demonstrated that the site is suitable. Therefore, in accordance with Clause 7 of the *SEPP No. 55 Remediation of Land*, Council is not satisfied that the land is suitable for the proposed use.

Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River

An assessment has been undertaken of the application against relevant criteria with Sydney Regional Environmental Plan No. 20—Hawkesbury-Nepean River (No. 2—1997) and is found to be compliant with the general planning considerations of the Policy. Notwithstanding, the proposal has not demonstrated that the subject site can adequately accommodate the proposed development and is recommended for refusal.

Local Environmental Plan 2010 (Amendment 4)

Provision	Compliance
Clause 2.3 Permissibility	Complies - See discussion
Clause 2.3 Zone objectives	Does not comply - See discussion
Clause 2.7 Demolition requires development consent	Complies
Clause 4.3 Height of buildings	Complies
Clause 4.4 Floor Space Ratio	N/A
Clause 7.1 Earthworks	Does not comply - See discussion
Clause 7.2 Flood planning	N/A
Clause 7.4 Sustainable development	Complies
Clause 7.6 Salinity	Complies
Clause 7.7 Servicing	Complies

Clause 2.3 Permissibility
The subject site is zoned R2 Low Density Residential under Penrith Local Environmental Plan 2010. The proposed 'multi-dwelling housing' is a prohibited form of development in the R2 zone.

Notwithstanding the LEP provisions, seniors housing (in this case self-contained dwellings) is a permissible form of development on land zoned for urban purposes under Clause 16 of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

Clause 2.3 Zone objectives
The proposal is inconsistent with the objectives of the R2 zone as discussed within this report, specifically:

- To promote the desired future character by ensuring that development reflects features or qualities of traditional detached dwelling houses that are surrounded by private gardens.
- To enhance the essential character and identity of established residential areas.
- To ensure a high level of residential amenity is achieved and maintained.

Clause 7.1 Earthworks
Given the excessive level of fill and retaining walls proposed, the proposal is *inconsistent with the objectives of the Earthworks clause, specifically:*
i) to ensure that earthworks for which development consent is required will not have a detrimental impact on ....., neighbouring uses.

More over, As per Clause (3) (d), before granting consent the consent authority must consider the effect of the proposed development on the existing and likely amenity of adjoining properties. Given the proposal does not minimize the earthworks within the front setback the impacts upon streetscape character and residential amenity are considered adverse.

Section 79C(1)(a)(iii) The provisions of any development control plan

Development Control Plan 2014

Provision	Compliance
C1 Site Planning and Design Principles	Does not comply - see Appendix - Development Control Plan Compliance
C2 Vegetation Management	Complies
C3 Water Management	Does not comply - see Appendix - Development Control Plan Compliance
C4 Land Management	Complies
C5 Waste Management	Does not comply - see Appendix - Development Control Plan Compliance
C6 Landscape Design	Complies
C7 Culture and Heritage	N/A
C8 Public Domain	N/A
C9 Advertising and Signage	N/A
C10 Transport, Access and Parking	Does not comply - see Appendix - Development Control Plan Compliance
C11 Subdivision	Complies
C12 Noise and Vibration	Complies
C13 Infrastructure and Services	Does not comply - see Appendix - Development Control Plan Compliance
D2.1 Single Dwellings	N/A
D2.2. Dual Occupancies	N/A
D2.3 Secondary Dwellings	N/A
D2.4 Multi Dwelling Housing	Does not comply - see Appendix - Development Control Plan Compliance
D2.5 Residential Flat Buildings	N/A
D2.6 Non Residential Developments	N/A

Section 79C(1)(a)(iv) The provisions of the regulations

The application was referred to Council's Building Surveyors for assessment who have provided standard conditions of consent with regard to fire safety. These conditions are not recommended to be included in the Notice of Determination as the development application is recommended for refusal. Furthermore, the development application has been notified, exhibited and advertised in accordance with the requirements of the Regulations.

Section 79C(1)(b)The likely impacts of the development

Character and Visual Impact

The proposal is not considered to be sympathetic to the existing character of the area in relation to bulk, scale and built form. The proposal does not adopt a sympathetic or comparable front setback to either street frontage and will result in negative impacts on amenity of the streetscape and that of adjacent residential dwellings. The built form has an undesirable visual impact to the street due to the extensive retaining walls and lack of landscaping within the front setback and in relation to the adjoining properties due to the unbroken built form, inadequate landscape buffers and hardstand surface interface treatments.

Waste Management

The dimensions and design requirements of the waste storage area and bulky goods area have not been provided in accordance with Council's policy. As such, the application has not demonstrated that the development can be serviced efficiently and effectively by Council's standard waste service.

Traffic, Access and Parking

The application has not demonstrated that there is adequate space for the parking and manoeuvring of vehicles accessing the subject site. The location of a number of spaces are unacceptable as they will impact on manoeuvrability and residents amenity. Insufficient information has been provided to demonstrate suitable access to all parking areas in the form of turning path as per Council's DCP, Section 10.5.1. However, according to Council's Development Engineers it is unlikely that no more than a 2 point manoeuvre can be achieved to get in or out of the parking spaces for 2 and 3, and potentially 5 and 6.

While the SEPP does not specify visitor parking requirements, Council's DCP notes that 1 space should be provided per 5 dwellings or part thereof. No visitor parking has been proposed on-site and the proposed provision of parking is therefore unsatisfactory in this regard.

Stormwater Impacts

The application was accompanied by inadequate information to ensure the proposed stormwater runoff is consistent with Penrith City Council's Stormwater Drainage Policy and mitigates adverse impacts upon adjoining properties or the street drainage system.

More specifically, the stormwater discharge rate exceeds 25l/s however the OSD system restricts the discharge rate to 25l/s. Supporting calculations are required to demonstrate that the discharge rate at the kerb is consistent with Penrith City Council's Stormwater Drainage policy however they have not been provided. Calculations demonstrating that the OSD system is designed up to and including the 1% AEP event have also not been provided on the plans. Further, there is to be at least 1% fall between the invert level of the OSD tank outlet and the invert level of the Stormfilter chamber, however this has not been provided. Lastly, additional design levels are required to demonstrate the ability for stormwater to drain and not pond in the courtyards of Units 1 and 3.

Section 79C(1)(c)The suitability of the site for the development

The site is unsuitable for the following reasons:
- Although development for the purposes of seniors living development is permissible within the R2 Low Density Residential zone, the proposed development is not site responsive and is not compatible or sympathetic with the context of the site as a low density residential garden suburb.
- The proposal does not adequately demonstrate that impacts related to minimum setbacks, local character, streetscape, bulk, scale privacy noise and amenity are adequately mitigated against nor addressed through the design of the building.
- The site and connection to the bus stop are not level requiring undesirable ramping on-site and off-site levels are unknown as a a suitable accessible path has not been demonstrated on the plans.

Section 79C(1)(d) Any Submissions

Community Consultation

In accordance with Clause 4.4 of Appendix F4 of Penrith Development Control Plan 2014, the proposed development was notified to nearby and adjoining residents. Council notified thirteen (13) residences in the area within the exhibition period between 18 January to 1 February 2019. The application was also advertised in a local newspaper until 1 February 2019. Council has received thiry (30) submissions in response that raised concerns with the development relating to accessibility, traffic and privacy impacts, loss of vegetation, waste management and the developments compatibility with the surrounding locality. These issues are summarised and discussed below.

Issue	Response
Fire and Flood Emergency Evacuation Routes	The site is not bushfire prone. Further, the site is outside of the flood area, as is Linksview Avenue and Leonay Parade up to the motorway entrance. Therefore, the existing evacuation routes are unaffected by the proposal.
Traffic Impacts	Council's Traffic Engineer reviewed the proposal and noted that the traffic generated by this development can be accommodated in the road network. However, the application has not demonstrated that there is adequate space for the parking and manoeuvring of vehicles. The location of a number of spaces are unacceptable as they will impact on manoeuvrability and residents amenity. Subsequently, this issue has been identified as part of the assessment and is one of the reasons the application is recommended for refusal.
Loss of Vegetation	The removal of all vegetation within the property is considered detrimental to the character of the area. The proposal is therefore not in accordance with Clause 33, Neighbourhood Amenity & Streetscape of the SEPP, nor is it considered in accordance with Part C 2 of Penrith DCP 2014 as the siting and layout of development has therefore not considered the location of trees and favored their retention (DCP Section C2.1(6)(a). Subsequently, this issue has been identified as part of the assessment and is one of the reasons the application is recommended for refusal.
Need for Seniors Housing	Seniors housing (in this case self-contained dwellings) is a permissible form of development on land zoned for urban purposes under Clause 16 of State Environmental Planning Policy (Housing for Seniors or People with a Disability) (SEPP) 2004.
Landscaped Area Requirement	In accordance with Division 4, Clause 50(c), a minimum 30% of the area of the site is to be landscaped. The proposal includes a landscaped area of 37% and is therefore compliant in this regard. It is noted that the SEPP controls prevail over the DCP controls in the event of any inconsistency as per Clause 5 of the SEPP.

Incompatible Design	The proposal is not considered to be sympathetic to the existing character of the area in relation to bulk, scale and built form. The proposal does not adopt a sympathetic or comparable front setback to either street frontage and will result in negative impacts on amenity of the streetscape and that of adjacent residential dwellings. The built form has an undesirable visual impact to the adjoining street due to the extensive retaining walls and lack of landscaping within the front setback and to the adjoining properties due to the unbroken built form and hardstand surface interface treatments. The proposal is inconsistent with several provisions of the SEPP (Housing for Seniors or People with a Disability) 2004 and provisions within Penrith Development Control Plan 2014 relating to site planning and design. Subsequently, the design issues has been identified as part of the assessment and is one of the reasons the application is recommended for refusal.
Waste Management	This issue has been identified as part of the assessment and is one of the reasons the application is recommended for refusal.
Overlooking	The proposal is considered to result in visual and acoustic privacy issues for the adjoining property to the west due to the narrow side setback for more than 50% of the alignment, that being a side setback of 0.8 to 1m for a length of 28m. This issue has been identified as part of the assessment and is one of the reasons the application is recommended for refusal.
Fence Type	Should the application be recommended for approval, an amended fence type could be appropriately provided as a condition of consent.
Accessibility	The application was accompanied by Access Review Report prepared by Funktion. This report confirms that the development could comply with the design requirements outlined in Schedule 3 of the accompanying document. If the application was being recommended for approval these recommendations would form a condition of consent.

Referrals

The application was referred to the following stakeholders and their comments have formed part of the assessment:

Referral Body	Comments Received
Building Surveyor	No objections - subject to conditions
Development Engineer	Not supported
Environmental - Waterways	Not supported
Waste Services	Not supported
Traffic Engineer	Not supported
Tree Management Officer	Not supported

Section 79C(1)(e)The public interest

The proposed development has been assessed to be contrary to the primary aims, objectives and controls of the applicable planning instruments and will result in negative and unacceptable impacts in the locality and as such, support of the proposal would not be in the public interest.

Conclusion

The development application has been assessed against the applicable plans and policies including the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004, the Penrith LEP 2010 and the Penrith DCP 2014 and is found to be unacceptable. The design of the development is incompatible with the character of the local area particularly having regard to landscaping, setbacks, built form, amenity and parking impacts. Further, the proposal has not demonstrated compliance with the relevant legislation and is therefore not worthy of support. The development application is recommended for refusal.

Recommendation

1. That DA18/1253 for the construction of 6 x seniors living townhouses at 8 Linksview Avenue, Leonay be refused for the following reasons; and
2. That those making submissions are notified of the determination.

CONDITIONS

Refusal

1 X Special 02 (Refusal under Section 4.15(1)(a)(i) of EPA Act 1979)
The application is not satisfactory for the purpose of Section 4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* as the proposal is inconsistent with the following provisions of:

a) State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004
- Clause 26 - Location and access to facilities.
- Clause 29 - Consent authority to consider certain site compatibility criteria for development applications to which Clause 24 does not apply.
- Clause 31 - Design of in-fill self-care housing.
-Clause 33 - Neighbourhood amenity and streetscape
- Clause 34 - Visual and acoustic privacy
- Clause 36 - Stormwater
- Clause 38 - Accessibility.
- Clause 39 - Waste management
- Schedule 3, Part 1, Clause 5 (a) Private Car Accommodation

b) State Environmental Planning Policy No. 55 - Remediation of Land
- Clause 7 - Contamination and remediation to be considered in determining development application

c) Penrith Local Environmental Plan 2010:
- Clause 2.3 - Objectives- The proposal is inconsistent with the objectives of the R2 Low Density Residential zone, specifically:
I) To promote the desired future character by ensuring that development reflects features or qualities of traditional detached dwelling houses that are surrounded by private gardens.
ii) To enhance the essential character and identity of established residential areas.
iii) To ensure a high level of residential amenity is achieved and maintained.

- Clause 7.1 - Earthworks- The proposal is inconsistent with the objectives of the Earthworks clause, specifically:
i) to ensure that earthworks for which development consent is required will not have a detrimental impact on ....., neighbouring uses.

2 X Special 04 (Refusal under Section 4.15(1)(a)(iii) of EPA Act 1979)

The development application is not satisfactory for the purpose of Section 4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979* as the proposal is inconsistent with the following provisions of the Penrith Development Control Plan 2014:

(i) The application has not satisfied Council with respect to the requirements under Section C1 'Site Planning and Design Principles', specifically:
- The proposed development is inconsistent with the setbacks/separation, bulk and scale and landscaped character of the surrounding area.

(ii) The application has not satisfied Council with respect to the requirements under Section C2 'Vegetation Management', specifically:
- The siting and layout of development has not considered the location of trees and favored their retention on the subject property and adjoining properties despite their healthy condition and contribution to the character of the area.

(iii) The application has not satisfied Council with respect to the requirements under Section C5 'Waste Management', specifically:
-The developments does not provide a waste bin storage/collection area that is of a sufficient size to accommodate all required waste bins associated with the development.

(iv) The application has not satisfied Council with respect to the requirements under Section C10 'Traffic, Access and Parking', specifically:
- The application has not demonstrated that there is adequate space within the site to facilitate vehicle manoeuvring, visitor parking nor provide accessible parking in accordance with Australian Standard 2890.

(v) The application has not satisfied Council with respect to the requirements under Section D2.4 'Residential - Multi Dwelling Housing' specifically:

-The development does not meet the controls for front setbacks or secondary street setbacks on corner blocks, nor reflect the character to the established garden suburb nor allow for the development of flora and fauna corridors.
-The bulk and scale of the urban form is not integrated into the surrounding garden area given the building lengths exceed the maximum 20m control with limited front and side green setbacks and removal of all existing vegetation.
- The development does not minimise disturbance to existing topography due to the level of fill and height of retaining walls which exceeds Council’s maximum controls. The proposed retaining walls exacerbate the visual prominence and bulk and scale of the proposal as viewed from the street, while also interrupting the landscaped setback pattern that characterises the area with abrupt hardstand areas.
- The removal of all existing mature trees does not allow for a garden design that preserves existing green corridors and therefore the proposal does not reflect the established garden suburb in relation to the front side or rear setbacks.
- The proposed front fence and retaining wall is incompatible with the neighbourhood character as they dominate the front setback with minimal landscaping and minimal separation between the retaining wall and fence.

3 X Special 06 (Refusal under Section 4.15(1)(a)(iv) of EPA Act 1979)

The application is not satisfactory for the purpose of Section 4.15(1)(a)(iv) of the *Environmental Planning and Assessment Act 1979* as the proposal does not meet the following matters prescribed by the Regulations:

-In accordance with Clause 49 (1) (a) of the Environmental Planning and Assessment Regulation 2000, the proposal does not include owner's consent for tree removal within the adjoining property to the west (Lot 70 DP 218969) which is likely to be damaged by the proposed works.

4 X Special 07 (Refusal under Section 4.15(1)(b) of EPA Act 1979)
The application is not satisfactory for the purpose of Section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* in terms of the likely impacts of the development including those related to:

(i)negative streetscape and local character impacts;
(ii) noise and privacy impacts:
(iii) inadequate car parking provision;
(iv) landscaping, setbacks and site coverage:
(v) negative impacts on residential amenity;
(vi) stormwater management;
(vii) negative social and economic impacts; and
(viii) insufficient waste infrastructure and site access.

5 X Special 08 (Refusal under Section 4.15(1)(c) of EPA Act 1979)
The application is not satisfactory for the purpose of Section 4.15(1)(c) of the Environmental Planning and Assessment Act as the site is not suitable for the scale of the proposed development.

6 X Special 10 (Refusal under Section 4.15(1)(e) of EPA Act 1979)
Based on the above deficiencies and submissions received, approval of the development would not be in the public interest pursuant to Section 4.15(1)(e) of the *Environmental Planning and Assessment Act 1979*.

7 X Special 9 (Refusal under Section 4.15(1)(d) of EPA Act 1979)
The application is not satisfactory for the purpose of Section 4.15(1)(d) of the *Environmental Planning and Assessment Act 1979* due to matters raised in submissions which include the developments compatibility with the surrounding locality.

Appendix - Development Control Plan Compliance

Development Control Plan 2014

Part C - City-wide Controls

C1 Site Planning and Design Principles

The development is considered to be inconsistent with the following objectives of the DCP:

a) to ensure that development is designed on a 'whole of building' approach by:
I) responding to the site's context, the desired scale and character of an area;
iii) minimising likely bulk and scale impacts if a building; and
iv) considering the natural topography and landform and minimise excavation and likely visual impacts of the development.

The application has not demonstrated that the proposed development is consistent with the setbacks/separation, bulk and scale of adjacent buildings. The surrounding area is characterised by low density residential development which consists predominantly of single storey detached dwellings and generous landscaped areas with substantial canopy cover. By contrast, the proposed rows of 'attached' townhouses with no existing vegetation retained, is not compatible with the surrounding area. The proposal does not adopt a sympathetic or comparable front setback to either street frontage. The proposal includes non-compliant filling along the eastern boundary and results in large retaining walls giving the development an undesirable presentation as viewed especially from the streetscape. Coupled with narrow side setbacks and limited vegetation buffers, the proposal is considered to result in detrimental impacts upon the amenity of the streetscape and that of adjacent residential dwellings.

C2 Vegetation Management

While the arborist report notes the trees are generally in a healthy condition and recommends consideration of retaining some trees, no trees are proposed for retention.

Council's Tree Officer noted that many of the trees on the subject site make a significant landscape contribution to the character of the Leonay suburb with the majority of trees on the site being cold climate trees. The majority of the trees are also well established and are in good health indicating that if there was no development planned there would be no reason to support their removal.

The siting and layout of development has therefore not considered the location of trees and favored their retention (DCP Section C2.1(6)(a). The objectives of this section are to promote the benefits of trees and other vegetation, protect and enhance native vegetation, habitat for fauna and manage non-native vegetation in accordance with its cultural and landscape significance. Trees and vegetation must also be retained where they form part of the landscape character of an area, however the proposal does not comply with this requirement under Section C2.1(6)(h).

In addition, Appendix 1 indicates that that the minimal intrusion into the Tree Protection Zone for trees on adjoining properties is 4.2 metres for Tree N2, 5.0 metres for Tree N3. However, the current proposal does not meet these minimums and therefore inappropriate setbacks are provided from neighboring trees. Given the likely damage upon neighbouring trees, the proposal does not include adequate owner's consent for tree removal within the adjoining property to the west.

C5 Waste Management

The DCP specifies that developments must provide a waste bin storage/collection area that is of a sufficient size to accommodate all required waste bins associated with the development. The plans show a waste storage areas and bulky waste area. It was requested that amended plans be provided showing each communal waste storage area large enough to accommodate 6x240L bins with 3.6m long by 3.2m wide however, the amendments still do not comply. The revised configuration is not supported by Council's Waste Department.

C10 Transport, Access and Parking

The proposal is inconsistent with the following DCP objectives:

a) To require that access internal to the development is adequate to accommodate traffic generated by the development.
b) To provide a safe, convenient and legible movement network for people with diverse abilities, including those using wheelchairs, mobility scooters, people with prams, small children, elderly people and people with temporary injuries, between residences and points of attraction within and beyond the development.

The application has not demonstrated that there is adequate space within the site to facilitate vehicle manoeuvring. Turn paths have not been provided to demonstrate suitable access into all parking areas as per Council's Section DCP 10.5.1. However, according to Council's Development Engineers it is unlikely that no more than a 2 point manoeuvre can be achieved to get in or out of the parking spaces for 2 and 3, and potentially 5 and 6. Therefore the proposal is an overdevelopment of the site.

While the SEPP does not specify visitor parking requirements, Council's DCP notes that 1 space should be provided per 5 dwellings or part thereof. No visitor parking has been proposed on-site and the proposed provision of parking is therefore unsatisfactory in this regard.

D2 Residential Development

The proposed development is inconsistent with the following sections of the DCP:

2.2.4 Urban Form

The DCP specifies that building blocks are to be a maximum of 20m in length. The development does not comply with this requirement being approximately 40m in length along the southern elevation of Units 4-6 and 28m in length as viewed from the western facade of Units 1 and 6. Subsequently, the built form is not integrated into the surrounding garden area.

2.4.5 Front and Rear Setbacks

The DCP specifies that a development must adopt a front setback that is the average of the setbacks of the immediate neighbours or a 5.5m minimum whichever is the greater. The front setback of the adjoining dwelling along Fairways Avenue ranges from 7 to 9.5m. In contrast, the proposal is setback 5.8m along Fairways Avenue which does not comply with this control. The secondary street control for corner lots is a minimum of 5.5m to dwellings and 3m to verandahs. The proposal does not comply with these controls either with 2.7-3m predominantly proposed to the dwellings along Linksview Avenue, whereas the adjoining dwelling to the south is setback 8.7m at minimum. Further, given the extensive hardstand areas proposed within the front setback, let alone the size of these setbacks, the proposal does not reflect the character to the established garden suburb nor allow for the development of flora and fauna corridors.

2.4.6 Building Envelope and Side Setbacks

The DCP restricts cut and fill to a maximum of 500mm and floors to be no higher than 1m above natural ground level. In contrast the civil plans indicate that more than 1m of fill will be required along the north-eastern corner and along the eastern boundary. Therefore, the built form and siting does not relate to the site's land form and minimise disturbance to existing topography as the DCP requires. The proposed retaining walls exacerbate the visual prominence and bulk and scale of the proposal as viewed from the street, while also interrupting the landscaped setback pattern that characterises the area with abrupt hardstand areas. Therefore the design does not respond to the constraints of the site in relation to slope.

2.4.7 Driveways and Parking Areas

The DCP specifies that garages and parking spaces should be setback at least 6.5m from the outside driveway kerb. The stacked parking space for Unit 4 does not comply with this requirement given it is located within the front setback.

2.4.16 Garden Design

The DCP specifies that gardens should be landscaped according to the function of each area, including conservation of any existing corridor of mature trees. The proposal involves the removal of all existing vegetation and therefore the proposal does not reflect the established garden suburb.

2.4.18 Fences and Retaining Walls

The DCP states that fences and boundary retaining walls should be compatible with neighbourhood character and should be integrated with the design of buildings and garden areas. Retaining walls generally should be no taller than 500mm and be separated from any associated fence by a planter-bed at least 500mm wide, minimising the apparent overall height of fencing. In this regard, the proposed retaining wall along the eastern setback is more than twice the DCP maximum and is not separate from the fence but is rather proposed on top of the retaining wall. The cumulative visual impact from the street, particularly with minimal landscaping, is incompatible with the character of the area.

preliminary not for construction

drawing No.	drawing name
0000	cover page
0001	location plan
0002	site analysis
0100	site plan
0101	erosion & sediment control
0200	demolition plan
1100	ground floor plan
1101	roof plan
2000	north & south elevation
2001	east & west elevation
3000	sections
9000	landscape concept plan
9100	shadow diagrams
9300	area calculations
9600	finishes schedule

architect

integrated DESIGN group
architects | bathurst penrith sydney

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integratedDESIGNgroup p/l
abn 84 115 006 329

bathurst | 02 6332 6206
penrith | 02 4732 4430
sydney | 02 9764 6100

Member Australian Institute of Architects

nominated architects
tony mcburney reg#5273
simon thorne reg#7093

info@idgarchitects.com.au
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general notes

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finishes

BDRY	boundary	FB	face brick
BOE	brick on edge	FC	fibre cement
BPB	bagged paint brickwork	FFL	finished floor level
CCR	corrugated steel roof	F	fixed glass
CF	colorbond fascia	FGL	finished ground line
CFC	comp. fibre cement	GM	gas meter
CONC	concrete	HWS	hot water service
CJ	control joint	PB	plasterboard
CT	ceramic tile	PCR	painted cement render
CPT	carpet	PFB	painted face brick
CRT	concrete roof tile	PFC	painted fibre cement
CQG	colorbond quad gutter	PWB	painted weatherboard
DP	downpipe	SC	soldier course
DP&S	downpipe & spreader	TFB	timber floor boards
EGL	existing ground line	TRC	terracotta roof tiles
EMB	electrical meterboard	WM	water meter

fixtures

b	basin	rh	rangehood
b/head	bulkhead	sc	solid core door
cs	cavity sliding door	sh	soap holder
dry	dryer	ss	stainless steel sink
dw	dishwasher	st	stove
exh	exhaust fan	shwr	shower
fr	freezer	t	tub
fw	floor waste	tr	towel rail
hc	hollow core door	trh	toilet roll holder
hr	handrail	typ.	typical
lb	letterbox	wc	water closet
m	mirror	wm	washing machine
mw	microwave	v	vinyl
o/h	overhead	vp	vent pipe
p	pantry	uc	under bench oven
ref	refrigerator	wo	wall oven

date	issue	amendment
14/12/18	A	ISSUE FOR DA

title

cover page

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:1 @ a3

DA
0000

issue
A

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction

subject sites

leonay public school

leonay golf course

proposed new to footpath (red) to provide continuous path of travel from site to bus stop at a total distance of 396.2m site (refer to survey plan for details).

existing footpath along Buring Avenue

public reserve

proposed new footpath (red) to bus stop along Buring Avenue and River Road

leonay golf course

nepean river

boarding point to be reinstated to meet compliance

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integrated DESIGN group
architects | bathurst penrith sydney

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integratedDESIGNgroup p/l
abn 84 115 006 329

bathurst | 02 6332 6206
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sydney | 02 9764 6100

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hr	handrail	typ.	typical
lb	letterbox	wc	water closet
m	mirror	wm	washing machine
mw	microwave	v	vinyl
o/h	overhead	vp	vent pipe
p	pantry	uo	under bench oven
ref	refrigerator	wo	wall oven

date	issue	amendment
14/12/18	A	ISSUE FOR DA
01/03/19	B	revised ISSUE FOR DA

DRAFT FOR REVIEW

title

location plan

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:1500 @ a3

DA 0001

issue B

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

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architects | bathurst penrith sydney

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integratedDESIGNgroup p/l
abn 84 115 006 329

bathurst | 02 6332 6206
penrith | 02 4732 4430
sydney | 02 9764 6100

nominated architects
tony mcburney reg#5273
simon thorne reg#7093

info@idgarchitects.com.au
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date	issue	amendment
12/12/18	A	issue for consultant co-ordination
14/12/18	B	ISSUE FOR DA

title

site analysis

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:500 @ a3

DA 0002

issue B

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 985450M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 18 December 2018
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW Planning & Environment

Project summary	
Project name	8 Linksview Ave Leonay
Street address	8 Linksview Avenue Leonay 2750
Local Government Area	Penrith City Council
Plan type and plan number	deposited 218969
Lot no.	68&69
Section no.	-
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	6
No. of single dwelling houses	0

Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by
Name / Company Name: ESD Synergy Pty Ltd
ABN (if applicable): 17165174685

Description of project

Project address	
Project name	8 Linksview Ave Leonay
Street address	8 Linksview Avenue Leonay 2750
Local Government Area	Penrith City Council
Plan type and plan number	deposited 218969
Lot no.	68&69
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	6
No. of single dwelling houses	0
Site details	
Site area (m²)	1762
Roof area (m²)	771
Non-residential floor area (m²)	0.0
Residential car spaces	7
Non-residential car spaces	1

Common area landscape	
Common area lawn (m²)	0.0
Common area garden (m²)	83.0
Area of indigenous or low water use species (m²)	0.0
Assessor details	
Assessor number	20754
Certificate number	0003494950
Climate zone	28

Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	2	78.1	3.4	44.0	0.0
5	3	93.2	6.4	70.0	0.0
2	2	73.6	5.8	46.0	0.0
6	3	95.6	4.9	64.0	0.0
3	2	72.6	4.8	87.0	0.0
4	3	94.5	4.4	62.0	0.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses
   - (a) Dwellings
     - (i) Water
     - (ii) Energy
     - (iii) Thermal Comfort
2. Commitments for single dwelling houses
3. Commitments for common areas and central systems/facilities for the development (non-building specific)
   - (i) Water
   - (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✔	✔
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔	✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	6 star	6 star	no	-	-	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	individual water tank (no. 1)	Tank size (min) 1500.0 litres	To collect run-off from at least: 50.0 square metres of roof area;	yes	no	yes	no	no
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✔	✔

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✔	✔
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔	✔	✔
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		✔	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✔	
(h) The applicant must install in the dwelling:			
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✔	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		✔	✔
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✔	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✔	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✔	✔	✔

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1, 2, 3	1-phase airconditioning 2 Star	1-phase airconditioning 2 Star	1-phase airconditioning 2 Star	1-phase airconditioning 2 Star	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	yes
All other dwellings	1-phase airconditioning 2 Star	1-phase airconditioning 2 Star	1-phase airconditioning 2 Star	1-phase airconditioning 2 Star	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	yes

	Alternative energy
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
4, 5	0.7
All other dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:	✔	✔	✔
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	40.2	43.0
2	37.7	44.2
3	47.1	47.7
4	34.6	34.1
5	41.2	40.7
All other dwellings	54.8	21.0

	Construction of floors and walls				
Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with endclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
1	79	-	-	-	No
2	71	-	-	-	No
3	68	-	-	-	No
6	86	-	-	-	No
All other dwellings	93	-	-	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✔	✔
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✔	✔	✔
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✔	✔	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✔	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✔	✔
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✔	✔

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✔	✔
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✔	✔
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

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nominated architects
tony mcburney reg#5273
simon thorne reg#7093

bathurst | 02 6332 6206
penrith | 02 4732 4430
sydney | 02 9764 6100

info@idgarchitects.com.au
www.idgarchitects.com.au

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lb	letterbox	wc	water closet
m	mirror	wm	washing machine
mw	microwave	v	vinyl
o/h	overhead	vp	vent pipe
p	pantry	uo	under bench oven
ref	refrigerator	wo	wall oven

date	issue	amendment
18/12/18	A	ISSUE FOR DA

title

BASIX commitments

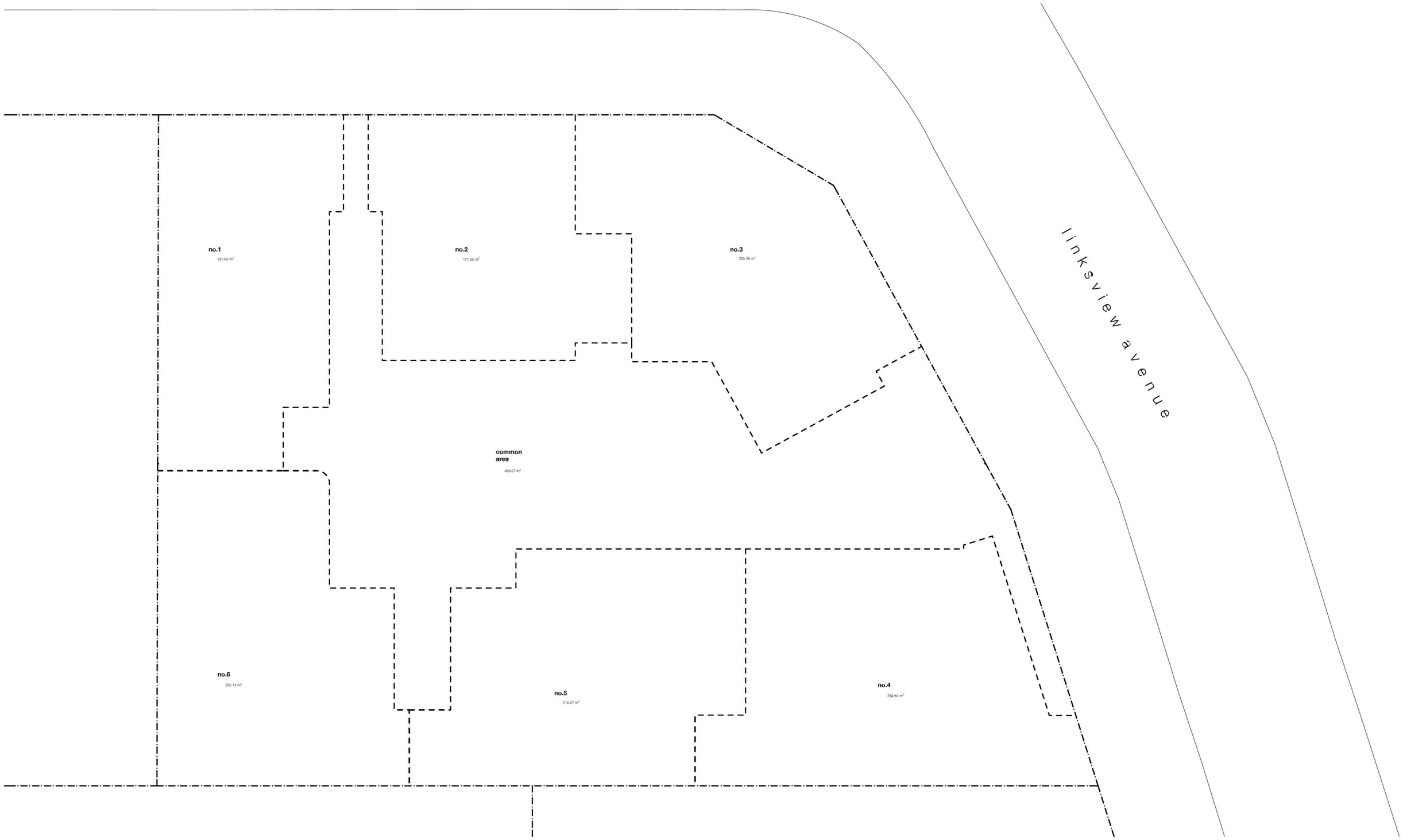
multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

project ref: GLE18074
drawn: TG | SL
checked: AE
scale: @ a3

DA 0003

issue A

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019



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tony mcburney reg#5273
simon thorne reg#7093

bathurst | 02 6332 6206
penrith | 02 4732 4430
sydney | 02 9764 6100

info@idgarchitects.com.au
www.idgarchitects.com.au

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ref	refrigerator	wo	wall oven

date	issue	amendment
20/12/18	A	ISSUE FOR DA

title

draft subdivision plan

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

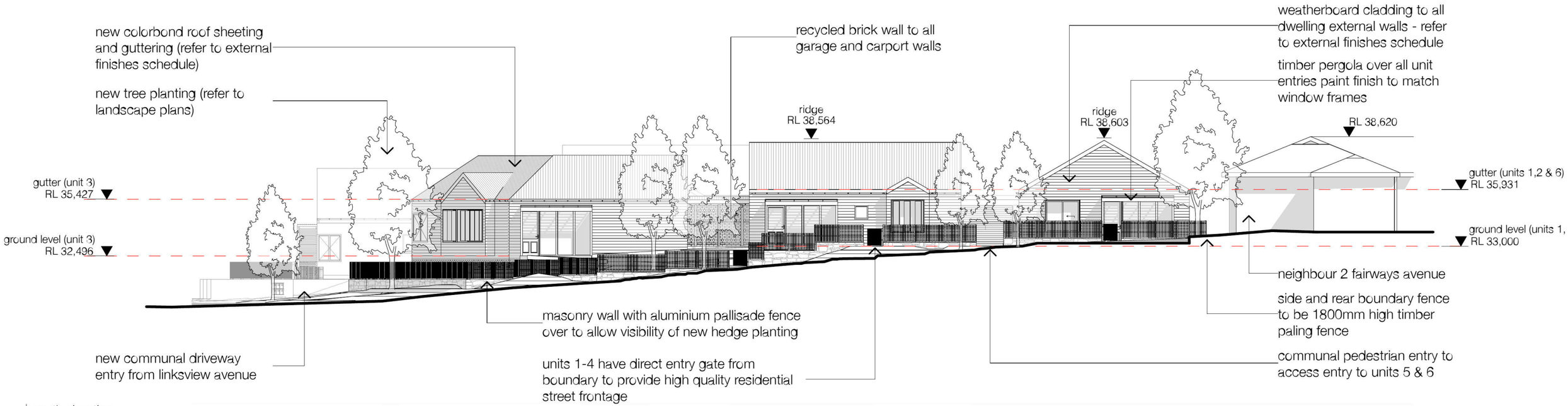
project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:200 @ a3

DA 0004

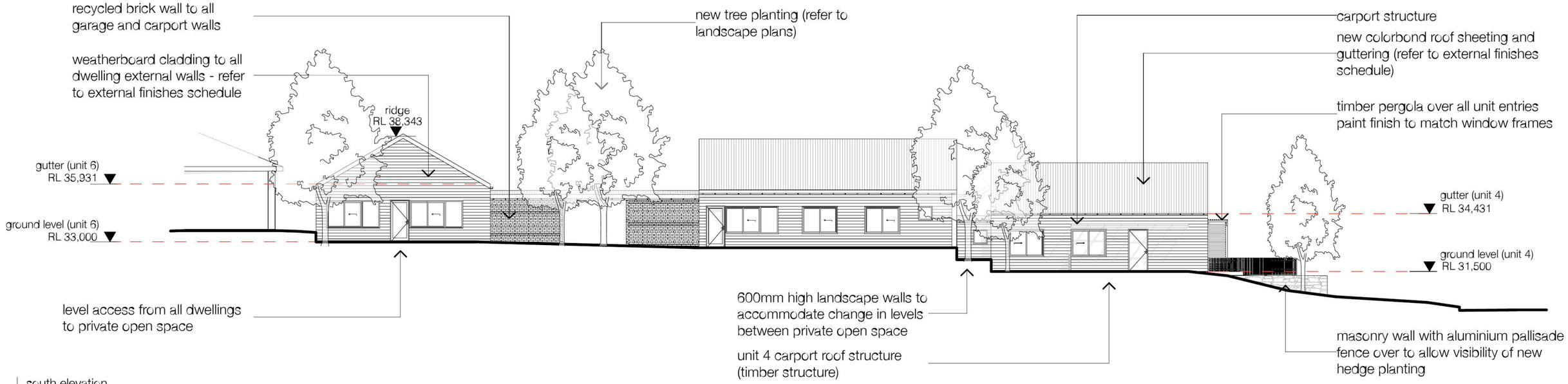
issue A

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction



1 north elevation



2 south elevation

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penrith | 02 4732 4430
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nominated architects
tony mcburney reg#5273
simon thorne reg#7093

info@idgarchitects.com.au
www.idgarchitects.com.au

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date	issue	amendment
28/11/19	A	issue for client review
12/12/18	B	issue for consultant co-ordination
14/12/18	C	ISSUE FOR DA

title

north & south elevation

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

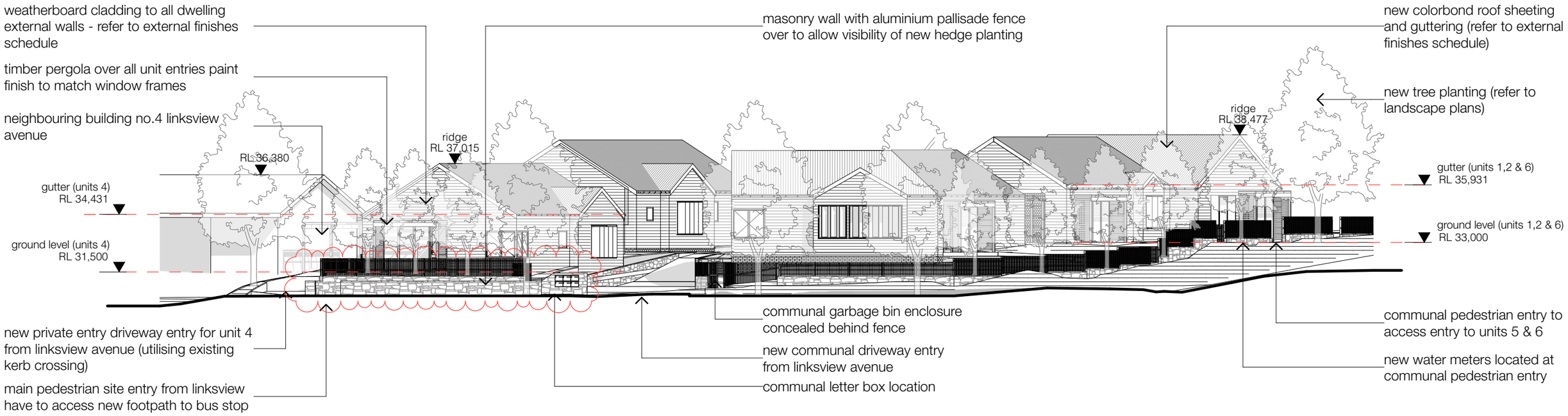
project ref: GLE18074
drawn: TG | SL
checked: AE
scale: @ a3

DA 2000

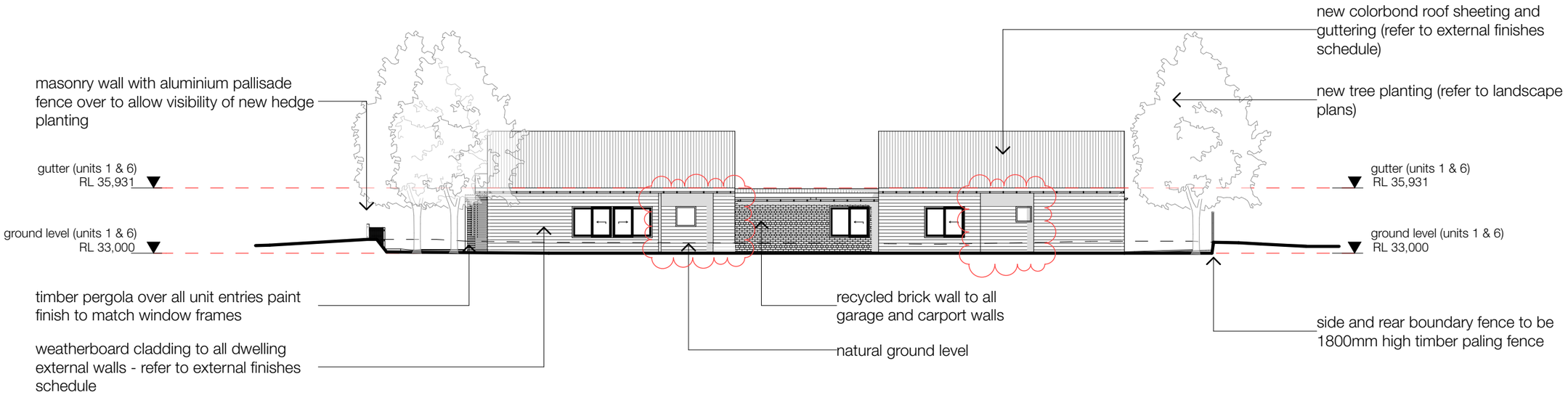
issue C

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction



1 | east elevation



2 | west elevation

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penrith | 02 4732 4430
sydney | 02 9764 6100

nominated architects
tony mcburney reg#5273
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info@idgarchitects.com.au
www.idgarchitects.com.au

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date	issue	amendment
28/11/19	A	issue for client review
12/12/18	B	issue for consultant co-ordination
14/12/18	C	ISSUE FOR DA
01/03/19	D	revised ISSUE FOR DA

title

east & west elevation

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

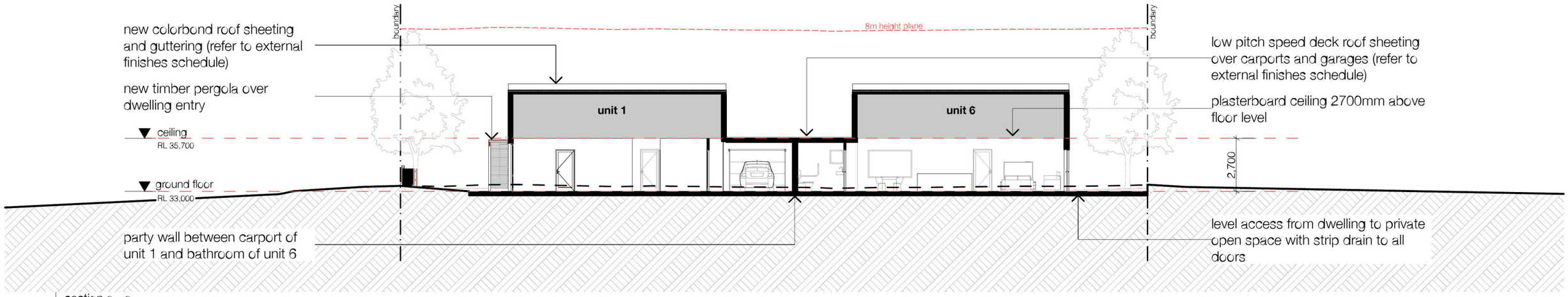
project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:200 @ a3

DA 2001

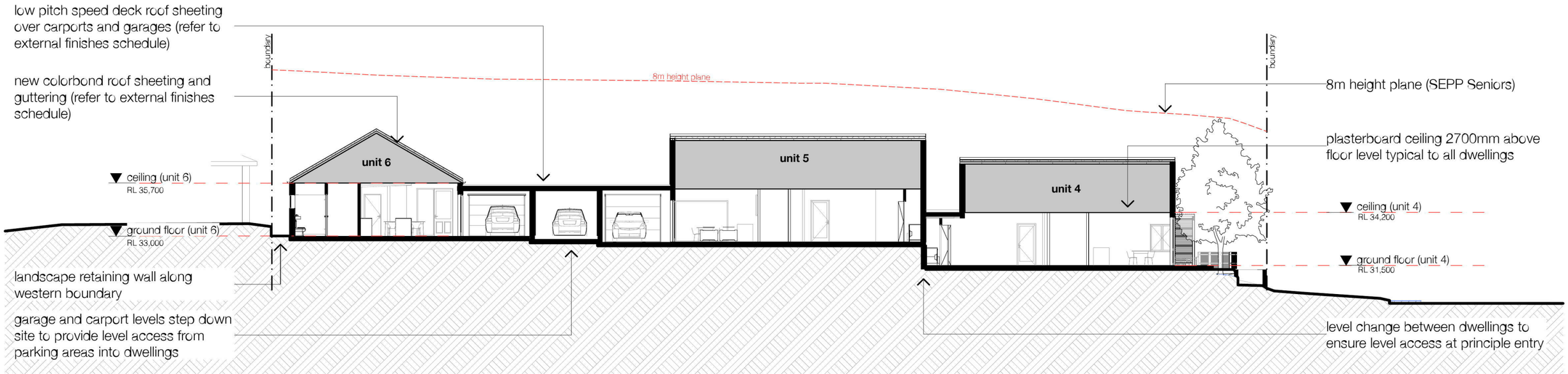
issue D

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction



1 section a - a



2 section b - b

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simon thorne reg#7093

bathurst | 02 6332 6206
penrith | 02 4732 4430
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date	issue	amendment
04/12/18	A	issue for consultant review
12/12/18	B	issue for consultant co-ordination
14/12/18	C	ISSUE FOR DA

title

sections

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

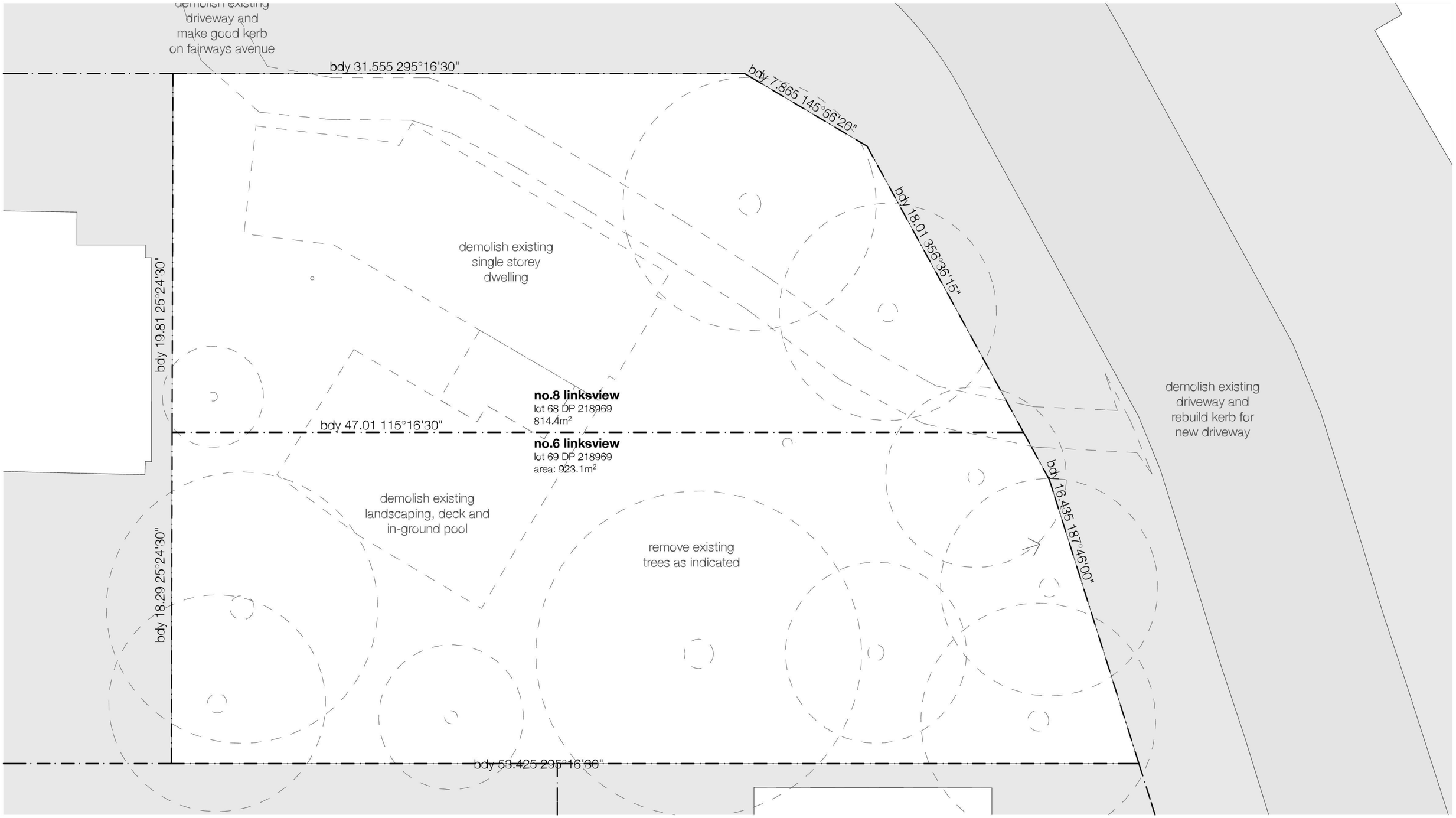
project ref: GLE18074
drawn: TG | SL
checked: AE
scale: @ a3

DA 3000

issue C

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction



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hr	handrail	typ.	typical
lb	letterbox	wc	water closet
m	mirror	wm	washing machine
mw	microwave	v	vinyl
o/h	overhead	vp	vent pipe
p	pantry	uc	under bench oven
ref	refrigerator	wo	wall oven

date	issue	amendment
12/12/18	A	issue for consultant co-ordination
14/12/18	B	ISSUE FOR DA

title

demolition plan

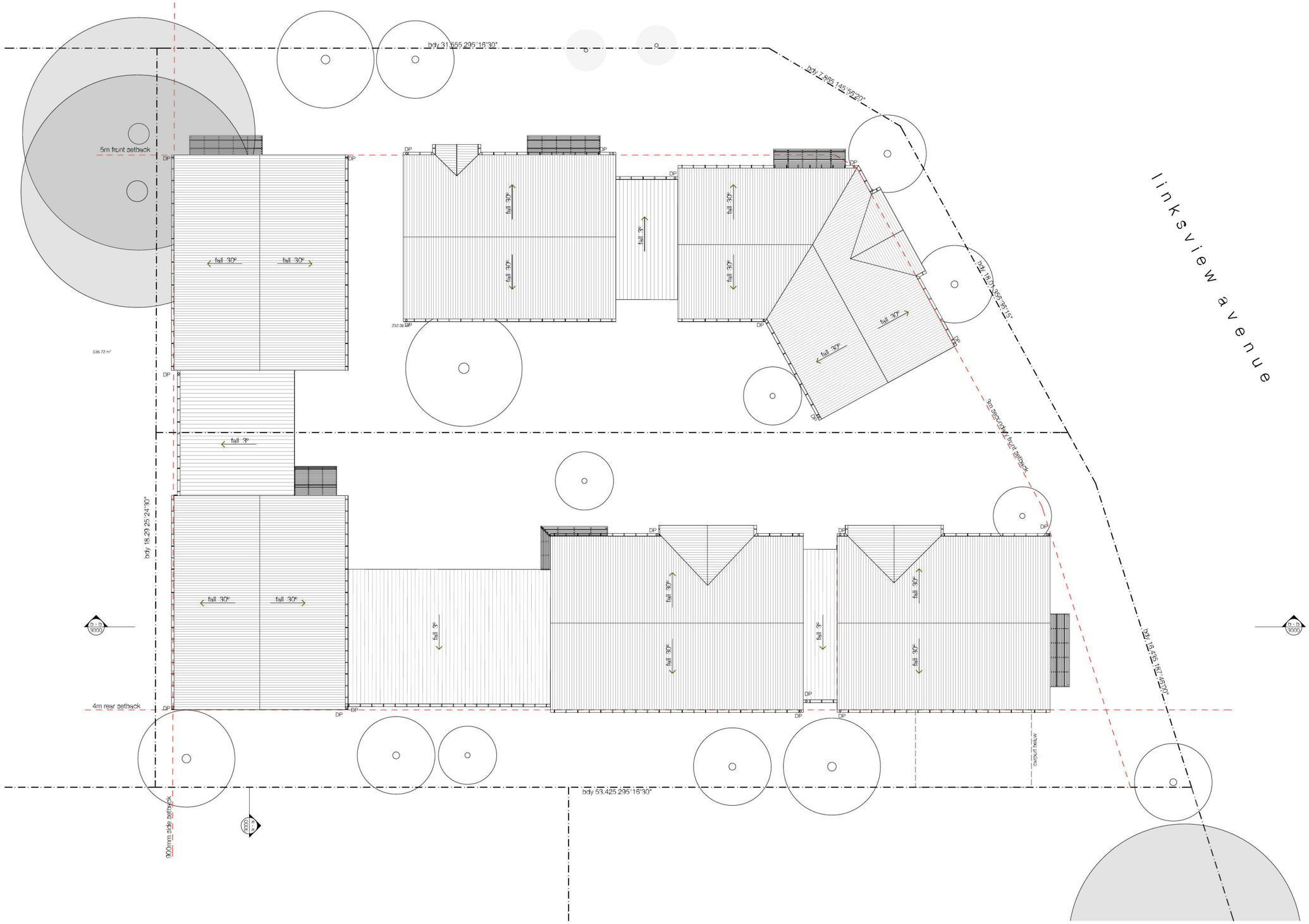
multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:200 @ a3

DA 0200

issue B

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019



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o/h	overhead	vp	vent pipe
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ref	refrigerator	wo	wall oven

date	issue	amendment
27/11/18	A	issue for consultant co-ordination
04/12/18	B	revised issue for consultant co-ordination
10/12/18	C	final issue for consultant co-ordination
14/12/18	D	ISSUE FOR DA
18/12/18	E	updated ISSUE FOR DA

title

roof plan

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:200 @ a3

DA 1101

issue E

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

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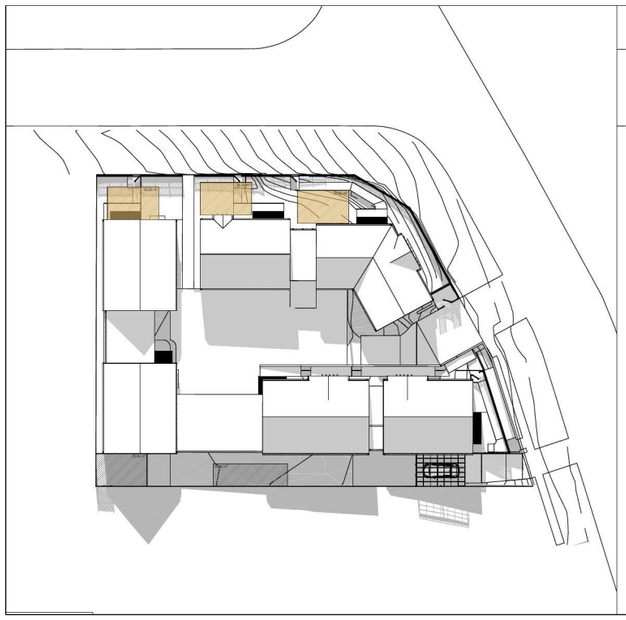

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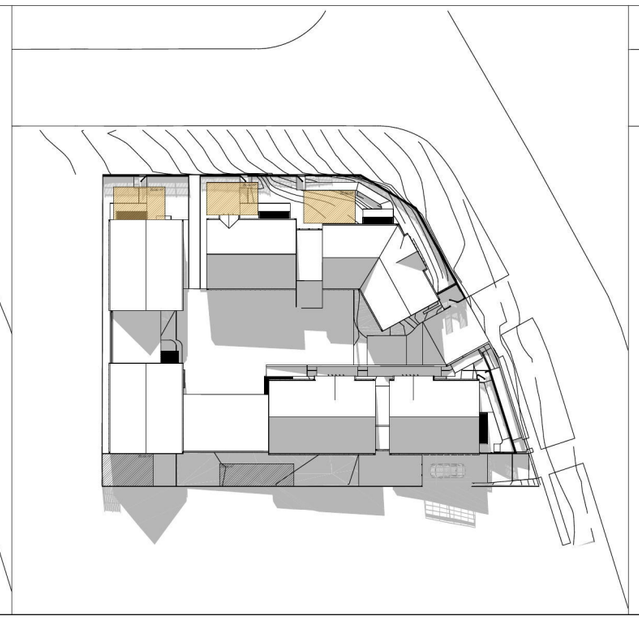

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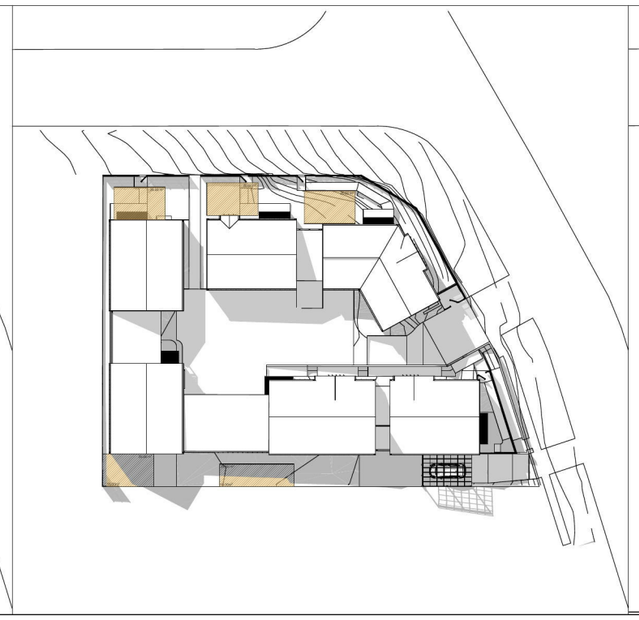

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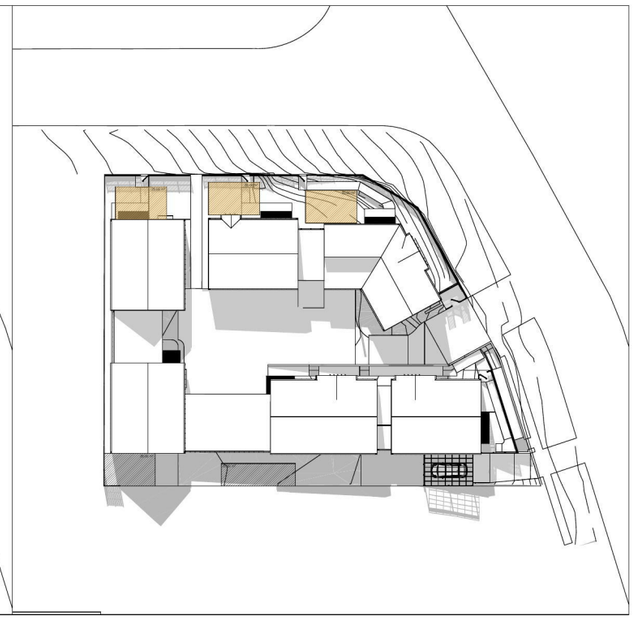

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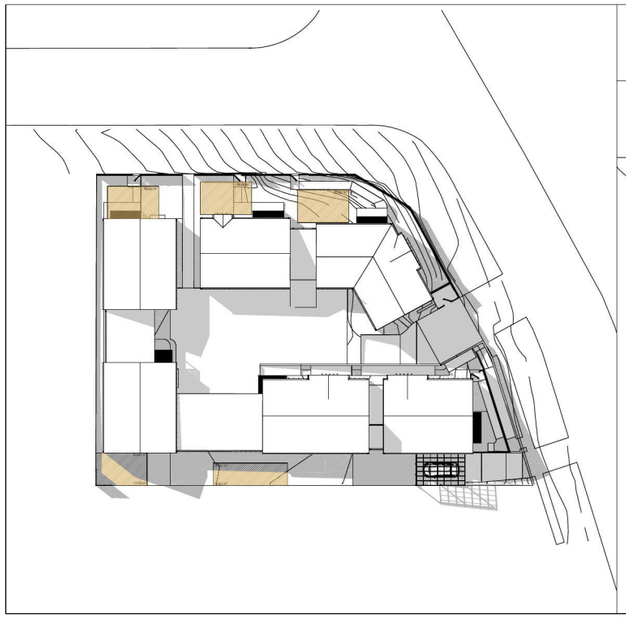

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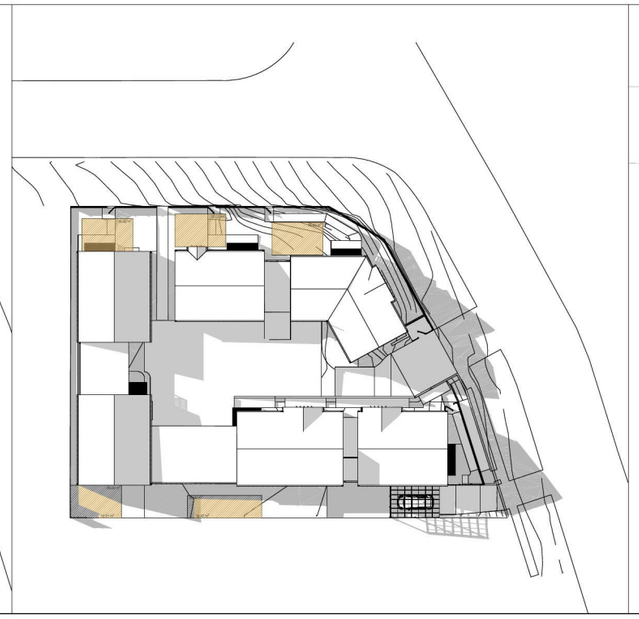

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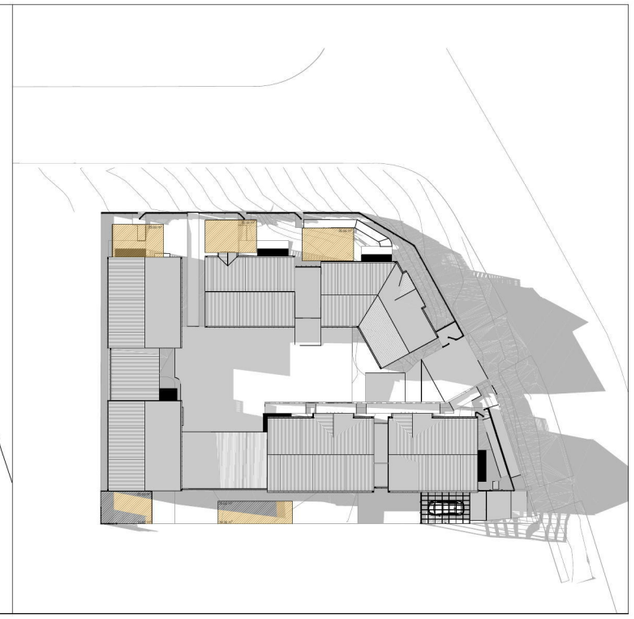

21 June - 3.00pm

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simon thorne reg#7093

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ref	refrigerator	wo	wall oven

date	issue	amendment
14/12/18	A	ISSUE FOR DA

title

shadow diagrams

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

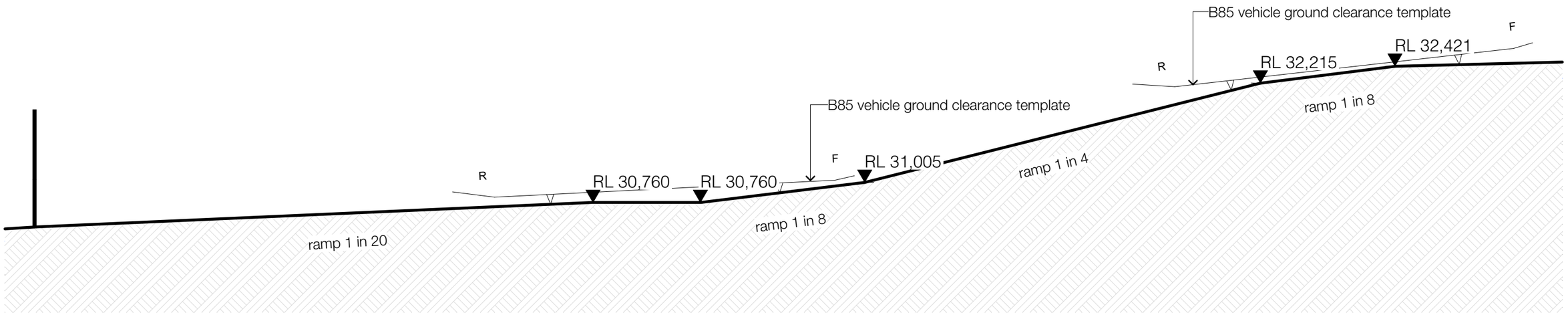
project ref: GLE18074
drawn: TG | SL
checked: AE
scale: @ a3

DA 9100

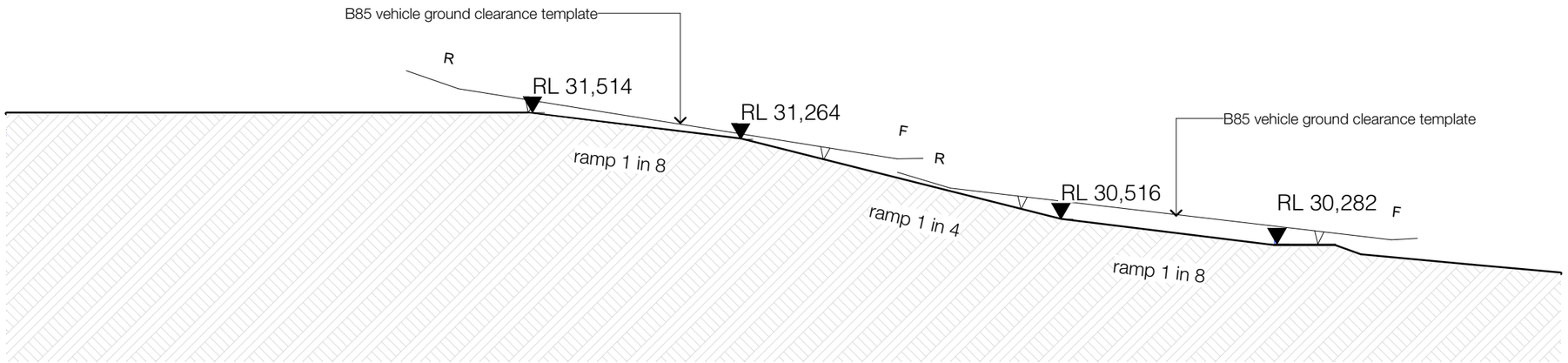
issue A

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction



01 | main driveway
1:50



02 | unit 4 driveway

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simon thorne reg#7093

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o/h	overhead	vp	vent pipe
p	pantry	uo	under bench oven
ref	refrigerator	wo	wall oven

date	issue	amendment
01/03/19	A	ISSUE FOR DA

title

driveway section

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

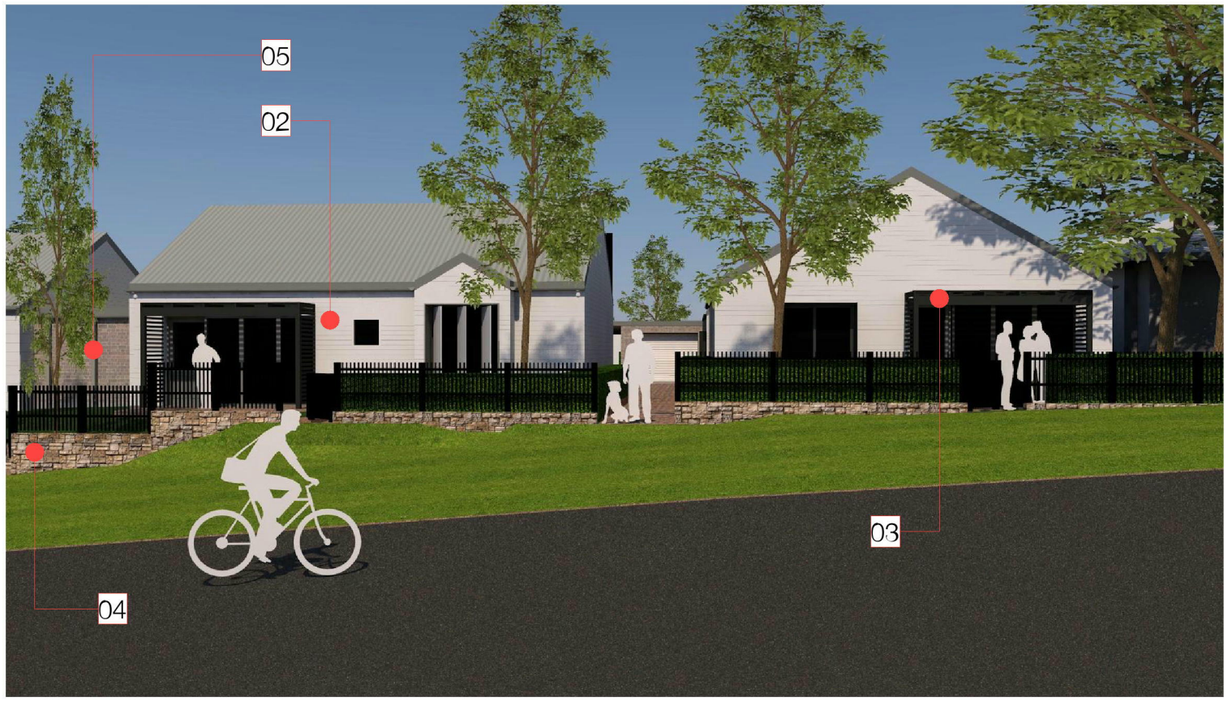
project ref: GLE18074
drawn: TG | SL
checked: AE
scale: 1:50 @ a3

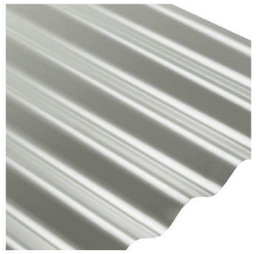
DA 3001

issue A

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

preliminary not for construction





01
custom orb roof sheeting
colorbond surfmist

02
weatherboard cladding
antique white paint finish

03
dulux woodland grey

04
landscape walls
stone

05
external garage walls & subfloor
recycled brick

06
stencilled/stamped concrete
colour to match stone wall

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date	issue	amendment
10/12/18	A	issue for consultant co-ordination
14/12/18	B	ISSUE FOR DA

title

finishes schedule

multi-dwelling development
glenstone group | 8 linksview ave, LEONAY

project ref: GLE18074
drawn: TG | SL
checked: AE
scale: @ a3

DA 9600

issue B

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

Statement of Environmental Effects

Demolition of Existing Structures and Construction of Proposed Seniors Development

6-8 Linksview Ave, Leonay

December 2018

Glenstone Constructions

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

Statement of Environmental Effects

Statement of Environmental Effects prepared by:

Name:	Warwick Stimson
Qualification:	Bachelor of Arts (Geography and Planning) (UNE)
Address:	Stimson & Baker Planning Suite 5 488 High Street Penrith NSW 2750

Client and Land Details

Client:	Glenstone Constructions
Subject Site:	Lot 68 DP218969, Lot 69 DP218969, 6-8 Linksview Ave, Leonay
Proposal:	Demolition of Existing Structures and Construction of Proposed Seniors Development

Warwick Stimson RPIA
Director

This report dated December 2018 is provided to 'the client' exclusively. No liability is extended for any other use or to any other party. Whilst the report is derived in part from our knowledge and expertise, it is based on the conditions prevailing at the time of the report and upon the information provided by the client.

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1 Introduction

1.1 Project Overview

Stimson & Baker Planning has been engaged by Glenstone Group to prepare a Statement of Environmental Effects in relation to a proposed Seniors Development on the property known as 6-8 Linksview Ave, Leonay.

The proposed development includes the demolition of all existing structures on the site, and construction of six seniors housing dwellings.

The site is zoned *R2 Low Density Residential* under *Penrith Local Environmental Plan 2010* with the proposal being permissible with consent through *State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004*.

The proposal is defined as *development* in Section 4 of the *Environmental Planning and Assessment Act 1979* (EPA Act). The EPA Act stipulates that the development must not be carried out on the subject site until consent has been obtained. Furthermore, the application does not trigger any of the 'integrated development' provisions of the Act and so no third-party approvals are required.

This report describes the proposed development and subject site in detail and undertakes an assessment of the proposal against the relevant aims, objectives and development provisions of Council's LEP and DCP, and Section 4.15 of the EPA Act.

1.2 Report Structure

This Statement of Environmental Effects is structured as follows:

- Section 1: Introduction – provides an overview of the proposal, planning history for the site and background to the application.
- Section 2: The Site and Surrounds – provides an analysis of the subject site, development within the locality and a consideration of the local and regional context.
- Section 3: Development Proposal – provides a detailed description of the proposed development and its characteristics.
- Section 4: Statutory Context – provides for consideration of the proposal against the specific planning instruments and policies that are applicable.
- Section 5: Section 79C Assessment – provides an assessment against section 79C of the EPA Act.
- Section 6: Conclusion and Recommendation – summarises the report and presents a recommendation.

1.3 Supporting Documentation

The proposed is accompanied by the following documentation:

Documentation	Prepared by
Survey	RHCO
Architectural Drawings	Integrated Design Group

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

Documentation	Prepared by
Hydraulic Report/Stormwater Plans	Abel and Brown
Arborists Report	Arborist Network

1.4 Legislation, Environmental Planning Instruments and Policies to be considered

- *Sydney Regional Environmental Plan No 20 – Hawkesbury Nepean River*
- *Penrith Local Environmental Plan 2010*
- *Penrith Development Control Plan 2014*
- *State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004*

1.5 Consent Authority

The consent authority for this application is Penrith City Council.

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Version: 1, Version Date: 02/05/2019

2 The Site and Surrounds

The subject site and its surrounds has the following characteristics.

Site Address	6-8 Linksview Ave, Leonay
Lot/DP	Lot 68 DP 218969, Lot 69 DP 218969
Site Area	1746 sqm approx.
Local Government Area	Penrith City Council
Zoning	R2 Low Density Residential
Current Land Use	Residential
Proposed Land Use	Residential
Surrounding Land Uses	Low density residential
Topography	Gently sloping west to east
Terrestrial Biodiversity	Not mapped in LEP
Vegetation	Not mapped in LEP
Heritage	Not mapped in LEP
Bushfire	Not mapped

Figure 1 - Subject Site Aerial

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Version: 1, Version Date: 02/05/2019

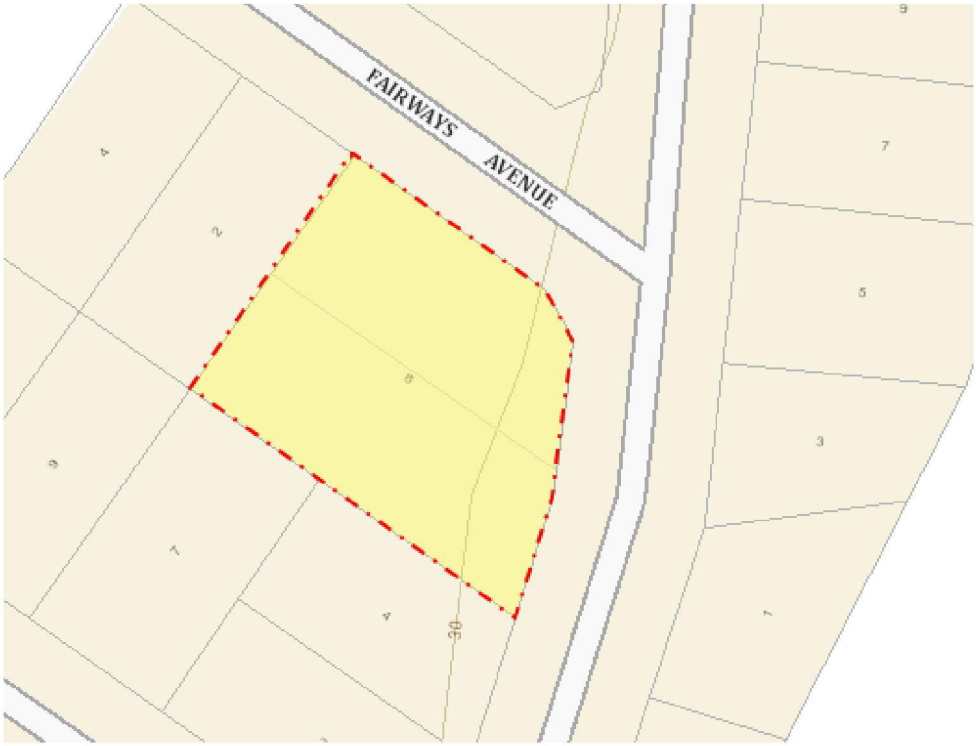

Figure 2 - Subject Site Cadastre

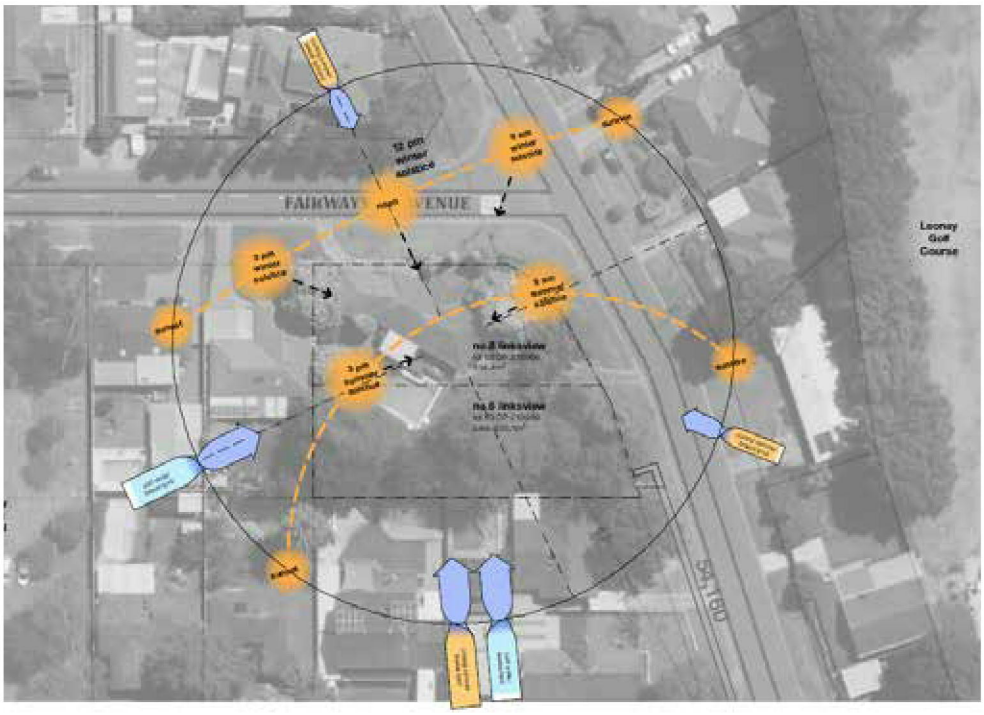

Figure 3 - Site Analysis Plan

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3 Project Description

3.1 Overview

This application seeks approval for a seniors housing development, comprising 3 x 2 bedroom villas, and 3 x 3 bedroom villas. Associated parking, hardstand, landscaping and stormwater infrastructure is also proposed.

Demolition of all existing structures on the site is included in this application.

Figure 4 - Perspective of proposed development

The following has been included in the plans and details the compliance of the development.

totals

site area (m^2)	1,762	m^2	total dwellings	6
total GFA	630.78	m^2	total adaptable dwellings	6
total landscape	638.85	m^2	total car parks	8
total deep soil	294.93	m^2		

SEPP compliance

proposed FSR	0.36	:1	0.5:1 allowable	complies
private open space	>15m^2	m^2	15m^2 per dwelling	complies
landscape area	36.26%	%	33% of site area	complies
deep soil	16.74%	%	15% of site area	complies
parking	8	spaces	0.5 per bedroom	complies
allowable height	<8	m	8m ceiling level above NGL	complies

Figure 5 - Compliance Table

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3.2 Built Form

The proposal comprises a contemporary built form with a high level of materials and finishes proposed. The low scale villas will present as a minor built element within this locality where larger homes are found. The high level of landscaping will assist in further breaking down the built form of the development.

It is also noted that the built form generally follows the topography of the site. This assists where street and secondary street setbacks contain access ramps and also some open space. As a result of this, car storage and manoeuvring is internalised within the development ensuring minimal, if not imperceptible vehicular areas.

Figure 6 - Elevational perspective of the proposed development

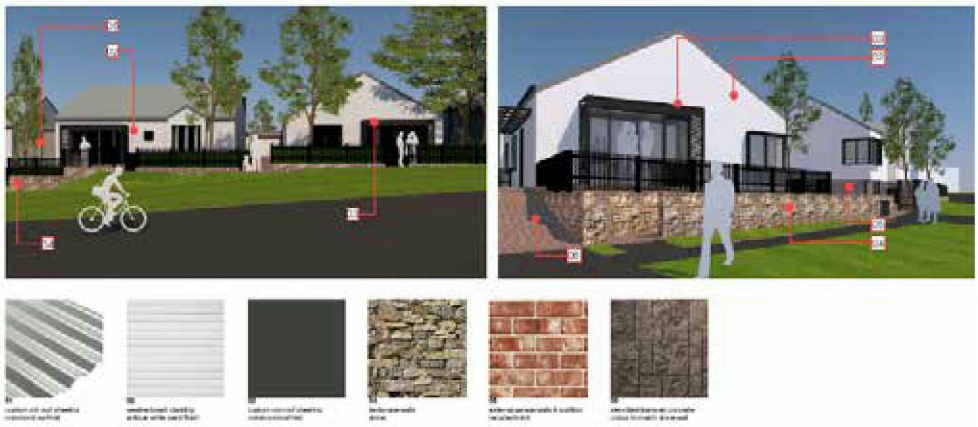

Figure 7 - Materials and finishes

3.3 Vehicular Elements

One entry point is provided for the development that opens up into an internalised car court providing access to each of the dwelling garages and visitor parking. The exception to this is unit 4 that is provided with its own driveway.

One covered space is provided for each dwelling and two visitor spaces (one stacked for unit 4) are provided. On street parking is also available within this locality.

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3.5 Stormwater Drainage

A stormwater drainage concept plan accompanies the application and demonstrates compliance with Council's controls.

Further information is appended to this report in regards to the stormwater management on the site. MUSIC modelling has been carried out and accompanies the application.

3.6 Utilities

The site will be appropriately serviced to accommodate the proposed use. Some utility upgrades are likely to be required and will be confirmed with the relevant service authority.

3.7 Waste Management Strategy

Waste bins will be provided for each of the dwellings in dedicated waste storage areas. Waste will be collected by Council and organised through the owners/managers of the building or the body corporate if subject to strata subdivision in the future.

3.8 Contamination

The site has historically been used for residential purposes. The risk of the site being contaminated is negligible.

3.9 National Construction Code Compliance

All works will be carried and comply with the National Construction Code (now incorporating the BCA). A Construction Certificate will be required in relation to the proposal and it is expected that Council will require matters relating to NCC compliance.

3.10 Tree removal

Some trees are proposed to be removed and are indicated on the DA plans. An Arborist Report accompanies the application in support of their removal.

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4 Statutory Context

4.1 Sydney Regional Environmental Plan No 20 – Hawkesbury Nepean River

The aim of SREP 20 is to protect the Hawkesbury-Nepean River system by ensuring that the impacts of future land uses are considered in a regional context.

Appropriate conditions of consent would normally be applied to any approval to ensure the health of the river system is not compromised by way of sediment or erosion from the works or use.

4.2 State Environmental Planning Policy (Housing for Seniors and People with a Disability) 2004

The proposed development is permissible through the provisions of SEPP Seniors. The SEPP also contains development standards for a proposal of this nature, as well as design criteria.

A full assessment against the relevant provisions of the SEPP is provided at Appendix A. The proposed development satisfies the provisions of the SEPP.

4.3 Penrith Local Environmental Plan 2010

The Penrith LEP is the main environmental planning instrument applicable to the subject site. The objectives of the LEP are as follows:

> *(a) to provide the mechanism and planning framework for the management, orderly and economic development, and conservation of land in Penrith,*
>
> *(b) to promote development that is consistent with the Council's vision for Penrith, namely, one of a sustainable and prosperous region with harmony of urban and rural qualities and with a strong commitment to healthy and safe communities and environmental protection and enhancement,*
>
> *(c) to accommodate and support Penrith's future population growth by providing a diversity of housing types, in areas well located with regard to services, facilities and transport, that meet the current and emerging needs of Penrith's communities and safeguard residential amenity,*
>
> *(d) to foster viable employment, transport, education, agricultural production and future investment opportunities and recreational activities that are suitable for the needs and skills of residents, the workforce and visitors, allowing Penrith to fulfil its role as a regional city in the Sydney Metropolitan Region,*
>
> *(e) to reinforce Penrith's urban growth limits by allowing rural living opportunities where they will promote the intrinsic rural values and functions of Penrith's rural lands and the social well-being of its rural communities,*
>
> *(f) to protect and enhance the environmental values and heritage of Penrith, including places of historical, aesthetic, architectural, natural, cultural, visual and Aboriginal significance,*
>
> *(g) to minimise the risk to the community in areas subject to environmental hazards, particularly flooding and bushfire, by managing development in sensitive areas,*

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> *(h) to ensure that development incorporates the principles of sustainable development through the delivery of balanced social, economic and environmental outcomes, and that development is designed in a way that assists in reducing and adapting to the likely impacts of climate change.*

It is submitted that the proposed development is not inconsistent with these objectives.

The subject site is zoned *R2 Low Density Residential* with the following zone objectives applying to that zone.

> - *To provide for the housing needs of the community within a low density residential environment.*
> - *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
> - *To promote the desired future character by ensuring that development reflects features or qualities of traditional detached dwelling houses that are surrounded by private gardens.*
> - *To enhance the essential character and identity of established residential areas.*
> - *To ensure a high level of residential amenity is achieved and maintained.*

The proposed development is consistent with the objectives of the zone in that:

- Seniors housing is in significant demand within the Penrith LGA, but also within Leonay specifically. The site and this development presents an opportunity to provide this form of housing in an appropriate location that satisfies the relevant controls.
- The proposal will contribute to the housing needs of the community.
- The scale of the proposed building will not negatively impact on the existing or future character of the locality. The landscaping proposed will result in a unique development that will be dominated by landscaping when viewed from the public domain.
- A high level of architectural design is evident within the proposal and it is considered that this will contribute to the visual amenity of the locality.

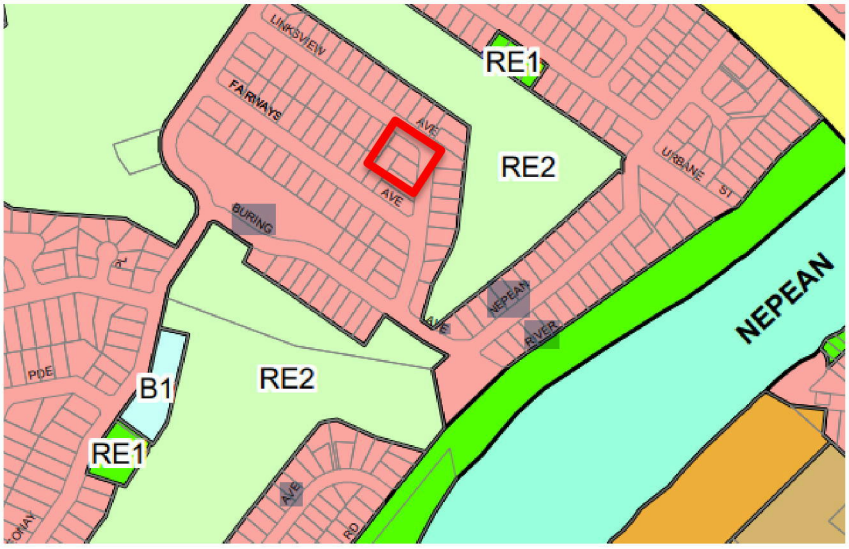

Figure 10 - Land use zoning map – Penrith LEP 2010

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The following relevant clauses have also been considered in respect of this development proposal.

Part 4 Principal Development Standards:				
Standard		**Permitted**	**Proposed**	**Comment**
4.3	**Height of Buildings:**	8m	<8m	Complies
4.4	**Floor Space Ratio**	See SEPP Assessment		Complies

Part 5 Miscellaneous Provisions		
Provision		**Comment**
5.1	**Relevant acquisition authority**	N/A
5.2	**Classification and reclassification of public land**	N/A
5.3	**Development near zone boundaries**	N/A
5.4	**Controls relating to miscellaneous permissible uses**	N/A
5.5	**Development within the coastal zone**	N/A
5.6	**Architectural roof features**	N/A
5.7	**Development below mean high water mark**	N/A
5.8	**Conversion of fire alarms**	N/A
5.10	**Heritage conservation**	N/A
5.11	**Bush fire hazard reduction**	N/A
5.12	**Infrastructure development and use of existing buildings of the Crown**	N/A
5.13	**Eco-tourist facilities**	N/A
5.14	**Siding Spring Observatory—maintaining dark sky**	N/A
5.15	**Defence communications facility**	N/A

Part 7 Additional Local Provisions		
Provision		**Comment**
7.1	**Earthworks**	N/A
7.2	**Flood planning**	N/A
7.3	**Development on natural resources sensitive land**	N/A
7.4	**Sustainable Development**	The proposal incorporates appropriate sustainable development characteristics and design elements.
7.5	**Protection of scenic character and landscape values**	N/A
7.6	**Salinity**	N/A
7.7	**Servicing**	The site is appropriately serviced to accommodate the proposal.
7.8	**Active street frontages**	N/A
7.9	**Development of land in flight path of proposed Second Sydney Airport**	N/A

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7.10	**Dual occupancies and secondary dwellings in certain rural and environmental zones**	N/A
7.11	**Penrith Health and Education Precinct**	N/A
7.12	**Maximum gross floor area of commercial premises**	N/A
7.13	**Exhibition homes limited to 2 years**	N/A
7.14	**Cherrywood Village**	N/A
7.15	**Claremont Meadows**	N/A
7.16	**Glenmore Park Stage 2**	N/A
7.17	**Dwelling houses on certain land in Castlereagh, Cranebrook, Llandilo, Londonderry, Kemps Creek and Mulgoa**	N/A
7.18	**Mulgoa Valley**	N/A
7.19	**Villages of Mulgoa and Wallacia**	N/A
7.20	**Orchard Hills**	N/A
7.21	**Twin Creeks**	N/A
7.22	**Waterside Corporate**	N/A
7.23	**Location of sex services premises and restricted premises**	N/A
7.24	**Sydney Science Park**	N/A

4.4 Penrith Development Control Plan 2014

The following assessment has been made in respect of the industrial development controls within the DCP.

Part C1: Site Planning and Design Principles
The design methodology is explained on the accompanying plans The site has been responded to with the proposed development and a Context and Site Analysis Plan accompanies the application. The location of the bulk of the building element towards the external boundaries of the site is preferred as it internalises the majority of vehicular movements and storage. From an urban design aspect, this will more positively contribute to the streetscape and the visual amenity of the locality.
Part C2: Vegetation Management
A Landscape Concept Plan accompanies the application and provides for a mix of planting that integrates with the development and surrounding area. Good deep soil areas can accommodate deep rooted tree planting.
Part C3: Water Management
Appropriate initiatives are proposed for on-site stormwater management and a BASIX assessment has been carried out. These have been incorporated into the design of the development. A Stormwater Concept Plan accompanies the application demonstrating suitable management of stormwater quality and quantity.
Part C4: Land Management
Appropriate measures will be put in place to ensure the site is protected from erosion and sedimentation. An erosion and sedimentation control plan is provided. It is submitted that there are no concerns around potential contamination of the site given the historical residential use.
Part C5: Waste Management
The provision for waste management on site is considered satisfactory. A Waste Management Plan accompanies the application outlining the waste requirements.

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C6: Landscape Design
A detailed Landscape Concept Plan accompanies this application. The plants that will be used in the landscaping will be varieties that require low levels of maintenance and are drought resistant to reduce water use within the development.
C7: Culture and Heritage
The site is not a heritage item and does not adjoin a heritage item or precinct.
C10: Transport, Access and Parking
The proposal is considered to be acceptable in this regard. The site is within acceptable proximity of public transport options for residents.
C12: Noise and Vibration
There is no anticipated noise or vibration generated from the proposed development. The proposal is considered to be satisfactory.
C13: Infrastructure and Services
As stated previously, the subject site is already serviced to accommodate the proposed development and any augmentation required will be confirmed with the relevant service providers.

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5 Section 4.15 Assessment

An assessment of the proposal has been undertaken in accordance with the statutory requirements of the EPA Act. The following assessment against Section 4.15 of the EPA Act has been undertaken.

5.1 Section 4.15(1)(a)(i) – Any Environmental Planning Instruments

The relevant environmental planning instruments have been considered earlier in this report.

The proposal is permissible with consent and is considered satisfactory when assessed against the relevant requirements.

5.2 Section 4.15(1)(a)(ii) – Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority

There are no known draft Environmental Planning Instruments applicable to the subject site.

5.3 Section 4.15(1)(a)(iii) – Any Development Control Plan

Compliance against the relevant DCP's has been considered earlier in this report.

5.4 Section 4.15(1)(a)(iiia) – Any Planning Agreement or Draft Planning Agreement entered into under Section 7.4

There are no known planning agreements that apply to the site or development.

5.5 Section 4.15(1)(a)(iv) – The Regulations

There are no sections of the regulations that are relevant to the proposal at this stage.

5.6 Section 4.15(1)(a)(v) – Any coastal zone management plan

Not relevant to the proposed development.

5.7 Section 4.15(1)(b) – The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

The following impacts have been considered in the preparation of this development proposal.

5.7.1 Flora and Fauna

Some trees are proposed to be removed as part of this application and an Arborist Report accompanies this application responding to this. There are no other flora or fauna impacts considered relevant for the proposal.

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5.7.2 Stormwater and Flooding

A stormwater concept plan has been submitted with the development application demonstrating compliance with Council's requirements in this regard and is consistent with Council's requirements.

5.7.3 Erosion and Sediment Control

It is expected that Council would impose appropriate conditions of consent to ensure that erosion and sediment control measures were installed on the site prior to construction commencing.

5.7.4 Traffic Generation and Parking

The proposed development does not propose any significant increase in parking demand or traffic generation. It is considered acceptable in this regard.

5.7.5 Heritage Issues

There are no heritage issues that are considered relevant to this proposal.

5.7.6 Visual Impact

The proposed development is designed with a high level of architectural merit that exceeds that or nearby and adjoining properties. Its visual impact will be positive on the streetscape and it is expected to contribute to the visual amenity of the locality.

5.7.7 Services

The site is appropriately serviced to allow for the proposed development.

5.7.8 Overshadowing

There will be no unacceptable overshadowing impacts as a result of the proposed development. Shadow diagrams are included in the plan set.

5.7.9 Social and Economic

Additional housing for seniors within the Penrith LGA will result in a positive social impact, increasing the housing options for the wider community.

There are no economic impacts considered relevant to the proposal.

5.7.10 Crime Prevention Through Environmental Design (CPTED)

The consideration of CPTED issues has been prepared having regard to various published CPTED literature and academic works, and specifically includes the *"Crime Prevention and Assessment of Development Application Guidelines under Section 79C of the Environmental*

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Planning and Assessment Act 1979" published by the former Department of Urban Affairs and Planning.

The advice is structured in accordance with Part B of the above guidelines – *Principles for Minimising Crime Risk*. In this regard, the advice considers the responsiveness of the proposed design to each of the adopted four principles for CPTED (surveillance; access control; territorial reinforcement and space management).

CPTED principles have been adopted by the NSW Police Force, based on recognition that the design of spaces plays a pivotal role in facilitating the safety and security of its users. The NSW Police Force has identified key principles of CPTED being:

- Establish opportunities for **good surveillance**, both casually and technically.
- Provide legible barriers for **access control** for spatial definition.
- Create a sense of ownership over spaces that are also clearly demarcated between public and private ownership for **territorial reinforcement**.
- Establish spaces that are utilised appropriately through **proper space management**, relating to litter and graffiti removal, and ensuring lighting fixtures are working.

When implemented, these measures are likely to reduce opportunities for crime by using design and place management principles.

Surveillance

The proposed development will provide numerous opportunities for surveillance. The following casual surveillance opportunities have been provided through the design of the project:

- Opportunities for visual observance through a high percent of transparent glazing along all frontages allow normal space users to see and be seen by others.
- Entries are located in highly visible locations.
- Active communal areas at the front and rear of the buildings are well positioned.
- Clear visual pathways within resident areas as well as from public streets to private entrances.
- Areas of entrapment are limited due to multiple exit points from around the development.

Access Control

Access control to public, semi public and private areas of the development is considered to be well managed and effective. Access control to the building can be effectively managed through lockable entry doors.

Overall access to the development will be managed by the body corporate and residents on a day to day basis.

Territorial Reinforcement

Clear separation exists between public and private space in terms of the relationship between the proposal and the public domain. Appropriate signage, landscaping, site furnishings and

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paving will provide good environmental cues about the transition or movement from public to private domain.

Space Management

For most modern residential developments, space management is increasingly carried out in a professional manner, often by third party specialist building management businesses. Therefore, the effectiveness of management systems such as light globe replacement, removing graffiti, and fixing broken site furnishings will influence the perceived level of care of the project. In this case, the body corporate will ensure that processes are established to respond to and fix services and structures and under whose responsibilities these services are assigned.

5.7.11 Waste Management

Appropriate waste management measures would be put in place on the site that are consistent with Council's requirements and those arrangements in place for established residential areas.

5.8 Section 4.15(1)(c) – The suitability of the site for the development

The proposal is generally consistent with the planning controls that apply in this zone. Moreover, the objectives of the zone have been satisfied, ensuring that the seniors development would not result in any unacceptable impact on any adjoining landowners or buildings.

For the reasons outlined in this report the site is considered suitable for this development proposal.

5.9 Section 4.15(1)(d) – Any submission made

Council will undertake a notification process in accordance with its controls and policies. We welcome the opportunity to provide additional information in response to those.

5.10 Section 4.15(1)(e) – The public interest

Given the type of development, its general compliance with the planning controls, how the objectives are satisfied and the suitability of the site it is considered that the public interest would not be jeopardised as a result of this development.

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6 Conclusion and Recommendation

The proposed development has been assessed against the requirements of the Penrith LEP and DCP and is considered to represent a form of development that is acceptable.

The proposed seniors development would not result in any unacceptable impact on the locality, will contribute to the visual amenity of the locality, and the supply of much needed seniors housing in the Penrith LGA.

The site is considered quite suitable for a use of this nature and is consistent with the character sought in this area. The site is unique in that is presents an opportunity within an established residential area to provide high quality seniors housing within a development that is of an appropriate scale that will not impact on the amenity of nearby and adjoining development.

An assessment against Section 4.15 of the EPA Act has not resulted in any significant issues arising.

Accordingly, it is recommended that the proposed development of seniors housing at 6-8 Linksview Ave, Leonay be approved.

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APPENDIX A

SEPP (Housing for Seniors or People with a Disability) 2004 Assessment

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State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

The relevant clauses of the SEPP have been considered as follows:

Chapter 1 Preliminary	
Provision	**Comment**
2 Aims of Policy	
(1) This Policy aims to encourage the provision of housing (including residential care facilities) that will:	
(a) increase the supply and diversity of residences that meet the needs of seniors or people with a disability, and	Satisfied
(b) make efficient use of existing infrastructure and services, and	Satisfied
(c) be of good design.	Satisfied
4 Land to which Policy applies	
*(1) **General** This Policy applies to land within New South Wales that is land zoned primarily for urban purposes or land that adjoins land zoned primarily for urban purposes, but only if:*	
(a) development for the purpose of any of the following is permitted on the land:	
(i) dwelling-houses,	Satisfied
(ii) residential flat buildings,	
(iii) hospitals,	
(iv) development of a kind identified in respect of land zoned as special uses, including (but not limited to) churches, convents, educational establishments, schools and seminaries, or	
(b) the land is being used for the purposes of an existing registered club.	

Chapter 2 Key Concepts	
Provision	**Comment**
10 Seniors housing	
In this Policy, seniors housing is residential accommodation that is, or is intended to be, used permanently for seniors or people with a disability consisting of:	
(a) a residential care facility, or	
(b) a hostel, or	
(c) a group of self-contained dwellings, or	The proposal is for a group of self-contained dwellings.
(d) a combination of these but does not include a hospital.	

Chapter 3 Development for seniors housing	
Part 1 General	
Provision	**Comment**
14 Objective of Chapter	
The objective of this Chapter is to create opportunities for the development of housing that is located and designed in a manner particularly suited to both those seniors who are independent, mobile and active as well as those who are frail, and other people with a disability regardless of their age.	Satisfied
18 Restrictions on occupation of seniors housing allowed under this Chapter	
(1) Development allowed by this Chapter may be carried out for the accommodation of the following only:	

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(a) seniors or people who have a disability,	Noted.
(b) people who live within the same household with seniors or people who have a disability,	Noted.
(c) staff employed to assist in the administration of and provision of services to housing provided under this Policy.	Noted.
(2) A consent authority must not consent to a development application made pursuant to this Chapter unless:	
(a) a condition is imposed by the consent authority to the effect that only the kinds of people referred to in subclause (1) may occupy any accommodation to which the application relates, and	Noted.
(b) the consent authority is satisfied that a restriction as to user will be registered against the title of the property on which development is to be carried out, in accordance with section 88E of the Conveyancing Act 1919, limiting the use of any accommodation to which the application relates to the kinds of people referred to in subclause (1).	Noted.

Part 2 Site-related requirements	
Provision	**Comment**
26 Location and access to facilities	
(1) A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied, by written evidence, that residents of the proposed development will have access that complies with subclause (2) to:	Site complies
(a) shops, bank service providers and other retail and commercial services that residents may reasonably require, and	
(b) community services and recreation facilities, and	
(c) the practice of a general medical practitioner.	
(2) Access complies with this clause if:	
(a) the facilities and services referred to in subclause (1) are located at a distance of not more than 400 metres from the site of the proposed development that is a distance accessible by means of a suitable access pathway and the overall average gradient for the pathway is no more than 1:14, although the following gradients along the pathway are also acceptable:	
(i) a gradient of no more than 1:12 for slopes for a maximum of 15 metres at a time,	
(ii) a gradient of no more than 1:10 for a maximum length of 5 metres at a time,	
(iii) a gradient of no more than 1:8 for distances of no more than 1.5 metres at a time, or	
(b) in the case of a proposed development on land in a local government area within the Greater Sydney (Greater Capital City Statistical Area)—there is a public transport service available to the residents who will occupy the proposed development:	
(i) that is located at a distance of not more than 400 metres from the site of the proposed development and the distance is accessible by means of a suitable access pathway, and	Site complies. See survey attached to this assessment.
(ii) that will take those residents to a place that is located at a distance of not more than 400 metres from the facilities and services referred to in subclause (1), and	The relevant bus service provides access to the Penrith CBD where these services can be found.
(iii) that is available both to and from the proposed development at least once between 8am and 12pm per day and at least once between 12pm and 6pm each day from Monday to Friday (both days inclusive),and the gradient along the pathway from the site to the public transport services (and from the public transport services to the facilities and services referred to in subclause (1)) complies with subclause (3), or	Bus services are provided throughout each day servicing the Leonay community providing a connection to the Penrith CBD.

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(3) For the purposes of subclause (2) (b) and (c), the overall average gradient along a pathway from the site of the proposed development to the public transport services (and from the transport services to the facilities and services referred to in subclause (1)) is to be no more than 1:14, although the following gradients along the pathway are also acceptable:	Refer to the survey attached to this assessment. Compliance is achieved.
(i) a gradient of no more than 1:12 for slopes for a maximum of 15 metres at a time,	
(ii) a gradient of no more than 1:10 for a maximum length of 5 metres at a time,	
(iii) a gradient of no more than 1:8 for distances of no more than 1.5 metres at a time.	
28 Water and sewer	Connections will be confirmed at the time of obtaining a Construction Certificate however the level of existing development in the area suggests that this will be acceptable.
(1) A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied, by written evidence, that the housing will be connected to a reticulated water system and have adequate facilities for the removal or disposal of sewage	
Part 3 Design requirements	
Division 1 General	
30 Site analysis	
(1) A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied that the applicant has taken into account a site analysis prepared by the applicant in accordance with this clause.	A Site Analysis Plan is within the plan set.
31 Design of in-fill self-care housing	
In determining a development application made pursuant to this Chapter to carry out development for the purpose of in-fill self-care housing, a consent authority must take into consideration (in addition to any other matters that are required to be, or may be, taken into consideration) the provisions of the Seniors Living Policy: Urban Design Guideline for Infill Development published by the Department of Infrastructure, Planning and Natural Resources in March 2004.	The Guidelines have been considered at the end of this assessment.
32 Design of residential development	
A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied that the proposed development demonstrates that adequate regard has been given to the principles set out in Division 2.	The proposal can satisfy the principles.
Part 3 – Division 2 Design principles	
Provision	**Comment**
33 Neighbourhood amenity and streetscape	
The proposed development should:	The neighbourhood amenity and streetscape principles have been considered in the design. The proposal is a high-quality designed development that will positively contribute to the amenity of the locality.
(a) recognise the desirable elements of the location's current character (or, in the case of precincts undergoing a transition, where described in local planning controls, the desired future character) so that new buildings contribute to the quality and identity of the area, and	The siting of buildings on the site are considered to be the most appropriate and are sympathetic to the adjoining properties.
(b) retain, complement and sensitively harmonise with any heritage conservation areas in the vicinity and any relevant heritage items that are identified in a local environmental plan, and	Existing vegetation has been retained where possible and this is reflected in the accompanying landscape plan.
(c) maintain reasonable neighbourhood amenity and appropriate residential character by:	
(i) providing building setbacks to reduce bulk and overshadowing, and	
(ii) using building form and siting that relates to the site's land form, and	
(iii) adopting building heights at the street frontage that are compatible in scale with adjacent development, and	
(iv) considering, where buildings are located on the boundary, the impact of the boundary walls on neighbours, and	

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(d) be designed so that the front building of the development is set back in sympathy with, but not necessarily the same as, the existing building line, and	
(e) embody planting that is in sympathy with, but not necessarily the same as, other planting in the streetscape, and	
(f) retain, wherever reasonable, major existing trees, and	
(g) be designed so that no building is constructed in a riparian zone.	
34 Visual and acoustic privacy	
The proposed development should consider the visual and acoustic privacy of neighbours in the vicinity and residents by:	The proposal is considered acceptable in this regard. There will be negligible acoustic and visual impacts arising from this low impact development.
(a) appropriate site planning, the location and design of windows and balconies, the use of screening devices and landscaping, and	
(b) ensuring acceptable noise levels in bedrooms of new dwellings by locating them away from driveways, parking areas and paths.	
35 Solar access and design for climate	
The proposed development should:	The proposal has considered these principles and these are reflected in the plan set.
(a) ensure adequate daylight to the main living areas of neighbours in the vicinity and residents and adequate sunlight to substantial areas of private open space, and	
(b) involve site planning, dwelling design and landscaping that reduces energy use and makes the best practicable use of natural ventilation solar heating and lighting by locating the windows of living and dining areas in a northerly direction	
36 Stormwater	
The proposed development should:	The accompanying stormwater concept plan reflect these principles.
(a) control and minimise the disturbance and impacts of stormwater runoff on adjoining properties and receiving waters by, for example, finishing driveway surfaces with semi-pervious material, minimising the width of paths and minimising paved areas, and	
(b) include, where practical, on-site stormwater detention or re-use for second quality water uses.	
37 Crime prevention	
The proposed development should provide personal property security for residents and visitors and encourage crime prevention by:	CPTED and Safer by Design principles have been considered within the SEE.
(a) site planning that allows observation of the approaches to a dwelling entry from inside each dwelling and general observation of public areas, driveways and streets from a dwelling that adjoins any such area, driveway or street, and	
(b) where shared entries are required, providing shared entries that serve a small number of dwellings and that are able to be locked, and	
(c) providing dwellings designed to allow residents to see who approaches their dwellings without the need to open the front door.	
38 Accessibility	
The proposed development should:	Appropriate access has been provided around the site, as well as into and out of it.
(a) have obvious and safe pedestrian links from the site that provide access to public transport services or local facilities, and	
(b) provide attractive, yet safe, environments for pedestrians and motorists with convenient access and parking for residents and visitors.	
39 Waste management	
The proposed development should be provided with waste facilities that maximise recycling by the provision of appropriate facilities.	Noted. Site can comply.

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Part 4 Development standards to be complied with Division 1 General Provision	Comment
40 Development standards—minimum sizes and building height	
(1) General *A consent authority must not consent to a development application made pursuant to this Chapter unless the proposed development complies with the standards specified in this clause.*	
(2) Site size *The size of the site must be at least 1,000 square metres.*	Site complies.
(3) Site frontage *The site frontage must be at least 20 metres wide measured at the building line.*	Site complies.
(4) Height in zones where residential flat buildings are not permitted *If the development is proposed in a residential zone where residential flat buildings are not permitted:*	
(a) the height of all buildings in the proposed development must be 8 metres or less, and	Site complies.
(c) a building located in the rear 25% area of the site must not exceed 1 storey in height.	Site complies.

Division 3 Hostels and self-contained dwellings—standards concerning accessibility and useability Provision	Comment
41 Standards for hostels and self-contained dwellings	
(1) A consent authority must not consent to a development application made pursuant to this Chapter to carry out development for the purpose of a hostel or self-contained dwelling unless the proposed development complies with the standards specified in Schedule 3 for such development.	The proposed development can comply.

Part 7 Development standards that cannot be used as grounds to refuse consent Division 4 Self-contained dwellings Provision	Comment
50 Standards that cannot be used to refuse development consent for self-contained dwellings *A consent authority must not refuse consent to a development application made pursuant to this Chapter for the carrying out of development for the purpose of a self-contained dwelling (including in-fill self-care housing and serviced self-care housing) on any of the following grounds:*	
(a) building height: *if all proposed buildings are 8 metres or less in height (and regardless of any other standard specified by another environmental planning instrument limiting development to 2 storeys),*	Proposal complies.
(b) density and scale: *if the density and scale of the buildings when expressed as a floor space ratio is 0.5:1 or less,*	Proposal complies.
(c) landscaped area: if:	
(i) in the case of a development application made by a social housing provider—a minimum 35 square metres of landscaped area per dwelling is provided, or	N/A
(ii) in any other case—a minimum of 30% of the area of the site is to be landscaped,	Proposal complies,

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(d) ***deep soil zones:*** *if, in relation to that part of the site (being the site, not only of that particular development, but also of any other associated development to which this Policy applies) that is not built on, paved or otherwise sealed, there is soil of a sufficient depth to support the growth of trees and shrubs on an area of not less than 15% of the area of the site (the deep soil zone). Two-thirds of the deep soil zone should preferably be located at the rear of the site and each area forming part of the zone should have a minimum dimension of 3 metres,*	Proposal complies.
(e) ***solar access:*** *if living rooms and private open spaces for a minimum of 70% of the dwellings of the development receive a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter,*	Proposal complies.
(f) ***private open space for in-fill self-care housing: if:***	Proposal complies.
(i) *in the case of a single storey dwelling or a dwelling that is located, wholly or in part, on the ground floor of a multi-storey building, not less than 15 square metres of private open space per dwelling is provided and, of this open space, one area is not less than 3 metres wide and 3 metres long and is accessible from a living area located on the ground floor, and*	
(ii) *in the case of any other dwelling, there is a balcony with an area of not less than 10 square metres (or 6 square metres for a 1-bedroom dwelling), that is not less than 2 metres in either length or depth and that is accessible from a living area,*	N/A
(g) *(Repealed)*	
(h) ***parking:*** *if at least the following is provided:*	
(i) *0.5 car spaces for each bedroom where the development application is made by a person other than a social housing provider, or*	Satisfactory parking provided for the development.
(ii) *1 car space for each 5 dwellings where the development application is made by, or is made by a person jointly with, a social housing provider.*	Satisfactory visitor parking provided for the development.

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Seniors Living Urban Design Guidelines

Seniors Living Policy Rules of Thumb	Comment
Site Planning and Design	
• *The proportion of the site given to landscaped area and deep soil should be increased in less urban areas, on large lots, and in areas already characterized by high proportion of open space and planting.*	A high proportion of the site is provided as open space, supported by the percentage of landscaped area exceeding the controls within the SEPP. Landscaping of the site will be high quality and significantly contribute to the appearance of the development when viewed in the streetscape.
Impacts on Streetscape	
• *Respond to council planning instruments that specify the character or desired character for the area.*	The proposal is not considered to represent a negative element in the streetscape.
• *Where there is a consistent front building alignment, new development should not encroach on the front setback.*	The proposal would see appropriate setbacks established on this unique corner block. It is considered that the Guidelines have been appropriately responded to.
• *Driveways or basement car park entries should not exceed 25% of the site frontage.*	Proposal complies.
• *Garage doors should be set back a minimum of 1metre behind the predominant building façade on both the street frontage and common driveways.*	Proposal complies.
Impacts on Neighbours	
• *Where side setbacks are less than 1.2m, a maximum of 50% of the development should be built to this alignment.*	Proposal complies in terms of unit numbers. The western boundary is a side boundary for the adjoining property and the setback arrangements proposed are considered to be acceptable, allowing for the entire site to be developed in an orderly fashion, maximising the outcome on the site for this seniors development.
• *The length of unrelieved walls along narrow side or rear setbacks should not exceed 8 metres*	Minor articulation is provided along all elevations that cannot be viewed from the public domain. Those that face the public domain contain significant articulation and landscaping.
• *Living rooms of neighbouring dwellings should receive a minimum 3 hours direct sunlight between 9.00-3.00 in mid-winter neighbouring dwellings.*	Can comply.
• *Solar access to the private open space of neighbouring dwellings should not be un reasonably reduced.*	Can comply.
Internal Site Amenity	
• *Separation of 1.2 metres should be achieved between habitable rooms and driveway or car parks of other dwellings:* - *This can be reduced if adequate screening is provided.*	Proposal complies.

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MULTI DWELLING DEVELOPMENT

8 LINKSVIEW AVE., LEONAY

STORMWATER CONCEPT PLAN

STORMWATER CONCEPT
NOT FOR CONSTRUCTION

PIPELINE SYMBOL LEGEND

HYDRAULIC SERVICES NOTES & PROJECT REQUIREMENTS

1. THE CONTRACTOR SHALL READ AND FULLY FAMILIARISE THEMSELVES WITH THE HYDRAULIC PLANS, HYDRAULIC SPECIFICATION DOCUMENTS, AUSTRALIAN STANDARDS, AND AUTHORITY REQUIREMENTS APPLICABLE TO THE WORKS. CLAIMS DUE TO IGNORANCE OF THE CONTENTS OF HYDRAULIC SERVICES DOCUMENTS AND / OR REQUIREMENTS OF AUSTRALIAN STANDARDS AUTHORITY REQUIREMENTS WILL NOT BE ENTERED INTO.
2. THE CONTRACTOR IS REQUIRED TO VISIT AND INSPECT EXISTING SITE STRUCTURES, SERVICES AND CONDITIONS OF THE SITE PRIOR TO SUBMITTING THEIR TENDER AND FAMILIARISE THEMSELVES WITH THE VISIBLE NATURE AND CONDITIONS OF THE SITE RELATIVE TO THE WORKS TO BE CARRIED OUT. CLAIMS DUE TO IGNORANCE OF EXISTING SITE CONDITIONS WILL NOT BE ENTERED INTO.
3. THE HYDRAULIC SERVICES DRAWINGS AND SPECIFICATION SET OUT THE PROJECT REQUIREMENTS TO BE MET OVER AND ABOVE THE MINIMUM STANDARDS AS SET OUT BY THE RELEVANT AUSTRALIAN STANDARD APPLICABLE TO THAT SERVICE. THE CONTRACTOR SHALL MAKE DUE ALLOWANCE IN THEIR TENDER, AND WARRANTS THAT THEY HAVE MADE DUE ALLOWANCE FOR **ALL** REQUIREMENTS NECESSARY FOR THE EXECUTION OF THE WORKS IN ACCORDANCE WITH THE STANDARDS AS SET OUT BY THE RELEVANT AUSTRALIAN STANDARD APPLICABLE TO THAT SERVICE, THE RELEVANT LOCAL AUTHORITY REQUIREMENTS AND FOR THOSE REQUIREMENTS AS SET OUT IN THE HYDRAULIC SERVICES DRAWINGS AND THE ACCOMPANYING SPECIFICATION.
4. HYDRAULIC SERVICES DRAWINGS ARE TO BE READ IN CONJUNCTION WITH HYDRAULIC SERVICES SPECIFICATION AND DRAWINGS OF ALL OTHER DISCIPLINES FOR THIS PROJECT. IGNORANCE OF THE CONTENTS OF ANY DOCUMENT RELATIVE TO THE PROJECT SHALL NOT PROVIDE A BASIS FOR ANY VARIATION TO THE CONTRACT.
5. ALLOW TO OBTAIN ALL APPROVALS AND PAY ALL FEES AND CHARGES TO ALL AUTHORITIES IN RELATION TO THE PROPOSED SERVICE INSTALLATIONS INDICATED ON THE DRAWINGS.
6. ALLOW TO DISCONNECT & SEAL ALL REDUNDANT HYDRAULIC SERVICES RELATED TO THE INSTALLATION OF THE PROPOSED WORKS TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY.
7. ALL WORK BE CARRIED OUT IN ACCORDANCE WITH WATER & SEWER AUTHORITY REGULATIONS, SUPERINTENDENTS APPROVAL & HYDRAULIC SPECIFICATION.
8. LOCATION OF FIXTURES SHALL BE IN ACCORDANCE WITH LATEST ARCHITECTURAL DRAWINGS.
9. WIRING OF HWU/S AND GPO/S FOR BOILING / CHILLED WATER UNIT BY ELECTRICAL CONTRACTOR.
10. LIAISE WITH BUILDING SUPERINTENDENT TO ARRANGE SHUTDOWN AND ASSOCIATED WORKS.
11. ALL PIPES FIXTURES & FITTINGS ARE TO BE FIRST QUALITY AND OF ONE MANUFACTURER. WRITTEN WARRANTIES ON WORKMANSHIP AND MATERIALS OF AT LEAST 1 YEAR REQUIRED FOR EACH UNIT. ALL UNITS SHALL BE SUBJECT TO INSPECTION BY THE SUPERINTENDENT. ALL TO BE VANDAL PROOF.
12. ALL FIXTURES ARE TO BE SUPPLIED AND INSTALLED BY THE HYDRAULICS SERVICES CONTRACTOR UNLESS SPECIFIED OTHERWISE.
13. ON COMPLETION OF THE INSTALLATION ALLOW TO TEST THE FIXTURES FOR NORMAL OPERATION AND ADJUST AS NECESSARY.
14. ALL FIXINGS SHALL BE PLUMB AND LEVEL AND NEATLY FINISHED IN A TRADESMAN LIKE MANNER AND WITHOUT DAMAGE.
15. PROVIDE ALL MATERIALS AND LABOUR NECESSARY TO PROVIDE A COMPLETE, WORKING AND SERVICEABLE INSTALLATION BASED ON THE DRAWINGS, SPECIFICATION COORDINATION WITH THE STRUCTURE AND OTHER SERVICES PLUS ANY RELEVANT AUSTRALIAN STANDARDS.
16. ALL MATERIALS USED IN THE WORK SHALL BE NEW AND OF THE BEST QUALITY AND TYPE AVAILABLE TO CONFORM WITH THE RELEVANT AUSTRALIAN STANDARDS AND BEAR THE REQUIRED STANDARDS MARK.
17. FOR ALL PLUMBING AND DRAINAGE WORKS, AN APPLICATION SHALL BE LODGED AS REQUIRED BY THE SYDNEY WATER REGULATION 2000 SECTION 7 UNDER THE SYDNEY WATER ACT 1994. UPON COMPLETION, THE PLUMBER CARRYING OUT THE WORK SHALL SUBMIT TO THE PROJECT MANAGER THE SIGNED ORIGINAL OWNER'S COPY OF THE CERTIFICATE OF COMPLIANCE.
18. ANY DAMAGE TO SERVICES DURING CONSTRUCTION SHALL REPAIRED IMMEDIATELY AT THE CONTRACTORS OWN EXPENSE.
19. REFER TO SPECIFICATION FOR ADDITIONAL SPECIFICATION NOTES, WORK INSTRUCTIONS, MATERIAL SPECIFICATIONS & STANDARDS.
20. PIPE WORK SHALL BE CAPPED OFF AS WORK PROCEEDS TO PREVENT INGRESS OF DIRT, CONCRETE ETC. USE PROPRIETARY CAPS / PLUGS.
21. ALLOW TO MAKE APPLICATION & PAY ALL FEES TO SYDNEY WATER TO OBTAIN A PERMIT TO UNDERTAKE PLUMBING & DRAINAGE WORKS AND FOR ALL SYDNEY WATER INSPECTIONS.
22. PIPING SHOWN FOR CLARITY ONLY, ACTUAL POSITION TO BE DETERMINED AND COORDINATED ON SITE.
23. ALL LEVELS AND DIMENSIONS SHOWN TO BE CHECKED ON SITE PRIOR TO COMMENCING ANY WORKS. REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT.
24. HYDRAULIC DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS.
25. COORDINATE SERVICES WITH ALL OTHER TRADES AND WORKS ON SITE. THOROUGHLY INVESTIGATE THE EXTENT OF EXISTING SERVICES PRIOR TO COMMENCING WORKS ON SITE.
26. DURING THE INSTALLATION, RECORD ALL CHANGES TO THE DESIGN DRAWINGS AND DIMENSION OF HIDDEN SERVICES FROM PERMANENT, VISIBLE LANDMARKS. AT THE COMPLETION OF THE WORKS PROVIDE THREE (3) SETS OF AS INSTALLED DRAWINGS AND ELECTRONIC FILES IN AUTOCAD DWG FORMAT ON CD.
27. PROVIDE THREE (3) SETS OF OPERATION AND MAINTENANCE MANUALS FOR ALL SYSTEMS. THE MANUALS SHALL INCLUDE A BRIEF DESCRIPTION OF EACH SERVICE AND DETAILS OF ALL EQUIPMENT WARRANTIES AND MAINTENANCE PROCEDURES ASSOCIATED WITH THAT SERVICE. THE AS INSTALLED DRAWINGS AND ELECTRONIC FILES ARE TO BE INCLUDED IN THE MANUALS.
28. ALL PIPEWORK AND ASSOCIATED VALVES AND EQUIPMENT WHICH ARE TO BE INSTALLED IN EXISTING BUILDINGS AND PENETRATING THROUGH EXISTING STRUCTURE ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF WORKS.
29. FIT ALL SLEEVES AND FIRE COLLARS WHERE NECESSARY FOR PIPES PASSING THROUGH FIRE RATED STRUCTURE. PIPEWORK SHALL BE HIDDEN FROM VIEW BY INSTALLATION IN WALLS, CEILINGS OR BURYING IN GROUND. WHERE PIPEWORK CANNOT BE HIDDEN FROM VIEW, OBTAIN APPROVAL FROM THE SUPERINTENDENT PRIOR TO INSTALLATION.
30. EXPOSED PIPEWORK SHALL BE PAINTED AND LABELLED WITH PIPE MARKERS IN ACCORDANCE WITH AS 1345. PIPEWORK IN GROUND SHALL BE PROVIDED WITH MARKING TAPE IN THE TRENCH INDICATING THE SERVICE AND DIRECTION OF FLOW IN ACCORDANCE WITH AS 2648.
31. TEST ALL SYSTEMS AS REQUIRED BY THE LOCAL AUTHORITIES AND RELEVANT AUSTRALIAN STANDARDS.
32. ALLOW TO CO-ORDINATE FINAL LOCATIONS OF ALL PIPEWORK & EQUIPMENT WITH STRUCTURE & OTHER SERVICES PRIOR TO MANUFACTURE & INSTALLATION.
33. ALLOW TO ACOUSTICALLY INSULATE ALL SANITARY & STORM WATER DRAINAGE INSTALLED IN ABOVE SOUND SENSITIVE AREAS ie. BEDROOMS, LIVING AREAS IN ACCORDANCE WITH THE BCA OR THE ACOUSTIC REPORT IF AVAILABLE.
34. UNLESS OTHERWISE SPECIFIED, CORE HOLES ARE TO BE SLAB SEAL OR SIMILAR.
35. WHERE PASSING THROUGH ROOF THE PIPES SHALL BE FLASHED IN AN APPROVED MANNER LEAVING THE ROOF WATER TIGHT. UNLESS OTHERWISE SPECIFIED ON NON-TRAFFICABLE ROOFS THE VENT SHALL TERMINATE A MINIMUM OF 300mm ABOVE ROOF AND ON TRAFFICABLE ROOFS THE VENTS SHALL TERMINATE 3000mm ABOVE ROOF.
36. REFER TO ARCHITECTS PLANS FOR EXACT LOCATION & SET OUT OF PLUMBING FIXTURES & FITTINGS.
37. ALL WORK SHALL BE CARRIED OUT BY AND UNDER THE SUPERVISION OF A LICENSED PLUMBER IN STRICT CONFORMITY WITH THE ARCHITECTURAL PLANS, HYDRAULIC DRAWINGS AND SPECIFICATIONS AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, LOCAL AUTHORITIES, AS 3500 AND OTHER RELEVANT AUSTRALIAN STANDARDS.
38. WORK IS TO BE CARRIED OUT TO THE SATISFACTION OF THE PROJECT MANAGER.
39. EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA, THE SUPERINTENDENT DOES NOT GUARANTEE THEIR ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCING WORK.
40. UPON SIGNING THE CONTRACT, THE CONTRACTOR IS DEEMED TO HAVE VISITED SITE AND FAMILIARISED THEMSELVES WITH THE SITE, THE LOCATIONS & SIZES OF ALL EXISTING SERVICES AND THE EXTENT OF WORKS REQUIRED TO PROVIDE A COMPLETE, WORKING AND SERVICEABLE INSTALLATION BASED ON THE DRAWINGS, AND SITE CONSTRAINTS. VARIATIONS DUE TO OBVIOUS SITE CONSTRAINTS WILL NOT BE APPROVED.
41. HYDRAULIC SERVICES CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE UPON COMPLETION OF WORKS FOR ALL SERVICES INSTALLED.
42. THE CONTRACTOR SHALL ALLOW FOR AND PAY ALL FEES AND OBTAIN ALL AUTHORITY CLEARANCES INCLUDING SYDNEY WATER, COUNCIL AND GAS COMPANY.
43. ALL PIPE PENETRATIONS AT WALLS SHALL BE FITTED WITH A PUDDLE FLANGE AND ALL WALL PENETRATIONS SHALL BE MADE GOOD AND WATER TIGHT.
44. PRESSURE PIPE 'BLUE BRUTE' CLASS 20 TO AS 2977 WITH RUBBER RING JOINTS AND DUCTILE IRON FITTINGS EXCEPT WHERE PIPEWORK RUNS UNDERSIDE OF THE BUILDING.
45. CAP OFF ALL REDUNDANT SERVICES AT THE AUTHORITY MAIN. ARRANGE INSPECTION WITH THE AUTHORITY PRIOR TO BACK FILLING AND MAKING GOOD THE SURFACE. PAY ALL ASSOCIATED FEES AND CHARGES.
46. PROVIDE APPROVED FIRE STOP COLLARS TO THE REQUIREMENTS OF THE BCA AND RELEVANT AUSTRALIAN STANDARDS.
47. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND. LOCATION & DEPTH / INVERT LEVEL OF BRANCH SHALL BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
48. REUSED DRAINS UNDER BUILDINGS SHALL BE RETESTED WHERE DIRECTED BY SUPERINTENDENT.
49. INSPECTION OPENINGS SHALL BE PROVIDED AT:
    - 49.1. THE PROPERTY BOUNDARY
    - 49.2. ON EACH WC OR BRANCH
    - 49.3. AT MAX. 30m INTERVALS SPREAD EQUIDISTANT WHERE POSSIBLE
    - 49.4. IMMEDIATELY UPSTREAM & DOWNSTREAM OF ALL JUMP-UPS
    - 49.5. AS REQUIRED BY THE AUTHORITY FOR INSPECTION & MAINTENANCE
50. ALL SERVICES THAT CROSS PAVEMENTS, FOOTING ETC SHALL BE BACKFILLED WITH GRANULAR MATERIAL TO SUBGRADE LEVEL & COMPACTED TO 95% M.M.D.D.
51. PROVIDE 80mm COMPRESSIBLE MATERIAL OVER PIPEWORK WHERE CLEARANCE TO UNDERSIDE OF FOOTING IS LESS THAN 150mm UNLESS NOTED OTHERWISE.
52.
53. ON COMPLETION OF PIPE INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION INCLUDING: KERBS, FOOTPATH,CONCRETE AREAS, GRAVEL AREAS & ROAD PAVEMENTS.
54. CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION SHALL BE MADE OVER AUTHORITY SERVICES,TELSTRA OR ELECTRICAL SERVICES. EXCAVATE BY HAND IN THESE AREAS.
55. THE PLUMBING CONTRACTOR SHALL OBTAIN ALL AUTHORITY APPROVALS & PAY ALL FEES.
56. INVERT LEVELS SHOWN ARE INDICATIVE ONLY. CONFIRM ALL LEVELS ON SITE BEFORE COMMENCING INSTALLATION WORK.
57. ACCESS PANEL ARE TO BE INSTALLED WHERE REQUIRED TO ACCESS CONTROL VALVES IN WATER LINES AS REQUIRED & INSPECTION OPENINGS ON STORMWATER & SEWER RISERS. ACCESS PANELS SHALL MATCH PROPOSED FINISH. REFER TO ARCHITECTURAL DRAWING FOR FINISHES.

Note

Allow to obtain approval and pay all fees and charges to all authorities in relation to the proposed service installations as indicated on the drawings.

Allow to provide " as-built " drawings on Autocad dwg compatible file format together with 2-off paper copies before final payment.

Existing services are located within the site for which documentation is not available.

Services shown on this plan have been plotted from plans and by field These services and others that may exist may not be situated within registered easements or within standard footpath allocations.

It is the contractors responsibility to identify the locations of all services via electronic pipe locating prior to **ANY** construction works and to avoid disturbance of these services.

Allow to disconnect & cap off obsolete services at authority mains.

Contractor to provide work as executed plan prepared by a registered surveyor & provide certification that the stormwater drainage & detention system has been installed as per approved plans.

PIPELINE SYMBOL LEGEND

- LOOSE JUMPER CONTROL VALVE
- CHECK VALVE OR NON RETURN VALVE
- VALVE AND CAST IRON SURFACE BOX
- BALANCING VALVE
- BALL VALVE
- BALANCING VALVE
- FLOAT VALVE
- SOLENOID VALVE
- STRAINER
- EXPANSION JOINT
- FIRE HOSEREEL
- EXISTING STREET HYDRANT
- EXTERNAL FIRE HYDRANT
- YARD GULLY / OVERFLOW GULLY
- CLEAROUT
- BOUNDARY TRAP
- IPMF — INDUCT PIPE MICA FLAP
- REFLUX VALVE
- FLOW DIRECTION
- CAPPED PIPE
- FLOOR WASTE
- BASKET ARRESTOR
- INSPECTION / COVERED PIT
- GRATED PIT
- KERB INLET PIT
- GRATED DRAIN
- MANHOLE
- HYDRANT BOOSTER VALVE
- CP — CONTROL PANEL
- CONTINUATION OF SERVICE
- OVERFLOW RELIEF GULLY
- TD — TUNDISH
- CHECK VALVE/REFLUX VALVE OR NON RETURN VALVE.
- TRAP PRIMING VALVE
- AIR ADMITTANCE VALVE
- FLOOR WASTE
- ENWARE CSQ343 SHROUDED HOSETAP
- RECESSED IN WALL TRAPPED TUNDISH
- RAINWATER OUTLET
- WINDOW DRENCHER HEAD - 93°c TEMPERATURE RATING
- CIRCULATING PUMP
- BACKFLOW PREVENTION DEVICE
- PRV — PRESSURE REDUCING VALVE
- PLV — PRESSURE LIMITING VALVE
- TMV — THERMOSTATIC MIXING VALVE
- WM — WATER METER
- HWM — HOT WATER METER
- GM — GAS METER
- SERVICE RISER / DROPPER
- HOSE TAP

SERVICE LEGEND

- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER DRAINAGE/SANITARY PLUMBING
- EXISTING COLD WATER SERVICE
- EXISTING HOT WATER SUPPLY
- EXISTING GAS SERVICE
- EXISTING FIRE HYDRANT SERVICE
- EXISTING FIRE HOSEREEL SERVICE
- STORMWATER DRAINAGE
- SEWER DRAINAGE/SANITARY PLUMBING
- COLD WATER SERVICE
- RAINWATER / RECYCLED WATER REUSE SERVICE WATER SERVICE
- HOT WATER SUPPLY
- HOT WATER RETURN
- WARM WATER SERVICE
- GAS SERVICE
- FIRE HYDRANT SERVICE
- FIRE HOSEREEL SERVICE
- VENT PIPING
- TUNDISH DRAINAGE SERVICE
- SILT FENCE
- DENOTES EXISTING PAVED AREA TO BE SAWCUT AND REINSTATED

EXISTING SERVICES NOTES

1. SERVICES SHOWN ON HYDRAULIC PLANS HAVE BEEN PLOTTED FROM PLANS AND BY FIELD INSPECTION. THESE SERVICES AND OTHERS MAY NOT BE SITUATED WITHIN REGISTERED EASEMENTS OR WITHIN STANDARD FOOTPATH ALLOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY THE LOCATIONS OF ALL SERVICES PRIOR TO CONSTRUCTION WORKS AND TO AVOID DISTURBANCE OF THESE SERVICES. THE CONTRACTOR IS ADVISED TO CONTACT THE 'DIAL BEFORE YOU DIG' SERVICE TO ASCERTAIN THE LOCATIONS OF ANY EXISTING AUTHORITY SERVICES.
2. THE HYDRAULIC SUBCONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF THEIR PROGRAMME FOR THE RELOCATION/CONSTRUCTION OF TEMPORARY SERVICES.
3. HYDRAULIC SUBCONTRACTOR SHALL ALLOW TO CONSTRUCT NECESSARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDINGS REQUIRED TO REMAIN IN OPERATION TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL ALLOW TO REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
4. INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. CONTRACTOR TO GAIN APPROVAL OF SUPERINTENDENT FOR TIME OF INTERRUPTION.

Note
Hydraulic design plans
to be read in conjunction
with architectural plans.

REV	DATE	NOTATION/AMENDMENT
D	Feb.19	DA Issue
C	Dec. 18	DA Issue
B	Dec. 18	COORDINATION
A	Aug. 18	COORDINATION

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

PROJECT ARCHITECT
integrated DESIGN group
architects | bathurst penrith sydney

copyright
integratedDESIGNgroup pty
abn 84 115 006 326

bathurst | 02 6332 6206
penrith | 02 4732 4400
sydney | 02 9764 6100

nominated architects
tony mcburney reg4F223
simon thorne reg4F085

info@idgarchitects.com.au
www.idgarchitects.com.au

ENGINEER
ABEL& BROWN PTY. LTD.
23 WARUNG STREET,YAGOONA, NSW 2199
M: 0403 390 810 T: 9709-5705 FAX: 9796-2272
E - mail@nevillebrown.com.au W - www.nevillebrown.com.au
A&B CIVIL HYDRAULIC FIRE

CLIENT:
GLENSTONE GROUP

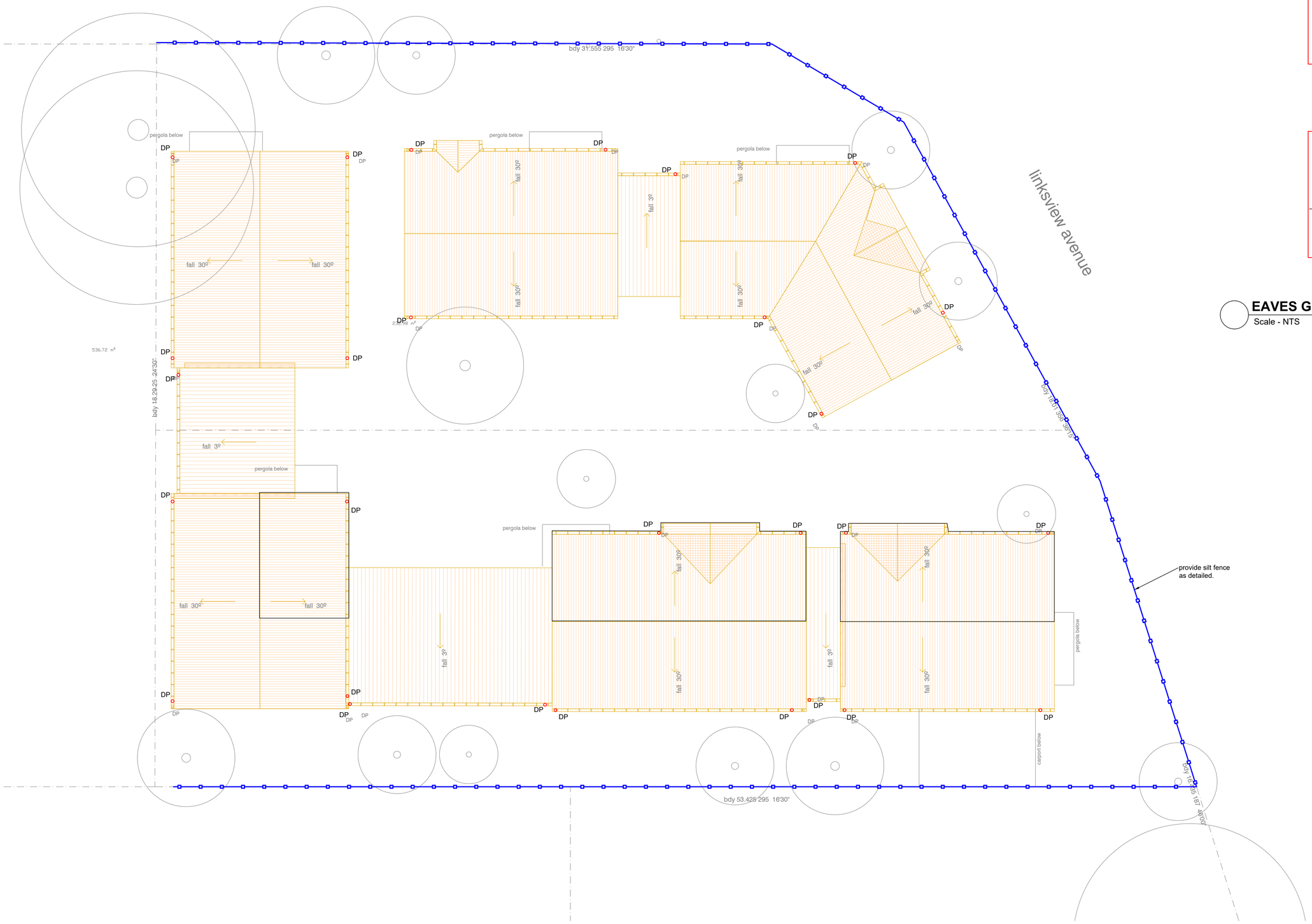
PROJECT:
PROPOSED MULTI UNIT DELOPMENT
at
8 LINKSVIEW AVENUE,
LEONAY

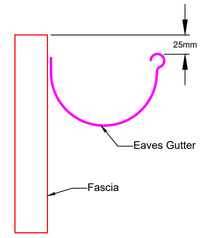
TITLE:
STORMWATER CONCEPT PLAN
LEGEND & SERVICE NOTES

FILE:
PLOTTED:

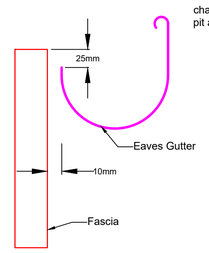
STATUS: DA ISSUE			
DATE: DEC.18	SCALE: nts@A1	PROJ: 2918	
NO IN SET: 5	DRAWN: SB	CHECKED: RB	APPROVED: NB
SHEET: H-01			REV: D

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019





(a) Eaves Gutter with low front; or



(b) Eaves Gutter with high front and and min. 10mm gap to fascia.

EAVES GUTTER OVERFLOW DETAIL

Scale - NTS

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REV	DATE	NOTATION/AMENDMENT
D	Feb.19	DA Issue
C	Dec. 18	DA Issue
B	Dec. 18	COORDINATION
A	Aug. 18	COORDINATION

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integratedDESIGNgroup p/l
abn 84 115 006 329

bathurst | 02 6332 6206
penrith | 02 4732 4430
sydney | 02 9764 6100

nominated architects
tony mcdurney reg#5273
simon thorne reg#7369

info@idgarchitects.com.au
www.idgarchitects.com.au

ENGINEER
ABEL& BROWN PTY. LTD.
23 WARUNG STREET,YAGOONA, NSW 2199
M: 0403 390 810 T: 9709-5705 FAX: 9796-2272
E - mail@nevillebrown.com.au W - www.nevillebrown.com.au

A&B CIVIL HYDRAULIC FIRE

CLIENT:
GLENSTONE GROUP

PROJECT:
PROPOSED MULTI UNIT DELOPMENT
at
8 LINKSVIEW AVENUE,
LEONAY

TITLE:
STORMWATER CONCEPT PLAN
DETAIL SHEET

STATUS: DA ISSUE			
DATE: DEC.18	SCALE: 1:100@A1	PROJ: 2918	
NO IN SET: 5	DRAWN: SB	CHECKED: RB	APPROVED: NB
FILE:	PLOTTED:	SHEET: H-02	REV: D

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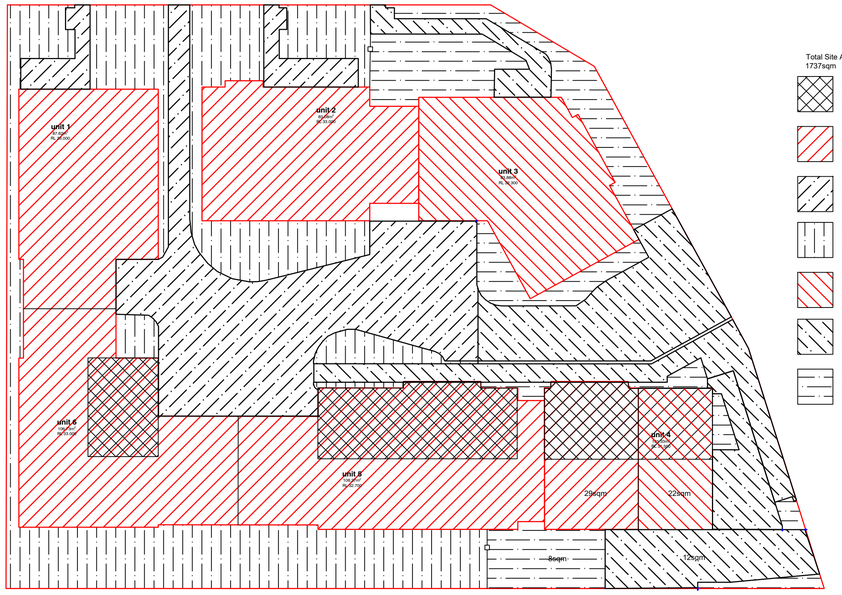
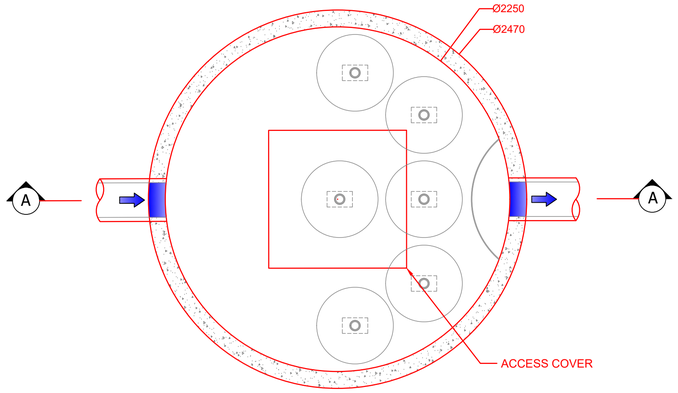
Version: 1, Version Date: 02/05/2019



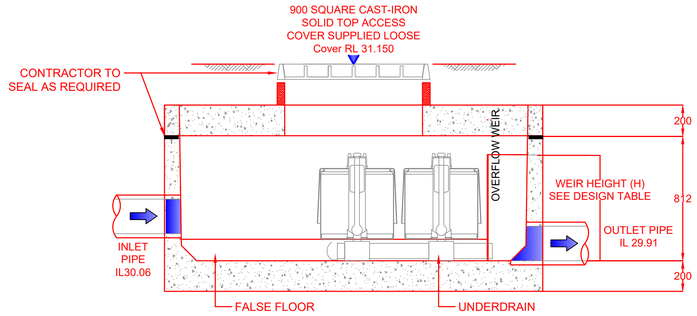
Total Site Area
1737sqm

- Roof Areas not Draining to rainwater tank
- Roof Area Draining to Stormfilter
- Hard Areas Draining to Stormfilter
- Soft Areas Draining to Stormfilter
- Roof Area not Draining to Stormfilter
- Hard Areas not Draining to Stormfilter
- Soft Areas not Draining to Stormfilter

WSUD Site Breakup
Scale: 1:200



PLAN



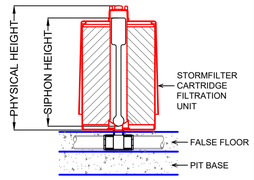
SECTION A-A

Stormfilter Detail
Scale: nts

STORMFILTER DESIGN TABLE

- STORMFILTER TREATMENT CAPACITY VARIES BY NUMBER OF FILTER CARTRIDGES INSTALLED.
- THE STANDARD CONFIGURATION IS SHOWN. ACTUAL CONFIGURATION OF THE SPECIFIED STRUCTURE(S) PER CIVIL ENGINEER WILL BE SHOWN ON SUBMITTAL DRAWING(S).
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 178mm.

CARTRIDGE NAME / SIPHON HEIGHT (mm)	690	460	310
CARTRIDGE PHYSICAL HEIGHT (mm)	840	600	600
TYPICAL WEIR HEIGHT [H] (mm)	920	690	540
CARTRIDGE FLOW RATE FOR ZPG MEDIA (L/s)	1.6	1.1	0.7
CARTRIDGE FLOW RATE FOR PSORB MEDIA (L/s)	0.9	0.46	0.39



STORMFILTER CARTRIDGE DETAIL

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	
NUMBER OF CARTRIDGES REQ'D	6
SIPHON HEIGHT (310 / 460 / 690)	
MEDIA TYPE (ZPG / PSORB)	
WATER QUALITY FLOW RATE (L/S)	
HYDRAULIC CAPACITY (L/S)	90

PIPE DATA:	I.L.	MATERIAL	DIAMETER
INLET PIPE #1	30.06	uPVC	225
INLET PIPE #2			
INLET PIPE #3			
OUTLET PIPE	29.91	uPVC	225

PRECAST MANHOLE WEIGHT	6500kg
PRECAST LID WEIGHT	2000kg

GENERAL NOTES

1. PRECAST STRUCTURE SUPPLIED WITH CORE HOLES TO SUIT OUTER DIAMETER OF NOMINATED PIPE SIZE / MATERIAL.
2. PRECAST STRUCTURE SHALL MEET W80 WHEEL LOAD RATING ASSUMING A MAXIMUM EARTH COVER OF 2.0m AND A GROUND WATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER TO CONFIRM ACTUAL GROUNDWATER ELEVATION. PRECAST STRUCTURE SHALL BE IN ACCORDANCE WITH AS3600.
3. IF THE PEAK FLOW RATE, AS DETERMINED BY THE SITE CIVIL ENGINEER, EXCEEDS THE PEAK HYDRAULIC CAPACITY OF THE SYSTEM, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.
4. ALL WATER QUALITY TREATMENT DEVICES REQUIRE PERIODIC MAINTENANCE. REFER TO OPERATION AND MAINTENANCE MANUAL FOR GUIDELINES AND ACCESS REQUIREMENTS.
5. SITE SPECIFIC SHOP DRAWING WILL BE PROVIDED ON PLACEMENT OF ORDER.
6. DRAWING NOT TO SCALE.

INSTALLATION NOTES

1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER.
2. CONTRACTOR TO PROVIDE ALL EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING DETAIL PROVIDED SEPARATELY).
3. CONTRACTOR TO APPLY SEALANT TO ALL JOINTS AND TO PROVIDE, INSTALL AND GROUT INLET AND OUTLET PIPES.

Stormwater360
PHONE: 1300 354 722 www.stormwater360.com.au

STORMWATER360 AUSTRALIA
6 CARTRIDGE STORMFILTER SYSTEM
DN2250 MANHOLE
SPECIFICATION DRAWING

PENRITH CITY COUNCIL — music-link

MUSIC-*link* Report

Project Details		Company Details	
Project:	8 Linksview Rd, Leonay	Company:	Abel & Brown Pty. Ltd.
Report Export Date:	19/12/2018	Contact:	Stuart Brown
Catchment Name:	8 Linksview Rd	Address:	23 Warung Street, Yagoona, N.S.W., 2199
Catchment Area:	0.175ha	Phone:	02 9709-5705
Impervious Area*:	82.85%	Email:	mail@abelandbrown.com.au
Rainfall Station:	67113 PENRITH		
Modelling Time-step:	6 Minutes		
Modelling Period:	1/01/1999 - 31/12/2008 11:54:00 PM		
Mean Annual Rainfall:	691mm		
Evapotranspiration:	1158mm		
MUSIC Version:	6.3.0		
MUSIC-link data Version:	6.31		
Study Area:	Penrith		
Scenario:	Penrith Development		

* takes into account area from all source nodes that link to the chosen reporting node, excluding Import Data Nodes

Treatment Train Effectiveness		Treatment Nodes		Source Nodes	
Node: Receiving Node	Reduction	Node Type	Number	Node Type	Number
Flow	16.5%	Rain Water Tank Node	2	Urban Source Node	8
TSS	87.6%	Sedimentation Basin Node	1		
TP	60.7%	Generic Node	1		
TN	50.6%	GPT Node	2		
GP	98.6%				

Comments

- Roof node base flow values are as per the MUSIC modelling guidelines which indicate base flow has no effect for impervious areas and therefore no value is needed.
- The 'SF Chamber' detention node has been modified to represent a tank to hold volume for use with the Stormwater360 filter. k values has been set to 1 to prevent the tank from "treating" the flow as it would within a grassed above ground OBD

NOTE: A successful self-validation check of your model does not constitute an approved model by Penrith City Council
MUSIC-*link* now in MUSIC by eWater – leading software for modelling stormwater solutions
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PENRITH CITY COUNCIL — music-link

Passing Parameters

Node Type	Node Name	Parameter	Min	Max	Actual
GPT	EnviroPod 200 (Or Eqv)	Hi-flow bypass rate (cum/sec)	None	99	0.04
GPT	EnviroPod 200 (Or Eqv)	Hi-flow bypass rate (cum/sec)	None	99	0.04
Receiving	Receiving Node	% Load Reduction	None	None	16.5
Receiving	Receiving Node	GP % Load Reduction	90	None	98.6
Receiving	Receiving Node	TN % Load Reduction	45	None	50.6
Receiving	Receiving Node	TP % Load Reduction	60	None	60.7
Receiving	Receiving Node	TSS % Load Reduction	85	None	87.6
Sedimentation	SF Chamber 6m◆	High Flow Bypass Out (ML/yr)	None	None	0
Urban	Driveway - 225m◆ (100% Imp.)	Area Impervious (ha)	None	None	0.023
Urban	Driveway - 225m◆ (100% Imp.)	Area Pervious (ha)	None	None	0
Urban	Driveway - 225m◆ (100% Imp.)	Total Area (ha)	None	None	0.023
Urban	Driveway - 235m◆ (100% Imp.)	Area Impervious (ha)	None	None	0.024
Urban	Driveway - 235m◆ (100% Imp.)	Area Pervious (ha)	None	None	0
Urban	Driveway - 235m◆ (100% Imp.)	Total Area (ha)	None	None	0.024
Urban	Landscape - 186m◆ (100% Imp.)	Area Impervious (ha)	None	None	0.019
Urban	Landscape - 186m◆ (100% Imp.)	Area Pervious (ha)	None	None	0
Urban	Landscape - 186m◆ (100% Imp.)	Total Area (ha)	None	None	0.019
Urban	Landscape - 299m◆ (100% Perv.)	Area Impervious (ha)	None	None	0
Urban	Landscape - 299m◆ (100% Perv.)	Area Pervious (ha)	None	None	0.03
Urban	Landscape - 299m◆ (100% Perv.)	Total Area (ha)	None	None	0.03
Urban	Roof - 121m◆ (100% Imp.)	Area Impervious (ha)	None	None	0.012
Urban	Roof - 121m◆ (100% Imp.)	Area Pervious (ha)	None	None	0
Urban	Roof - 121m◆ (100% Imp.)	Total Area (ha)	None	None	0.012
Urban	Roof - 22m◆ (100% Imp.)	Area Impervious (ha)	None	None	0.002
Urban	Roof - 22m◆ (100% Imp.)	Area Impervious (ha)	None	None	0.002
Urban	Roof - 22m◆ (100% Imp.)	Area Pervious (ha)	None	None	0
Urban	Roof - 22m◆ (100% Imp.)	Area Pervious (ha)	None	None	0
Urban	Roof - 22m◆ (100% Imp.)	Total Area (ha)	None	None	0.002
Urban	Roof - 22m◆ (100% Imp.)	Total Area (ha)	None	None	0.002
Urban	Roof - 627m◆ (100% Imp.)	Area Impervious (ha)	None	None	0.063
Urban	Roof - 627m◆ (100% Imp.)	Area Pervious (ha)	None	None	0
Urban	Roof - 627m◆ (100% Imp.)	Total Area (ha)	None	None	0.063

Only certain parameters are reported when they pass validation

NOTE: A successful self-validation check of your model does not constitute an approved model by Penrith City Council
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PENRITH CITY COUNCIL — music-link

Failing Parameters

Node Type	Node Name	Parameter	Min	Max	Actual
Rain	1 x 1.5kL RWT	% Reuse Demand Met	80	None	20.27
Rain	5 x 1.5kL RWT	% Reuse Demand Met	80	None	50.27
Sedimentation	SF Chamber 6m◆	Notional Detention Time (hrs)	8	12	0.314
Sedimentation	SF Chamber 6m◆	Total Nitrogen - k (m/yr)	500	500	1
Sedimentation	SF Chamber 6m◆	Total Phosphorus - k (m/yr)	6000	6000	1
Sedimentation	SF Chamber 6m◆	Total Suspended Solids - k (m/yr)	8000	8000	1
Urban	Roof - 121m◆ (100% Imp.)	Baseflow Total Nitrogen Mean (log mg/L)	0.11	0.11	0
Urban	Roof - 121m◆ (100% Imp.)	Baseflow Total Nitrogen Standard Deviation (log mg/L)	0.12	0.12	0
Urban	Roof - 121m◆ (100% Imp.)	Baseflow Total Phosphorus Mean (log mg/L)	-0.85	-0.85	0
Urban	Roof - 121m◆ (100% Imp.)	Baseflow Total Phosphorus Standard Deviation (log mg/L)	0.19	0.19	0
Urban	Roof - 121m◆ (100% Imp.)	Baseflow Total Suspended Solids Mean (log mg/L)	1.2	1.2	0
Urban	Roof - 121m◆ (100% Imp.)	Baseflow Total Suspended Solids Standard Deviation (log mg/L)	0.17	0.17	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Nitrogen Mean (log mg/L)	0.11	0.11	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Nitrogen Mean (log mg/L)	0.11	0.11	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Nitrogen Standard Deviation (log mg/L)	0.12	0.12	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Nitrogen Standard Deviation (log mg/L)	0.12	0.12	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Phosphorus Mean (log mg/L)	-0.85	-0.85	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Phosphorus Mean (log mg/L)	-0.85	-0.85	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Phosphorus Standard Deviation (log mg/L)	0.19	0.19	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Phosphorus Standard Deviation (log mg/L)	0.19	0.19	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Suspended Solids Mean (log mg/L)	1.2	1.2	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Suspended Solids Mean (log mg/L)	1.2	1.2	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Suspended Solids Standard Deviation (log mg/L)	0.17	0.17	0
Urban	Roof - 22m◆ (100% Imp.)	Baseflow Total Suspended Solids Standard Deviation (log mg/L)	0.17	0.17	0
Urban	Roof - 627m◆ (100% Imp.)	Baseflow Total Nitrogen Mean (log mg/L)	0.11	0.11	0
Urban	Roof - 627m◆ (100% Imp.)	Baseflow Total Nitrogen Standard Deviation (log mg/L)	0.12	0.12	0
Urban	Roof - 627m◆ (100% Imp.)	Baseflow Total Phosphorus Mean (log mg/L)	-0.85	-0.85	0
Urban	Roof - 627m◆ (100% Imp.)	Baseflow Total Phosphorus Standard Deviation (log mg/L)	0.19	0.19	0
Urban	Roof - 627m◆ (100% Imp.)	Baseflow Total Suspended Solids Mean (log mg/L)	1.2	1.2	0
Urban	Roof - 627m◆ (100% Imp.)	Baseflow Total Suspended Solids Standard Deviation (log mg/L)	0.17	0.17	0

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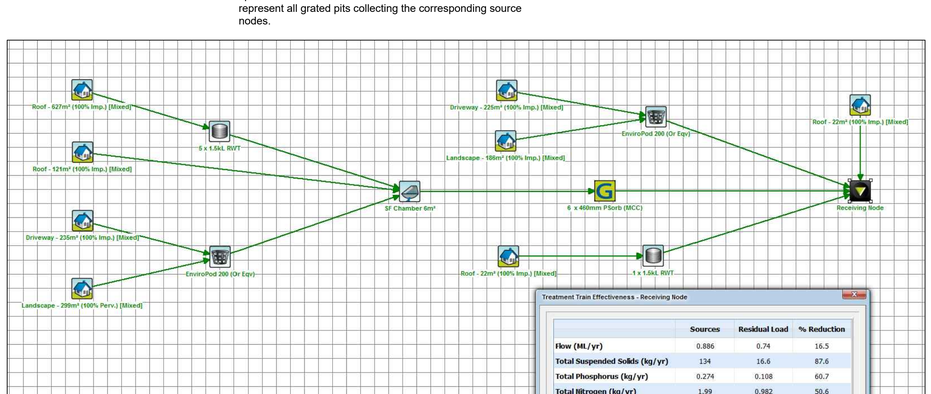
MUSIC Link Report
Scale: nts

Note
Refer to MUSIC sqz fle for details of calculations.
Please note the quantity of Enviropod hasve not been specified in the MUSIC Model. Therefore in the model these represent all grated pits collecting the corresponding source nodes.



MUSIC Model
Scale: nts

REV	DATE	NOTATION/AMENDMENT
D	Feb.19	DA Issue
C	Dec. 18	DA Issue
B	Dec. 18	COORDINATION
A	Aug. 18	COORDINATION

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integratedDESIGNgroup pl
abn 84 115 006 539
bathurst | 02 6332 6206
penrith | 02 4732 4400
sydney | 02 9764 6100
nominated architects
tony mcburney reg#5273
simon thorne reg#7080
info@idgarchitects.com.au
www.idgarchitects.com.au

ENGINEER
ABEL& BROWN PTY. LTD.
23 WARUNG STREET,YAGOONA, NSW 2199
M: 0403 390 810 T: 9709-5705 FAX: 9796-2272
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DATE: DEC.18 | SCALE: nts@A1 | PROJ: 2918
NO IN SET: 5 | DRAWN: SB | CHECKED: RB | APPROVED: NB
SHEET: H-05 | REV: D

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Version: 1, Version Date: 02/05/2019

funktion

Access Review

Multi-dwelling Development

8 Linksview Avenue Leonay

Report Issue 1

18/12/18

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

Contents

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4	Context for Planning & Design
7	Design Review
15	Conclusion

Document Author: J Barling

Reviewed by: M Jack

Document History:

Issue 1: 18/12/18

Document Set ID: 8677540
Version: 1, Version Date: 02/05/2019

Introduction

Background

This proposed development at 8 Linksview Avenue Leonay is being undertaken by Glenstone Group and consists of 6 independent living units.

This review of the design documents for DA addresses the requirements for access by people with a disability or who are older, to the proposed villas (ILUs) and communal facilities for residents and visitors.

The development is reviewed for compliance with the Disability (Access to Premises - Buildings) Standards 2010, relevant sections of the Building Code of Australia (BCA), Australian Standards on Access and Mobility and State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 (Amendment No 2) 12 October 2007 - Standards concerning access and useability.

The key issue in the provision of appropriate access for all people to the ILUs and communal facilities is the provision of a continuous accessible path of travel:

(i) from points of arrival and links from public transport (bus) to the building entrances and each ILU

(ii) from resident and accessible visitor parking to the principal entrance and throughout the facilities

(iii) to all common use facilities

We have reviewed the architectural drawings listed to assess the level of accessibility and compliance with the relevant standards for access and mobility.

The designs have been assessed for the provision of equitable and dignified access for people with disabilities and older people. In carrying out an accessibility assessment, the main objective is to ensure access is provided through the provision of accessible facilities and continuous paths of travel to and within resident areas, public visitor areas and staff areas.

In accordance with the principles of the Disability Discrimination Act 1992 (DDA) best practice is to be emphasised in the design.

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Context for Planning & Design

Legislation & Standards

The new work is subject to access provisions in the following documents:

- Disability (Access to Premises - Buildings) Standards 2010
- Building Code of Australia (2016) Part D3 & F2.4
- AS1428.1 (2009) (Incorporating Amendment No 1): Design for access and mobility Part 1: General requirements for access – New building work.
- AS1428.2 (1992) Design for access and mobility Part 2: Enhanced and Additional requirements-Buildings and facilities
- AS1428.4 (2009) (Incorporating Amendment No 1): Design for access and mobility Part 4.1: Means to assist the orientation of people with vision impairment -tactile ground surface indicators
- State Environmental Planning Policy (Housing for seniors or people with a disability) 2004 (Amendment No 2) 12 October 2007 - Standards concerning access and useability; at gazettal date 18.01.08
- AS2890.6 (2009) Parking Facilities - Off-street parking for people with disabilities
- AS3745 (2009) Planning for Emergencies in Facilities (referenced)
- AS1428.5 (2010) Design for access and mobility Part 5: Communications for people who are deaf or hearing impaired (referenced)
- Australian Human Rights Commission Guideline on the Application of the Premises Standards (2013)
- Commonwealth Disability Discrimination Act (DDA) (1992)

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Context for Planning & Design

Legislation & Standards

DDA
The objectives of the Disability Discrimination Act 1992 (DDA) – section 23, focus on the provision of equitable, independent and dignified access to services and facilities for people with mobility, sensory and cognitive disabilities. The DDA covers existing premises, including heritage buildings, those under construction and future premises. It extends beyond the building itself to include outdoor spaces and within, to address furniture, fittings and practices.

Premises Standards
Disability (Access to Premises - Buildings) Standards (Premises Standards) 2010 which commenced on 01 May 2011, has been incorporated into the BCA (2016) to ensure that access provisions for people with disabilities more fully meet the intent of the DDA. Meeting the Premises Standards ensures fulfilment of obligations under the Disability Discrimination Act in relation to physical access within the buildings. Schedule 1 of the Premises Standards contains the Access Code for Buildings and is equivalent to the BCA provisions for access.

BCA
The Building Code of Australia (BCA)(2016) applies to new buildings and existing buildings that undergo refurbishment. In this report the description of the level of accessibility throughout the new work is generally measured against the Deemed–to–Satisfy Provisions of the BCA, in particular Parts D3 and H2.

AS1428 – Standards for Access

The Australian Standards design for access and mobility are a suite of standards relating to the inclusion of features in the built environment that improve access and mobility for people with a disability.

AS1428.1 (2009) sets out minimum requirements for design of buildings and facilities, while AS1428.2 includes enhanced and additional requirements that are not covered in AS1428.1, such as street furniture and reach ranges.

AS1428.4.1 (2009) Design for access and mobility Part 4.1: Means to assist the orientation of people with vision impairment primarily details the requirements for the application of tactile ground surface indicators (TGSI).

State Environmental Planning Policy - (Housing for Seniors or People with a Disability) 2004

To meet the requirements set out in the State Environmental Planning Policy - (Housing for Seniors or People with a Disability) the proposed development should:

- have obvious and safe pedestrian links from the site boundary that provides access to public transport services or local facilities, and
- provide attractive, yet safe, environments for pedestrians and motorists with convenient access and parking for residents and visitors.

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Version: 1, Version Date: 02/05/2019

Context for Planning & Design

Documentation

This assessment is based on discussion with the design team and review of the following architectural documentation prepared by Integrated Design Group, issued to funktion on 14th & 18th December, 2018:

0000 cover page

0001 location plan

0002 site analysis

0100 site plan

0101 erosion & sediment control

0200 demolition plan

1100 ground floor plan

1101 roof plan

2000 north & south elevation

2001 east & west elevation

3000 sections

9000 landscape concept plan

9100 shadow diagrams

9300 area calculations

9600 finishes schedule

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Design Review

Accessibility Assessment

Proposed New Buildings

Independent Living Units

- Unit 1 – 2 bed room
- Unit 2 – 2 bed room
- Unit 3 – 2 bed room
- Unit 4 – 3 bed room
- Unit 5 – 3 bed room
- Unit 6 – 3 bed room

Communal Facilities

- Footpaths and ramps linking ILUs to pedestrian entry 1 and pedestrian entry 2
- Bin storage
- Central driveway / shared area / vehicle court

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Design Review

Accessibility Assessment

Proposed New Work

Links to Public Transport

Paths of travel are available to link the entry of the development and ILUs with the street frontage on Linksview Avenue to the local transport services (bus stop on River Road) via existing public footpaths and a proposed new footpath on River Road.

With the inclusion of the new footpath on River Road, in our opinion the site complies with the requirements set out in the State Environmental Planning Policy - (Housing for Seniors or People with a Disability) 2004 part 2 clauses 26 and 38 for location and access to facilities.

The following transport services (including accessible services) operate from the bus stop on River Road (396m from the entrance to the site):

- 689 to Emu Plains Station, Nepean Square & Westfield Penrith

Relatively level access via at grade pathways and accessible paths of travel are available to the bus stop, from the proposed new pedestrian entrance to the site. The paths of travel within the site are proposed to link to this part of the site to provide functional, accessible links to the public transport service for residents and visitors.

Link to Property Boundary

To meet BCA D3.2 and to facilitate access to the principal ILU pedestrian entrances for people who use wheelchairs and people who have ambulant disabilities, the eastern side of the development is proposed to include a series of 1:14 ramps linking to the property boundary on Linksview Avenue. Access via the proposed vehicle court provides a link for Units 1,2,3,5 and 6. Unit 4 has its own link to the property boundary on Linksview Avenue via a 1:14 ramp.

Parking

To meet the objectives and intent of the SEPP Schedule 3 clause 5 (b), all the units are provided with a garage, with minimum dimensions 3200mm x 5400mm (except unit 1 which is 5330mm long). Unit 4 is proposed to have a carport with dimensions 6000mm x 4000mm.

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Proposed New Work

ILUs

To meet the State Environmental Planning Policy (Housing for Seniors or people with a Disability) 2004 - standards concerning access and useability, all units are proposed to include:

- Entrance gates and doorways with 850mm clear width doors with suitable latch side clearances in accordance with AS1428.1-2009 clause 13 and figure 31
- A minimum 1000mm clear width path of travel throughout the units
- Accessible paths of travel and door approaches compliant with AS1428.1 to the master bedroom, kitchen, living room and garage
- The accessible ensuite with suitable clearances including 1900mm x 2300mm clearance around the pan, located 450-460mm from the side wall, in accordance with AS1428.1 clause 15
- Shower with minimum 1600mm x 1400mm clearance including the shower recess and circulation area (with accessible basin installed).
- The adapted basin is indicated to be located outside these circulation areas and offset a minimum 425mm (to centre line) from the internal corner.
- Adequate circulation space around the bed in the master bedroom – 1000mm both sides of the bed and 1200mm at the foot of the bed.

Requirements for Ongoing Design

The following table sets out the requirements that must be considered in ongoing design, to comply with the State Environmental Planning Policy (Housing for Seniors or people with a Disability) 2004 - standards concerning access and useability.

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Accessibility Assessment

Clause	Access Requirements	Comment
Schedule 3 SEPP (Housing for Seniors or People with a Disability) 2004		
Clause 2 Siting Standards	(i) Wheelchair access 100% if site has gradient of less than 1:10 (ii) If the whole of the site does not have a gradient of less than 1:10: a) the percentage of dwellings that must have wheelchair access must equal the proportion of the site that has a gradient of less than 1:10, or 50%, whichever is the greater, and b) the wheelchair access provided must be by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road or an internal road or a driveway that is accessible to all residents.	Indicated on plans – via proposed ramps and access ways
Common areas	Access must be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the development.	Tbc in detailed design
Clause 3 Security	Pathway lighting: (a) must be designed and located so as to avoid glare for pedestrians and adjacent dwellings, and (b) must provide at least 20 lux at ground level.	Lighting levels tbc
Clause 4 Letterboxes	(a) must be situated on a hard standing area and have wheelchair access and circulation by a continuous accessible path of travel (within the meaning of AS 1428.1), and (b) must be lockable, and (c) must be located together in a central location adjacent to the street entry or, in the case of self-contained dwellings, must be located together in one or more central locations adjacent to the street entry	Tbc in detailed design
Clause 5 Private Car Accommodation	If car parking (not being car parking for employees) is provided: (a) car parking spaces must comply with the requirements for parking for persons with a disability set out in AS 2890, and (b) 5% of the total number of car parking spaces (or at least one space if there are fewer than 20 spaces) must be designed to enable the width of the spaces to be increased to 3.8 metres.	Indicated on plans

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Clause	Access Requirements	Comment
Clause 6 Accessible Entry	Every entry (whether a front entry or not) to a dwelling, not being an entry for employees, must comply with clauses 4.3.1 and 4.3.2 of AS 4299.	Indicated on plans
Clause 7 Interior: general	1) Internal doorways must have a minimum clear opening that complies with AS1428.1. (2) Internal corridors must have a minimum unobstructed width of 1,000 millimetres. (3) Circulation space at approaches to internal doorways must comply with AS 1428.1.	Indicated on plans
Clause 8(a) Bedroom	At least one bedroom within each dwelling must have: in the case of a self-contained dwelling—a queen-size bed, and an area sufficient to accommodate a wardrobe and a bed sized as follows:	Indicated on plans
Clause 8(b) Bedroom	a clear area for the bed of at least: 1200 millimetres wide at the foot of the bed, and 1000 millimetres wide beside the bed between it and the wall, wardrobe or any other obstruction, and	Indicated on plans
Clause 8(c)(d) Bedroom	2 double general power outlets on the wall where the head of the bed is likely to be, and at least one general power outlet on the wall opposite the wall where the head of the bed is likely to be, and a telephone outlet next to the bed on the side closest to the door and a general power outlet beside the telephone outlet, and wiring to allow a potential illumination level of at least 300 lux.	Tbc in detailed design
Clause 9 Bathroom	At least one bathroom within a dwelling must be on the ground (or main) floor and have the following facilities arranged within an area that provides for circulation space for sanitary facilities in accordance with AS 1428.1: a slip-resistant floor surface, a washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS 1428.1	Indicated on plans Capable of complying - tbc Indicated on plans
Clause 9 Bathroom	a shower that complies with AS 1428.1, except that the following must be accommodated either immediately or in the future: c) a grab rail, (b) portable shower head, (c) folding seat, (b) a wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it, (b) a double general power outlet beside the mirror. Subclause (1) (c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility.	Indicated on plans Capable of complying - tbc in detailed design

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Clause	Access Requirements	Comment
Clause 10 Toilet	A dwelling must have at least one toilet on the ground (or main) floor and be a visitable toilet that complies with the requirements for sanitary facilities of AS 4299.	Indicated on plans
Clause 11 Surface finishes	External paved areas must have slip-resistant surfaces.	Tbc in detailed design
Clause 12 Door Hardware	Door handles and hardware for all doors (including entry doors and other external doors) must be provided in accordance with AS 4299.	Tbc in detailed design
Clause 13 Ancillary items	Switches and power points must be provided in accordance with AS 4299.	Tbc in detailed design
Clause 14 Part 2 Additional Standards for self-contained dwellings		
Clause 15 Living room and dining room	Living room and dining room must have: (a) circulation space (i) min 2250mm diameter and (ii) as set out in clause 4.7 of AS4299 (b) telephone adjacent to GPO Living room & dining room to have wiring to allow for potential illumination of 300 lux	Indicated on plans Tbc in detailed design
	(iii) circulation space to meet AS4299 clause 4.5.2 to facilitate access to the sink and appliances and to allow a 180° turn by a person using a wheelchair including a width of at least 2070mm and a clear space between benches of at least 1550mm is required at the outset (iv) width at door approaches complying with AS1428.1 (v) (c) the following fitting as per AS4299 clause 4.5: (vi) (i) benches that include at least one work surface that is at least 800mm in length and that can be adjusted or replaced as a unit at variable heights within the range of 750mm to 850mm above the finished floor surface (ii) a tap set that is located within 300mm of the front of the sink and that is a capstan tap set or that comprises lever handles or a lever mixer	Kitchens can be adapted to meet this requirement; tbc in detailed design

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Clause	Access Requirements	Comment
Clause 16 Kitchen	(vii) "D" pull cupboard handles that are located towards the top of below-bench cupboards and towards the bottom of overhead cupboards (viii) general power outlets: (ix) (i) at least one of which is a double general power outlet within 300mm of the front of a work surface, and (x) (ii) one of which is provided for a refrigerator in such a position as to be easily accessible after the refrigerator is installed. d) Wall oven located next to adjustable height work bench minimum 800mm width and where oven is hinged, the clear work surface is to be on the opposite side of the hinge.	Tbc in detailed design
Clause 17 Access to kitchen, main bedroom, bathroom & toilet	Must all be located on entry level	Indicated on plans
Clause 18 Lifts in Multi-storey buildings	Must be provided to self-contained dwellings in a multi-storey building	n/a
Clause 19 Laundry	A self contained dwelling must have a laundry that has: a door width complying with AS1428.1 provision for the installation of an automatic washing machine and clothes dryer a clear space in front of appliances of at least 1300mm	Indicated on plans
	a slip-resistant floor surface an accessible path of travel to any clothes line provided in relation to the dwelling	Tbc in detailed design
Clause 20 Storage for linen	A self contained dwelling must have a linen storage that is at least 600mm wide and has adjustable shelving	Indicated on plans
Clause 21 Garbage	A garbage storage area must be provided in an accessible location.	Indicated on plans

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Recommendations

In ongoing design, to comply with the Disability (Access to Premises - Buildings) Standards 2010 and BCA, include the following in the communal areas (vehicle court, ramps, accessways, letterbox access and garbage store):

i. Parking space related walking and wheelchair unloading areas comprise a slip-resistant, firm plane surface with a fall not exceeding 1:40 in any direction or 1:33 if the surface is a bituminous seal.

ii. Slip resistant surfaces on accessways that are traversable by people who use a wheelchair and those with an ambulant or sensory disability.

iii. Ramps to meet the requirements of AS1428.1 clause 10.3 and figures 13-19; and including the following features:

- A maximum slope of 1:14
- A constant gradient between level landings
- An unobstructed/clear width minimum 1000mm
- Minimum landing length of 1200mm where there is no change in direction; 1540mm x 2070mm at the change in direction
- Handrails on both sides that include a 300mm horizontal extension at the top and bottom and set back by a minimum of 300mm so that the handrail does not protrude into the transverse path of travel

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Conclusion

Conclusion

This review addresses the functional requirements for access by people with a disability or who are older, to the proposed new seniors living units for residents and visitors and is reviewed for compliance with the Disability (Access to Premises - Buildings) Standards 2010, relevant sections of the Building Code of Australia (BCA) 2016 and Australian Standards on Access and Mobility.

Provided the accessible features and recommendations are demonstrated in ongoing design, it is our opinion that the proposed ILUs and common facilities at 8 Linksview Avenue Leonay, can comply with the accessibility requirements of Disability (Access to Premises - Buildings) Standards 2010, relevant sections of the Building Code of Australia (BCA), Australian Standards on Access and Mobility and State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 (Amendment No 2) 12 October 2007 - Standards concerning access and useability.

I certify that I am an appropriately qualified and competent person practising in the relevant area of work. I have recognised relevant experience in the area of work being certified and I hold appropriate current insurance policies.

Jen Barling I Access + Inclusion Consultant

Qualifications:	Bachelor of Applied Science (Occupational Therapy) (1999)
Affiliations:	Accredited with Association of Consultants in Access, Australia (No.300)
	Registered Occupational Therapist (no: OCC0001724072)

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