

DEVELOPMENT APPLICATION FOR 50-UNIT RESIDENTIAL FLAT BUILDING & 90 PLACE CHILDCARE CENTRE 71 PARK AVENUE, KINGSWOOD

DRAWING REGISTER

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DA-002	SURVEY PLAN
DA-003	STREETSCAPE
DA-004	PHOTOMONTAGE

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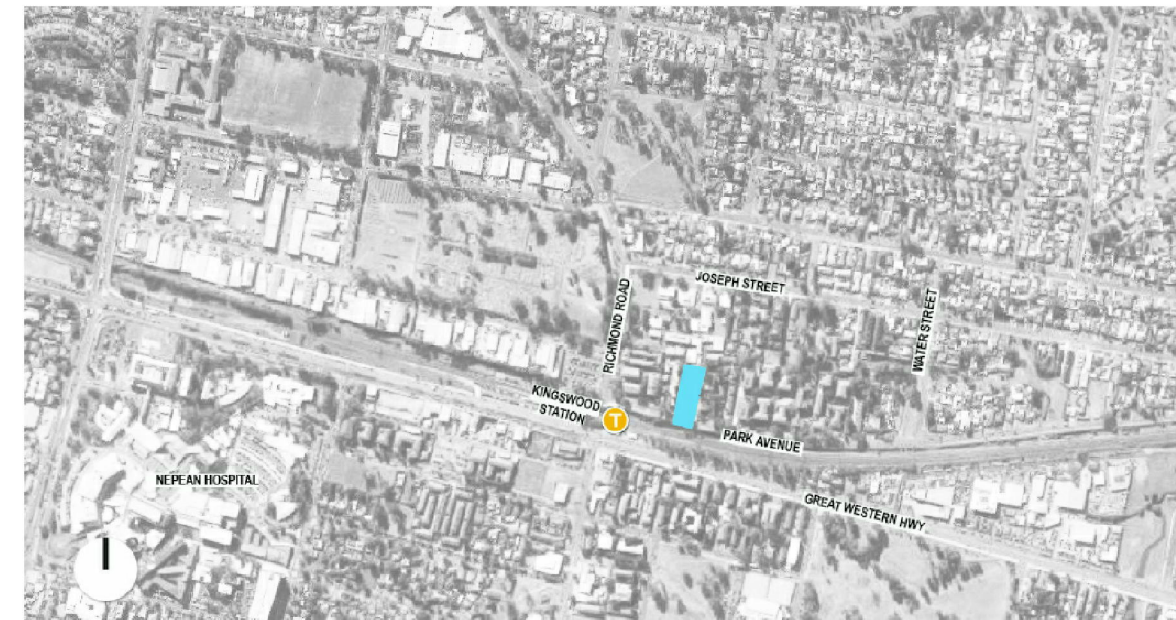
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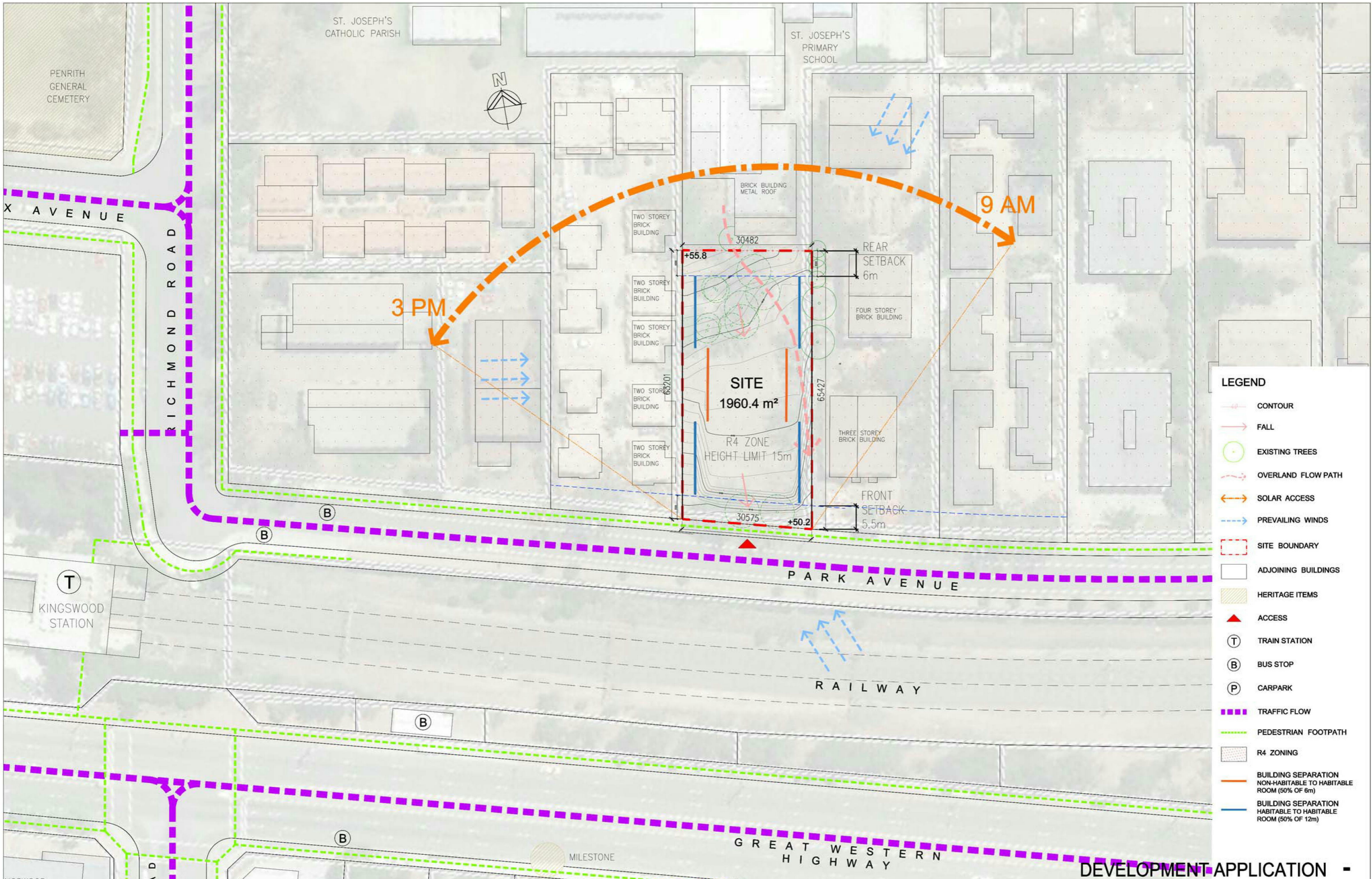
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AERIAL PHOTO

DEVELOPMENT APPLICATION -

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	PAM CORNERSTONE P/L	STEPHEN BOWERS ARCHITECTS <small>planning, urban design, landscape architecture, architecture, interior design ABN 44 087 958 423 SUITE 91, 24-32 PIRRAMA ROAD PYRMONT NSW 2009 TEL (612) 9029 7286 EMAIL: admin@stephenbowersarchitects.com stephen.bowers@stephenbowersarchitects.com REGISTERED ARCHITECT - STEPHEN BOWERS (5810)</small>	<small>© STEPHEN BOWERS ARCHITECTS This drawing is protected by copyright. Reproduction or publication of the whole or part of the drawing without a license of the owner of the copyright is an infringement of copyright. Do not scale drawings. Verify all dimensions on site. Report any discrepancies in documents to Architect</small>	Address 71 Park Avenue Kingswood NSW 2747	Drawing Title DRAWING LIST	Scale N/A	Date FEB 2017
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- LEGEND**
- CONTOUR
 - FALL
 - EXISTING TREES
 - OVERLAND FLOW PATH
 - SOLAR ACCESS
 - PREVAILING WINDS
 - SITE BOUNDARY
 - ADJOINING BUILDINGS
 - HERITAGE ITEMS
 - ACCESS
 - TRAIN STATION
 - BUS STOP
 - CARPARK
 - TRAFFIC FLOW
 - PEDESTRIAN FOOTPATH
 - R4 ZONING
 - BUILDING SEPARATION NON-HABITABLE TO HABITABLE ROOM (50% OF 6m)
 - BUILDING SEPARATION HABITABLE TO HABITABLE ROOM (50% OF 12m)

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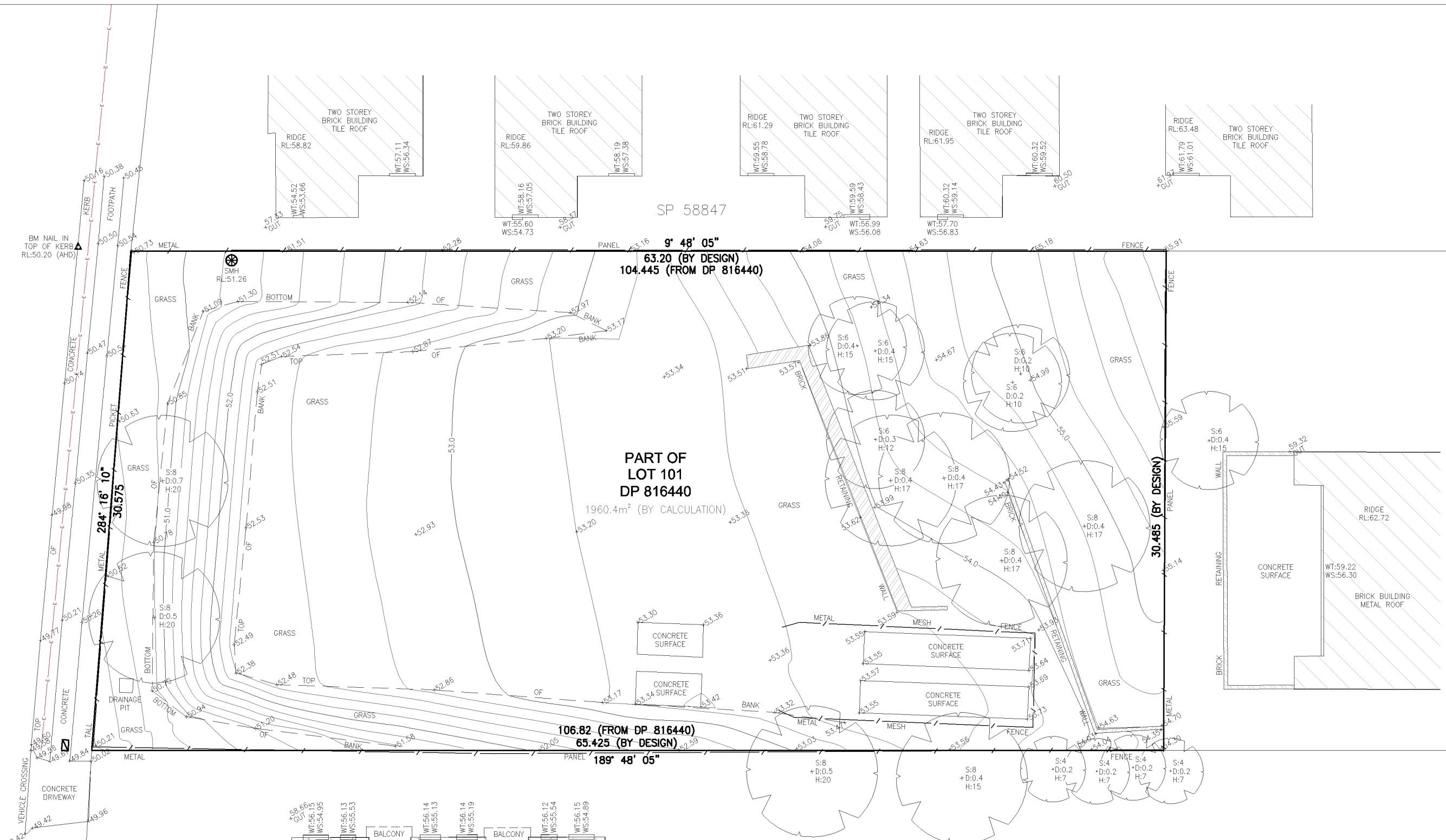


Drawing Title
SITE ANALYSIS

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PARK AVENUE



NOTES

NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREAS ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DETAIL FROM THE DRAWING. SURVEYOR MUST BE CONTACTED IF THERE ARE ANY DISCREPANCIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (A.H.D.) USING SSM 10885 R.L. 49.156m.

RIDGE & GUTTERS HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m

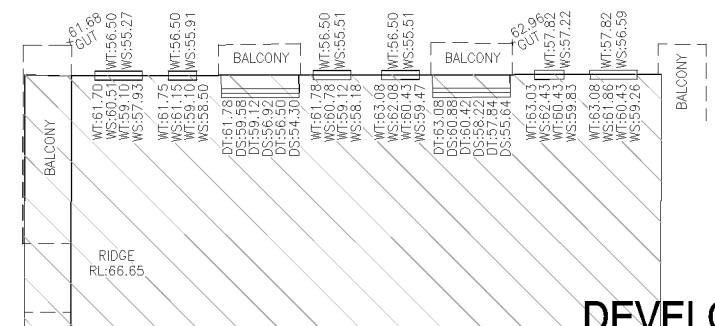
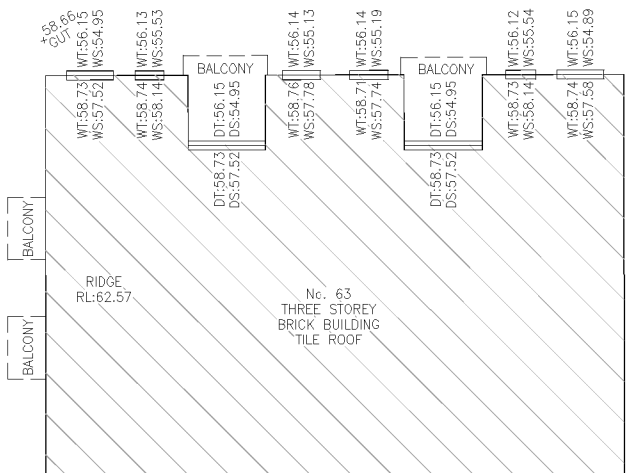
ADJOINING DWELLINGS, BUILDINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY.

CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

CONTOUR INTERVALS 0.2m.

AE380410 RESTRICTION ON THE USE OF LAND

AE380411 EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE AFFECTING THE PART DESIGNATED (A) IN PLAN WITH AE380411



- LEGEND**
- WATER METER
 - BENCH MARK
 - COMMUNICATION PIT
 - POWER POLE
 - SEWER MANHOLE
 - ELECTRICITY POWER LINE
 - GUT : TOP OF GUTTER

S:3 (SPREAD)
D:0.3 (DIAMETER)
H:1.0 (HEIGHT)

DEVELOPMENT APPLICATION

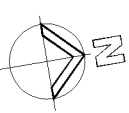
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


Drawing Title
SURVEY PLAN

Scale 1:125 (A1)/1:250 (A3)	Date FEB 2017
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 **PARK AVENUE STREETScape**

 POSSIBLE ENVELOPE OF FUTURE DEVELOPMENT WITHIN R4 ZONE

DEVELOPMENT APPLICATION -

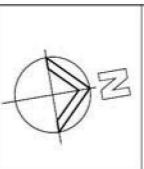
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Drawing Title
STREETSCAPE

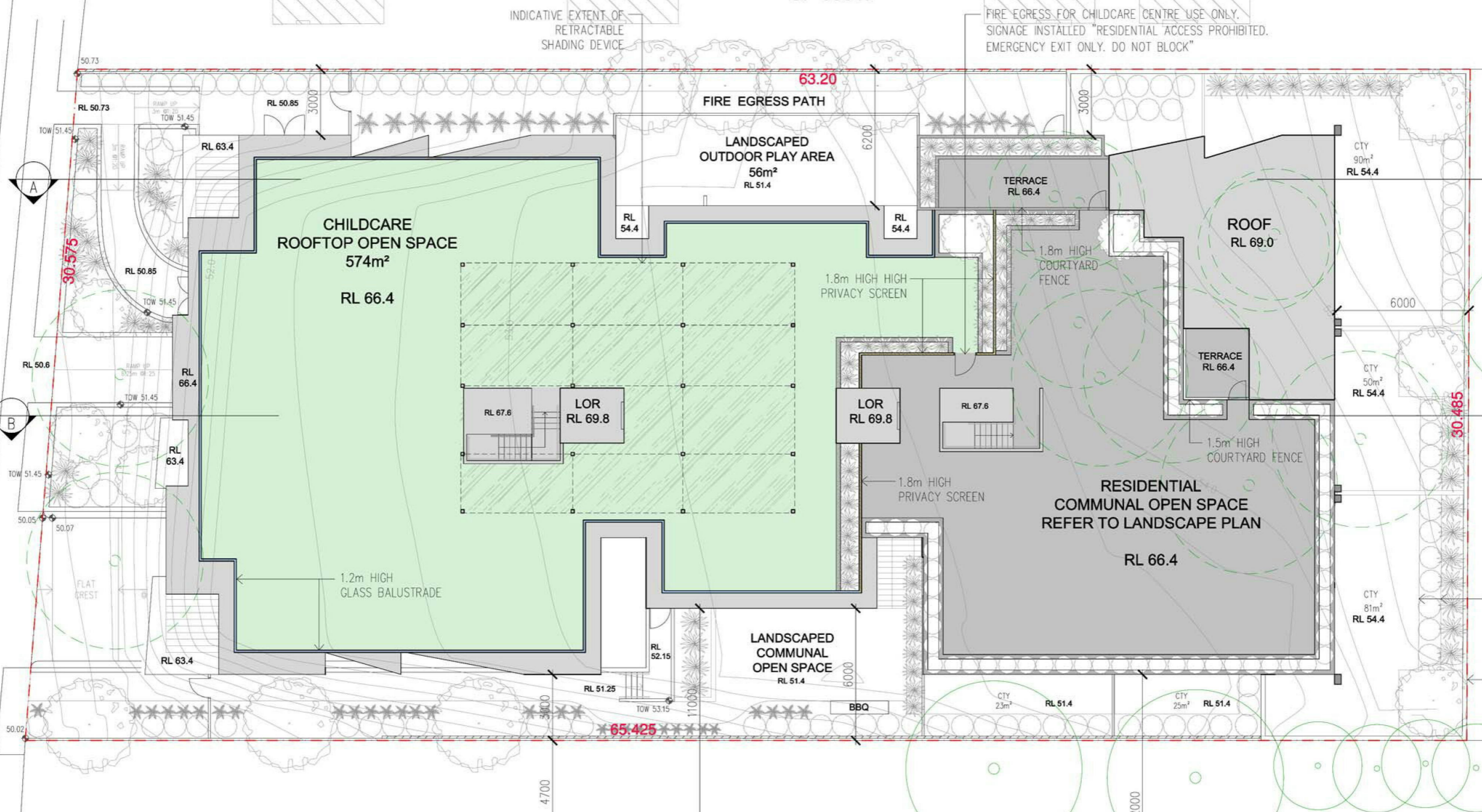
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PARK AVENUE

SP 58847

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SITE PLAN

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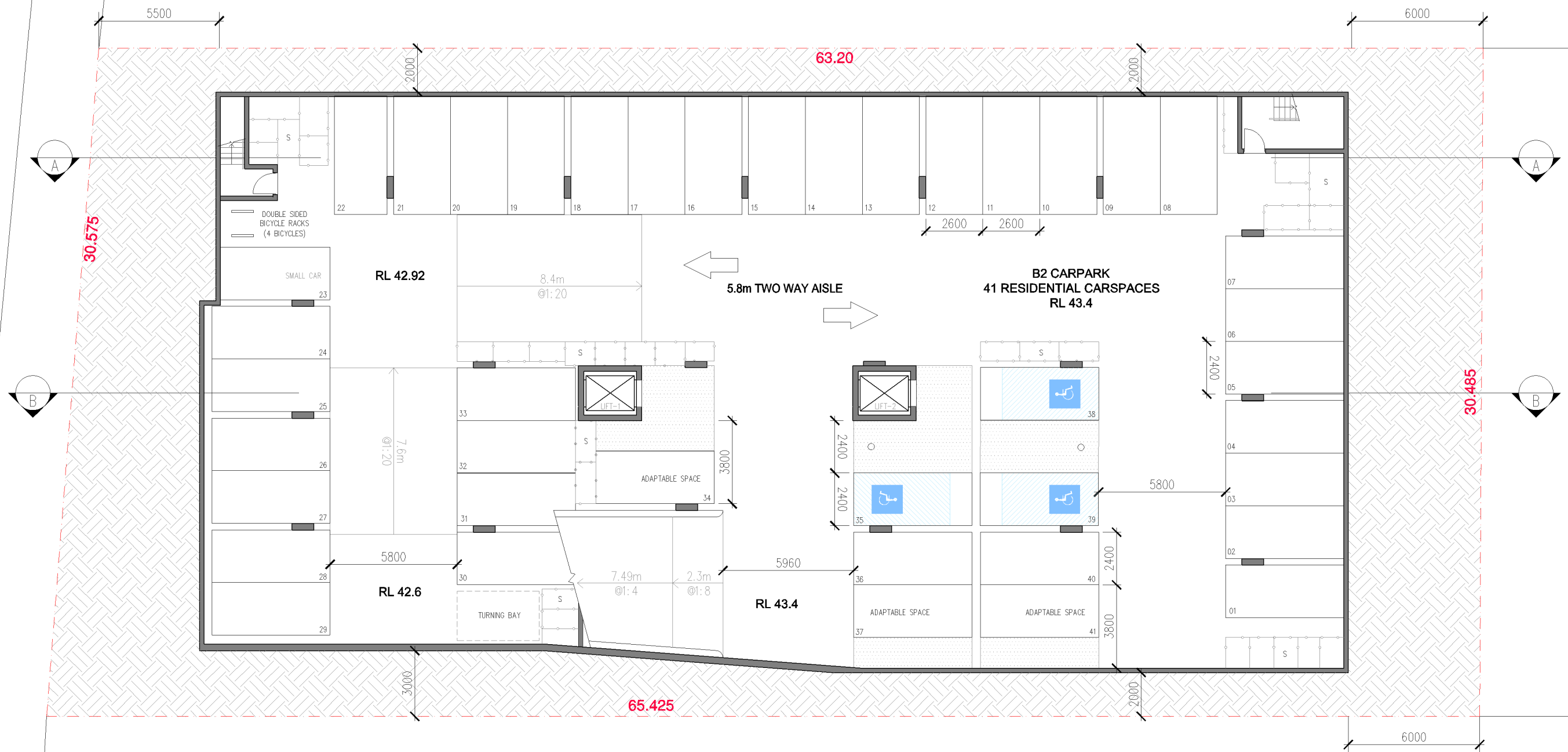
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SITE PLAN		1:100 (A1)/1:200(A3)	FEB 2017
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PARK AVENUE



BASEMENT 2 PLAN

50 UNITS RESIDENTIAL PARKING*	REQUIRED	PROVIDED
STUDIO (1 x 0)	0	0
1B (3 x 0.6)	1.8	2
2B (44 x 0.9)	39.6	40
3B (2 x 1.4)	2.8	3
1 VISITOR SPACE PER 5 UNITS	10.0	10
TOTAL	54.2	55

90 PLACE CHILDCARE PARKING	REQUIRED	PROVIDED
1 visitor space per 10 children	9	9 (shared with residential visitor on B1)
1 staff space per employee	11	11
- 20 x 2-3 year olds; 1:5 staff ratio = 4 employees		
- 70 x 3-5 year olds; 1:10 staff ratio = 7 employees		
TOTAL	20	20

*Calculations based on minimum car parking requirements for residents and visitors set out in the RMS's Guide to Traffic Generating Developments for sites located within 800m of railway station (refer to ADG Objective 3J-1)

DEVELOPMENT APPLICATION -

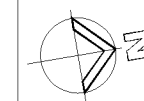
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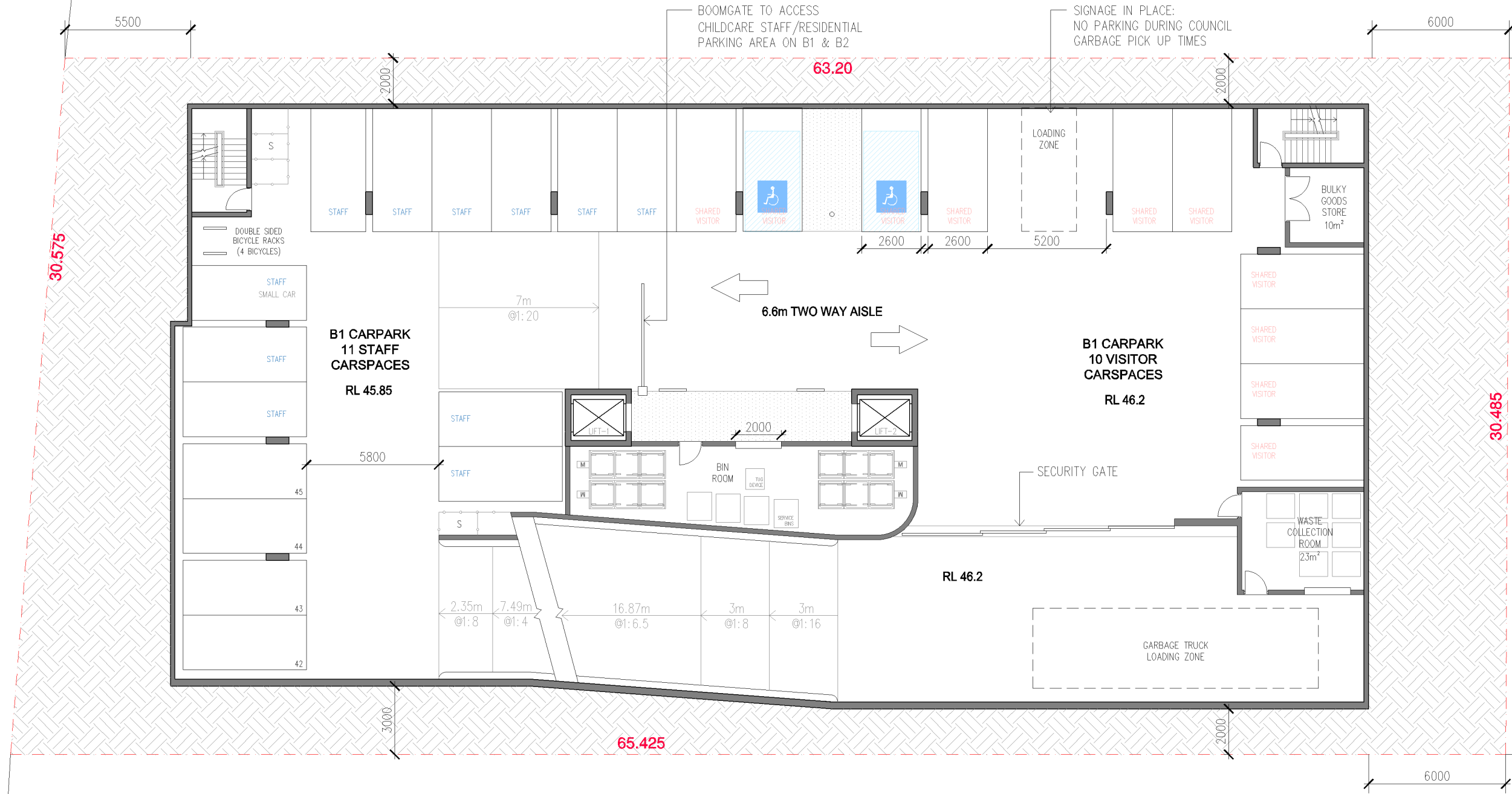


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BASEMENT 2 PLAN

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PARK AVENUE

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BASEMENT 1 PLAN

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LEGEND

- A PORTALS: RENDER & PAINT
DULUX COLOUR 'PEPLUM QUARTER'
- B POWDERCOATED METAL BATTENS -
TIMBER FINISH
- C RENDER & PAINT -
DULUX COLOUR 'TIMELESS GREY'
- D 'L' ANGLE
DULUX POWDERCOAT METAL
NEW HAMMERSLEY BROWN
- E CLEAR GLASS BALUSTRADE
- F VERTICAL BALUSTERS ' DULUX POWDERCOAT BLACK
- G PERGOLA
- H RENDER & PAINT ENTRY FEATURE
DULUX COLOUR 'JUBILATION'
- J ROOF - DULUX POWDERCOAT 'WOODLAND GREY'
- K RENDER & PAINT
DULUX COLOUR 'STEPNEY'
- L RENDER & PAINT
DULUX COLOUR 'PEPLUM HALF'

SOUTH ELEVATION AND MATERIALS & FINISHES

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**SOUTH ELEVATION AND
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EAST ELEVATION AND MATERIALS & FINISHES

- LEGEND**
- A PORTALS: RENDER & PAINT
DULUX COLOUR 'PEPLUM QUARTER'
 - B POWERCOATED METAL BATTENS -
TIMBER FINISH
 - C RENDER & PAINT -
DULUX COLOUR 'TIMELESS GREY'
 - D 'L' ANGLE
DULUX POWDERCOAT METAL
NEW HAMMERSLEY BROWN
 - E CLEAR GLASS BALUSTRADE
 - F VERTICAL BALUSTERS ' DULUX POWDERCOAT BLACK
 - G PERGOLA
 - H RENDER & PAINT ENTRY FEATURE
DULUX COLOUR 'JUBILATION'
 - J ROOF - DULUX POWDERCOAT 'WOODLAND GREY'
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WEST ELEVATION AND MATERIALS & FINISHES

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LEGEND

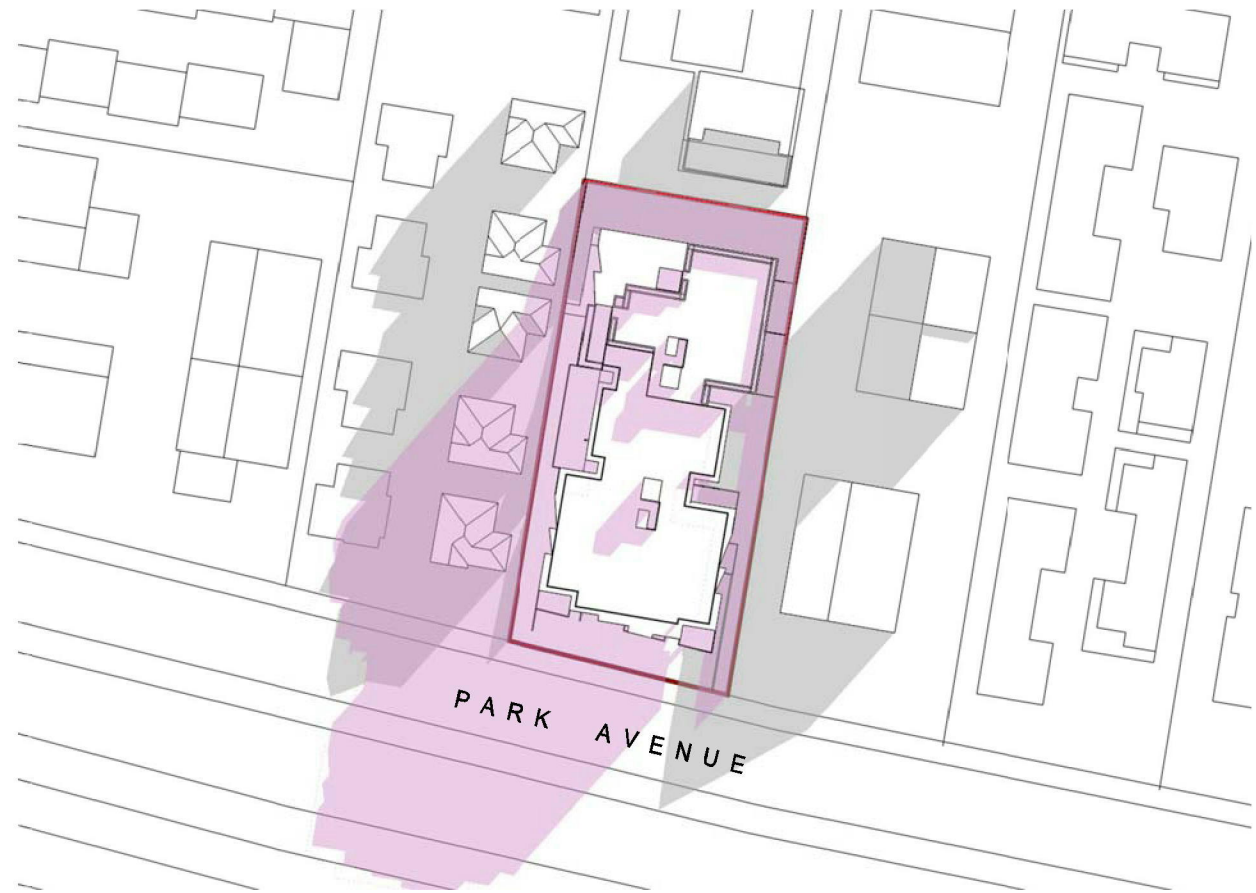
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DULUX COLOUR 'PEPLUM HALF'

NORTH ELEVATION AND MATERIALS & FINISHES

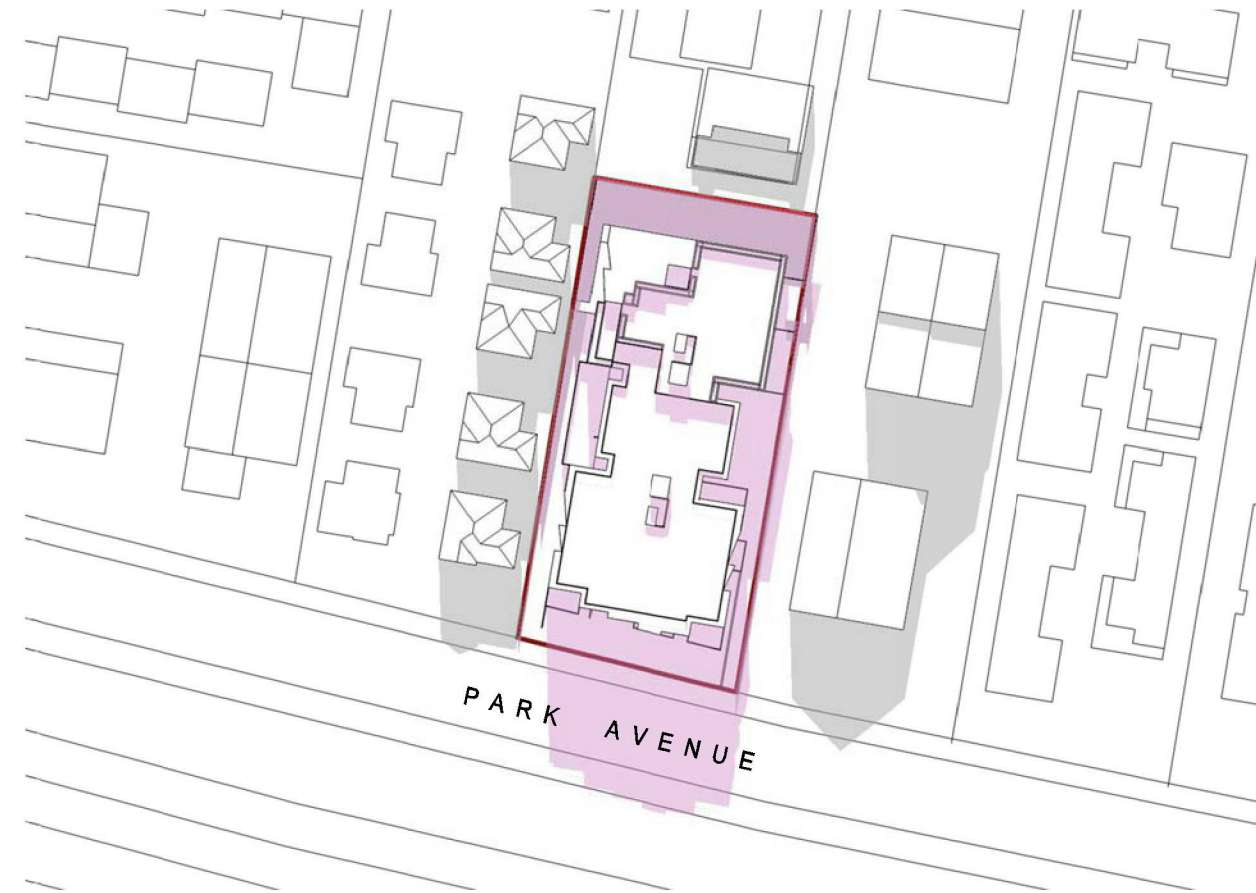
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21ST JUNE @ 9AM



21ST JUNE @ 12PM



21ST JUNE @ 3PM

SHADOW OF PROPOSED DEVELOPMENT
 EXISTING SHADOWS
 SUBJECT SITE

DEVELOPMENT APPLICATION -

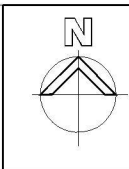
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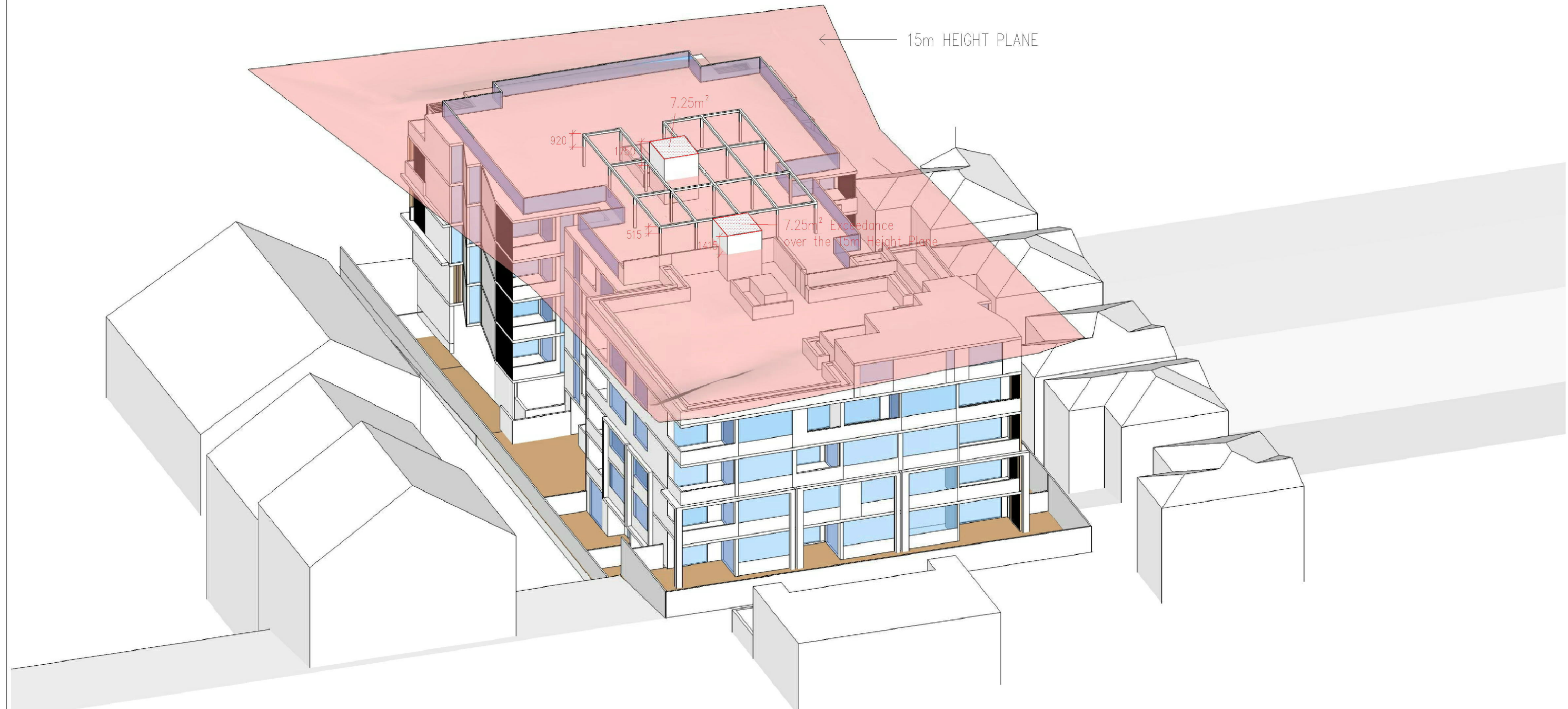
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 Verify all dimensions on site.
 Report any discrepancies in documents to
 Architect

Address
**71 Park Avenue
 Kingswood NSW 2747**



Drawing Title
**SHADOW DIAGRAMS
 21ST JUNE**

Scale	N/A	Date	FEB 2017
Drawn by	LN	Check by	S.B
Drawing No.	DA-061	Revision	-
Cad file path. <small>771 Park Avenue, Kingswood DA Council Cad Drawings</small>			



DEVELOPMENT APPLICATION -

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	PAM CORNERSTONE P/L	STEPHEN BOWERS ARCHITECTS planning, urban design, landscape architecture, architecture, interior design ABN 64 087 958 423 SUITE 91, 24-32 PIRRAMA ROAD PYRMONT NSW 2009 TEL (612) 9029 7286 EMAIL: admin@stephenbowersarchitects.com stephen.bowers@stephenbowersarchitects.com REGISTERED ARCHITECT - STEPHEN BOWERS (5810)	© STEPHEN BOWERS ARCHITECTS This drawing is protected by copyright. Reproduction or publication of the whole or part of the drawing without a license of the owner of the copyright is an infringement of copyright. Do not scale drawings. Verify all dimensions on site. Report any discrepancies in documents to Architect.	Address 71 Park Avenue Kingswood NSW 2747		Drawing Title HEIGHT PLANE DIAGRAM	Scale	NA	Date	FEB 2017	
													Drawn by	LN	Check by	S.B
													Drawing No.	DA - 081	Revision	-
													Cad file path.	<small>771 Park Avenue, Kingswood DA Council/Cad Drawings</small>		

71 PARK AVENUE KINGSWOOD - UNIT MIX SCHEDULE									
LEVEL	Nett Area (m2)	G	L1	L2	L3	L4	SUBTOTAL		PERCENTAGE
STUDIO	41m ²	1	-	-	-	-	1	1	2%
1B	50m ²	1	2	-	-	-	3	3	6%
2B	71m ²	-	-	-	-	1	1	44	88%
2B	75 - 83m ²	2	10	11	11	9	43		
3B	95m ²	-	-	-	-	2	2	2	4%
TOTAL		4	12	11	11	12	50	50	100%

LANDSCAPED AREA	
Penrith DCP - The minimum amount of landscaped area to be provided on a site shall be 35% of the site area.	
SITE AREA	1960.4 m ²
LEVEL	LANDSCAPED AREA
GROUND LEVEL	483.1 m ²
LEVEL 1	231.6 m ²
LEVEL 5	925.0 m ²
TOTAL	1639.7 m ²
% LANDSCAPE AREA	83.6%

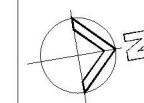
DEEP SOIL AREA	
Residential Flat Building; Apartment Design Guide 2015 Deep soil zones are to meet the following minimum requirement: 7% of the site area for sites greater than 1500m ² with 6m minimum dimension.	
SITE AREA	1960.4 m ²
LEVEL	DEEP SOIL AREA
GROUND LEVEL	185.2 m ²
TOTAL	185.2 m ²
% DEEP SOIL	9.4%

COMMUNAL OPEN SPACE	
Residential Flat Building; Apartment Design Guide 2015 Communal open space has a minimum area equal to 25% of the site.	
SITE AREA	1960.4 m ²
LEVEL	COMMUNAL OPEN SPACE
GROUND LEVEL	177.5 m ²
LEVEL 5 (ROOF TOP)	317.0 m ²
TOTAL	494.5 m ²
% COMMUNAL OPEN SPACE	25.2 %

Level	Unit No.	Bedroom	Nett Area (m ²)	Bal/ Cty (m ²)	Min Internal Storage (m ³)	Min External Storage (m ³)	Adaptability	Solar Access (2hr between 9am - 3pm on winter solstice)	Cross Ventilation	
GF	1	STUDIO	41	10	2	2				
	2	1B	50	15	3	3	✓			
	3	2B	75	23	4	4			✓	
	4	2B	79	25	4	4				
L1	5	2B	76	10	4	4		✓	✓	
	6	2B	75	90	4	4		✓		
	7	2B/2S	83	50	4	4		✓		
	8	2B	76	81	4	4		✓	✓	
	9	2B	75	10	4	4		✓	✓	
	10	2B	75	10	4	4			✓	
	11	2B	75	10	4	4		✓	✓	
	12	2B	76	10	4	4		✓		
	13	1B	50	8	3	3		✓	✓	
	14	1B	50	8	3	3			✓	
	15	2B	76	10	4	4		✓	✓	
	16	2B	75	10	4	4	✓		✓	
	L2	17	2B	76	10	4	4		✓	✓
18		2B	75	10	4	4		✓		
19		2B	76	10	4	4		✓	✓	
20		2B	75	10	4	4		✓	✓	
21		2B	75	10	4	4			✓	
22		2B	75	10	4	4		✓	✓	
23		2B	76	10	4	4		✓		
24		2B	80	10	4	4		✓	✓	
25		2B/2S	81	10	4	4				
26		2B	76	10	4	4		✓	✓	
27		2B	75	10	4	4	✓	✓	✓	
L3	28	2B	76	10	4	4		✓	✓	
	29	2B	75	10	4	4		✓		
	30	2B/2S	77	10	4	4		✓		
	31	2B	75	10	4	4		✓	✓	
	32	2B	75	10	4	4		✓	✓	
	33	2B	75	10	4	4			✓	
	34	2B	75	10	4	4		✓	✓	
	35	2B	76	10	4	4		✓		
	36	2B	80	12	4	4		✓	✓	
	37	2B	76	11	4	4		✓	✓	
	38	2B	75	10	4	4	✓	✓	✓	
L4	39	2B	76	10	4	4		✓	✓	
	40	2B/2S	71	26	4	4		✓		
	41	3B/2S	95	17	5	5		✓		
	42	3B	95	14	5	5		✓	✓	
	43	2B	75	10	4	4		✓	✓	
	44	2B	75	10	4	4		✓	✓	
	45	2B	75	10	4	4		✓	✓	
	46	2B	76	10	4	4		✓		
	47	2B	80	12	4	4		✓	✓	
	48	2B/2S	75	10	4	4			✓	
	49	2B	76	10	4	4		✓	✓	
	50	2B	75	10	4	4	✓	✓	✓	
NO. OF UNITS :								5	39	33
% REQUIRED :								10%	70%	60%
% PROVIDED :								10%	78%	66%
COMPLIANCE ACHIEVED :								✓	✓	✓

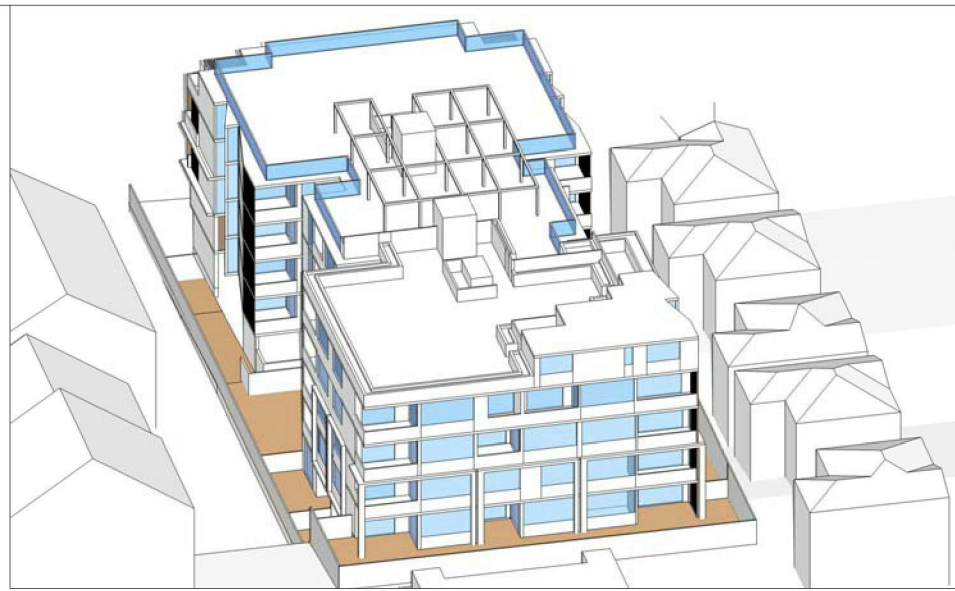
DEVELOPMENT APPLICATION

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	STEPHEN BOWERS ARCHITECTS		Address	Drawing Title	Scale	NTS	Date
-	ISSUE FOR DEVELOPMENT APPLICATION	FEB 2017				STEPHEN BOWERS ARCHITECTS planning, urban design, landscape architecture, architecture, interior design ABN 44 087 958 423 SUITE 91, 24-32 PIRRAMA ROAD PYRMONT NSW 2009 TEL (612) 9029 7286 EMAIL: admin@stephenbowersarchitects.com stephen.bowers@stephenbowersarchitects.com REGISTERED ARCHITECT - STEPHEN BOWERS (5810)		71 Park Avenue Kingswood NSW 2747	SEPP 65 COMPLIANCE TABLES & UNIT SCHEDULE	Drawn by LN Drawing No. DA - 82 Cad file path.	Date FEB 2017 Check by S.B Revision -	

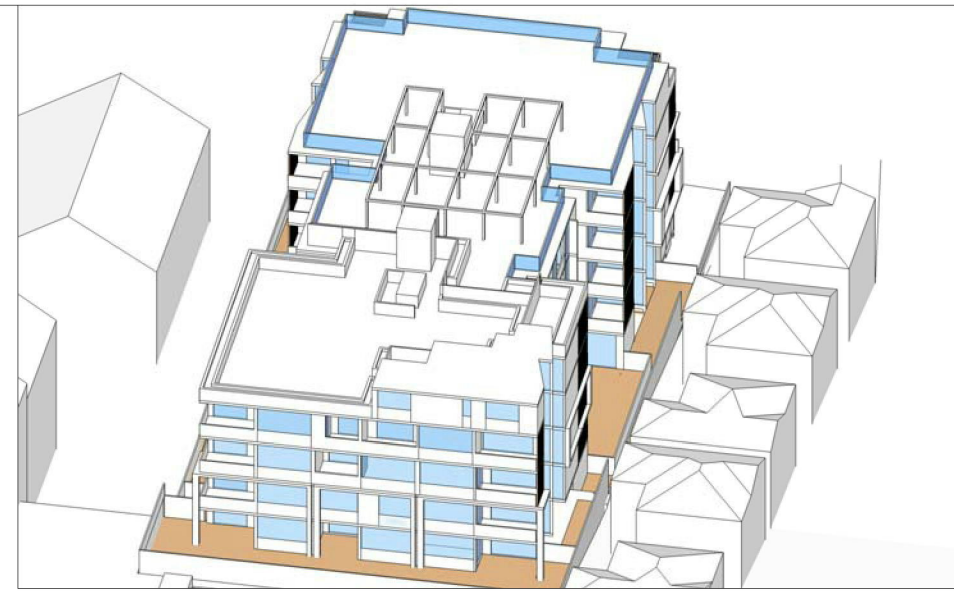




09.00



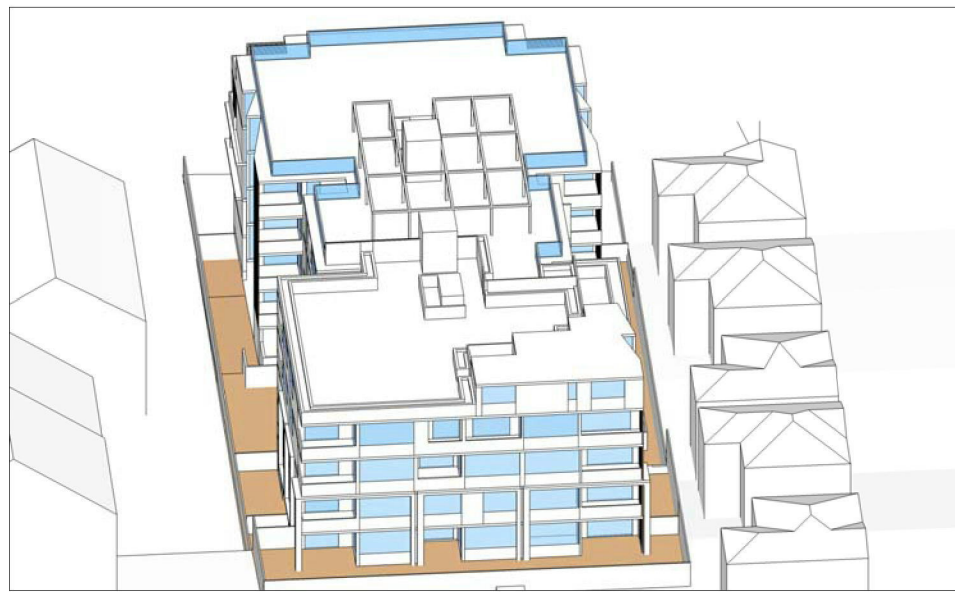
10.30



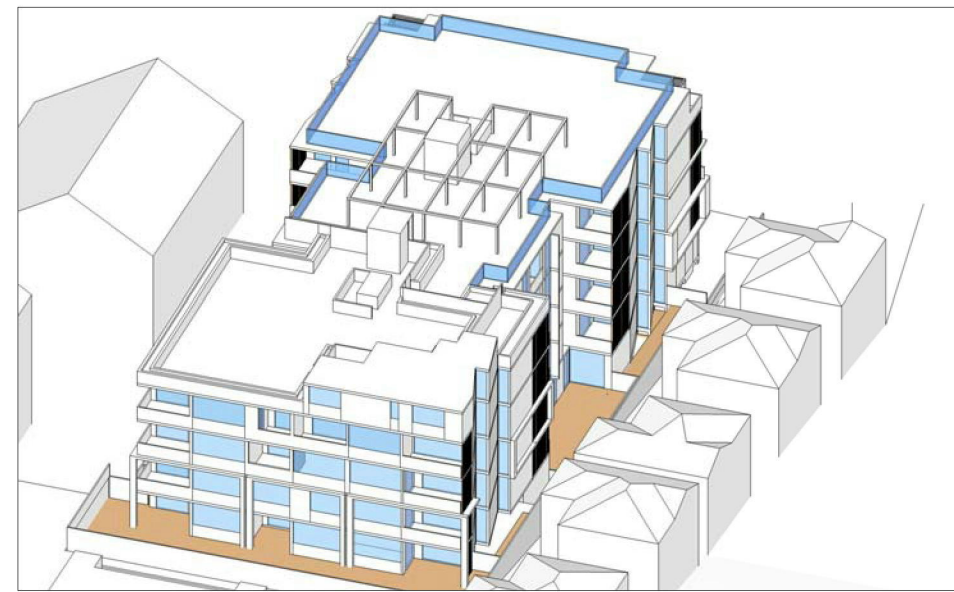
12.00



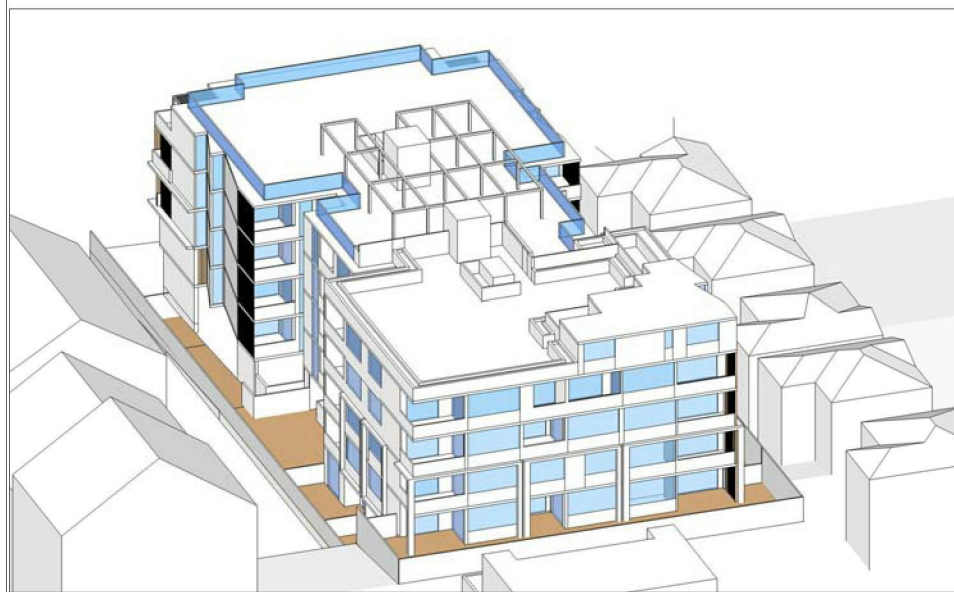
09.30



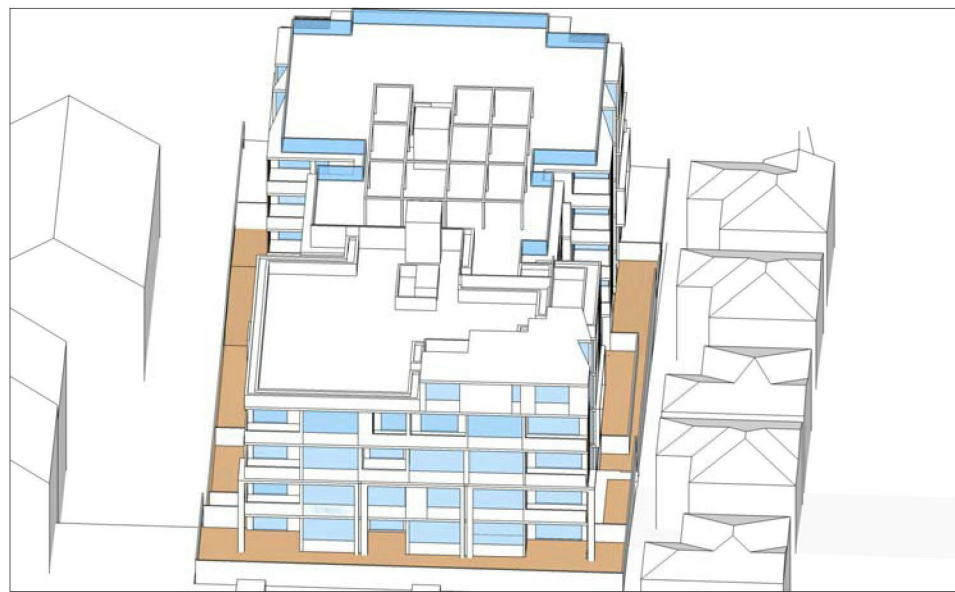
11.00



12.30



10.00



11.30

DEVELOPMENT APPLICATION -

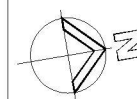
REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE
-	ISSUE FOR DEVELOPMENT APPLICATION	FEB 2017			

PAM CORNERSTONE P/L

STEPHEN BOWERS ARCHITECTS
 planning, urban design, landscape architecture, architecture, interior design
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 PYRMONT NSW 2009
 TEL (612) 9029 7286
 EMAIL: admin@stephenbowersarchitects.com
 stephen.bowers@stephenbowersarchitects.com
 REGISTERED ARCHITECT - STEPHEN BOWERS (5810)

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Address
**71 Park Avenue
 Kingswood NSW 2747**



Drawing Title
**SOLAR ACCESS DIAGRAMS
 (21ST JUNE 9AM - 12:30PM)**

Scale	NA	Date	FEB 2017
Drawn by	LN	Check by	S.B
Drawing No.	DA - 091	Revision	-
Cad file path. <small>2/71 Park Avenue, Kingswood/DA Council/Cad Drawings</small>			



13.00



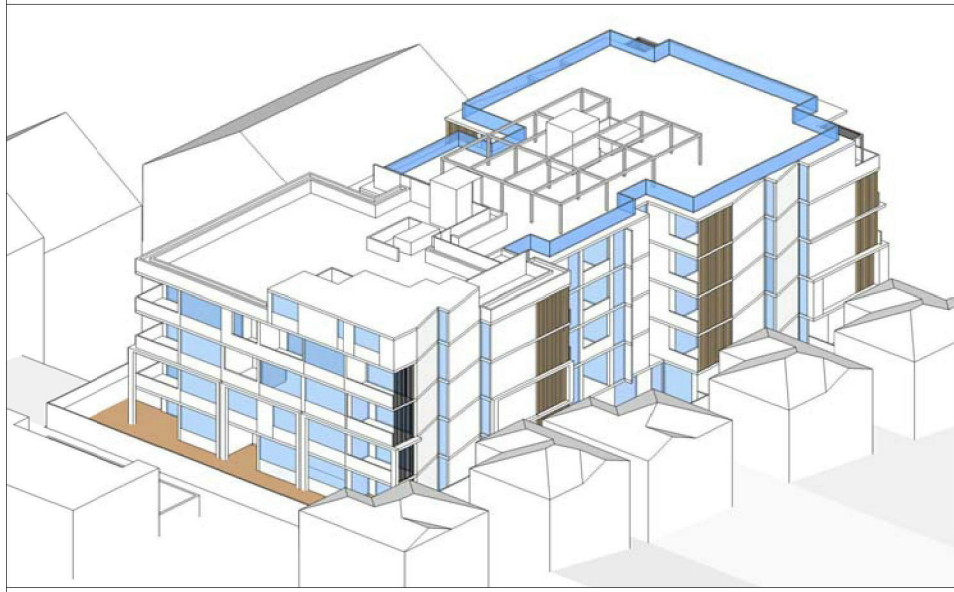
14.30



13.30



15.00



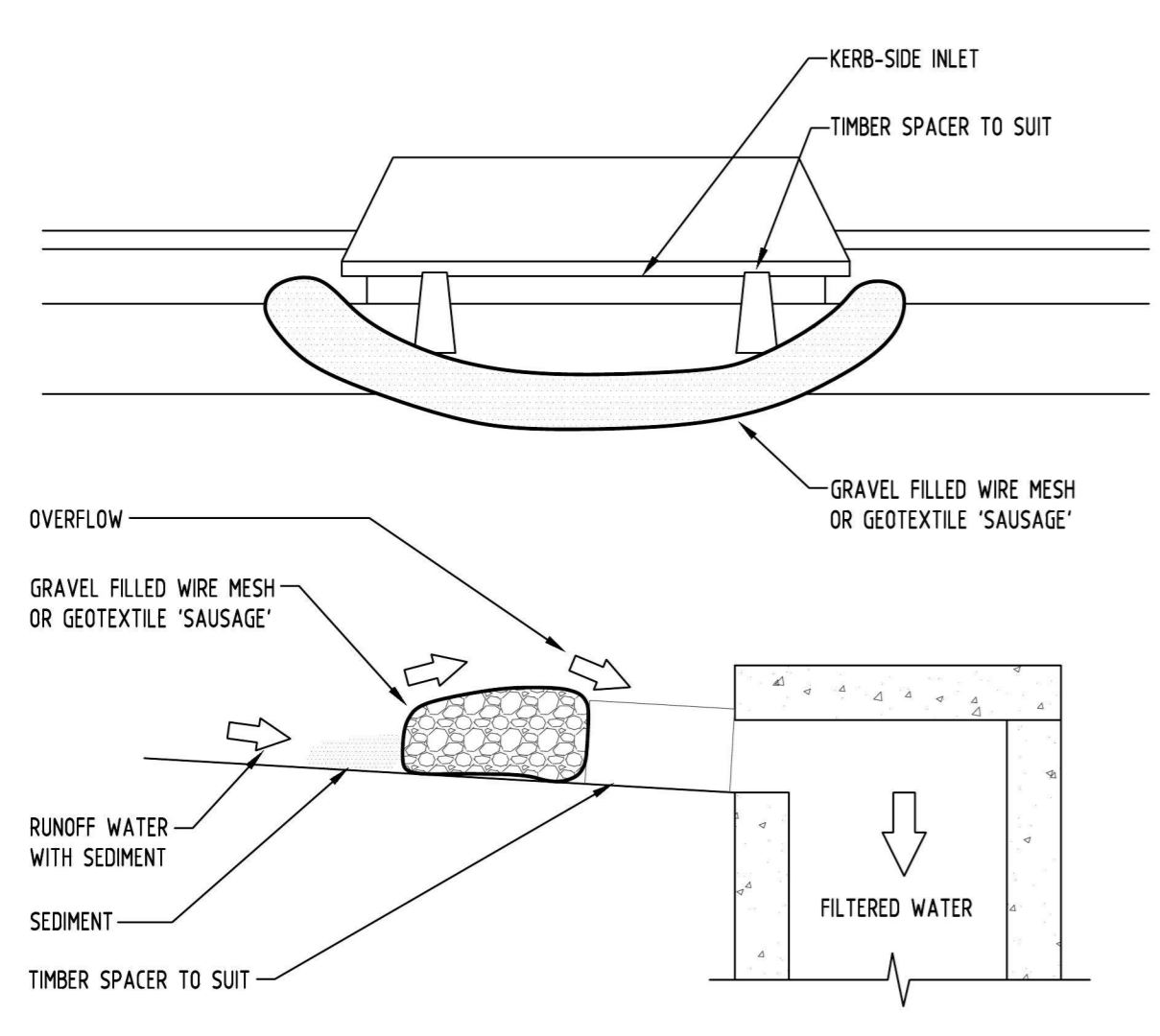
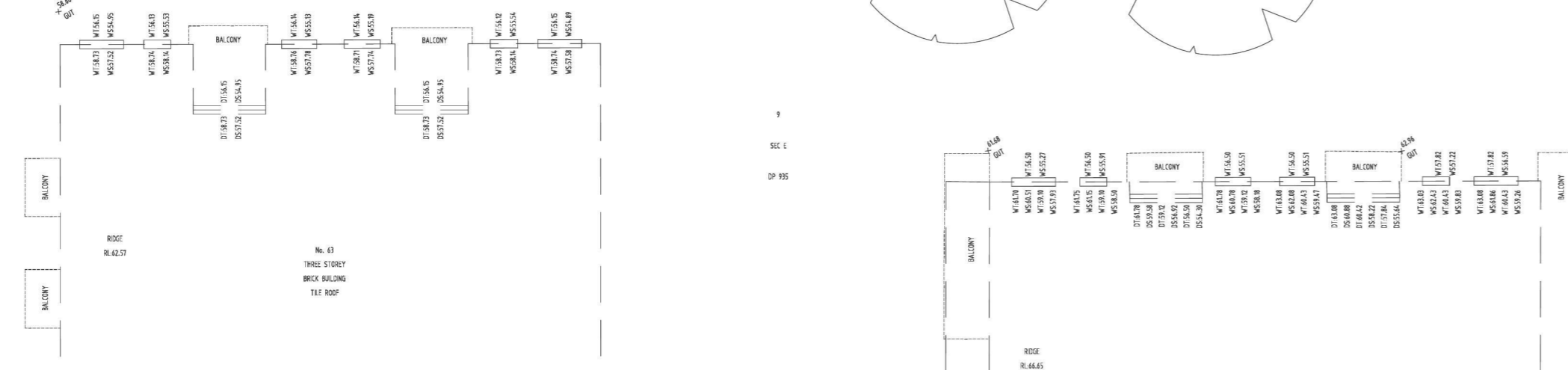
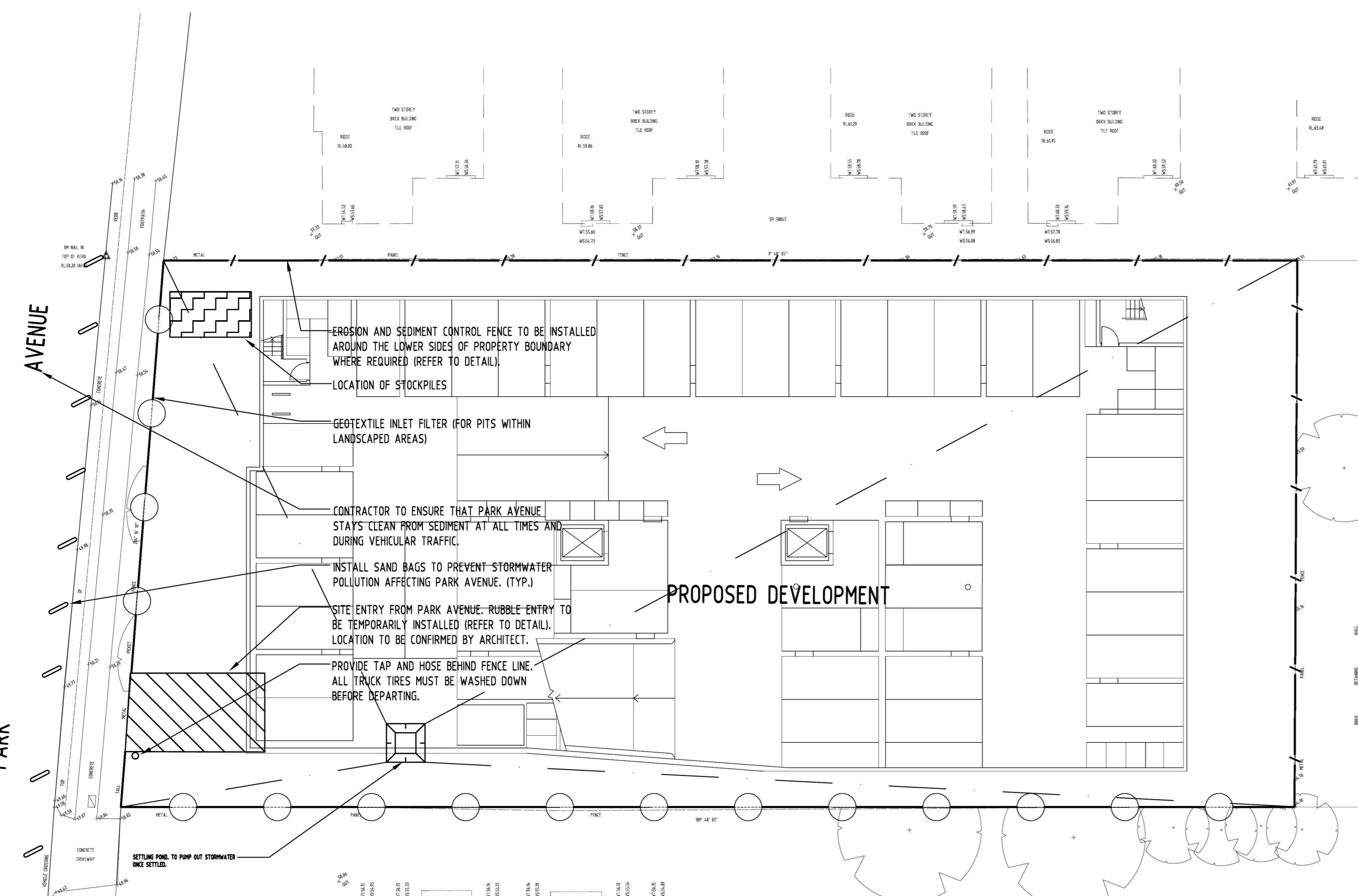
14.00

		SOLAR ACCESS SCHEDULE										SOLAR ACCESS TOTAL HOURS(HRS)													
		AM					PM																		
LEVEL	UNIT NO.	9.00-9.30	9.30-10.00	10.00-10.30	10.30-11.00	11.00-11.30	11.30-12.00	12.00-12.30	1.00-1.30	1.30-2.00	2.00-2.30	2.30-3.00	0	0.5	1	1.5	2	2.5	3	3.5	4	4.5	5	5.5	6
GF	1												✓												
	2												✓												
	3	•											✓												
	4												✓												
	5								•	•	•	•					✓								
L1	6	•	•	•	•	•	•	•	•	•	•													✓	
	7	•	•	•	•	•	•	•	•	•	•														✓
	8	•	•	•	•	•	•	•	•	•	•														✓
	9	•	•	•	•	•	•	•	•	•	•														
	10	•											✓												
	11								•	•	•	•					✓								
	12	•	•	•	•	•	•	•	•	•	•	•					✓								
	13	•	•	•	•	•	•	•	•	•	•	•					✓								
	14																✓								
	15								•	•	•	•								✓					
L2	16							•	•	•	•					✓									
	17								•	•	•	•							✓						
	18	•	•	•	•	•	•	•	•	•	•														✓
	19	•	•	•	•	•	•	•	•	•	•														✓
	20	•	•	•	•	•	•	•	•	•	•														✓
	21	•											✓												
	22									•	•	•	•					✓							
	23	•	•	•	•	•	•	•	•	•	•	•							✓						
	24	•	•	•	•	•	•	•	•	•	•	•													
	25																✓								
L3	26								•	•	•	•								✓					
	27								•	•	•	•									✓				
	28									•	•	•	•								✓				
	29	•	•	•	•	•	•	•	•	•	•	•													✓
	30	•	•	•	•	•	•	•	•	•	•	•													✓
	31	•	•	•	•	•	•	•	•	•	•	•													✓
	32	•	•	•	•	•	•	•	•	•	•	•													✓
	33	•															✓								
	34									•	•	•	•									✓			
	35	•	•	•	•	•	•	•	•	•	•	•													✓
L4	36	•	•	•	•	•	•	•	•	•	•														✓
	37									•	•	•	•												✓
	38									•	•	•	•									✓			
	39										•	•	•	•											✓
	40	•	•	•	•	•	•	•	•	•	•	•													✓
	41	•	•	•	•	•	•	•	•	•	•	•													✓
	42	•	•	•	•	•	•	•	•	•	•	•													✓
	43	•	•	•	•	•	•	•	•	•	•	•													✓
	44	•	•	•	•	•	•	•	•	•	•	•													✓
	45										•	•	•	•											✓
46	•	•	•	•	•	•	•	•	•	•	•													✓	
47	•	•	•	•	•	•	•	•	•	•	•													✓	
48																								✓	
49																								✓	
50										•	•	•	•											✓	
												6	4	0	1	15	5	7	1	0	0	0	1	10	
Number of units												11			39										
												< 2 HRS			2 HRS OR MORE										
% of units receiving solar												22.0%			78.0%										

NOTE: Apartment Design Guide 2015
 4A.5 - At least 70% of all apartments in a building should receive a minimum of 2 hours direct sunlight in mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas, and at least 2 hours direct sunlight elsewhere in NSW

DEVELOPMENT APPLICATION

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	STEPHEN BOWERS ARCHITECTS planning, urban design, landscape architecture, architecture, interior design ABN 44 087 958 423 SUITE 91, 24-32 PIRRAMA ROAD PYRMONT NSW 2009 TEL (612) 9029 7286 EMAIL: admin@stephenbowersarchitects.com stephen.bowers@stephenbowersarchitects.com REGISTERED ARCHITECT - STEPHEN BOWERS (5810)	• STEPHEN BOWERS ARCHITECTS This drawing is protected by copyright. Reproduction or publication of the whole or part of the drawing without a license of the owner of the copyright is an infringement of copyright. Do not scale drawings. Verify all dimensions on site. Report any discrepancies in documents to Architect.	Address 71 Park Avenue Kingswood NSW 2747		Drawing Title SOLAR ACCESS DIAGRAMS (21ST JUNE 1PM - 3PM) & CALCULATION SCHEDULE	Scale	NA	Date	FEB 2017
ISSUE FOR DEVELOPMENT APPLICATION		FEB 2017									Drawn by	LN	Check by	S.B
Cad file path.											2/71 Park Avenue, Kingswood NSW Council Drafting			



GRAVEL INLET FILTER (SAUSAGE)
NOT TO SCALE

CONSTRUCTION NOTES:

FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT

FILL THE SLEEVE WITH 25mm TO 50mm GRAVEL

FORM AN ELLIPTICAL CROSS-SECTION OF THE KERB INLET LEAVING A 100mm GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY

MAINTAIN THE OPENING WITH SPACER BLOCKS

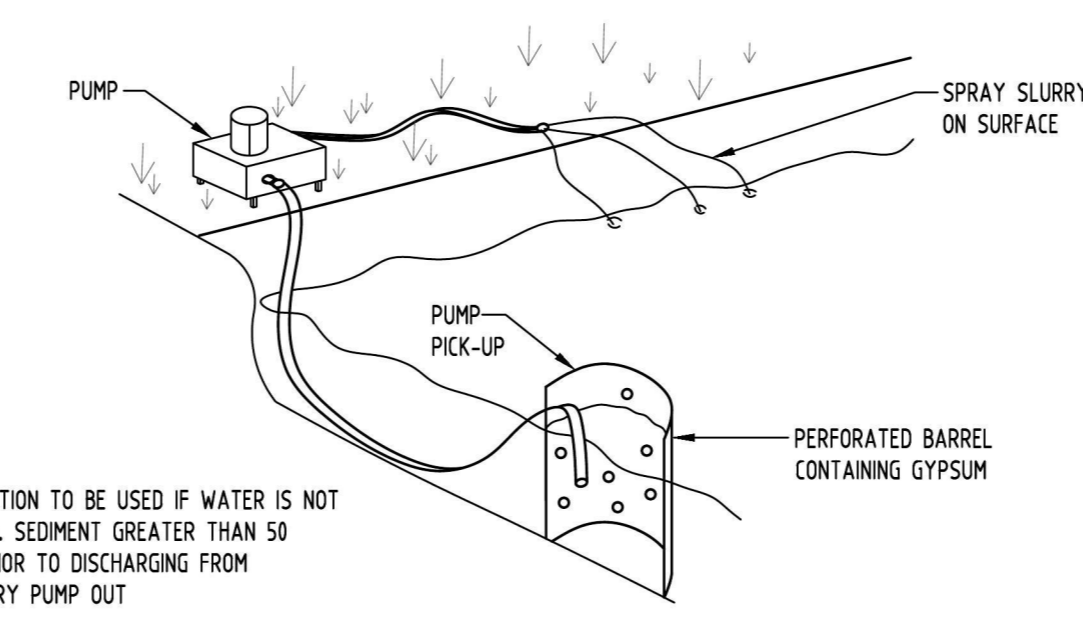
FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER

FIT TO ALL KERB INLETS AT SAG POINTS

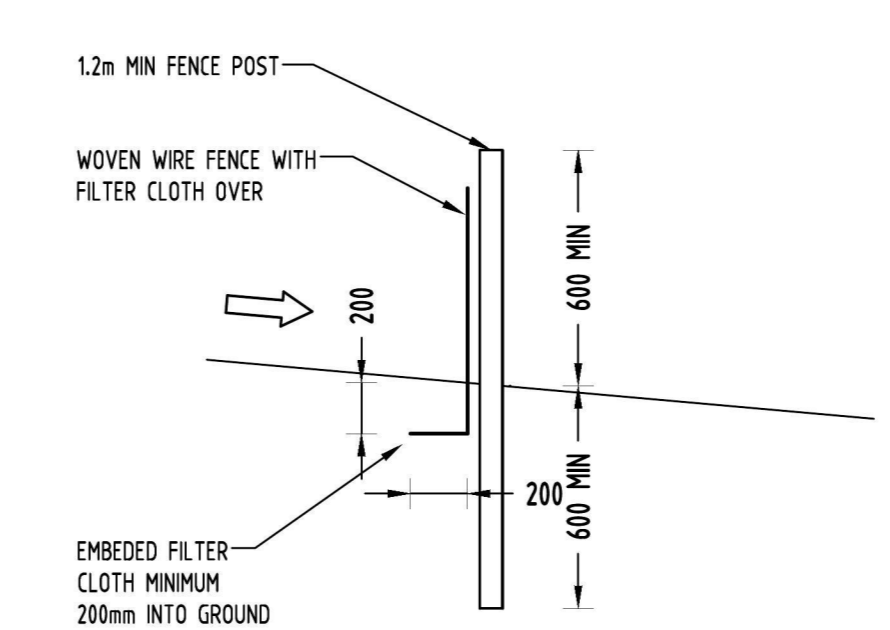
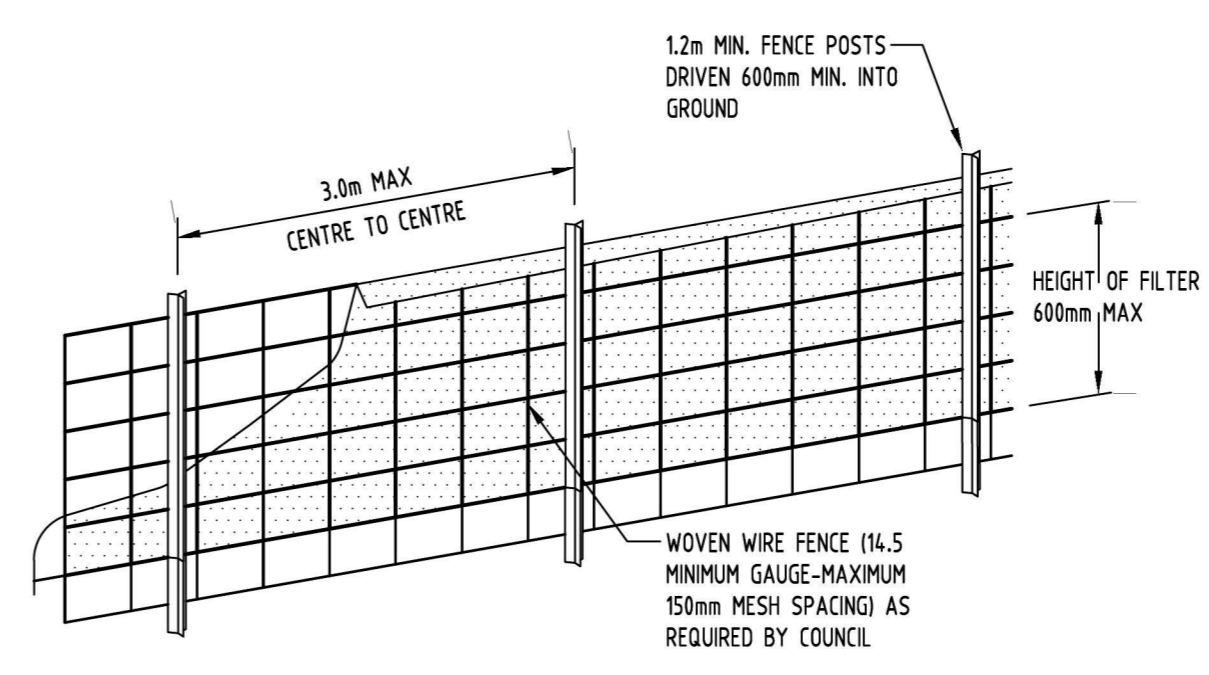
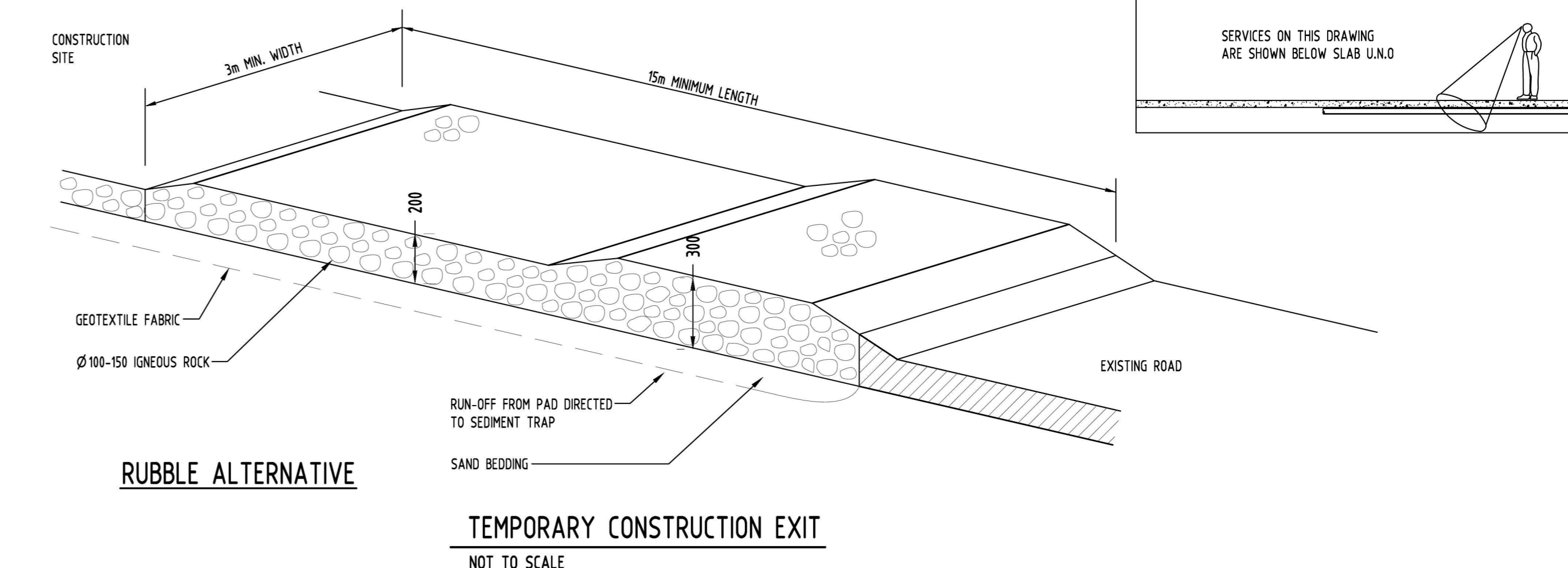
NOTE:

1. FLOCCULATION TO BE USED IF WATER IS NOT CLEAR (ie. SEDIMENT GREATER THAN 50 mg/L) PRIOR TO DISCHARGING FROM TEMPORARY PUMP OUT

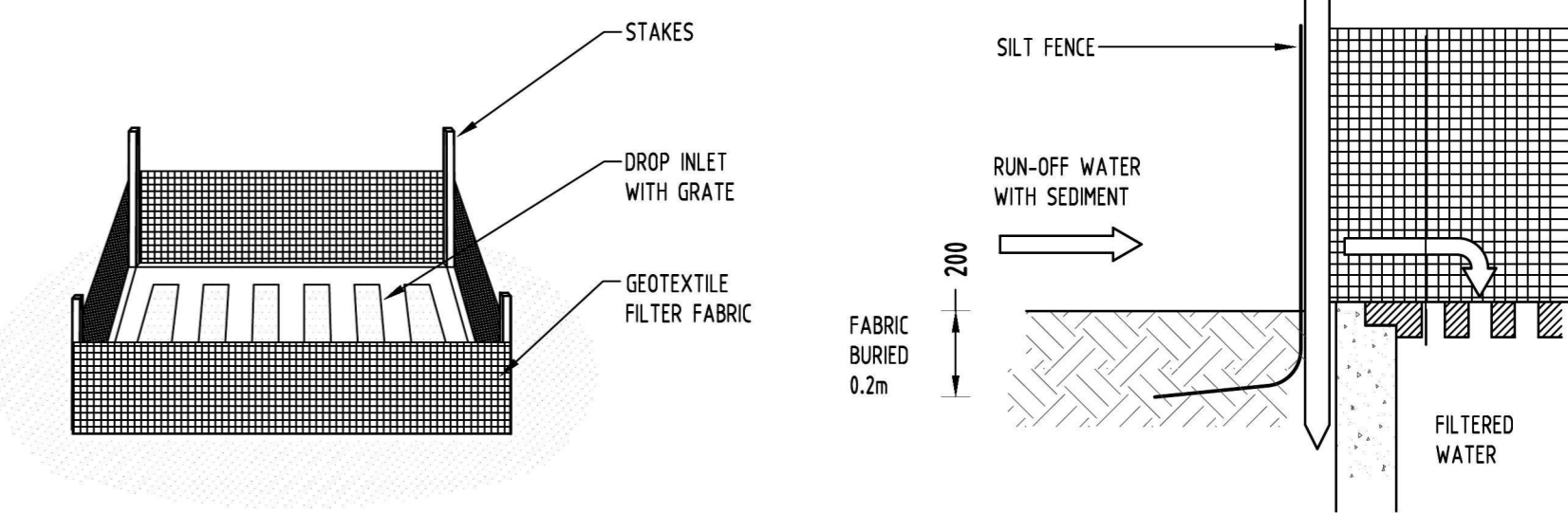
2. FOR RATES & AGENTS SEE APPENDIX E OF NEW SOUTH WALES DEPARTMENT OF HOUSING "MANAGING URBAN STORMWATER SOILS & CONSTRUCTION".



FLOCCULATION DETAIL
NOT TO SCALE



SEDIMENT FENCE
NOT TO SCALE



SUMP SEDIMENT TRAP
NOT TO SCALE

EROSION & SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE OF THE WORKS. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND & EXTENDING 150mm BELOW GROUND.
- EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
- GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

GENERAL NOTES

- THIS PLAN IS A CONCEPT PLAN ONLY FOR STORMWATER DISPOSAL & EROSION CONTROL. IT IS NOT SUITABLE FOR CONSTRUCTION. THIS PLAN SHOULD BE ADAPTED BY THE BUILDER DURING DEMOLITION, EXCAVATION & CONSTRUCTION PHASES TO ENSURE ADEQUATE PERFORMANCE.
- ALL DRAINAGE LAYOUT & DETAILS ARE DIAGRAMMATIC & INDICATIVE ONLY. ACTUAL LOCATION, SIZES, LEVELS & GRADES MAY ALTER WHEN DETAIL DESIGN WORKS ARE DOCUMENTED.

CLAY SOILS

- A SYSTEM SHALL BE INSTALLED TO EITHER:
- TRANSPORT STORMWATER RUNOFF WITH SUSPENDED SOLIDS FROM SITE VIA PUMP TRUCKS.
 - TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS SO THE DISCHARGE WATER QUALITY TO COUNCIL STORMWATER DRAINAGE SYSTEM HAS A MAXIMUM CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 50 MILLIGRAMS PER LITRE IN ACCORDANCE WITH THE PROTECTION OF THE ENVIRONMENT OPERATION ACT (POEO 1997) AND SHALL BE APPROVED BY LOCAL COUNCIL.

Discipline	Drawing Title and Number	Date	Rev.
ARCH	DA-010	23.02.17	#
ARCH			
STRUCT			
MECH			
ELEC			
HYD			
FRS			
LANDS			
CIVIL			
SURVEY			

Discipline	Drawing Title and Number	Date	Rev.
ARCH	DA-010	23.02.17	2
ARCH		21.02.17	1
HYD			
FRS			
LANDS			
CIVIL			
SURVEY			

Issue internal sequence and revision history

1-preliminary
2-development application
3-construction certificate
4-tender
5-construction
6-other

Reference Coordination Drawing

Discipline Drawing Title and Number Date Rev.

QUALITY CONTROL

DRAWN DATE

CHECKED DATE

APPROVED DATE

SELH 15.12.16

MIEAUST CPENG

NPER 3 CIVIL 2247040

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Scale

0m 2 4 6 8 10

SCALE 1:200 ON ORIGINAL SIZE

CLIENT
PAM CORNERSTONE P/L

ARCHITECT
STEPHEN BOWERS ARCHITECTS

SGC
Engineering Value

Unit 412, Level 4,
14-16 LEXINGTON DRIVE
BELLA VISTA, NSW 2153
T: +61 2 8883 4239
F: +61 2 9672 6977
Email: office@sgce.com.au
Web: www.sgce.com.au

PROJECT
PROPOSED MIX-USED DEVELOPMENT
71 PARK AVENUE, KINGSWOOD

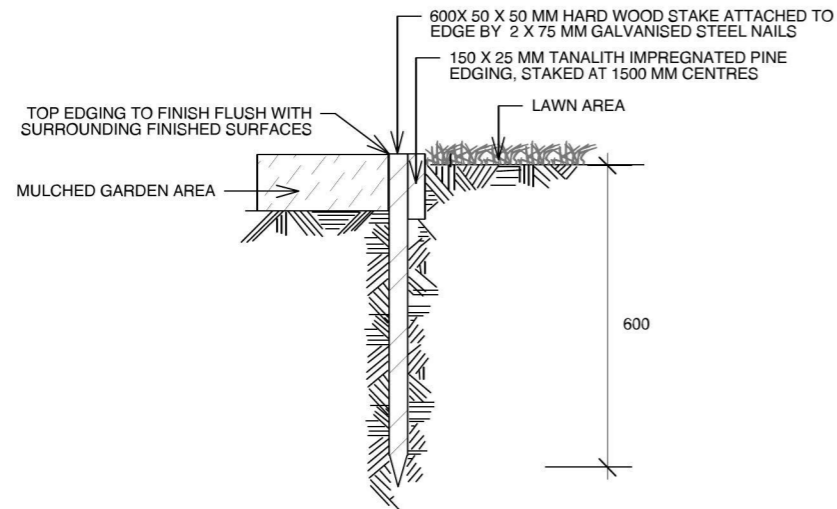
Drawing Status
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Drawing Title
EROSION AND SEDIMENT CONTROL PLAN AND DETAILS

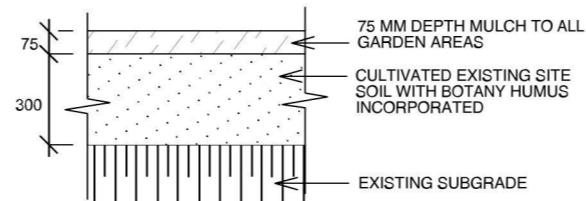
Project No
20160414

Drawing No
SW05

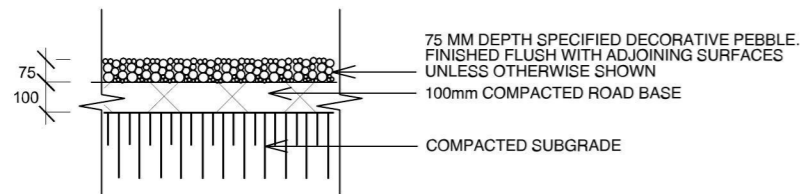
Revision No
A



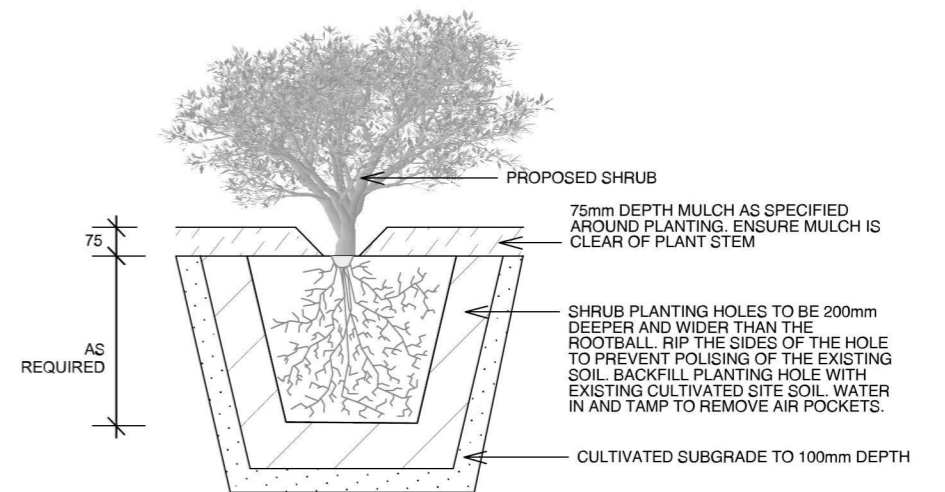
TYPICAL TIMBER EDGE DETAIL
SCALE 1:10
DO NOT SCALE



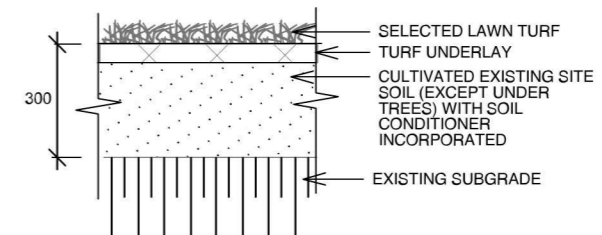
SOIL TO GARDEN AREAS
SCALE 1:20



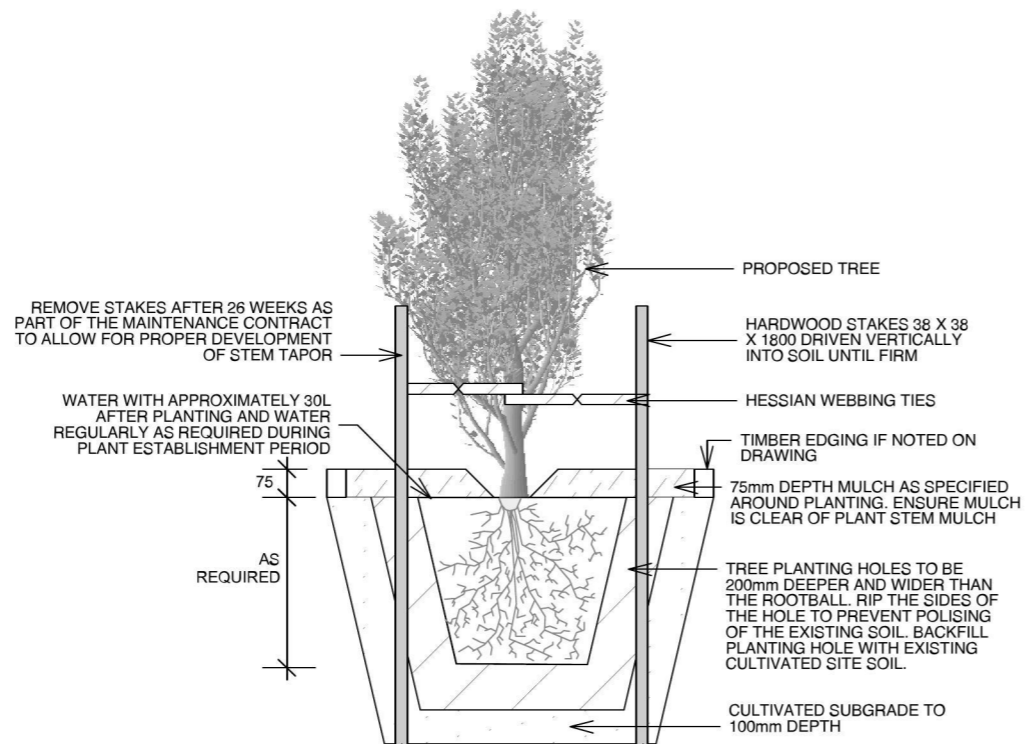
PEBBLE PATHWAY
SCALE 1:10



PLANTING DETAIL
SCALE 1:20



TYPICAL TURF DETAIL
SCALE 1:20



TREE PLANTING & STAKING DETAIL
SCALE 1:20

- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 2. All detailing of drainage to paved areas shall be by others.
 3. All levels shall be determined by others and approved on site by client.
 4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
 5. Do not scale from drawings.
 6. If in doubt contact the Landscape Architect.
 7. All boundaries shall be surveyed prior to commencement of construction works.
 8. This plan is for DA purposes only. It has not been detailed for construction.
 9. All dimensions, levels and boundaries are nominal only.
 10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

DRAWING		LANDSCAPE DETAILS	
ADDRESS		71 PARK AV, KINGS WOOD	
CLIENT		PAM CORNERSTONE P/L	
DATE #	24/01/17	PROJECT #	STEPHEN BOWERS ARCHITECT
SCALE @ A3	1:200	DWG #	L/04
DRAWN	JC	CHKD	JRS
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		REVISION	
atc a total concept landscape architects & swimming pool designers			

OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.


(h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Notes:

- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
- All detailing of drainage to paved areas shall be by others.
- All levels shall be determined by others and approved on site by client.
- Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
- Do not scale from drawings.
- If in doubt contact the Landscape Architect.
- All boundaries shall be surveyed prior to commencement of construction works.
- This plan is for DA purposes only. It has not been detailed for construction.
- All dimensions, levels and boundaries are nominal only.
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DRAWING		LANDSCAPE SPECIFICATION	
ADDRESS		71 PARK AV, KINGS WOOD	
CLIENT		PAM CORNERSTONE P/L	
DATE #	24/01/17	PROJECT #	STEPHEN BOWERS ARCHITECT
SCALE @ A3	1:200	DWG #	L/05
DRAWN	JC	REVISION	
CHKD	JRS		
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922			



SOUTH ELEVATION AND MATERIALS & FINISHES

- LEGEND**
- A PORTALS: RENDER & PAINT
DULUX COLOUR 'PEPLUM QUARTER'
 - B POWDERCOATED METAL BATTENS -
TIMBER FINISH
 - C RENDER & PAINT -
DULUX COLOUR 'TIMELESS GREY'
 - D 'L' ANGLE
DULUX POWDERCOAT METAL
NEW HAMMERSLEY BROWN
 - E CLEAR GLASS BALUSTRADE
 - F VERTICAL BALUSTERS ' DULUX POWDERCOAT BLACK
 - G PERGOLA
 - H RENDER & PAINT ENTRY FEATURE
DULUX COLOUR 'JUBILATION'
 - J ROOF - DULUX POWDERCOAT 'WOODLAND GREY'
 - K RENDER & PAINT
DULUX COLOUR 'STEPNEY'
 - L RENDER & PAINT
DULUX COLOUR 'PEPLUM HALF'

NOTIFICATION PLANS -

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	STEPHEN BOWERS ARCHITECTS		Address		Drawing Title		Scale	Date
-	ISSUE FOR DEVELOPMENT APPLICATION	FEB 2017				PAM CORNERSTONE P/L <small>planning, urban design, landscape architecture, architecture, interior design ABN 64 087 958 823 SUITE 91, 26-32 PIRRAMA ROAD PYRMONT NSW 2009 TEL (61)2 9629 7266 EMAIL: admin@stephenbowersarchitects.com stephen.bowers@stephenbowersarchitects.com REGISTERED ARCHITECT - STEPHEN BOWERS (5810)</small>		71 Park Avenue Kingswood NSW 2747		SOUTH ELEVATION AND MATERIALS & FINISHES		1:100 (A1)/1:200(A3)	FEB 2017
						<small>© STEPHEN BOWERS ARCHITECTS This drawing is protected by copyright. Reproduction or publication of the whole or part of this drawing without a license of the owner of the copyright is an infringement of copyright. Do not scale drawings Verify all dimension on site Report any discrepancies in documents to Architect</small>				Drawn by LN Check by S.B Drawing No. DA-021 Revision - Cad file path: <small>\\71 Park Avenue, Kingswood\BIC-Corner\CAD Drawings</small>			



EAST ELEVATION AND MATERIALS & FINISHES

- LEGEND**
- A PORTALS: RENDER & PAINT
DULUX COLOUR 'PEPLUM QUARTER'
 - B POWERCOATED METAL BATTENS -
TIMBER FINISH
 - C RENDER & PAINT -
DULUX COLOUR 'TIMELESS GREY'
 - D 'L' ANGLE
DULUX POWDERCOAT METAL
NEW HAMMERSLEY BROWN
 - E CLEAR GLASS BALUSTRADE
 - F VERTICAL BALUSTERS 'DULUX POWDERCOAT BLACK
 - G PERGOLA
 - H RENDER & PAINT ENTRY FEATURE
DULUX COLOUR 'JUBILATION'
 - J ROOF - DULUX POWDERCOAT 'WOODLAND GREY'
 - K RENDER & PAINT
DULUX COLOUR 'STEPNEY'
 - L RENDER & PAINT
DULUX COLOUR 'PEPLUM HALF'

NOTIFICATION PLANS -

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	STEPHEN BOWERS ARCHITECTS		Address		Drawing Title		Scale	Date		
-	ISSUE FOR DEVELOPMENT APPLICATION	FEB 2017				PAM CORNERSTONE P/L <small>planning, urban design, landscape architecture, architecture, interior design ABN 84 087 198 823 SUITE 71, 26-32 PIRRAMA ROAD PYRMONT NSW 2009 TEL (61 2) 9529 2266 EMAIL: admin@stephenbowersarchitects.com stephen.bowers@stephenbowersarchitects.com REGISTERED ARCHITECT - STEPHEN BOWERS (5810)</small>		<small>This drawing is protected by copyright. Reproduction or publication of the whole or part of this drawing without a license of the owner of the copyright is an infringement of copyright. Do not scale drawings. Verify all dimensions on site. Report any discrepancies in documents to Architect.</small>		71 Park Avenue Kingswood NSW 2747		EAST ELEVATION AND MATERIALS & FINISHES		1:100 (A1)/1:200(A3)	FEB 2017
						Drawn by LN Check by S.B		Drawing No. DA-022 Revision -		Cad file path.					



WEST ELEVATION AND MATERIALS & FINISHES

LEGEND

- A PORTALS: RENDER & PAINT
DULUX COLOUR 'PEPLUM QUARTER'
- B POWDERCOATED METAL BATTENS -
TIMBER FINISH BATTENS
- C RENDER & PAINT -
DULUX COLOUR 'TIMELESS GREY'
- D 'L' ANGLE
DULUX POWDERCOAT METAL
NEW HAMMERSLEY BROWN
- E CLEAR GLASS BALUSTRADE
- F VERTICAL BALUSTERS ' DULUX POWDERCOAT BLACK
- G PERGOLA
- H RENDER & PAINT ENTRY FEATURE
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- K RENDER & PAINT
DULUX COLOUR 'STEPNEY'
- L RENDER & PAINT
DULUX COLOUR 'PEPLUM HALF'

NOTIFICATION PLANS -

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	STEPHEN BOWERS ARCHITECTS		Address		Drawing Title		Scale	Date		
-	ISSUE FOR DEVELOPMENT APPLICATION	FEB 2017				PAM CORNERSTONE P/L <small>planning, urban design, landscape architecture, architecture, interior design ABN 64 087 198 423 SUITE 71, 26-32 PIRRAMA ROAD PYRMONT NSW 2009 TEL (61 2) 9529 2266 EMAIL: admin@stephenbowersarchitects.com stephen.bowers@stephenbowersarchitects.com REGISTERED ARCHITECT - STEPHEN BOWERS (5810)</small>		<small>This drawing is protected by copyright. Reproduction or publication of the whole or part of this drawing without a license of the owner of the copyright is an infringement of copyright. Do not scale drawings. Verify all dimensions on site. Report any discrepancies in documents to Architect.</small>		71 Park Avenue Kingswood NSW 2747		WEST ELEVATION AND MATERIALS & FINISHES		1:100 (A1)/1:200(A3)	FEB 2017
												Drawn by LN	Check by S.B		
												Drawing No. DA-023	Revision -		
												Cad file path.			



LEGEND

- A PORTALS: RENDER & PAINT
DULUX COLOUR 'PEPLUM QUARTER'
- B POWDERCOATED METAL BATTENS -
TIMBER FINISH
- C RENDER & PAINT -
DULUX COLOUR 'TIMELESS GREY'
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- K RENDER & PAINT
DULUX COLOUR 'STEPNEY'
- L RENDER & PAINT
DULUX COLOUR 'PEPLUM HALF'

**NORTH ELEVATION AND
MATERIALS & FINISHES**

NOTIFICATION PLANS -

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	STEPHEN BOWERS ARCHITECTS		Address		Drawing Title		Scale	Date		
-	ISSUE FOR DEVELOPMENT APPLICATION	FEB 2017				PAM CORNERSTONE P/L <small>planning, urban design, landscape architecture, architecture, interior design</small> <small>ABN 84 087 958 823</small> <small>SUITE 91, 26-32 PIRRAMA ROAD</small> <small>PYRMONT NSW 2009</small> <small>TEL (61 2) 9529 2266</small> <small>EMAIL: admin@stephenbowersarchitects.com</small> <small>stephen.bowers@stephenbowersarchitects.com</small> <small>REGISTERED ARCHITECT - STEPHEN BOWERS (5810)</small>		<small>This drawing is protected by copyright. Reproduction or publication of the whole or part of this drawing without a license of the owner of the copyright is an infringement of copyright.</small> <small>Do not scale drawings. Verify all dimension on site. Report any discrepancies in documents to Architect.</small>		71 Park Avenue Kingswood NSW 2747		 NORTH ELEVATION MATERIALS & FINISHES		1:100 (A1)/1:200(A3)	FEB 2017
												Drawn by LN	Check by SB		
												Drawing No. DA-024	Revision -		
												Cad file path.			

PROPOSED MIX-USED DEVELOPMENT 71 PARK AVENUE, KINGSWOOD STORMWATER CONCEPT DESIGN



LOCALITY PLAN
NOT TO SCALE

PREPARED BY:



Unit 412, Level 4,
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ABN 21 118 232 530

ARCHITECT:



CLIENT:

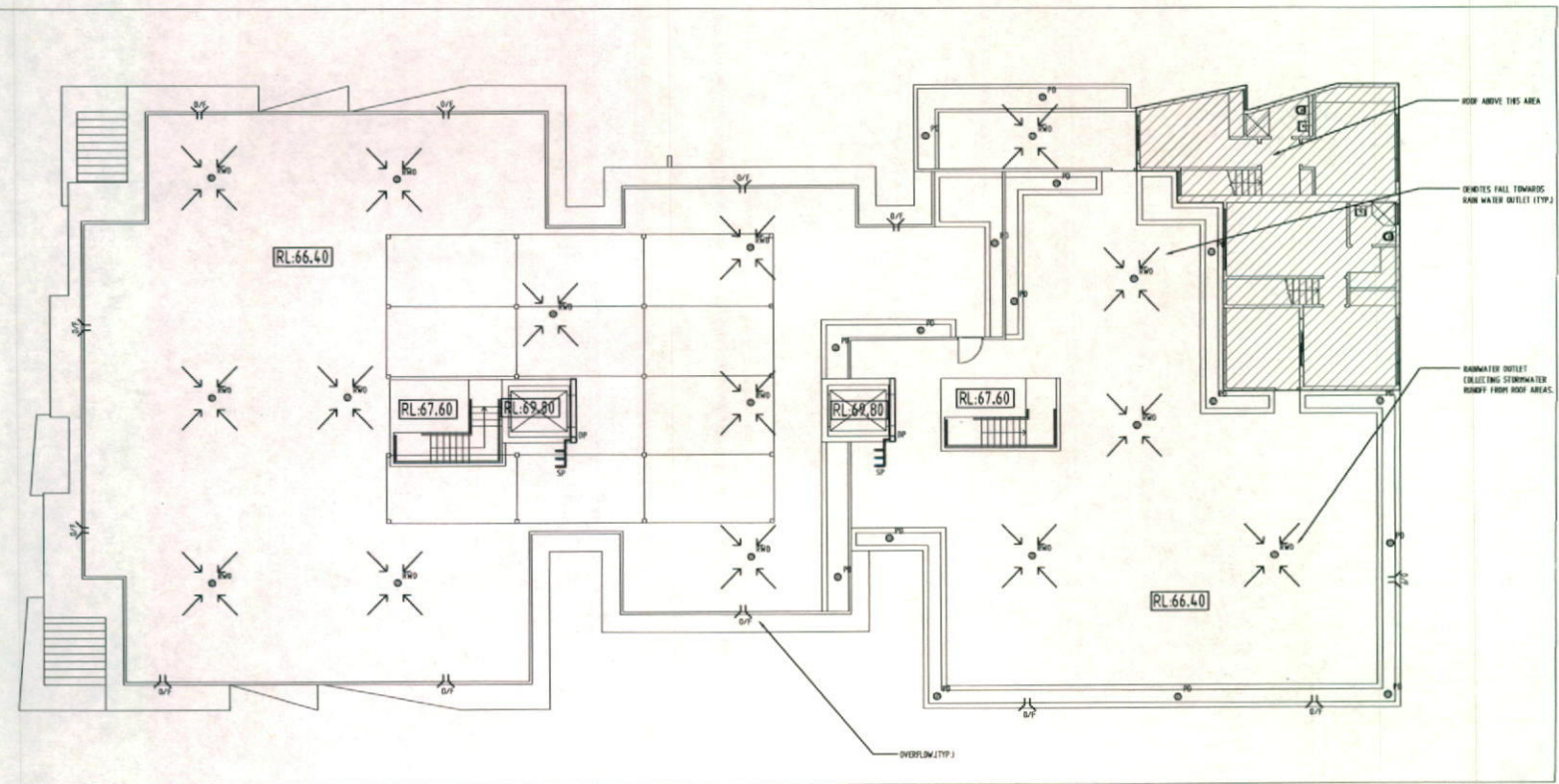
PAM CORNERSTONE P/L

DATE PLOTTED: 27 February 2013 10:52 AM BY: 100210402

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ARE SHOWN BELOW SLAB LEVEL



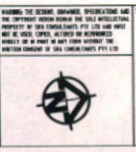
PARK AVENUE



Issue	Issued	By	For
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2			
3			

Drawn	Checked	Date
100210402		

Drawn	Checked	Date
100210402		



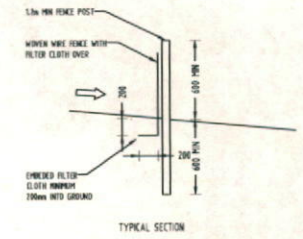
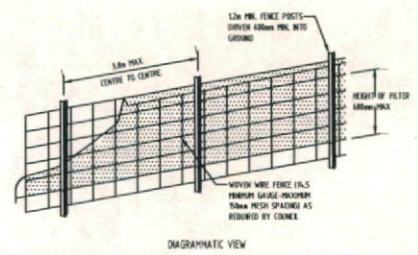
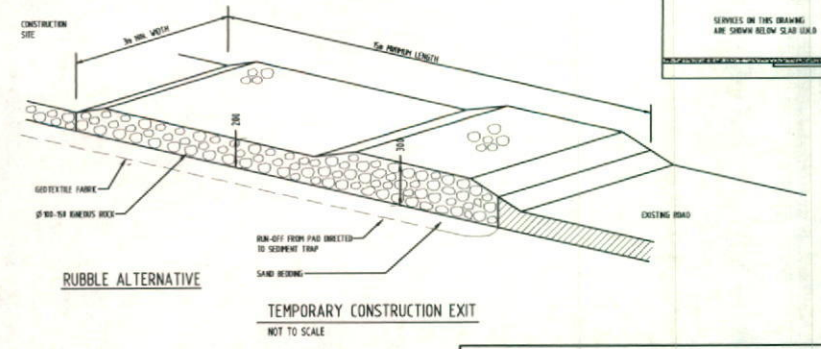
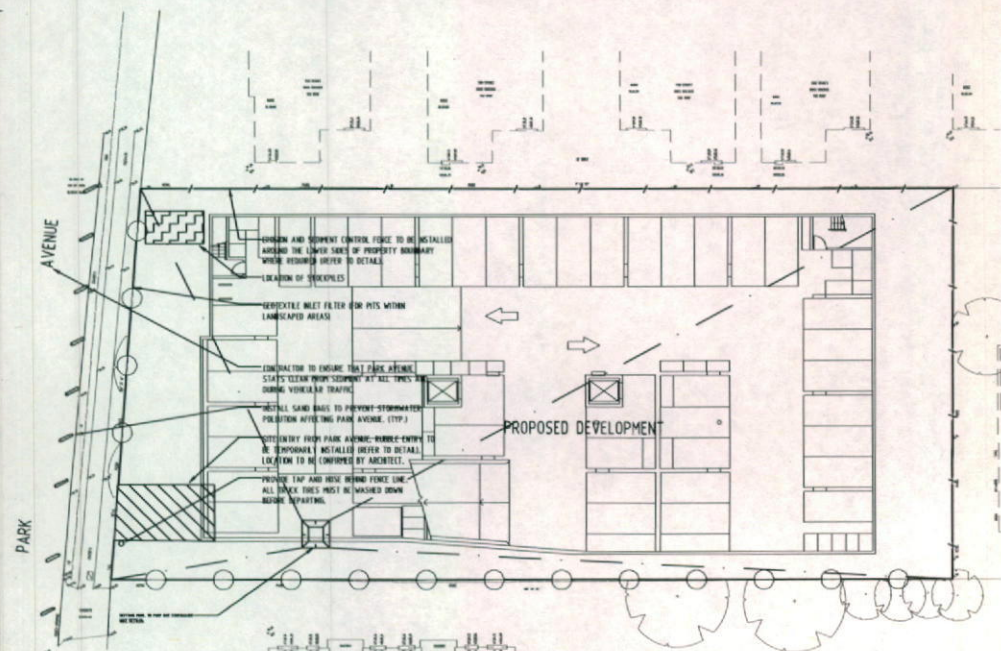
CLIENT
PAM CORNERSTONE P/L

ARCHITECT
STEPHEN BOWERS ARCHITECTS

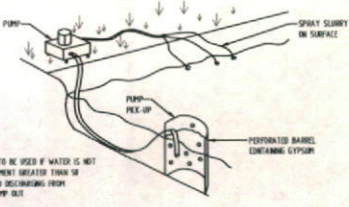
SGC
Engineering Value
Unit 412, Level 4,
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Web: www.sgce.com.au
A.B.N. 21 119 222 510

PROJECT
PROPOSED MIX-USED DEVELOPMENT
71 PARK AVENUE, KINGSWOOD

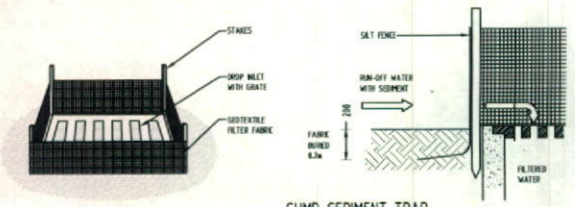
Project No	Drawing No	Revision No
20160414	SW04	A



SEDIMENT FENCE
NOT TO SCALE



- NOTE:**
- FLOCCULATION TO BE USED IF WATER IS NOT CLEAR OR SEDIMENT GREATER THAN 50 mg/L FROM TO DISCHARGING FROM TEMPORARY PUMP OUT
 - FLOW RATES & AGENTS SEE APPENDIX E OF NEW SOUTH WALES DEPARTMENT OF IRREGULATIONS "MANAGING URBAN STORMWATER SOILS & CONSTRUCTION"



EROSION & SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE OF THE WORKS. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FENCE SHALL BE AN APPROVED MATERIAL (E.G. HENNES PROPER SILET 500) STANDING 50mm ABOVE GROUND & EXTENDING 50mm BELOW GROUND.
- EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- NO PARKING OR STOCKPILES OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
- GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL OBSTACLES TO A SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC LEAVING SITE. CONSTRUCTION SHALL LEAVE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE TO GO IN A FORWARD DIRECTION.

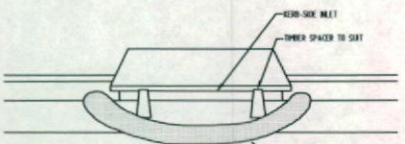
GENERAL NOTES

- THIS PLAN IS A CONCEPT PLAN ONLY FOR STORMWATER DISPOSAL & EROSION CONTROL. IT IS NOT SUITABLE FOR CONSTRUCTION. THIS PLAN SHOULD BE ADAPTED BY THE BUILDER DURING CONSTRUCTION, EXCAVATION & CONSTRUCTION PHASES TO ENSURE ADEQUATE PERFORMANCE.
- ALL DRAINAGE LAYOUT & DETAILS ARE DIAGRAMMATIC & INDICATIVE ONLY. ACTUAL LOCATION, SIZES, LEVELS & GRADES MAY ALTER WHEN DETAIL DESIGN WORKS ARE DOCUMENTED.

CLAY SOILS

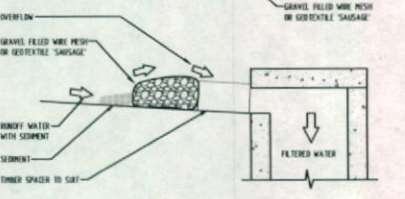
A SYSTEM SHALL BE INSTALLED TO EITHER:

- TRANSPORT STORMWATER RUNOFF WITH SUSPENDED SOLIDS FROM SITE VIA PUMP TRUCKS.
- TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS SO THE DISCHARGE WATER QUALITY TO LOCAL A STORMWATER DRAINAGE SYSTEM HAS A MAXIMUM CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 50 MILLIGRAMS PER LITER IN ACCORDANCE WITH THE PROTECTION OF THE ENVIRONMENT OPERATIONS ACT 2000 WITH AND SHALL BE APPROVED BY LOCAL COUNCIL.



CONSTRUCTION NOTES:

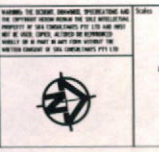
- FABRICATE A SAUSAGE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT
- FILL THE SAUSAGE WITH 25mm TO 50mm GRAVEL
- FORM AN ELLIPTICAL CROSS-SECTION OF THE HOOD INLET LEAVING A 100mm GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY
- MAINTAIN THE OPENING WITH SPACER BLOCKS
- FORM A SEAL WITH THE KEYING AND PREVENT SEDIMENT BYPASSING THE FILTER
- FIT TO ALL HOOD INLETS AT SAG POINTS



Rev	Description	Date
1	Issue for information	15/12/16
2	Issue for construction	15/12/16

Reference	Coordinate	Drawing
1	1002	1002
2	1003	1003

QUALITY CONTROL	DATE
DESIGNED	15/12/16
CHECKED	15/12/16
APPROVED	15/12/16



CLIENT
PAM CORNERSTONE P/L

ARCHITECT
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SGC
Engineering Value

A.B.N. 21 130 221 530

PROJECT
PROPOSED MIX-USED DEVELOPMENT

71 PARK AVENUE, KINGSWOOD

Drawing Status
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Drawing Title
EROSION AND SEDIMENT CONTROL PLAN AND DETAILS

Project No
20160414

Drawing No
SW05

Revision No
A

