



STATEMENT OF ENVIRONMENTAL EFFECTS

Proposed Machinery Shed

At

1380 CASTLEREAGH RD CASTLEREAGH, NSW

Issue 0

Prepared by

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for

NEPEAN PARK P/L

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Site:

The site of the proposed development is a 13.72 hectare allotment situated on the western side of Castlereagh Road at Castlereagh in the Penrith Local Government Area, as shown on the attached drawing A01. The property is identified as Lot 482 in DP 849952, and is located within the Penrith Lakes Scheme.

The property is currently used for agriculture, with mainly short grassed pasture. A shed also exists on the property, approximately eight and a half meters west of the proposed shed site.

The allotment contains an existing dwelling along the south of the proposed shed as shown on the site plan (*Figure 4*).

Another small domestic garage used for residential purposes exists along the south of proposed shed site.



Figure 1: Aerial View of Site (courtesy of NSW Land & Property Information)

Proposed Development

It is proposed to demolish a dilapidated shed/associated structures and construct a new colourbond agricultural shed measuring 18m x 10m and a total of 4.28m in height. The shed will be used to store materials and machinery related to the existing use of the property. The main need to demolish the old shed and construct a new one is because of the dilapidated condition of the old shed, and that it poses risks from the possible further collapse of the structure. A separate report has been prepared by NBRS & Partners (dated 03 May 2013) outlining the suitability of the proposal with regards to the heritage of the site.

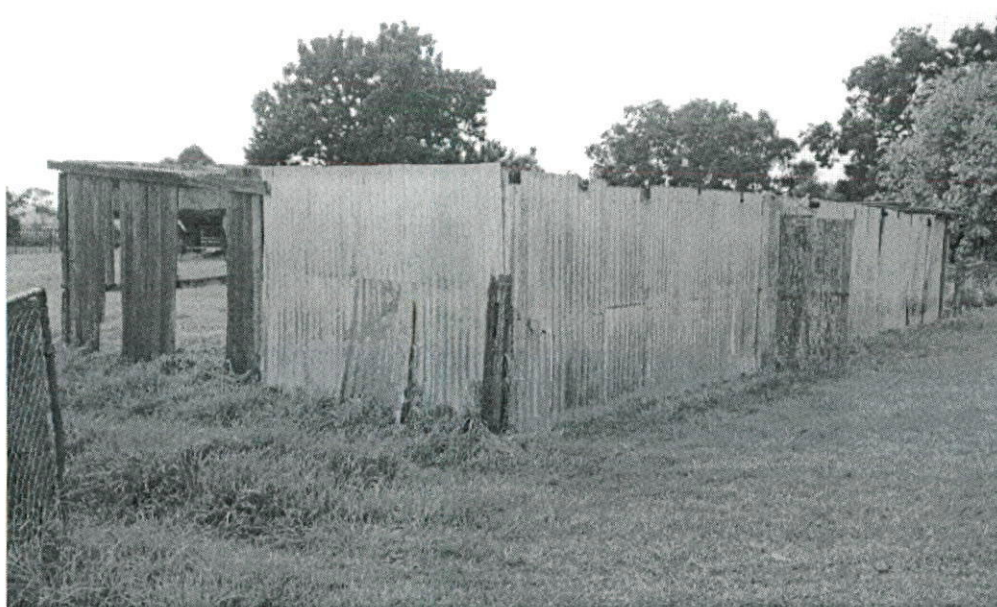


Figure 2: Dilapidated condition of the old shed

Development Impact

Visual Impact - The proposed shed will not be visible from the road due to the location of the shed beyond the crest of the property, and also the existing trees being located in western part of the shed. The nearest adjoining dwellings are

approximately at least 100m from the proposed shed, and proposed shed is approximately 500m from the Nepean River. The proposed shed will be coloured 'Windspray' (grey) to match the existing adjacent shed.



Figure 3: View of site from north

Amenity – The proposed shed will be used by the owners for existing uses which will not affect the amenity of the area. Existing driveway access will be used, and power will be extended to the shed as required.

Overshadowing and Privacy - The proposed shed will have no impact on shadowing or privacy of neighbouring properties or structures.

Soil Erosion Measures – During construction, all runoff will be directed through the grassed area to the west of the shed as detailed on drawing A01. It is to be properly maintained in accordance with Council's guidelines and the drawings to prevent the erosion of sediments. Upon completion of the construction of the shed, topsoil gathered from the site will be spread around the shed and any adjoining disturbed areas, and a suitable grass will be planted to prevent future erosion. As the shed will

be constructed on an existing level area, the disturbance to the area will be minimal and short term.

Vegetation Protection Measures – No trees or vegetation will be affected by the construction of the proposed agricultural shed.

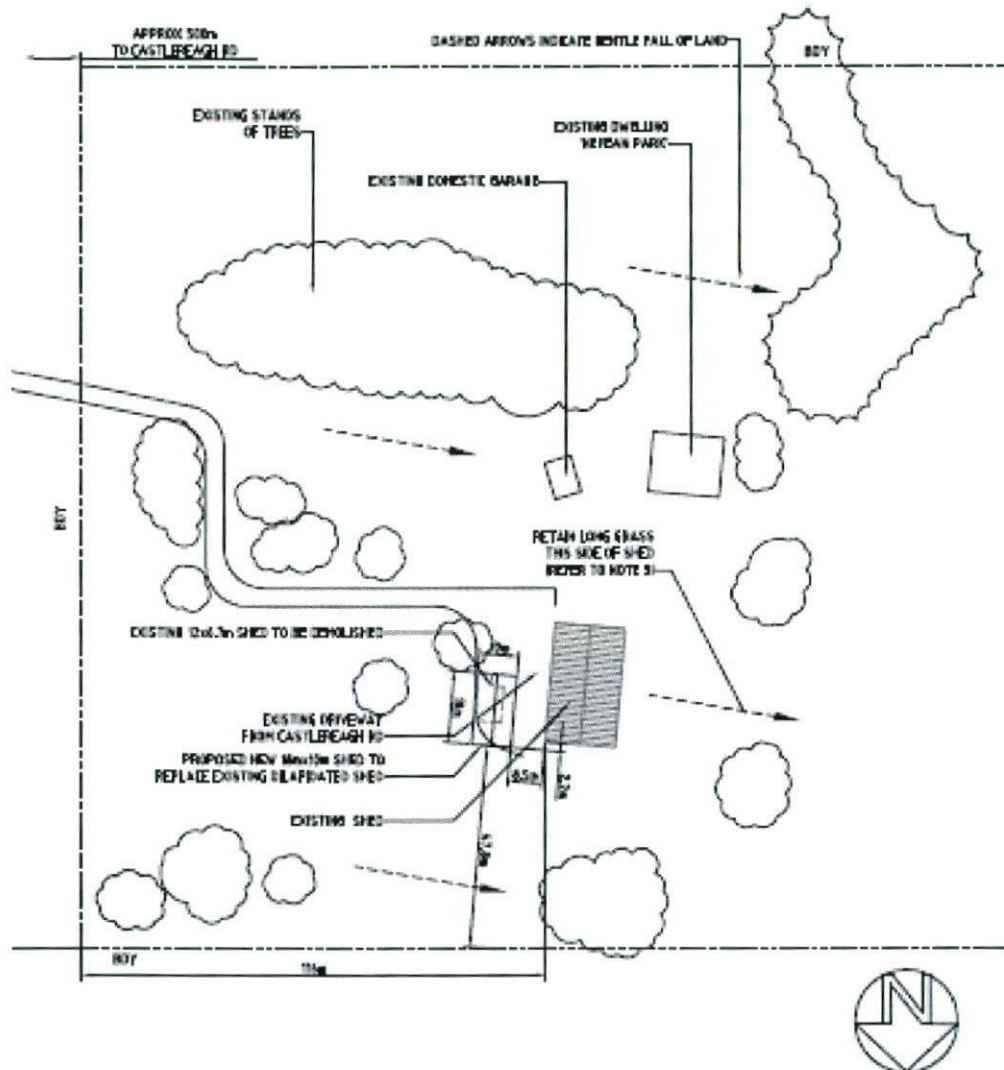


Figure 4: Part Location Plan (taken from architectural drawing A01)

Parking and Access - The proposed shed will not affect parking and access on the property. The existing gravel driveway will be used to provide all-weather access to the shed.

Transport and Traffic Impact - The proposed shed will be used by the owners for existing uses, which will have no impact on the road network.

Bulk and Scale – The proposed shed has been sited on a flat area beside the existing shed and the existing domestic garage. This provides the most economical method of construction, as no cut or filling is required, and also due to the location of the existing structures and trees, the proposed shed will be hidden from the view of passers' by.

Conclusion

Based on the history of the site (refer separate report by NBRS & Partners dated 03 May 2013), the existing use of the site, and the existing character of the area, the proposed shed does not pose any significant changes to the environment and has been designed with its suitability to the property and surrounding local area in mind.