


## BASIX/NatHERS Assessment

<b>Project Details</b>	<p><b>Address:</b> 15 Engineers Place, Penrith, NSW, 2750</p> <p><b>Lot and Plan:</b> 2 DP 1240166</p> <p><b>Council:</b> Penrith City Council</p> <p><b>NCC Climate Zone:</b> 6</p> <p><b>Project Description:</b> Unit Building (48 Units)</p> <p><b>Building Classification:</b> 2</p>
<b>Result</b>	<p><b>Complies with Building Sustainability Index subject to the minimum construction requirements below and the BASIX certificate attached:</b></p>
<b>Construction Details and Minimum Requirements</b>	<p><b>External Walls:</b> Brick veneer</p> <p><b>Insulation:</b> R1.5 batts</p> <hr/> <p><b>Internal Walls:</b> Plasterboard/Hebel/concrete block</p> <p><b>Insulation:</b> R1.5 batts to walls surrounding wet areas and to parti-walls</p> <hr/> <p><b>Floor:</b> Suspended concrete slab</p> <p><b>Insulation:</b> R1.5 insulation required between carpark and 3<sup>rd</sup> level units</p> <hr/> <p><b>Ceiling:</b> Plasterboard</p> <p><b>Insulation:</b> R3.0 batts to top floor units</p> <hr/> <p><b>Roof:</b> Concrete slab</p> <p><b>Insulation:</b> Waterproof membrane</p> <hr/> <p><b>Glazing:</b> Single clear with aluminium frames; Low-e glass to sliding doors of Unit 802 and 803</p> <hr/> <p><b>Ceiling Penetrations:</b> Sealed LED downlights and exhaust fans; Skylights to level 8</p> <hr/> <p><b>Other:</b> N/A</p>
<b>Assessor Details</b>	<p><b>Name:</b> Conor Horwood</p> <p><b>Accreditation Number:</b> VIC/BDAV/16/1757</p> <p><b>Signature:</b> </p>

DISCLAIMER: The report and results above have been calculated using information made available to Accelerate Sustainability Assessments as supplied on the referenced drawings. The report and subsequent results are specific to this data and shall become null and void if any variations are made. Unless information has been noted on the drawings, or advised in writing, the results and report reflect a worst case scenario whereby default values and assumptions have been applied.

# Nationwide House Energy Rating Scheme — Class 2 summary

## NatHERS Certificate No. 0005289990

Generated on 13 Oct 2020 using BERS Pro v4.4.0.1 (3.21)

### Property

**Address** Lot 3008 Lord Sheffield Circuit ,  
Penrith , NSW , 2750

**Lot/DP** 3008/-

**NatHERS climate zone** 28

**Accredited assessor** 

Conor Horwood

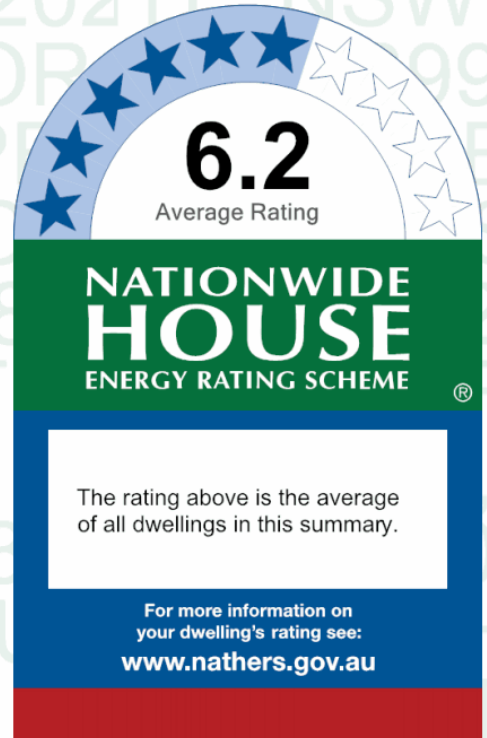
Accelerate Sustainability Assessments

conor.horwood@accca.net.au

07 3069 5757

**Accreditation No.** VIC/BDAV/16/1757

**Assessor Accrediting Organisation** BDAV, Design  
Matters National



### Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=WiaAQLhdd](http://hstar.com.au/QR/Generate?p=WiaAQLhdd) .  
When using either link, ensure you are visiting [hstar.com.au](http://hstar.com.au)

### Summary of all dwellings

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
<a href="#">0004616488-03</a>	301	27.1	37.8	64.9	7.1
<a href="#">0004616728-02</a>	302	62.3	35.3	97.6	5.6
<a href="#">0004616694-02</a>	303	62.7	45	107.8	5.2
<a href="#">0004616660-02</a>	304	62.4	41.5	103.9	5.4
<a href="#">0004616637-02</a>	305	48.7	34.9	83.6	6.2

*Continued Over*

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated buildings are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

## Summary of all dwellings (continued)

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
<a href="#">0004616603-03</a>	306	31.7	55.1	86.8	6
<a href="#">0004616579-03</a>	307	21.7	29.8	51.5	7.7
<a href="#">0004616546-02</a>	308	34.8	43	77.9	6.4
<a href="#">0004616512-02</a>	401	22.7	36.2	58.9	7.4
<a href="#">0004616454-03</a>	402	53.1	35	88.1	5.9
<a href="#">0004616421-02</a>	403	54.3	44.4	98.7	5.5
<a href="#">0004616397-02</a>	404	53.3	42.4	95.7	5.7
<a href="#">0004616371-02</a>	405	40.6	36.6	77.2	6.4
<a href="#">0004616348-02</a>	406	28.7	49.8	78.5	6.4
<a href="#">0004616314-02</a>	407	35	38.2	73.2	6.7
<a href="#">0004616298-03</a>	408	27.2	41	68.2	6.9
<a href="#">0004616744-02</a>	501	23	36	59.1	7.4
<a href="#">0004616702-02</a>	502	53.6	35.1	88.7	5.9
<a href="#">0004616678-02</a>	503	55	44.3	99.3	5.4
<a href="#">0004616645-02</a>	504	53.8	42.2	96.1	5.7
<a href="#">0004616611-02</a>	505	41.2	36.5	77.7	6.4
<a href="#">0004616363-02</a>	506	29	48.4	77.4	6.4
<a href="#">0004616587-02</a>	507	35.5	38.1	73.6	6.7
<a href="#">0004616561-03</a>	508	27.7	41.1	68.8	6.9
<a href="#">0004616520-02</a>	601	23.3	36	59.3	7.4
<a href="#">0004616496-02</a>	602	54	34.9	88.9	5.9
<a href="#">0004616462-03</a>	603	55.4	44	99.4	5.4
<a href="#">0004616439-03</a>	604	54.3	42.2	96.5	5.7
<a href="#">0004616405-02</a>	605	41.5	36.4	77.8	6.4
<a href="#">0004616330-02</a>	606	29.3	48.2	77.5	6.4
<a href="#">0004616306-02</a>	607	35.9	37.8	73.7	6.7
<a href="#">0004616272-02</a>	608	28	40.6	68.7	6.9
<a href="#">0004616736-02</a>	701	23.4	36	59.4	7.3
<a href="#">0004616710-02</a>	702	54.4	34.6	89.1	5.9
<a href="#">0004616686-02</a>	703	55.9	43.8	99.6	5.4
<a href="#">0004616652-02</a>	704	54.9	42	96.9	5.6
<a href="#">0004616629-02</a>	705	41.8	36.4	78.2	6.4
<a href="#">0004616595-03</a>	706	29.6	47.1	76.7	6.5
<a href="#">0004616553-02</a>	707	36.3	37.6	73.9	6.7
<a href="#">0004616538-02</a>	708	28.4	40.2	68.6	6.9
<a href="#">0004616504-03</a>	801	32.8	42.4	75.1	6.6
<a href="#">0004616470-03</a>	802	60.8	35.3	96.1	5.7
<a href="#">0004616447-03</a>	803	58.6	47.9	106.5	5.3
<a href="#">0004616413-03</a>	804	62.7	50.5	113.2	4.9
<a href="#">0004616389-02</a>	805	52.8	43.1	95.9	5.7

Certificate number and link	Unit Number	Heating load (MJ/m /p.a.)	Cooling load (MJ/m /p.a.)	Total load (MJ/m /p.a.)	Star rating
<a href="#">0004616355-03</a>	806	41.2	54.1	95.3	5.7
<a href="#">0004616322-03</a>	807	45.4	44.6	90.1	5.9
<a href="#">0004616280-04</a>	808	37.7	49.4	87.1	5.9
Average		42.16	41.1	83.26	6.22

## Explanatory Notes

### About this report

This summary rating is the average rating of all NCC Class 2 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

### Accredited Assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Multi Dwelling

Certificate number: 1102585M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary

Date of issue: Tuesday, 13 October 2020

To be valid, this certificate must be lodged within 3 months of the date of issue.






Planning,  
Industry &  
Environment

Project summary		
Project name	200639_02	
Street address	15 Engineers Place Penrith 2750	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 1240166	
Lot no.	2	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	48	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	✔ 41	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 33	Target 25

Certificate Prepared by
Name / Company Name: Accelerate Sustainability Assessments
ABN (if applicable): 81625027778

# Description of project

Project address	
Project name	200639_02
Street address	15 Engineers Place Penrith 2750
Local Government Area	Penrith City Council
Plan type and plan number	deposited 1240166
Lot no.	2
Section no.	-
Project type	
No. of residential flat buildings	1
No. of units in residential flat buildings	48
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m <sup>2</sup> )	1354
Roof area (m <sup>2</sup> )	844
Non-residential floor area (m <sup>2</sup> )	535.0
Residential car spaces	48
Non-residential car spaces	17

Common area landscape		
Common area lawn (m <sup>2</sup> )	0.0	
Common area garden (m <sup>2</sup> )	258.0	
Area of indigenous or low water use species (m <sup>2</sup> )	60.0	
Assessor details		
Assessor number	16/1757	
Certificate number	0005289990	
Climate zone	28	
Project score		
Water	 41	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 33	Target 25

## Description of project

The tables below describe the dwellings and common areas within the project

### Residential flat buildings - Building1, 48 dwellings, 9 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
301	2	79.3	5.4	0.0	0.0
305	2	70.7	5.1	0.0	0.0
401	2	79.3	5.4	0.0	0.0
405	2	70.7	5.1	0.0	0.0
501	2	79.3	5.4	0.0	0.0
505	2	70.7	5.1	0.0	0.0
601	2	79.3	5.4	0.0	0.0
605	2	70.7	5.1	0.0	0.0
701	2	79.3	5.4	0.0	0.0
705	2	70.7	5.1	0.0	0.0
801	2	79.3	5.4	0.0	0.0
805	2	70.7	5.1	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
302	2	73.2	4.9	0.0	0.0
306	2	75.3	4.7	0.0	0.0
402	2	73.2	4.9	0.0	0.0
406	2	75.3	4.7	0.0	0.0
502	2	73.2	4.9	0.0	0.0
506	2	75.3	4.7	0.0	0.0
602	2	73.2	4.9	0.0	0.0
606	2	75.3	4.7	0.0	0.0
702	2	73.2	4.9	0.0	0.0
706	2	75.3	4.7	0.0	0.0
802	2	73.2	4.9	0.0	0.0
806	2	75.3	4.7	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
303	1	44.4	4.4	0.0	0.0
307	3	88.5	5.9	0.0	0.0
403	1	44.4	4.4	0.0	0.0
407	2	84.0	2.9	0.0	0.0
503	1	44.4	4.4	0.0	0.0
507	2	84.0	2.9	0.0	0.0
603	1	44.4	4.4	0.0	0.0
607	2	84.0	2.9	0.0	0.0
703	1	44.4	4.4	0.0	0.0
707	2	84.0	2.9	0.0	0.0
803	1	44.4	4.4	0.0	0.0
807	2	84.0	2.9	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
304	1	49.3	4.5	0.0	0.0
308	2	80.1	4.8	0.0	0.0
404	1	49.3	4.5	0.0	0.0
408	2	80.1	4.8	0.0	0.0
504	1	49.3	4.5	0.0	0.0
508	2	80.1	4.8	0.0	0.0
604	1	49.3	4.5	0.0	0.0
608	1	80.1	4.8	0.0	0.0
704	1	49.3	4.5	0.0	0.0
708	2	80.1	4.8	0.0	0.0
804	1	49.3	4.5	0.0	0.0
808	2	80.1	4.8	0.0	0.0

## Description of project

The tables below describe the dwellings and common areas within the project

### Common areas of unit building - Building1

Common area	Floor area (m <sup>2</sup> )
Car park area (No. 1)	2576.0
Garbage room (No. 1)	48.0
Ground floor lobby type (No. 1)	22.0

Common area	Floor area (m <sup>2</sup> )
Lift car (No.1)	-
Plant or service room (No. 1)	5.0
Hallway/lobby type (No. 1)	350.0

Common area	Floor area (m <sup>2</sup> )
Switch room (No. 1)	16.0
Other internal common area (No. 1)	24.0



# Schedule of BASIX commitments

## 1. Commitments for Residential flat buildings - Building1

### (a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

### (b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

## 2. Commitments for multi-dwelling houses

## 3. Commitments for single dwelling houses

## 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Building1

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 6 but <= 7.5 L/min)	4 star	6 star	6 star	no	-	4.5 star	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔	✔	✔
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✔ ✔	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✔ ✔ ✔	✔
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✔	

	<b>Hot water</b>	<b>Bathroom ventilation system</b>		<b>Kitchen ventilation system</b>		<b>Laundry ventilation system</b>	
<b>Dwelling no.</b>	<b>Hot water system</b>	<b>Each bathroom</b>	<b>Operation control</b>	<b>Each kitchen</b>	<b>Operation control</b>	<b>Each laundry</b>	<b>Operation control</b>
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
307	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	3 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
302, 306, 402, 406, 502, 506, 602, 606, 702, 706, 802, 806	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	2 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
303, 304, 403, 404, 503, 504, 603, 604, 703, 704, 803, 804	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
All other dwellings	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	1-phase airconditioning 4 Star (old label)	2 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	4 star	-	4 star	no	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Dwelling no.	Thermal loads	
	Area adjusted heating load (in mJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in mJ/m <sup>2</sup> /yr)
301	27.1	37.8
302	62.3	35.3
303	62.7	45.0
304	62.4	41.5
305	48.7	34.9
306	31.7	55.1
307	21.7	29.8
308	34.8	43.0
401	22.7	36.2
402	53.1	35.0
403	54.3	44.4
404	53.3	42.4
405	40.6	36.6
406	28.7	49.8
407	35.0	38.2
408	27.2	41.0
501	23.0	36.0
502	53.6	35.1
503	55.0	44.3
504	53.8	42.2
505	41.2	36.5
506	29.0	48.4
507	35.5	38.1
508	27.7	41.1
601	23.3	36.0
602	54.0	34.9
603	55.4	44.0

Dwelling no.	Thermal loads	
	Area adjusted heating load (in mJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in mJ/m <sup>2</sup> /yr)
604	54.3	42.2
605	41.5	36.4
606	29.3	48.2
607	35.9	37.8
608	28.0	40.6
701	23.4	36.0
702	54.4	34.6
703	55.9	43.8
704	54.9	42.0
705	41.8	36.4
706	29.6	47.1
707	36.3	37.6
708	28.4	40.2
801	32.8	42.4
802	60.8	35.3
803	58.6	47.9
804	62.7	50.5
805	52.8	43.1
806	41.2	54.1
807	45.4	44.6
All other dwellings	37.7	49.4



**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	3 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	5000.0	To collect run-off from at least: - 400.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 106.0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✔	✔
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✔	✔
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area (No. 1)	ventilation exhaust only	carbon monoxide monitor + VSD fan	light-emitting diode	time clock and motion sensors	No
Lift car (No.1)	-	-	light-emitting diode	connected to lift call button	No
Switch room (No. 1)	air conditioning system	none ie. continuous	light-emitting diode	manual on / manual off	No
Garbage room (No. 1)	ventilation exhaust only	-	light-emitting diode	motion sensors	No
Plant or service room (No. 1)	ventilation (supply + exhaust)	thermostatically controlled	light-emitting diode	manual on / manual off	No
Other internal common area (No. 1)	ventilation exhaust only	time clock or BMS controlled	light-emitting diode	motion sensors	No
Ground floor lobby type (No. 1)	air conditioning system	time clock or BMS controlled	light-emitting diode	time clock and motion sensors	No
Hallway/lobby type (No. 1)	no mechanical ventilation	-	light-emitting diode	daylight sensor and motion sensor	No

Central energy systems	Type	Specification
Central hot water system (No. 1)	gas instantaneous	Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.6 (~25 mm); (b) Piping internal to building: R0.6 (~25 mm)
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 9

#### 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

##### (b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	3 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

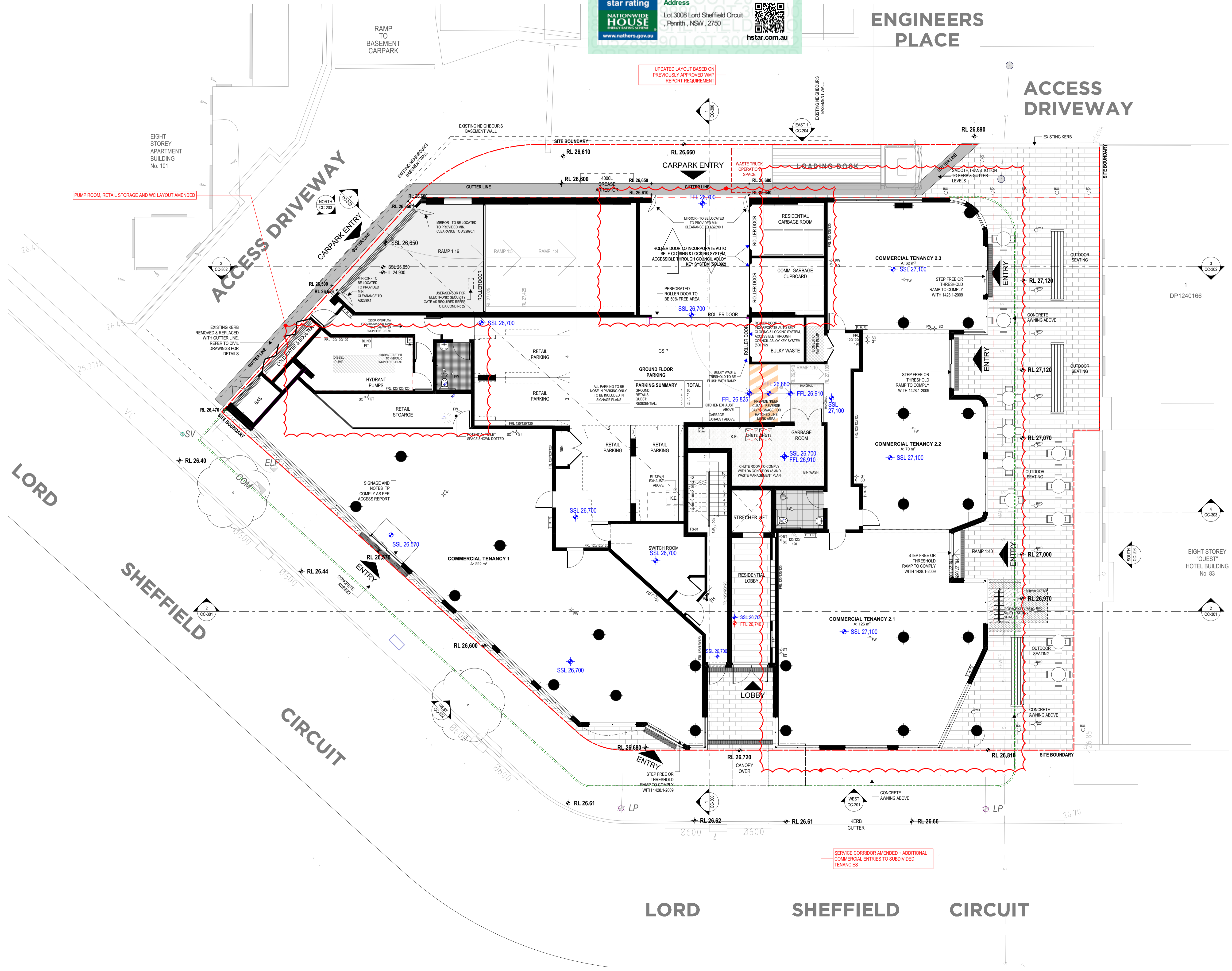
1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

000528990 13 Oct 2020  
**6.2**  
 Average star rating  
**NATIONWIDE HOUSE**  
 ENERGY RATING SCHEME  
 www.nathers.gov.au

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750  
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**ENGINEERS PLACE**

**ACCESS DRIVEWAY**

**LORD SHEFFIELD CIRCUIT**

**LORD SHEFFIELD CIRCUIT**

**PARKING SUMMARY**

Category	Total
ALL PARKING TO BE MADE IN PARKING ONLY TO BE INCLUDED IN SIGNAGE PLANS	
GROUND: RETAILS	4
GROUND: RESIDENTIAL	7
TOTAL	11

Rev	Description	Date	App'd
B	ISSUE FOR COUNCIL APPROVAL	07/10/2020	
A	ISSUED FOR APPROVAL	02/10/2020	

Project: **THE HENRY MIXED USE MULTI RESIDENTIAL**  
 15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**  
 Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title: **FLOOR PLANS**  
 GROUND FLOOR GAP

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale: 1:100  
 gA1 Sheet Size  
 Project Number: 2019-114  
 Drawing Number: CC-100  
 Revision: B  
 Status: ISSUED FOR \$4.55

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

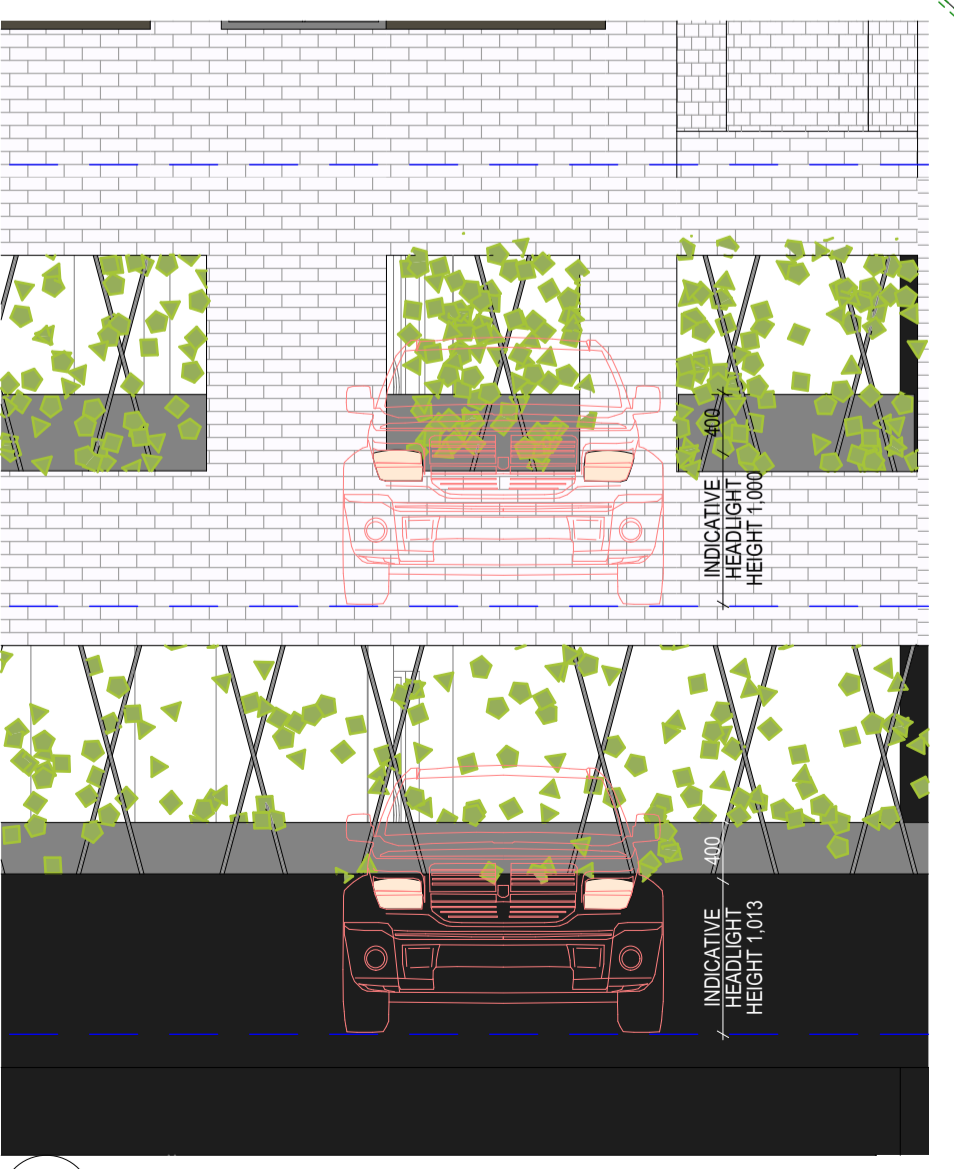
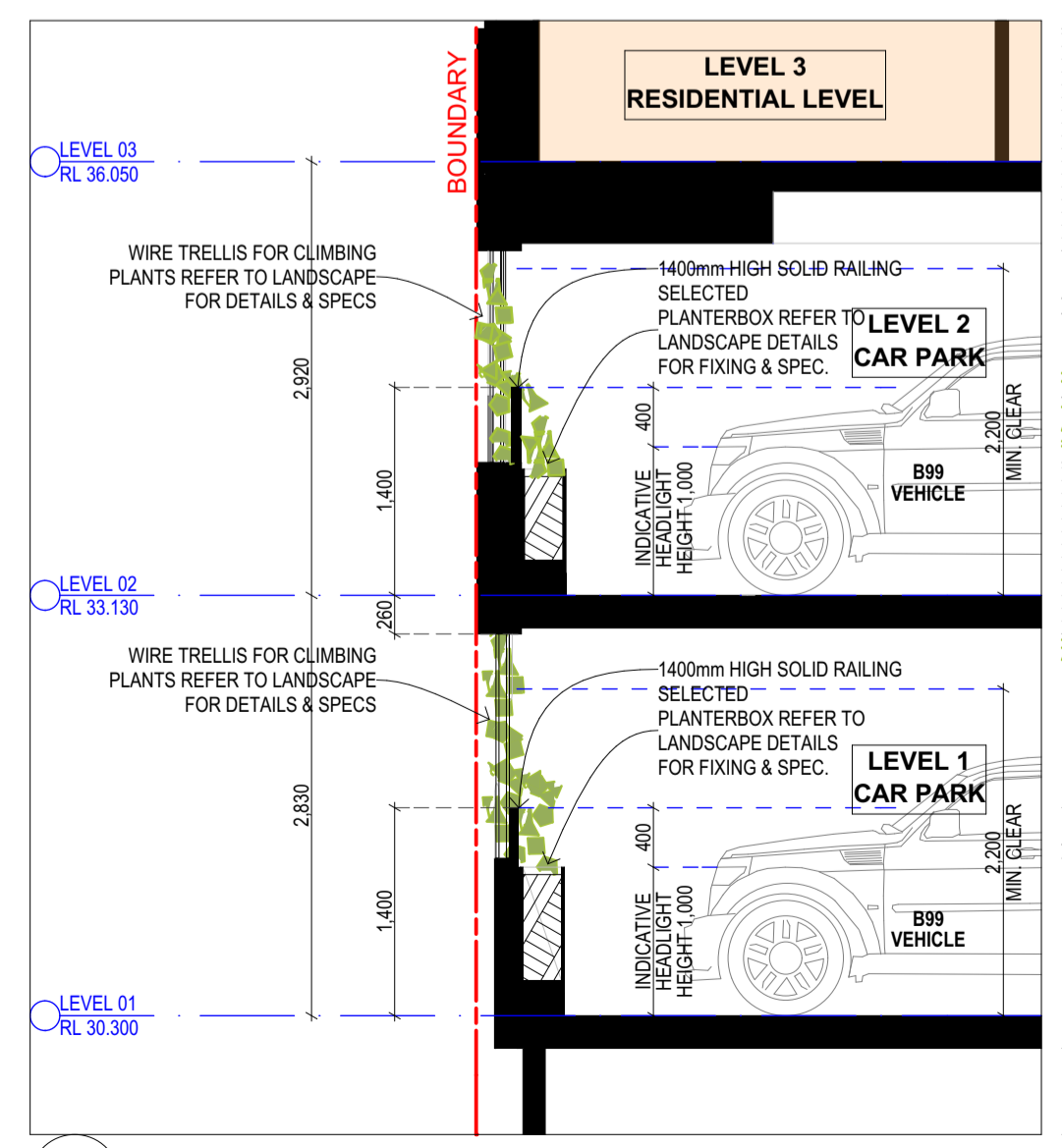
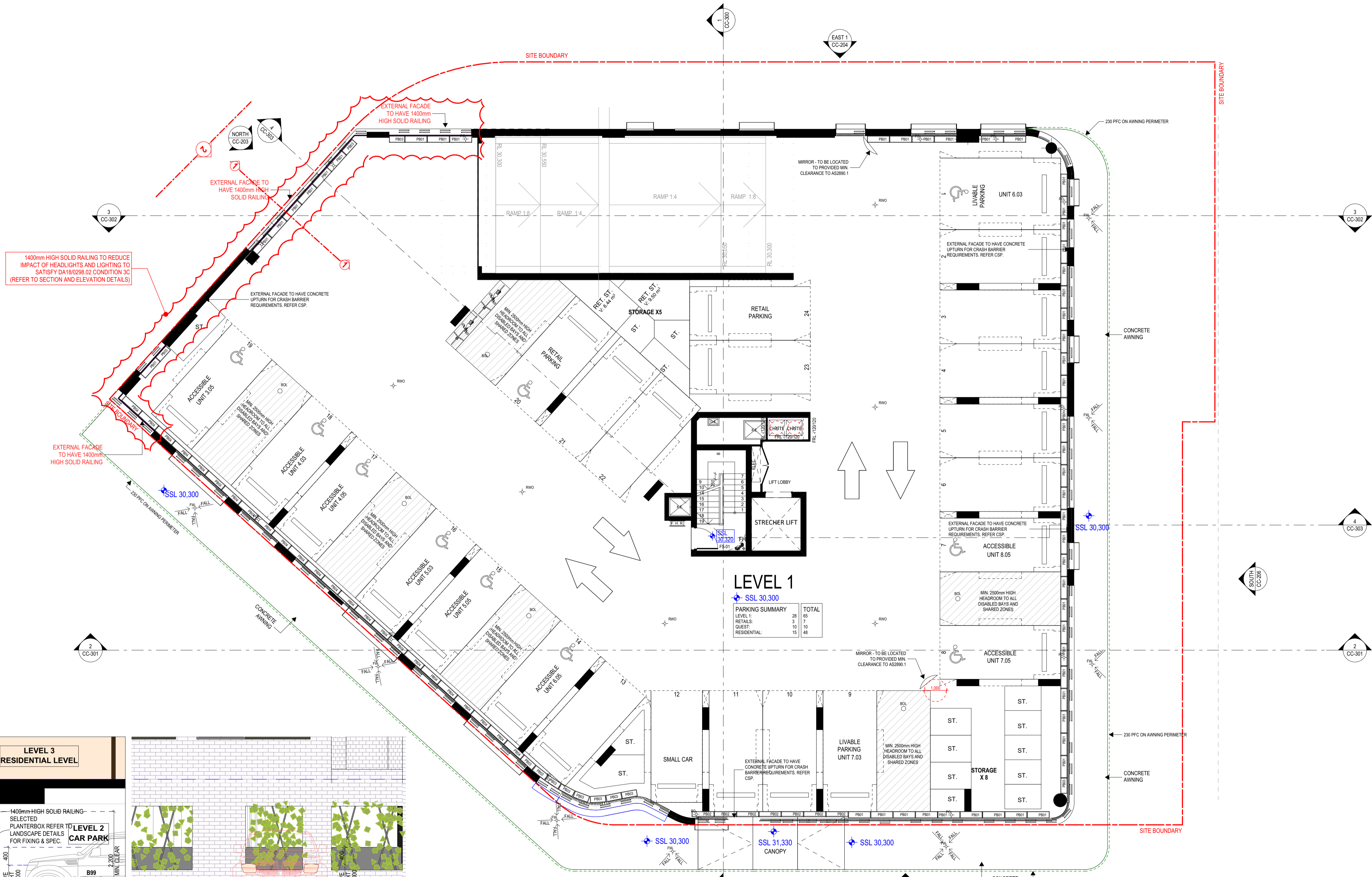
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Rev	Description	Date	App'd
B	ISSUE FOR COUNCIL APPROVAL	07/10/2020	
A	ISSUED FOR APPROVAL	02/10/2020	

Project: THE HENRY MIXED USE MULTI RESIDENTIAL  
 15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
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 Phone Number: +61 29745 2014  
 Nominated Architects: Zaid Boumelhem Reg no 8008, Yousef El Khawaja Reg no 8933, Nicolas Touba Reg no 9336

Drawing Title: FLOOR PLANS  
 LEVEL 1 GAP

Date of Issue: 8/10/2020  
 Checked: RS  
 Approved: TJ

Scale: 1:100, 1:50  
 gA1 Sheet Size

Project Number: 2019-114  
 Drawing Number: CC-101  
 Revision: B

Status: ISSUED FOR \$4.55

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

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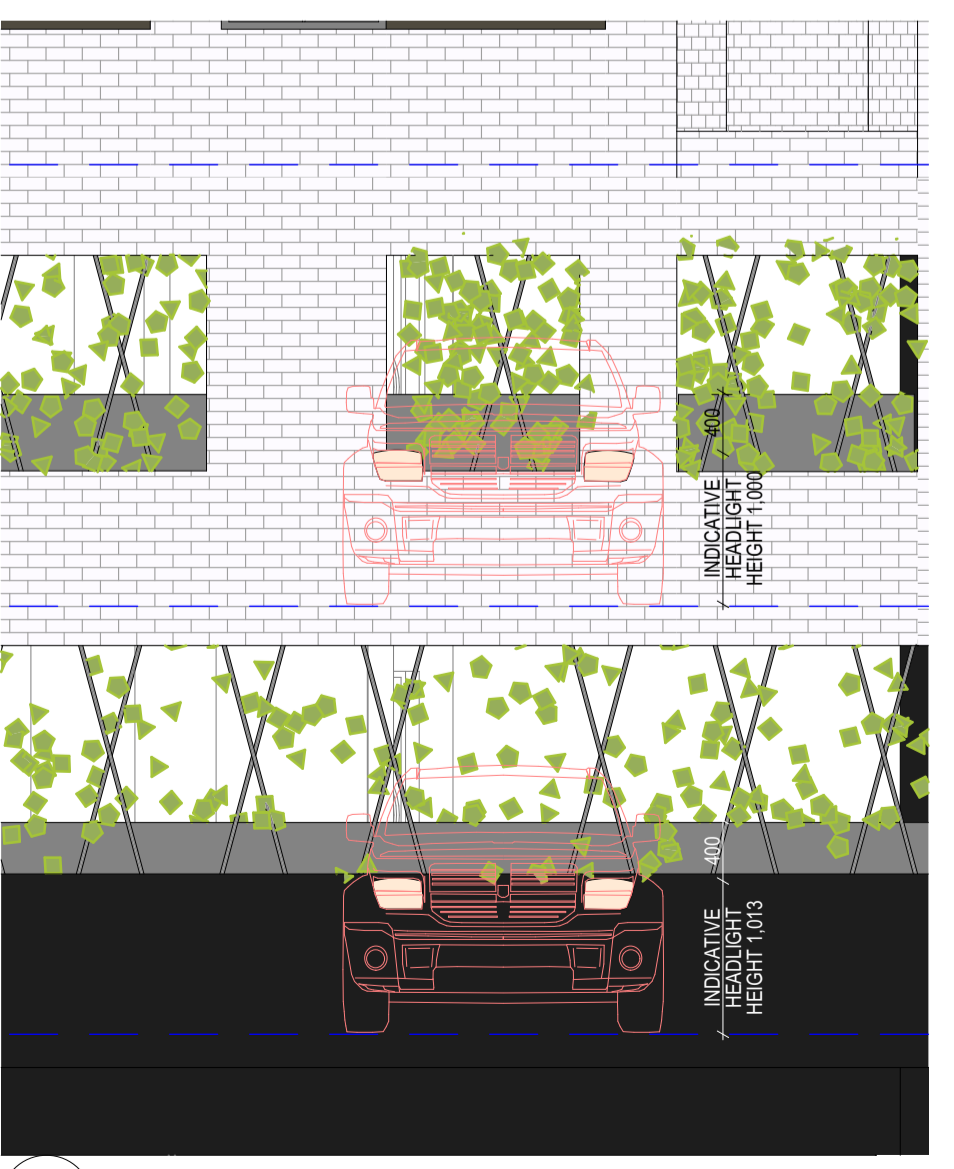
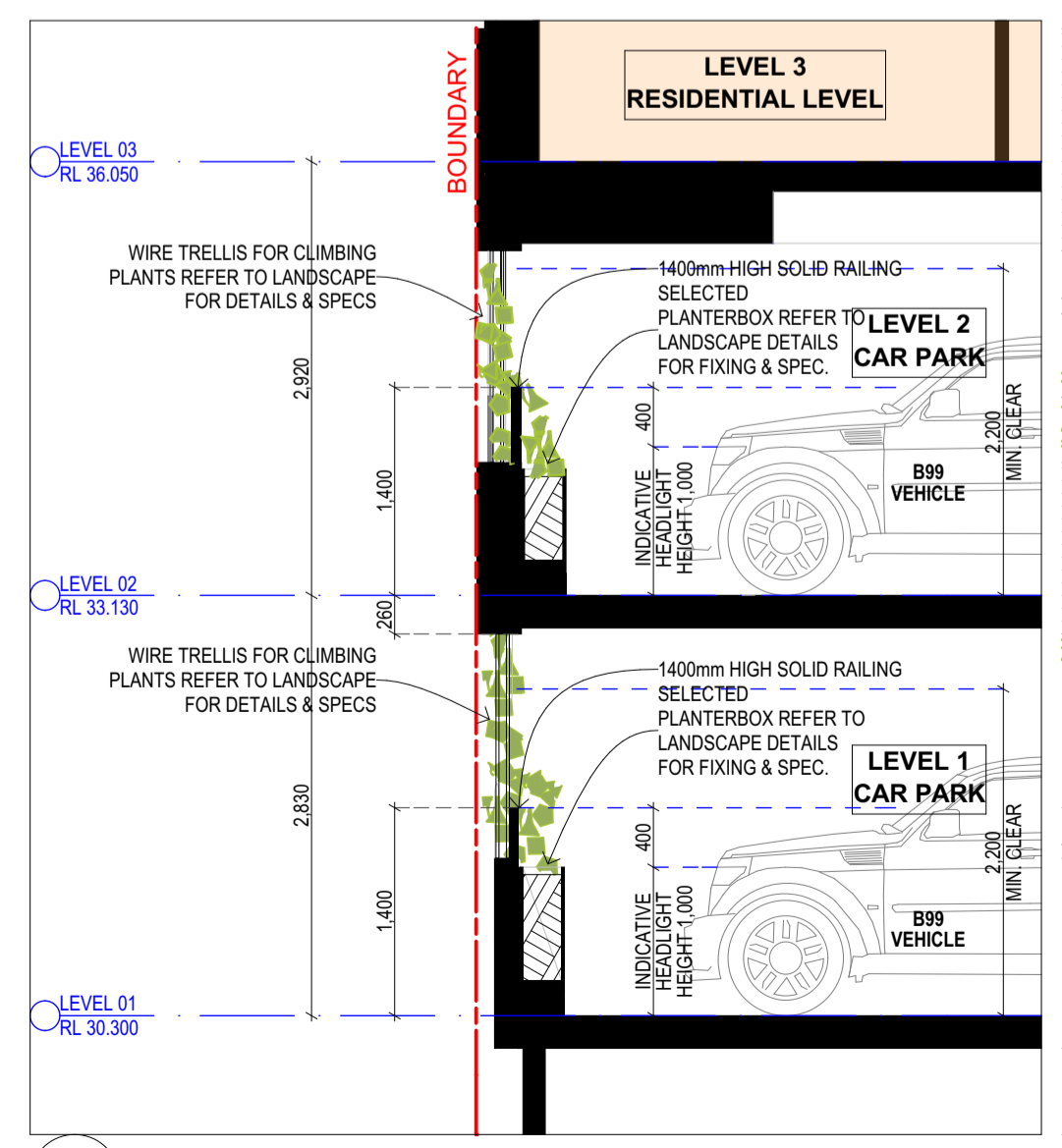
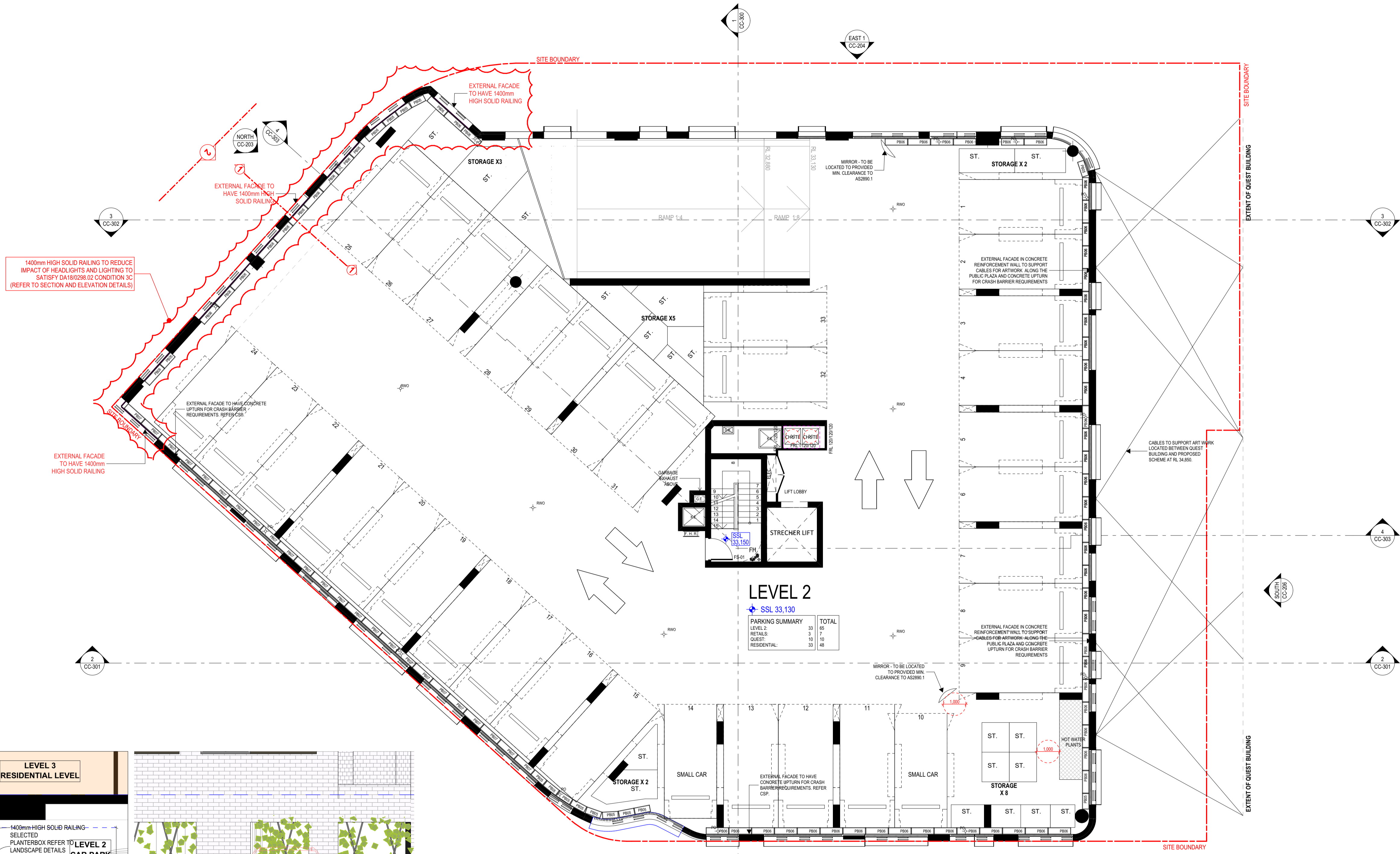
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Rev	Description	Date	App'd
B	ISSUE FOR COUNCIL APPROVAL	07/10/2020	
A	ISSUED FOR APPROVAL	02/10/2020	

Project: THE HENRY MIXED USE MULTI RESIDENTIAL

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

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Nominated Architects:  
 Ziad Boumehem Reg no 8008  
 Yousef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title: FLOOR PLANS

LEVEL 2 GAP

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale: 1:100, 1:50  
 gA1 Sheet Size

Project Number: 2019-114  
 Drawing Number: CC-102  
 Revision: B

Status: ISSUED FOR \$4.55



000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

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B	ISSUE FOR COUNCIL APPROVAL	07/10/2020
A	ISSUED FOR APPROVAL	02/10/2020
Rev	Description	Date App'd

Project:  
**THE HENRY**  
 MIXED USE MULTI RESIDENTIAL

15 ENGINEERS PLACE, PENRITH NSW 2750

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 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title:  
**FLOOR PLANS**  
 LEVEL 3 GAP

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale:  
 1:100  
 @A1 Sheet Size

Project Number: **2019-114**  
 Status: **ISSUED FOR S4.55**

Drawing Number: **CC-103**  
 Revision: **B**

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

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B	ISSUE FOR COUNCIL APPROVAL	07/10/2020
A	ISSUED FOR APPROVAL	02/10/2020
Rev	Description	Date App'd

Project: THE HENRY MIXED USE MULTI RESIDENTIAL  
 15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Toubia Reg no 9336

Drawing Title: FLOOR PLANS  
 LEVEL 4 GAP

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale: 1:100  
 gA1 Sheet Size

Project Number: 2019-114  
 Status: ISSUED FOR S4.55

Drawing Number: CC-104  
 Revision: B

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME  
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B	ISSUE FOR COUNCIL APPROVAL	07/10/2020
A	ISSUED FOR APPROVAL	02/10/2020
Rev	Description	Date App'd

Project: THE HENRY MIXED USE MULTI RESIDENTIAL  
 15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title: LEVEL 5 GAP

Date of Issue: 8/10/2020  
 Checked: RS  
 Approved: TJ

Scale: 1:100  
 (A1 Sheet Size) 50mm on original

Project Number: 2019-114  
 Status: ISSUED FOR S4.55

Drawing Number: CC-105  
 Revision: B

000528990 13 Oct 2020

Assessor: Connor Harwood  
Accreditation No.: VICBDAV/16/1757  
Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

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TYPICAL UNIT LAYOUT + AREA UPDATED.  
NO CHANGE TO EXTERNAL FACADE.

B	ISSUE FOR COUNCIL APPROVAL	07/10/2020
A	ISSUED FOR APPROVAL	02/10/2020
Rev	Description	Date App'd

Project  
**THE HENRY**  
MIXED USE MULTI RESIDENTIAL

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
Postal Address: PO BOX 2223 Burwood North NSW 2134  
Phone Number: +61 29745 2014  
Nominated Architects:  
Ziad Boumelhem Reg no 8008  
Youssef El Khawaja Reg no 8933  
Nicolas Toubia Reg no 9336

Drawing Title  
**FLOOR PLANS**  
LEVEL 6 GAP

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale  
1:100  
@A1 Sheet Size  
50mm on original

Project Number	Drawing Number	Revision
2019-114	CC-106	B

Status  
**ISSUED FOR S4.55**

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME  
 www.nathers.gov.au

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 2. DO NOT SCALE DRAWINGS.  
 3. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NOT TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRIES.



B	ISSUE FOR COUNCIL APPROVAL	07/10/2020
A	ISSUED FOR APPROVAL	02/10/2020
Rev	Description	Date App'd

Project  
**THE HENRY**  
 MIXED USE MULTI RESIDENTIAL

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
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 Nicolas Touba Reg no 9336

Drawing Title  
**FLOOR PLANS**  
 LEVEL 7 GAP

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale  
 1:100  
 @A1 Sheet Size 50mm on original

Project Number  
**2019-114**

Status  
**ISSUED FOR S4.55**

Drawing Number  
**CC-107**

Revision  
**B**

00528990 13 Oct 2020

Assessor: Connor Harwood  
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B	ISSUE FOR COUNCIL APPROVAL	07/10/2020
A	ISSUED FOR APPROVAL	02/10/2020
Rev	Description	Date App'd

Project: THE HENRY MIXED USE MULTI RESIDENTIAL  
 15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**  
 Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
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 Nicolas Toubia Reg no 9336

Drawing Title:  
**FLOOR PLANS**  
**LEVEL 8 GAP**

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale: 1:100  
 (A1 Sheet Size) 50mm on original

Project Number	Drawing Number	Revision
2019-114	CC-108	B

Status: ISSUED FOR S4.55

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

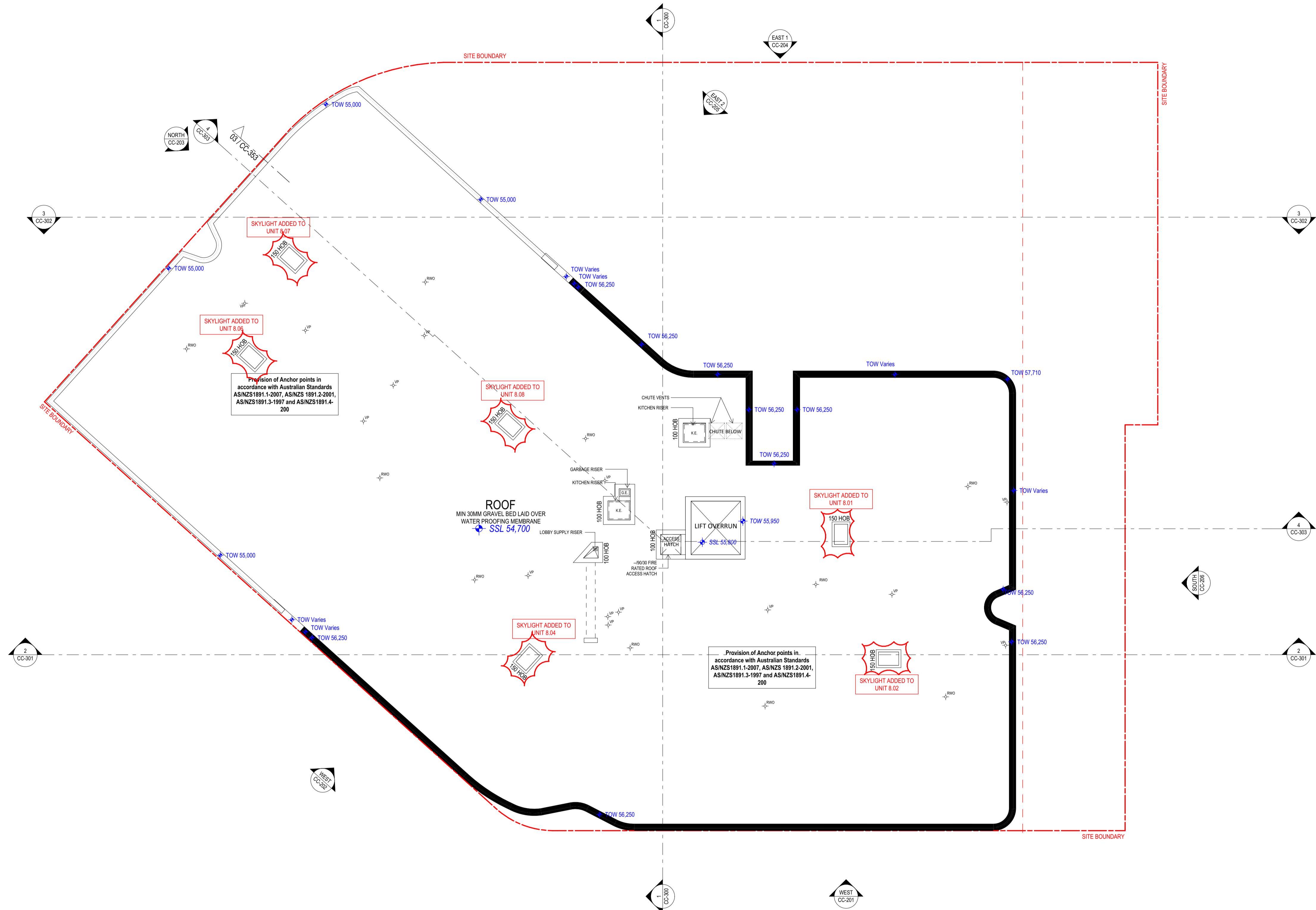
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Rev	Description	Date App'd

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Drawing Title: FLOOR PLANS  
 ROOF GAP

Date of Issue: 8/10/2020  
 Checked: RS  
 Approved: TJ

Scale: 1:100  
 (A1 Sheet Size) 50mm on original

Project Number: 2019-114  
 Drawing Number: CC-109  
 Revision: B  
 Status: ISSUED FOR S4.55

WINDOW TYPE	GD01	WINDOW TYPE	GD02																																																																																																																																																																																																															
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**0005289990 13 Oct 2020**

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

**6.2 Average star rating**

NATIONWIDE HOUSE ENERGY RATING SERVICE  
 www.nathers.gov.au

hstar.com.au

Copyright URBAN LINK PTY LTD ©

Notes:  
 1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
 2. DO NOT SCALE DRAWINGS.  
 3. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NOT TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRES.

WINDOW TAG	DOORWINDOW NUMBER	DOORWINDOW TYPE	FIXED PANEL	AWNING	AUTOMATED SLIDING	SLIDING	EQUAL	GLASS LOUVRE	MECHANICAL LOUVRE	HINGED	CONFIRM ON SITE	HEIGHT	WIDTH
F	A	AS	AS	AS	AS	AS	AS	AS	AS	AS	AS	AS	AS
S	S	EQ	LV	MLV	HG	C.O.S	H	W					

- Door and Window requirements to NDIS unit:**
- The external entry doorway must be provided the following on the arrival side of the door:  
 A step-free level landing area of at least 1500mm x 1500mm  
 A maximum gradient and crossfall of 1 in 40  
 Door circulation spaces as per AS1428.1 Clause 13.3.
  - All door circulation spaces (excluding internal door circulation spaces for bedrooms) shall be provided in accordance with AS1428.1 to both sides of the door.
  - Sliding door opening panel is to be located on balcony side with 20mm max. frame size beyond opening panel. (refer to door threshold to balcony details).
  - A covered roof shall be provided over the entire required landing area outside main external entry doorway.
  - Where the threshold at an external entry doorway exceeds 5mm and is less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
  - Where the threshold of external doorways leading to common or private open spaces exceed 5mm and are less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
  - All internal and external doorways provide a minimum clear opening of 950mm.
  - All internal doorways shall have a level transition and threshold (maximum tolerance of 3mm vertical or 5mm rounded between abutting surfaces).
  - All door handles installed at between 900mm to 1100mm above the FFL.
  - All door handles are 'D' lever type and meet profile requirements in accordance with AS 1428.1 Clause 13.5.2 & Figure 35(A).
  - Doorway circulation spaces in accordance with AS1428.1 Clause 13.3 shall be provided to all doorways (excluding exclusive staff use areas, non-accessible toilets and storage rooms). Door automation can be provided in lieu door circulation spaces that are required as per AS1428.1 to the latch side of the door. Note: if door circulation is not provided as per AS1428.1 then door automation must be provided at the onset and not simply provision for door automation at a future time.
  - A capped GPO at door head is provided for future automation to the following areas:  
 All participant bedrooms  
 One external entry door  
 One external entry door to open area (where provided).
  - Window sills must be positioned no higher than 1000mm above FFL in the following locations:  
 At least one sill in each participant bedroom  
 All sills in living areas.
  - Window controls located between 600mm to 1100mm above FFL. Note: Concession is reasonable in kitchen, bathroom and utility spaces.
  - A capped GPO at window head is provided for future automation to the following areas:  
 All windows in participant bedroom  
 All windows in living areas.
  - Lockable windows provided.

GLAZING AND FINISHES SCHEDULE:	
FRAME	DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT
DECAL	FROSTED FINISH STICKER
GLAZING	- SINGLE CLEAR GLASS WITH ALUMINIUM FRAME FOR ALL OTHER WINDOWS - LOW E GLASS TO SLIDING DOORS FOR WINDOW NUMBERS L8.07, L8.08, L8.10, AND L8.11

Rev	Description	Date	App'd
09	All windows height reduced and sill increased.	24/07/2020	
08	ISSUE FOR CC		



WINDOW TYPE	GD11	WINDOW TYPE	GD12	WINDOW TYPE	GD12N	WINDOW TYPE	W01	WINDOW TYPE	W01A	WINDOW TYPE																																																																																																																																																																																																																																																																																																																																																																								
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WIDTH (W)	HEIGHT (H)	Sill Height	LEVEL 03				L3.26	790	1,765	895	1				LEVEL 04				L4.24	790	1,765	895	1				LEVEL 05				L5.23	790	1,765	895	1				LEVEL 06				L6.24	790	1,765	895	1				LEVEL 07				L7.25	731	1,765	895	1				LEVEL 08				L8.24	731	1,765	895	1				<table border="1"> <thead> <tr> <th>WINDOW NO.</th> <th>WIDTH (W)</th> <th>HEIGHT (H)</th> <th>Sill Height</th> </tr> </thead> <tbody> <tr><td colspan="4">LEVEL 03</td></tr> <tr><td colspan="4" style="text-align: center;">1</td></tr> </tbody> </table>	WINDOW NO.	WIDTH (W)	HEIGHT (H)	Sill Height	LEVEL 03				1			
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**0005289990 13 Oct 2020**

**6.2**  
Average star rating

**NATIONWIDE HOUSE**  
ENERGY RATING SERVICE  
www.nathers.gov.au

Assessor: Conor Hnrwood  
Accreditation No: VICBDAV/16/1757  
Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

hstar.com.au

Copyright URBAN LINK PTY LTD ©

Notes:  
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
2. DO NOT SCALE DRAWINGS.  
3. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NOT TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRES.

LEGEND :	F	FIXED PANEL
WINDOW TAG	A	AWNING
WINDOW TAG	AS	AUTOMATED SLIDING
WINDOW TAG	S	SLIDING
WINDOW TAG	EQ	EQUAL
WINDOW TAG	LV	GLASS LOUVRE
WINDOW TAG	MLV	MECHANICAL LOUVRE
WINDOW TAG	HG	HINGED
WINDOW TAG	C.O.S	CONFIRM ON SITE
WINDOW TAG	H	HEIGHT
WINDOW TAG	W	WIDTH

- Door and Window requirements to NDIS unit:**
- The external entry doorway must be provided the following on the arrival side of the door:  
A step-free level landing area of at least 1500mm x 1500mm  
A maximum gradient and crossfall of 1 in 40  
Door circulation spaces as per AS1428.1 Clause 13.3.
  - All door circulation spaces (excluding internal door circulation spaces for bedrooms) shall be provided in accordance with AS1428.1 to both sides of the door.
  - Sliding door opening panel is to be located on balcony side with 20mm max. frame size beyond opening panel. (refer to door threshold to balcony details).
  - A covered roof shall be provided over the entire required landing area outside main external entry doorway.
  - Where the threshold at an external entry doorway exceeds 5mm and is less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
  - Where the threshold of external doorways leading to common or private open spaces exceed 5mm and are less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
  - All internal and external doorways provide a minimum clear opening of 950mm.
  - All internal doorways shall have a level transition and threshold (maximum tolerance of 3mm vertical or 5mm rounded between abutting surfaces).
  - All door handles installed at between 900mm to 1100mm above the FFL.
  - All door handles are 'D' lever type and meet profile requirements in accordance with AS 1428.1 Clause 13.5.2 & Figure 35(A).
  - Doorway circulation spaces in accordance with AS1428.1 Clause 13.3 shall be provided to all doorways (excluding exclusive staff use areas, non-accessible toilets and storage rooms). Door automation can be provided in lieu door circulation spaces that are required as per AS1428.1 to the latch side of the door. Note: if door circulation is not provided as per AS1428.1 then door automation must be provided at the onset and not simply provision for door automation at a future time.
  - A capped GPO at door head is provided for future automation to the following areas:  
All participant bedrooms  
One external entry door  
One external entry door to open area (where provided).
  - Window sills must be positioned no higher than 1000mm above FFL in the following locations:  
At least one sill in each participant bedroom  
All sills in living areas.
  - Window controls located between 600mm to 1100mm above FFL. Note: Concession is reasonable in kitchen, bathroom and utility spaces.
  - A capped GPO at window head is provided for future automation to the following areas:  
All windows in participant bedroom  
All windows in living areas.
  - Lockable windows provided.

GLAZING AND FINISHES SCHEDULE:	
FRAME	DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT
DECAL	FROSTED FINISH STICKER
GLAZING	- SINGLE CLEAR GLASS WITH ALUMINIUM FRAME FOR ALL OTHER WINDOWS - LOW E GLASS TO SLIDING DOORS FOR WINDOW NUMBERS L8.07, L8.08, L8.10, AND L8.11

GLAZING TBC AWAITING ACOUSTIC REPORT

WINDOW TYPE	WINDOW TYPE	W01D	WINDOW TYPE	W01E	WINDOW TYPE	W02	WINDOW TYPE	W03	WINDOW TYPE	W03A																																																																																							
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- WINDOW IS TO BE FITTED NEXT TO WINDOW W15C (REFER TO PLAN)		- WINDOW IS TO BE FITTED ON CURVED WALL (REFER TO GA PLAN FOR LOCATION)		- CORNER WINDOW IS TO JOIN WITH SQUARE SECTION WITH FINISH TO MATCH WINDOW FRAME (REFER TO PLAN)		- CORNER WINDOW IS TO JOIN WITH SQUARE SECTION WITH FINISH TO MATCH WINDOW FRAME (REFER TO PLAN)		- MATCH TRANSOM TO GLASS LOUVRE		- CORNER WINDOW IS TO JOIN WITH SQUARE SECTION WITH FINISH TO MATCH WINDOW FRAME (REFER TO PLAN)																																																																																							

- NOTES:**
- THIS SCHEDULE IS TO BE READ IN CONJUNCTION WITH SECTION J REPORT, BASIX CERTIFICATE, ACCESS REPORT, FIRE ENGINEERING REPORT, ACOUSTIC REPORT, AND ELECTRICAL CONSULTANTS' (FIRE AND AUTOMATED DOORS) DRAWINGS.
  - ALL WINDOWS AND DOORS ARE TO COMPLY WITH  
AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 1428.1 PART 6.6 VISUAL INDICATOR ON GLAZING
  - REFER TO BCA CLAUSE D2.24 PROTECTION OF FALL FOR BEDROOM WINDOWS THAT THE FLOOR BELOW THE WINDOW IS 2000mm OR MORE & SILLS LESS THAN 1700mm REQUIRE DEVICES TO PREVENT WINDOW OPENING MORE THAN 125mm.
  - ALL DIMENSION ARE NOMINAL. CHECK ALL DIMENSION ON SITE AND CHECK ORIENTATION ON PLAN. REFER TO CSP AND STRUCTURAL DRAWINGS FOR CONCRETE HOBS SIZE AND SOFFIT THICKNESS.
  - ALL WINDOW ON BRICK FACADE IS TO BE IN BRICK SIZE OPENING AND REVEAL TO BE MIN. 60mm.
  - CONSULT HEAD CONTRACTOR IF THERE IS ANY DISCREPANCY BETWEEN DOCUMENTS.
  - ALL AUTOMATIC SLIDING/HINGED DOORS MUST BE PROVIDED WITH AN AUTOMATIC FAIL SAFE DEVICE AND ELECTRIC TRIP IN CASE OF FIRE
  - ALL MULLION ON MECHANICAL LOUVRE TO BE AT 2400mm HIGH TO MATCH BULKHEAD
  - GLASS LOUVRE TO GROUND FLOOR RETAIL PROVIDED AS PER MECHANICAL ENGINEER'S FRESH AIR INTAKE IS TO BE ABLE TO BE RETROFITTED TO FUTURE USAGE.
  - FROSTED GLASS TO WET AREA WINDOWS.
  - REFER TO MECHANICAL LOUVRE SCHEDULE FOR DETAILS

Rev	Description	Date	App'd
07	All windows height reduced and sill increased.	24/07/2020	
06	ISSUE FOR CC	15/07/2020	
05	ISSUE FOR CC	09/07/2020	
04	Sliding door sill and height updated from slab to soffit	26/06/2020	
03	ISSUE FOR CC	17/06/2020	
02	ISSUE FOR CC	01/06/2020	
01	ISSUE FOR REVIEW	08/05/2020	

Project: **THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**  
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
Postal Address: PO BOX 2223 Burwood North NSW 2134  
Phone Number: +61 29745 2014  
Nominated Architects:  
Ziad Boumehem Reg no 8008  
Youssef El Khawaja Reg no 8933  
Nicolas Toubia Reg no 9336

Drawing Title: **WINDOWS/DOORS SCHEDULE**  
**WINDOW SCHEDULE 2 OF 4**

Date of Issue: 24/07/2020  
Checked: [ ] Approved: [ ]

Scale:

Project Number: **2019-114**  
Drawing Number: **CC-802**  
Status: **07**

**FOR CONSTRUCTION CERTIFICATE**

W1C DELETED

W1B DELETED

WINDOW TYPE	W04	WINDOW TYPE	W04A	WINDOW TYPE	W05	WINDOW TYPE	W06A	WINDOW TYPE	W10																																																																																																																																																																																																																																																																																																																																		
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0005289990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750  
 www.nathers.gov.au  
 hstar.com.au

6.2 Average star rating

NATIONWIDE HOUSE ENERGY RATING SERVICE

Copyright URBAN LINK PTY LTD ©

Notes:  
 1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
 2. DO NOT SCALE DRAWINGS.  
 3. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NOT TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRIES.

LEGEND:

WINDOW TAG	F	FIXED PANEL
AWNING	A	AWNING
AS	AS	AUTOMATED SLIDING
SLIDING	S	SLIDING
EQ	EQ	EQUAL
LV	LV	GLASS LOUVRE
MLV	MLV	MECHANICAL LOUVRE
HG	HG	HINGED
C.O.S	C.O.S	CONFIRM ON SITE
H	H	HEIGHT
W	W	WIDTH

**Door and Window requirements to NDIS unit:**

- The external entry doorway must be provided the following on the arrival side of the door:  
 A step-free level landing area of at least 1500mm x 1500mm  
 A maximum gradient and crossfall of 1 in 40  
 Door circulation spaces as per AS1428.1 Clause 13.3.
- All door circulation spaces (excluding internal door circulation spaces for bedrooms) shall be provided in accordance with AS1428.1 to both sides of the door.
- Sliding door opening panel is to be located on balcony side with 20mm max. frame size beyond opening panel. (refer to door threshold to balcony details).
- A covered roof shall be provided over the entire required landing area outside main external entry doorway.
- Where the threshold at an external entry doorway exceeds 5mm and is less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
- Where the threshold of external doorways leading to common or private open spaces exceed 5mm and are less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
- All internal and external doorways provide a minimum clear opening of 950mm.
- All internal doorways shall have a level transition and threshold (maximum tolerance of 3mm vertical or 5mm rounded between abutting surfaces).
- All door handles installed at between 900mm to 1100mm above the FFL.
- All door handles are 'D' lever type and meet profile requirements in accordance with AS 1428.1 Clause 13.5.2 & Figure 35(A).
- Doorway circulation spaces in accordance with AS1428.1 Clause 13.3 shall be provided to all doorways (excluding exclusive staff use areas, non-accessible toilets and storage rooms). Door automation can be provided in lieu door circulation spaces that are required as per AS1428.1 to the latch side of the door. Note: if door circulation is not provided as per AS1428.1 then door automation must be provided at the onset and not simply provision for door automation at a future time.
- A capped GPO at door head is provided for future automation to the following areas:  
 All participant bedrooms  
 One external entry door  
 One external entry door to open area (where provided).
- Window sills must be positioned no higher than 1000mm above FFL in the following locations:  
 At least one sill in each participant bedroom  
 All sills in living areas.
- Window controls located between 600mm to 1100mm above FFL. Note: Concession is reasonable in kitchen, bathroom and utility spaces.
- A capped GPO at window head is provided for future automation to the following areas:  
 All windows in participant bedroom  
 All windows in living areas.
- Lockable windows provided.

WINDOW TYPE	W11	WINDOW TYPE	W12	WINDOW TYPE	W13	WINDOW TYPE	W13A	WINDOW TYPE	W15																																																																																																																																																																																																																																																																																																																																																																											
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WIDTH (W)	HEIGHT (H)	Sill Height	LEVEL 04				L4.38	1,800	2,190	475				1	LEVEL 05				L5.37	1,800	2,190	475				1	LEVEL 06				L6.39	1,800	2,190	475				1	LEVEL 07				L7.39	1,800	2,190	475				1	LEVEL 08				L8.38	1,800	2,190	475				1	<table border="1"> <thead> <tr> <th>WINDOW NO.</th> <th>WIDTH (W)</th> <th>HEIGHT (H)</th> <th>Sill Height</th> </tr> </thead> <tbody> <tr> <td>LEVEL 03</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L3.29</td> <td>2,050</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> <tr> <td>LEVEL 08</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L8.31</td> <td>1,770</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> </tbody> </table>	WINDOW NO.	WIDTH (W)	HEIGHT (H)	Sill Height	LEVEL 03				L3.29	2,050	1,765	895				1	LEVEL 08				L8.31	1,770	1,765	895				1	<table border="1"> <thead> <tr> <th>WINDOW NO.</th> <th>WIDTH (W)</th> <th>HEIGHT (H)</th> <th>Sill Height</th> </tr> </thead> <tbody> <tr> <td>LEVEL 03</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L3.25</td> <td>2,281</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> <tr> <td>LEVEL 04</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L4.23</td> <td>2,281</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> <tr> <td>LEVEL 05</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L5.22</td> <td>2,281</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> <tr> <td>LEVEL 06</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L6.23</td> <td>2,281</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> <tr> <td>LEVEL 07</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L7.24</td> <td>3,050</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> <tr> <td>LEVEL 08</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L8.23</td> <td>3,050</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> </tbody> </table>	WINDOW NO.	WIDTH (W)	HEIGHT (H)	Sill Height	LEVEL 03				L3.25	2,281	1,765	895				1	LEVEL 04				L4.23	2,281	1,765	895				1	LEVEL 05				L5.22	2,281	1,765	895				1	LEVEL 06				L6.23	2,281	1,765	895				1	LEVEL 07				L7.24	3,050	1,765	895				1	LEVEL 08				L8.23	3,050	1,765	895				1	<table border="1"> <thead> <tr> <th>WINDOW NO.</th> <th>WIDTH (W)</th> <th>HEIGHT (H)</th> <th>Sill Height</th> </tr> </thead> <tbody> <tr> <td>LEVEL 03</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L3.05</td> <td>2,410</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>1</td> </tr> <tr> <td>LEVEL 04</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L4.04</td> <td>2,410</td> <td>1,765</td> <td>895</td> </tr> <tr> <td>L4.09</td> <td>2,050</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>2</td> </tr> <tr> <td>LEVEL 05</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L5.04</td> <td>2,410</td> <td>1,765</td> <td>895</td> </tr> <tr> <td>L5.40</td> <td>2,170</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>2</td> </tr> <tr> <td>LEVEL 06</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L6.05</td> <td>2,050</td> <td>1,765</td> <td>895</td> </tr> <tr> <td>L6.42</td> <td>2,170</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>2</td> </tr> <tr> <td>LEVEL 07</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L7.05</td> <td>1,930</td> <td>1,765</td> <td>895</td> </tr> <tr> <td>L7.10</td> <td>2,050</td> <td>1,765</td> <td>895</td> </tr> <tr> <td>L7.42</td> <td>2,180</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>3</td> </tr> <tr> <td>LEVEL 08</td> <td></td> <td></td> <td></td> </tr> <tr> <td>L8.05</td> <td>2,410</td> <td>1,765</td> <td>895</td> </tr> <tr> <td>L8.41</td> <td>2,170</td> <td>1,765</td> <td>895</td> </tr> <tr> <td></td> <td></td> <td></td> <td>2</td> </tr> </tbody> </table>	WINDOW NO.	WIDTH (W)	HEIGHT (H)	Sill Height	LEVEL 03				L3.05	2,410	1,765	895				1	LEVEL 04				L4.04	2,410	1,765	895	L4.09	2,050	1,765	895				2	LEVEL 05				L5.04	2,410	1,765	895	L5.40	2,170	1,765	895				2	LEVEL 06				L6.05	2,050	1,765	895	L6.42	2,170	1,765	895				2	LEVEL 07				L7.05	1,930	1,765	895	L7.10	2,050	1,765	895	L7.42	2,180	1,765	895				3	LEVEL 08				L8.05	2,410	1,765	895	L8.41	2,170	1,765	895				2
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- ALL WINDOWS AND DOORS ARE TO COMPLY WITH AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 1428.1 PART 6.6 VISUAL INDICATOR ON GLAZING
- REFER TO BCA CLAUSE D2.24 PROTECTION OF FALL FOR BEDROOM WINDOWS THAT THE FLOOR BELOW THE WINDOW IS 2000mm OR MORE & SILLS LESS THAN 1700mm REQUIRE DEVICES TO PREVENT WINDOW OPENING MORE THAN 125mm.
- ALL DIMENSION ARE NOMINAL. CHECK ALL DIMENSION ON SITE AND CHECK ORIENTATION ON PLAN. REFER TO CSP AND STRUCTURAL DRAWINGS FOR CONCRETE HOBB SIZE AND SOFFIT THICKNESS.
- ALL WINDOW ON BRICK FACADE IS TO BE IN BRICK SIZE OPENING AND REVEAL TO BE MIN. 60mm.
- CONSULT HEAD CONTRACTOR IF THERE IS ANY DISCREPANCY BETWEEN DOCUMENTS.
- ALL AUTOMATIC SLIDING/HINGED DOORS MUST BE PROVIDED WITH AN AUTOMATIC FAIL SAFE DEVICE AND ELECTRIC TRIP IN CASE OF FIRE
- ALL MULLION ON MECHANICAL LOUVRE TO BE AT 2400mm HIGH TO MATCH BULKHEAD
- GLASS LOUVRE TO GROUND FLOOR RETAIL PROVIDED AS PER MECHANICAL ENGINEER'S FRESH AIR INTAKE IS TO BE ABLE TO BE RETROFITTED TO FUTURE USAGE.
- FROSTED GLASS TO WET AREA WINDOWS.
- REFER TO MECHANICAL LOUVRE SCHEDULE FOR DETAILS

**GLAZING AND FINISHES SCHEDULE:**

FRAME	DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT
DECAL	FROSTED FINISH STICKER
GLAZING	- SINGLE CLEAR GLASS WITH ALUMINIUM FRAME FOR ALL OTHER WINDOWS - LOW E GLASS TO SLIDING DOORS FOR WINDOW NUMBERS L8.07, L8.08, L8.10, AND L8.11

GLAZING TBC AWAITING ACOUSTIC REPORT

Rev	Description	Date	App'd
06	All windows height reduced and sill increased.	24/07/2020	
05	ISSUE FOR CC	15/07/2020	
04	ISSUE FOR CC	09/07/2020	
03	ISSUE FOR CC	17/06/2020	
02	ISSUE FOR CC	01/06/2020	
01	ISSUE FOR REVIEW	08/05/2020	

Project: THE HENRY MIXED USE MULTI RESIDENTIAL

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Zaid Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Toubia Reg no 9336

Drawing Title: **WINDOWS/DOORS SCHEDULE**

WINDOW SCHEDULE 3 OF 4

Date of Issue: 24/07/2020  
 Checked: [Signature]  
 Approved: [Signature]

Scale: 50mm on original

Project Number: 2019-114  
 Drawing Number: CC-803  
 Revision: 06

**FOR CONSTRUCTION CERTIFICATE**

WINDOW TYPE	WINDOW TYPE	W15N	WINDOW TYPE	W16	WINDOW TYPE	W17	WINDOW TYPE	W18N	WINDOW TYPE	W20																																																																																																																																																																																																																																																																																																																																																																																																					
TOTAL	TOTAL	6	TOTAL	12	TOTAL	13	TOTAL	2	TOTAL	1																																																																																																																																																																																																																																																																																																																																																																																																					
					<p>000528990 13 Oct 2020</p> <p>Assessor: Conor Harwood            Accreditation No: VICBDAV/16/1757            Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750            www.nathers.gov.au            hstar.com.au</p>																																																																																																																																																																																																																																																																																																																																																																																																										
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WIDTH (W)	HEIGHT (H)	Sill Height	LEVEL 03				L3.18	2,410	1,765	895	1				LEVEL 04				L4.16	2,410	1,765	895	1				LEVEL 05				L5.15	2,410	1,765	895	1				LEVEL 06				L6.16	2,410	1,765	895	1				LEVEL 07				L7.17	2,410	1,765	895	1				LEVEL 08				L8.16	2,410	1,765	895	1				<table border="1"> <thead> <tr> <th>WINDOW NO.</th> <th>WIDTH (W)</th> <th>HEIGHT (H)</th> <th>Sill Height</th> </tr> </thead> <tbody> <tr><td colspan="4">LEVEL 03</td></tr> <tr><td>L3.10</td><td>3,490</td><td>1,765</td><td>895</td></tr> <tr><td>L3.17</td><td>3,370</td><td>1,765</td><td>895</td></tr> <tr><td>L3.34</td><td>3,890</td><td>1,765</td><td>895</td></tr> <tr><td>L3.41</td><td>2,530</td><td>1,765</td><td>895</td></tr> <tr><td colspan="4" style="text-align: center;">4</td></tr> <tr><td colspan="4">LEVEL 04</td></tr> <tr><td>L4.15</td><td>3,370</td><td>1,765</td><td>895</td></tr> <tr><td colspan="4" style="text-align: center;">1</td></tr> <tr><td colspan="4">LEVEL 05</td></tr> <tr><td>L5.14</td><td>3,370</td><td>1,765</td><td>895</td></tr> <tr><td colspan="4" style="text-align: center;">1</td></tr> <tr><td colspan="4">LEVEL 06</td></tr> <tr><td>L6.15</td><td>3,370</td><td>1,765</td><td>895</td></tr> <tr><td colspan="4" style="text-align: center;">1</td></tr> <tr><td colspan="4">LEVEL 07</td></tr> <tr><td>L7.16</td><td>3,370</td><td>1,765</td><td>895</td></tr> <tr><td>L7.28</td><td>2,890</td><td>1,765</td><td>895</td></tr> <tr><td colspan="4" style="text-align: center;">2</td></tr> <tr><td colspan="4">LEVEL 08</td></tr> <tr><td>L8.09</td><td>3,490</td><td>1,765</td><td>895</td></tr> <tr><td>L8.15</td><td>3,370</td><td>1,765</td><td>895</td></tr> <tr><td>L8.27</td><td>2,890</td><td>1,765</td><td>895</td></tr> <tr><td colspan="4" style="text-align: center;">3</td></tr> </tbody> </table>	WINDOW NO.	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L7.18	3,130	1,765	895																																																																																																																																																																																																																																																																																																																																																																																																												
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L4.27	2,890	1,765	895																																																																																																																																																																																																																																																																																																																																																																																																												
L4.31	2,890	1,765	895																																																																																																																																																																																																																																																																																																																																																																																																												
L4.34	2,933	1,765	895																																																																																																																																																																																																																																																																																																																																																																																																												
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L5.10	2,250	2,890	-85																																																																																																																																																																																																																																																																																																																																																																																																												
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G.01	4,956	2,490	600																																																																																																																																																																																																																																																																																																																																																																																																												
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- WINDOW IS TO BE FITTED NEXT TO WINDOW W15C	- TO COMPLY WITH NDIS REQUIREMENTS - PROVIDE AUTOMATIC FAIL SAFE DEVICE (REFER TO NOTE 8)	- TO COMPLY WITH NDIS REQUIREMENTS - PROVIDE AUTOMATIC FAIL SAFE DEVICE (REFER TO NOTE 8)	- TO COMPLY WITH NDIS REQUIREMENTS - PROVIDE AUTOMATIC FAIL SAFE DEVICE (REFER TO NOTE 8)	- TO COMPLY WITH NDIS REQUIREMENTS - PROVIDE AUTOMATIC FAIL SAFE DEVICE (REFER TO NOTE 8)	- TO COMPLY WITH NDIS REQUIREMENTS - MATCH LOWER TRANSOM HEIGHT TO WINDOW SILL (895+85) - PROVIDE 150mm SUBHEAD FOR FUTURE AUTOMATION SYSTEM.	- TO COMPLY WITH NDIS REQUIREMENTS - MATCH LOWER TRANSOM HEIGHT TO WINDOW SILL (895+85) - PROVIDE 150mm SUBHEAD FOR FUTURE AUTOMATION SYSTEM.	- TO COMPLY WITH NDIS REQUIREMENTS - MATCH LOWER TRANSOM HEIGHT TO WINDOW SILL (895+85) - PROVIDE 150mm SUBHEAD FOR FUTURE AUTOMATION SYSTEM.	- GLASS LOUVRE IS TO BE ABLE TO BE RETROFITTED (REFER TO NOTE 9)	- GLASS LOUVRE IS TO BE ABLE TO BE RETROFITTED (REFER TO NOTE 9)	- GLASS LOUVRE IS TO BE ABLE TO BE RETROFITTED (REFER TO NOTE 9)	- GLASS LOUVRE IS TO BE ABLE TO BE RETROFITTED (REFER TO NOTE 9)																																																																																																																																																																																																																																																																																																																																																																																																				

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 3. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NOT TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRES.

WINDOW TAG	FIXED PANEL
A	AWNING
AS	AUTOMATED SLIDING
S	SLIDING
EQ	EQUAL
LV	GLASS LOUVRE
MLV	MECHANICAL LOUVRE
HG	HINGED
C.O.S	CONFIRM ON SITE
H	HEIGHT
W	WIDTH

- Door and Window requirements to NDIS unit:**
- The external entry doorway must be provided the following on the arrival side of the door:  
 A step-free level landing area of at least 1500mm x 1500mm  
 A maximum gradient and crossfall of 1 in 40  
 Door circulation spaces as per AS1428.1 Clause 13.3
  - All door circulation spaces (excluding internal door circulation spaces for bedrooms) shall be provided in accordance with AS1428.1 to both sides of the door.
  - Sliding door opening panel is to be located on balcony side with 20mm max. frame size beyond opening panel. (refer to door threshold to balcony details).
  - A covered roof shall be provided over the entire required landing area outside main external entry doorway.
  - Where the threshold at an external entry doorway exceeds 5mm and is less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
  - Where the threshold of external doorways leading to common or private open spaces exceed 5mm and are less than 35mm, a doorway threshold ramp must be provided in accordance with AS1428.1 Clause 10.5.
  - All internal and external doorways provide a minimum clear opening of 950mm.
  - All internal doorways shall have a level transition and threshold (maximum tolerance of 3mm vertical or 5mm rounded between abutting surfaces).
  - All door handles installed at between 900mm to 1100mm above the FFL.
  - All door handles are 'D' lever type and meet profile requirements in accordance with AS 1428.1 Clause 13.5.2 & Figure 35(A).
  - Doorway circulation spaces in accordance with AS1428.1 Clause 13.3 shall be provided to all doorways (excluding exclusive staff use areas, non-accessible toilets and storage rooms). Door automation can be provided in lieu door circulation spaces that are required as per AS1428.1 to the latch side of the door. Note: if door circulation is not provided as per AS1428.1 then door automation must be provided at the onset and not simply provision for door automation at a future time.
  - A capped GPO at door head is provided for future automation to the following areas:  
 All participant bedrooms  
 One external entry door  
 One external entry door to open area (where provided).
  - Window sills must be positioned no higher than 1000mm above FFL in the following locations:  
 At least one sill in each participant bedroom  
 All sills in living areas.
  - Window controls located between 600mm to 1100mm above FFL. Note: Concession is reasonable in kitchen, bathroom and utility spaces.
  - A capped GPO at window head is provided for future automation to the following areas:  
 All windows in participant bedroom  
 All windows in living areas.
  - Lockable windows provided.

FRAME	DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT
DECAL	FROSTED FINISH STICKER
GLAZING	- SINGLE CLEAR GLASS WITH ALUMINIUM FRAME FOR ALL OTHER WINDOWS - LOW E GLASS TO SLIDING DOORS FOR WINDOW NUMBERS L8.07, L8.08, L8.10, AND L8.11

GLAZING TBC AWAITING ACOUSTIC REPORT

WINDOW TYPE	W21	WINDOW TYPE	W22	WINDOW TYPE	W23	SKYLIGHT TYPE	SL01																																																																
TOTAL	2	TOTAL	2	TOTAL	1	TOTAL	6																																																																
					<p>000528990 13 Oct 2020</p> <p>Assessor: Conor Harwood            Accreditation No: VICBDAV/16/1757            Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750            www.nathers.gov.au            hstar.com.au</p>																																																																		
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**NOTES:**

- THIS SCHEDULE IS TO BE READ IN CONJUNCTION WITH SECTION J REPORT, BASIX CERTIFICATE, ACCESS REPORT, FIRE ENGINEERING REPORT, ACOUSTIC REPORT, AND ELECTRICAL CONSULTANTS' (FIRE AND AUTOMATED DOORS) DRAWINGS.
- ALL WINDOWS AND DOORS ARE TO COMPLY WITH AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION  
 AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION  
 AS 1428.1 PART 6.6 VISUAL INDICATOR ON GLAZING
- REFER TO BCA CLAUSE D2.24 PROTECTION OF FALL FOR BEDROOM WINDOWS THAT THE FLOOR BELOW THE WINDOW IS 2000mm OR MORE & SILLS LESS THAN 1700mm REQUIRE DEVICES TO PREVENT WINDOW OPENING MORE THAN 125mm.
- ALL DIMENSION ARE NOMINAL. CHECK ALL DIMENSION ON SITE AND CHECK ORIENTATION ON PLAN. REFER TO CSP AND STRUCTURAL DRAWINGS FOR CONCRETE HOBS SIZE AND SOFFIT THICKNESS.
- ALL WINDOW ON BRICK FACADE IS TO BE IN BRICK SIZE OPENING AND REVEAL TO BE MIN. 60mm.
- CONSULT HEAD CONTRACTOR IF THERE IS ANY DISCREPANCY BETWEEN DOCUMENTS.
- ALL AUTOMATIC SLIDING/HINGED DOORS MUST BE PROVIDED WITH AN AUTOMATIC FAIL SAFE DEVICE AND ELECTRIC TRIP IN CASE OF FIRE
- ALL MULLION ON MECHANICAL LOUVRE TO BE AT 2400mm HIGH TO MATCH BULKHEAD
- GLASS LOUVRE TO GROUND FLOOR RETAIL PROVIDED AS PER MECHANICAL ENGINEER'S FRESH AIR INTAKE IS TO BE ABLE TO BE RETROFITTED TO FUTURE USAGE.
- FROSTED GLASS TO WET AREA WINDOWS.
- REFER TO MECHANICAL LOUVRE SCHEDULE FOR DETAILS

Rev	Description	Date	App'd
06	All windows height reduced and sill increased.	24/07/2020	
05	ISSUE FOR CC - W18N added	15/07/2020	
04	Skylight added	09/07/2020	
03	ISSUE FOR CC	17/06/2020	
02	ISSUE FOR CC	01/06/2020	
01	ISSUE FOR REVIEW	08/05/2020	

**THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**  
 Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Toubia Reg no 9336

Drawing Title  
**WINDOWS/DOORS SCHEDULE**  
**WINDOW SCHEDULE 4 OF 4**

Date of Issue: 24/07/2020  
 Checked: [Signature]  
 Approved: [Signature]

Scale: 1:100

Project Number: 2019-114  
 Drawing Number: CC-804  
 Revision: 06

**FOR CONSTRUCTION CERTIFICATE**

000528990 13 Oct 2020

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME  
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Rev	Description	Date	App'd
A	ISSUE FOR COUNCIL APPROVAL	07/10/2020	

Project:  
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 MIXED USE MULTI RESIDENTIAL

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 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933      Nicolas Toubia Reg no 9336

Drawing Title:  
**SECTIONS**  
**SECTION 1**

Date of Issue: 8/10/2020      Checked:      Approved:     

Scale:  
 1:100  
 (A1 Sheet Size)      50mm on original

Project Number: 2019-114      Drawing Number: CC-300      Revision: A  
 Status: ISSUED FOR S4.55

000528990 13 Oct 2020

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

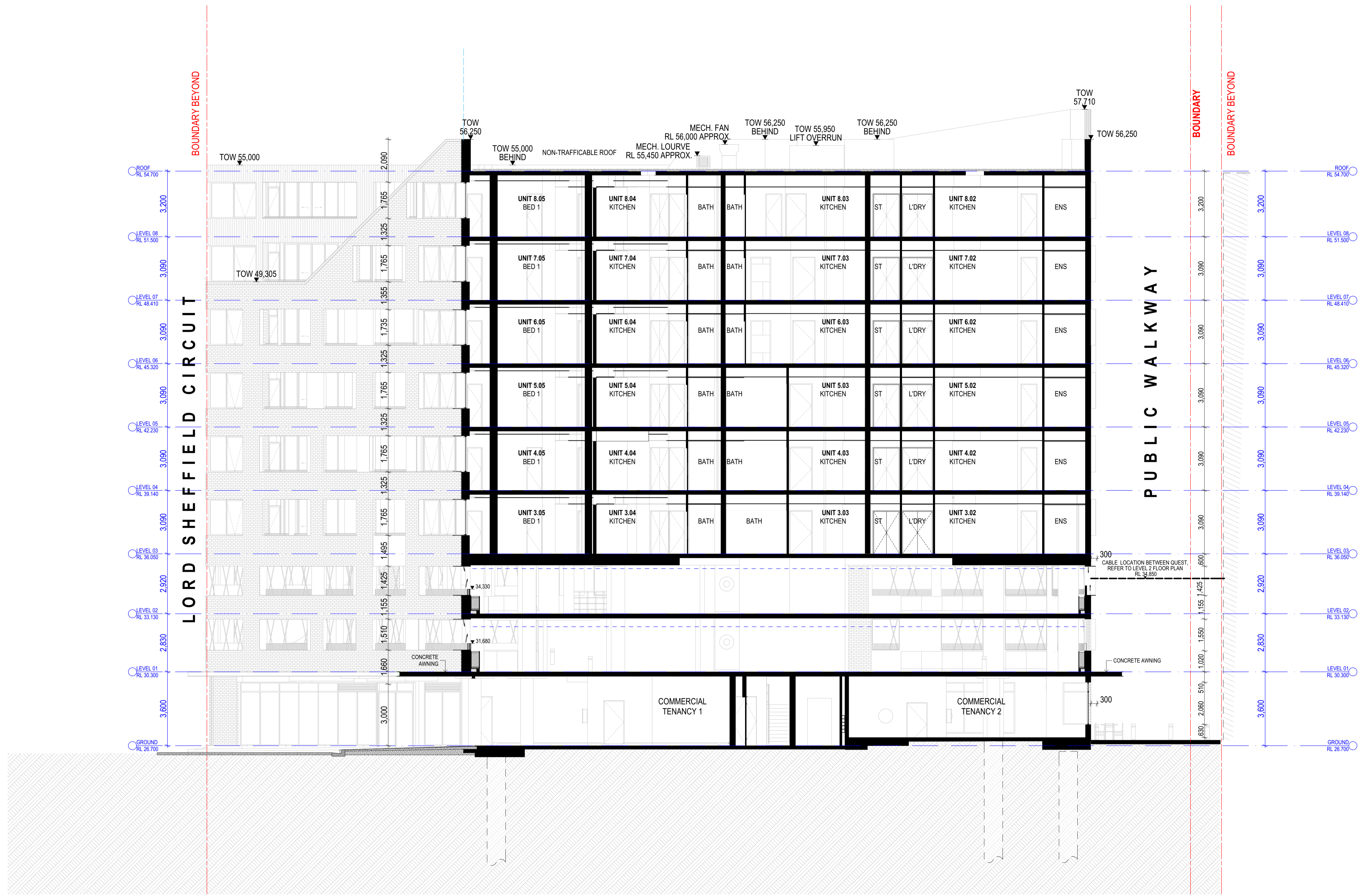
6.2 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME  
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Rev	Description	Date	App'd
A	ISSUE FOR COUNCIL APPROVAL	07/10/2020	

Project:  
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 Youssef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title:  
**SECTIONS**  
**SECTION 2**

Date of Issue: 8/10/2020  
 Checked: [ ] Approved: [ ]

Scale:  
 1:100  
 (A1 Sheet Size)

Project Number: 2019-114  
 Drawing Number: CC-301  
 Revision: A

Status:  
**ISSUED FOR S4.55**

000528990 13 Oct 2020

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

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A ISSUE FOR COUNCIL APPROVAL 07/10/2020

Rev Description Date App'd

Project

**THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architect:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933 Nicolas Touba Reg no 9336

Drawing Title

**SECTIONS**

**SECTION 3**

Date of Issue Checked Approved

8/10/2020

Scale

1:100

gA1 Sheet Size

50mm on original

Project Number

2019-114

Status

ISSUED FOR S4.55

Drawing Number

CC-302

Revision

A

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

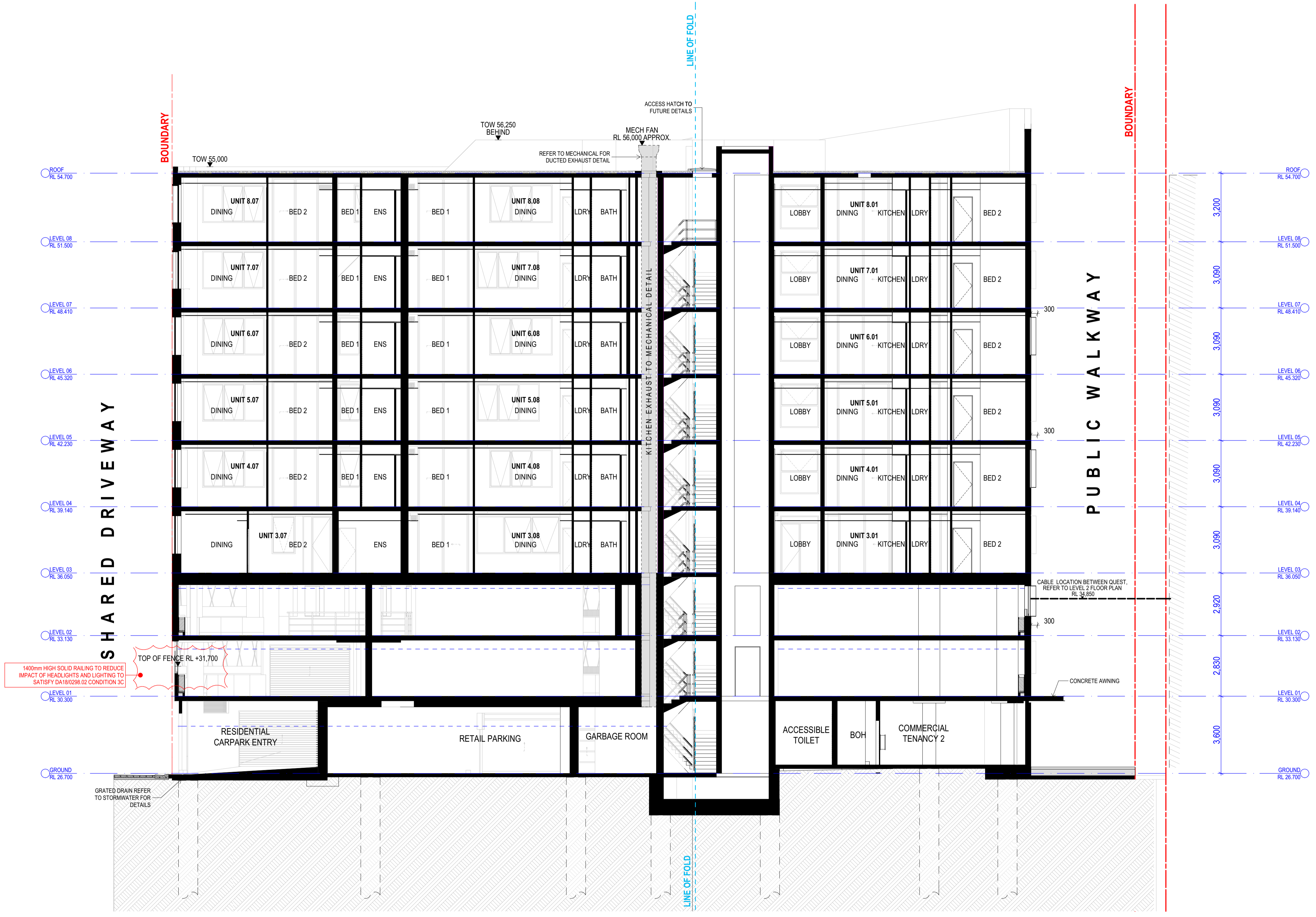
6.2 Average star rating

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Project

**THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

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 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933 Nicolas Toubaia Reg no 9336

Drawing Title

**SECTIONS**

**SECTION 4**

Date of Issue Checked Approved

8/10/2020

Scale

1:100  
 (A1 Sheet Size)

Project Number

2019-114

Status

ISSUED FOR \$4.55

Drawing Number Revision

CC-303 A

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

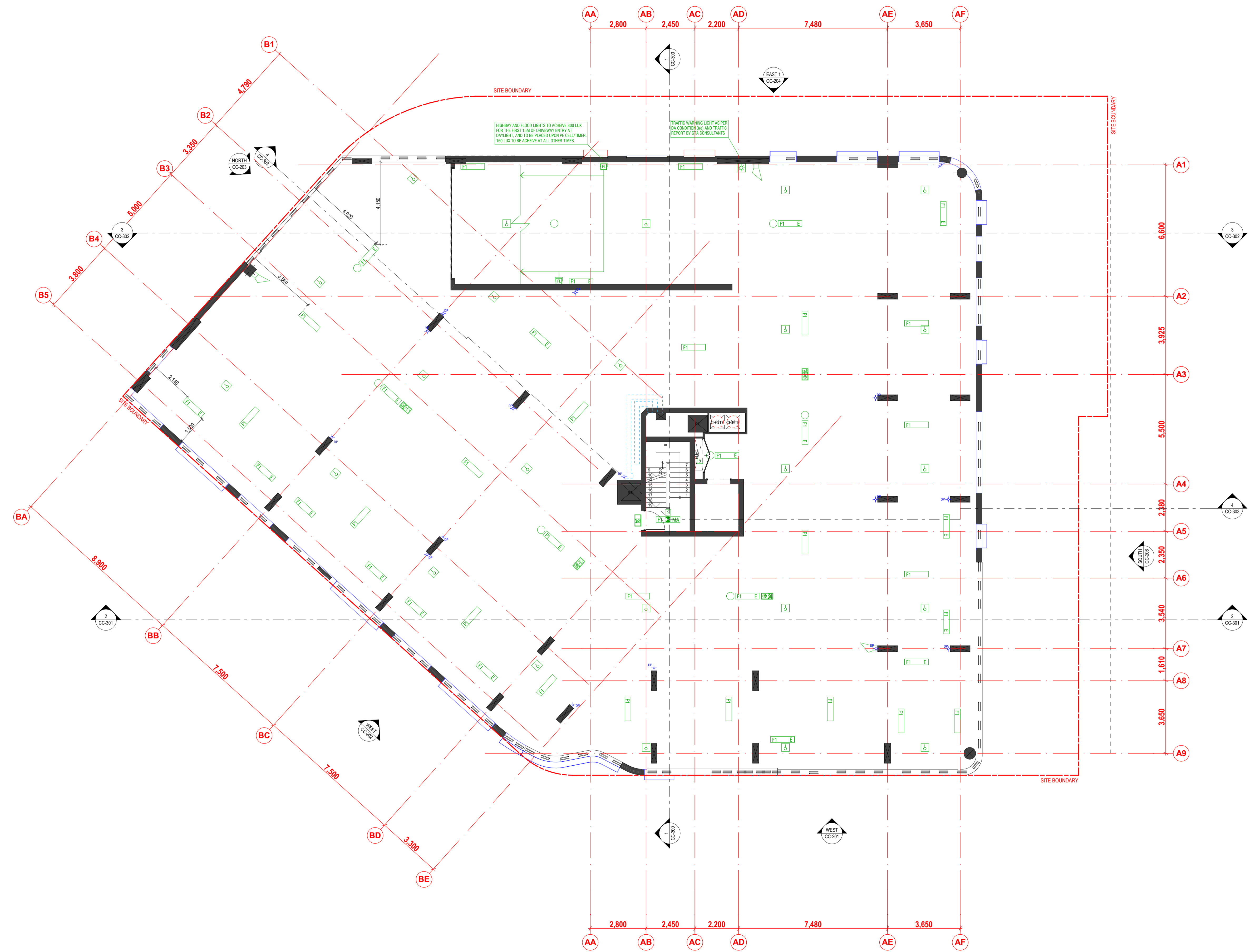
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### LIGHTING LEGEND

- 1 X 40W SURFACE MOUNTED LED  
E - DENOTES EMERGENCY LUMINAIRE INCL.
- 1 X 40W WALL MOUNTED LED
- 1 X 40W SURFACE MOUNTED LED MOTION ACTIVATED  
E - DENOTES EMERGENCY LUMINAIRE INCL.
- 1 X 40W SURFACE MOUNTED LED MOTION ACTIVATED
- LED DOWN LIGHT
- LED DOWN LIGHT IP RATED TO AT LEAST IP45
- LED DOWN LIGHT IN CANISTER SURFACE MOUNTED >IP45
- LED TASK LIGHT
- LED SPIKE LIGHT - IP RATED
- 125W LED FLOOD LIGHT - 4000K
- 125W LED HIGHBAY - PRISMA, COLOUR TEMP 5000K SAMSUNG SMD2835 LED OR EQUIVALENT
- BRICK LIGHT
- WALL MOUNTED LED LIGHT
- 3W LED EMERGENCY SPIT FIRE
- 360 DEGREE MOTION DETECTOR
- LIGHT SWITCH, 1 WAY
- LIGHT SWITCH, 2 WAY
- LIGHT SWITCH, 3 WAY
- LIGHT SWITCH, DOUBLE POLE (LIGHT & FAN NOT INTERCONNECTED)
- LED ILLUMINATED EXIT SIGN (PICTORIAL TYPE)
- LED ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROW 2 SIDES
- EXHAUST VENT
- PE TIMER CONTROLLER CELL

REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR DETAILS

A ISSUE FOR COUNCIL APPROVAL 07/10/2020

Rev Description Date App'd

Project

**THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title

**RCP**

**LEVEL 1 RCP**

Date of Issue 8/10/2020 Checked RS Approved TJ

Scale 1:100 (A1 Sheet Size) 50mm on original

Project Number 2019-114 Drawing Number CC-701 Revision A

Status **ISSUED FOR \$4.55**



000528990 13 Oct 2020

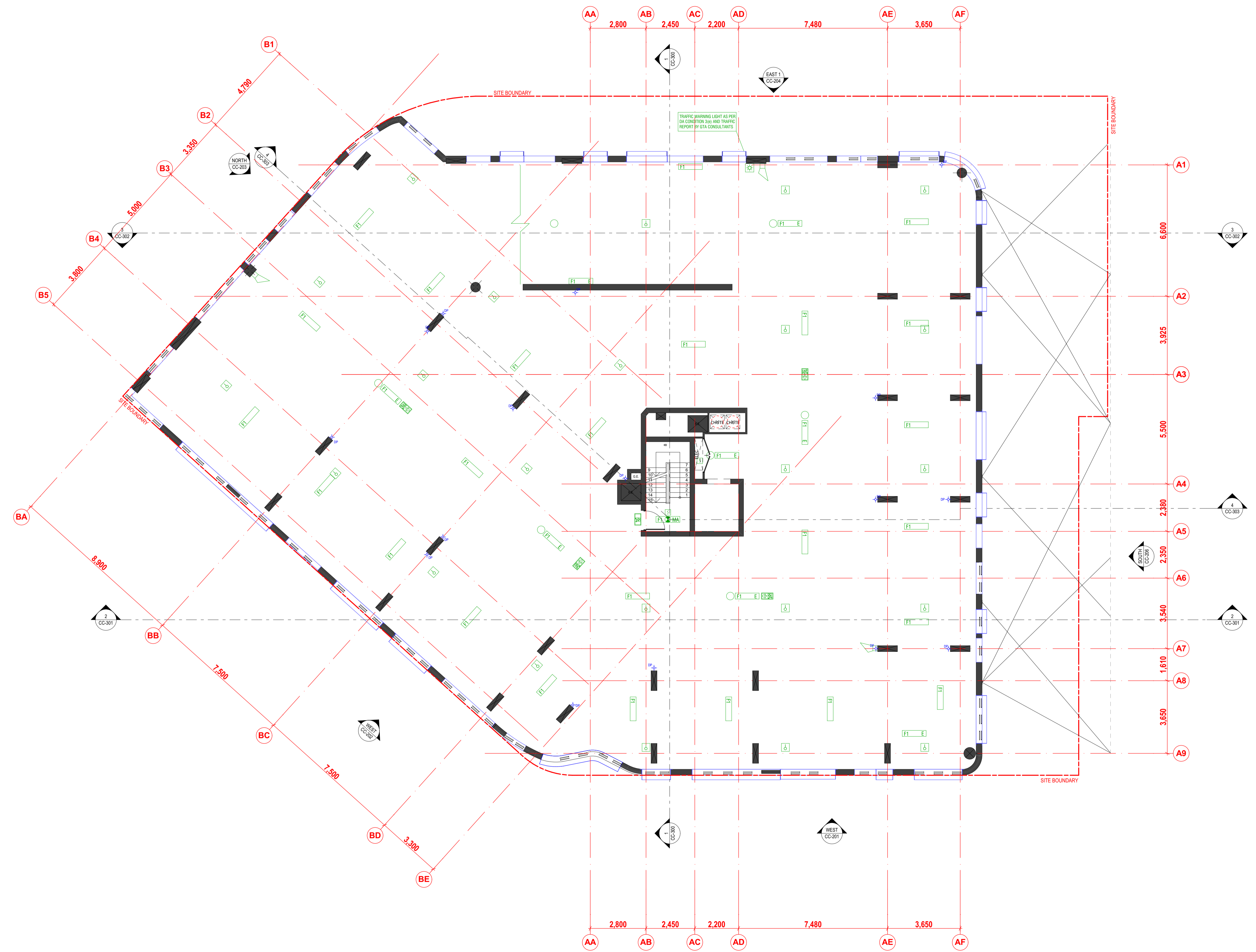
Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750  
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**6.2**  
Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME

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**LIGHTING LEGEND**

	1 X 40W SURFACE MOUNTED LED E - DENOTES EMERGENCY LUMINAIRE INCL.
	1 X 40W WALL MOUNTED LED
	1 X 40W SURFACE MOUNTED LED MOTION ACTIVATED E - DENOTES EMERGENCY LUMINAIRE INCL.
	1 X 40W SURFACE MOUNTED LED MOTION ACTIVATED
	LED DOWN LIGHT
	LED DOWN LIGHT IP RATED TO AT LEAST IP45
	LED DOWN LIGHT IN CANISTER SURFACE MOUNTED >IP45
	LED TASK LIGHT
	LED SPIKE LIGHT - IP RATED
	125W LED FLOOD LIGHT - 4000K
	125W LED HIGHBAY - PRISMA, COLOUR TEMP 5000K SAMSUNG SMD2835 LED OR EQUIVALENT
	BRICK LIGHT
	WALL MOUNTED LED LIGHT
	3W LED EMERGENCY SPIT FIRE
	360 DEGREE MOTION DETECTOR
	LIGHT SWITCH, 1 WAY
	LIGHT SWITCH, 2 WAY
	LIGHT SWITCH, 3 WAY
	LIGHT SWITCH, DOUBLE POLE (LIGHT & FAN NOT INTERCONNECTED)
	LED ILLUMINATED EXIT SIGN (PICTORIAL TYPE)
	LED ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROW 2 SIDES
	EXHAUST VENT
	PE TIMER CONTROLLER CELL

REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR DETAILS

A ISSUE FOR COUNCIL APPROVAL 07/10/2020

Rev	Description	Date	App'd

Project:  
**THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title:  
**RCP LEVEL 2 RCP**

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale:  
 1:100  
 (A1 Sheet Size) 50mm on original

Project Number: **2019-114**  
 Drawing Number: **CC-702**  
 Revision: **A**

Status:  
**ISSUED FOR \$4.55**

000528990 13 Oct 2020

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

6.2 Average star rating

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- 1 EXTERNAL WALL - RENDER & OR PAINT DULUX - DOMINO GR10
- 2 EXTERNAL WALL - FACEBRICK AUSTRAL - GREY CASHMERE
- 3 EXTERNAL CLADDING - STEEL PROFILE - LYSAGHT DOMINION® WITH COLOURBOND BASALT® MATT
- 4 SUNHOOD - ALUMINIUM FRAMING DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 5 WALL CLADDING - PAINTED CFC DULUX - DOMINO GR10
- 7 WINDOW & DOOR FRAMES DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 8 ALUMINIUM BALUSTRADE, FENCE, GATES & RAILING DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 9 ARTWOK CABLE TBC

A ISSUED FOR APPROVAL 02/10/2020

Rev Description Date App'd

Project

**THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
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 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title

**ELEVATIONS**

**WEST ELEVATION 1 (L.S.C.)**

Date of Issue 8/10/2020 Checked RS Approved TJ

Scale 1:100 (A4 Sheet Size) 50mm on original

Project Number 2019-114 Drawing Number CC-201 Revision A

Status ISSUED FOR S4.55

000528990 13 Oct 2020

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
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6.2 Average star rating

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- 1 EXTERNAL WALL - RENDER &/OR PAINT  
DULUX - DOMINO GR10
- 2 EXTERNAL WALL - FACEBRICK  
AUSTRAL - GREY CASHMERE
- 3 EXTERNAL CLADDING - STEEL PROFILE - LYSAGHT DOMINION® WITH COLOURBOND BASALT® MATT
- 4 SUNHOOD - ALUMINIUM FRAMING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 5 WALL CLADDING - PAINTED CFC  
DULUX - DOMINO GR10
- 7 WINDOW & DOOR FRAMES  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 8 ALUMINIUM BALUSTRADE, FENCE, GATES & RAILING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 9 ARTWOK CABLE TBC

A ISSUED FOR APPROVAL 02/10/2020  
 Rev Description Date App'd  
 Project  
**THE HENRY MIXED USE MULTI RESIDENTIAL**  
 15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**  
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 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title  
**ELEVATIONS**  
**WEST ELEVATION 2**

Date of Issue 8/10/2020 Checked RS Approved TJ

Scale  
**1:100**  
 @A1 Sheet Size 50mm on original

Project Number  
**2019-114**

Drawing Number  
**CC-202**

Revision  
**A**

Status  
**ISSUED FOR \$4.55**

000528990 13 Oct 2020

Assessor: Connor Harwood  
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DULUX - DOMINO GR10
- 2** EXTERNAL WALL - FACEBRICK  
AUSTRAL - GREY CASHMERE
- 3** EXTERNAL CLADDING - STEEL PROFILE  
LYSAGHT DOMINION® WITH COLOURBOND BASALT® MATT
- 4** SUNHOOD - ALUMINIUM FRAMING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 5** WALL CLADDING - PAINTED CFC  
DULUX - DOMINO GR10
- 7** WINDOW & DOOR FRAMES  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 8** ALUMINIUM BALUSTRADE, FENCE, GATES & RAILING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 9** ARTWOK CABLE  
TBC

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Rev Description Date App'd

Project  
**THE HENRY**  
 MIXED USE MULTI RESIDENTIAL

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134  
 Postal Address: PO BOX 2223 Burwood North NSW 2134  
 Phone Number: +61 29745 2014  
 Nominated Architects:  
 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title  
**ELEVATIONS**  
 NORTH ELEVATION

Date of Issue 8/10/2020 Checked RS Approved TJ

Scale  
 1:100  
 (A1 Sheet Size) 50mm on original

Project Number 2019-114 Drawing Number CC-203 Revision A

Status  
**ISSUED FOR \$4.55**

000528990 13 Oct 2020

Assessor: Connor Harwood  
 Accreditation No.: VICBDAV/16/1757  
 Address: Lot 3008 Lord Sheffield Circuit, Penrith, NSW, 2750

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DULUX - DOMINO GR10
- 2 EXTERNAL WALL - FACEBRICK  
AUSTRAL - GREY CASHMERE
- 3 EXTERNAL CLADDING - STEEL PROFILE - LYSAGHT DOMINION<sup>®</sup> WITH COLOURBOND BASALT<sup>®</sup> MATT
- 4 SUNHOOD - ALUMINIUM FRAMING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 5 WALL CLADDING - PAINTED CFC  
DULUX - DOMINO GR10
- 7 WINDOW & DOOR FRAMES  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 8 ALUMINIUM BALUSTRADE, FENCE, GATES & RAILING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 9 ARTWOK CABLE  
TBC

1400mm HIGH SOLID RAILING TO REDUCE IMPACT OF HEADLIGHTS AND LIGHTING TO SATISFY DA180298.02 CONDITION 3C

A	ISSUED FOR APPROVAL	02/10/2020
Rev	Description	Date App'd
Project	THE HENRY MIXED USE MULTI RESIDENTIAL	

15 ENGINEERS PLACE, PENRITH NSW 2750

**URBAN LINK**

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 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933  
 Nicolas Touba Reg no 9336

Drawing Title  
**ELEVATIONS**  
 EAST ELEVATION 01

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale  
 1:100  
 (A1 Sheet Size)

Project Number  
 2019-114

Status  
 ISSUED FOR \$4.55

Drawing Number  
 CC-204

Revision  
 A

0005289990 13 Oct 2020

Assessor: Conor Harwood  
 Accreditation No.: VICBDAV/16/1757  
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6.2 Average star rating

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- 3 EXTERNAL CLADDING - STEEL PROFILE - LYSAGHT DOMINION® WITH COLOURBOND BASALT® MATT
- 4 SUNHOOD - ALUMINIUM FRAMING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 5 WALL CLADDING - PAINTED CFC  
DULUX - DOMINO GR10
- 7 WINDOW & DOOR FRAMES  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 8 ALUMINIUM BALUSTRADE, FENCE, GATES & RAILING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 9 ARTWOK CABLE  
TBC

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Project  
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 Youssef El Khawaja Reg no 8933  
 Nicolas Toubia Reg no 9336

Drawing Title  
**ELEVATIONS**  
 EAST ELEVATION 02

Date of Issue	Checked	Approved
8/10/2020	RS	TJ

Scale  
 1:100  
 (A1 Sheet Size) 50mm on original

Project Number	Drawing Number	Revision
2019-114	CC-205	A

Status  
**ISSUED FOR \$4.55**

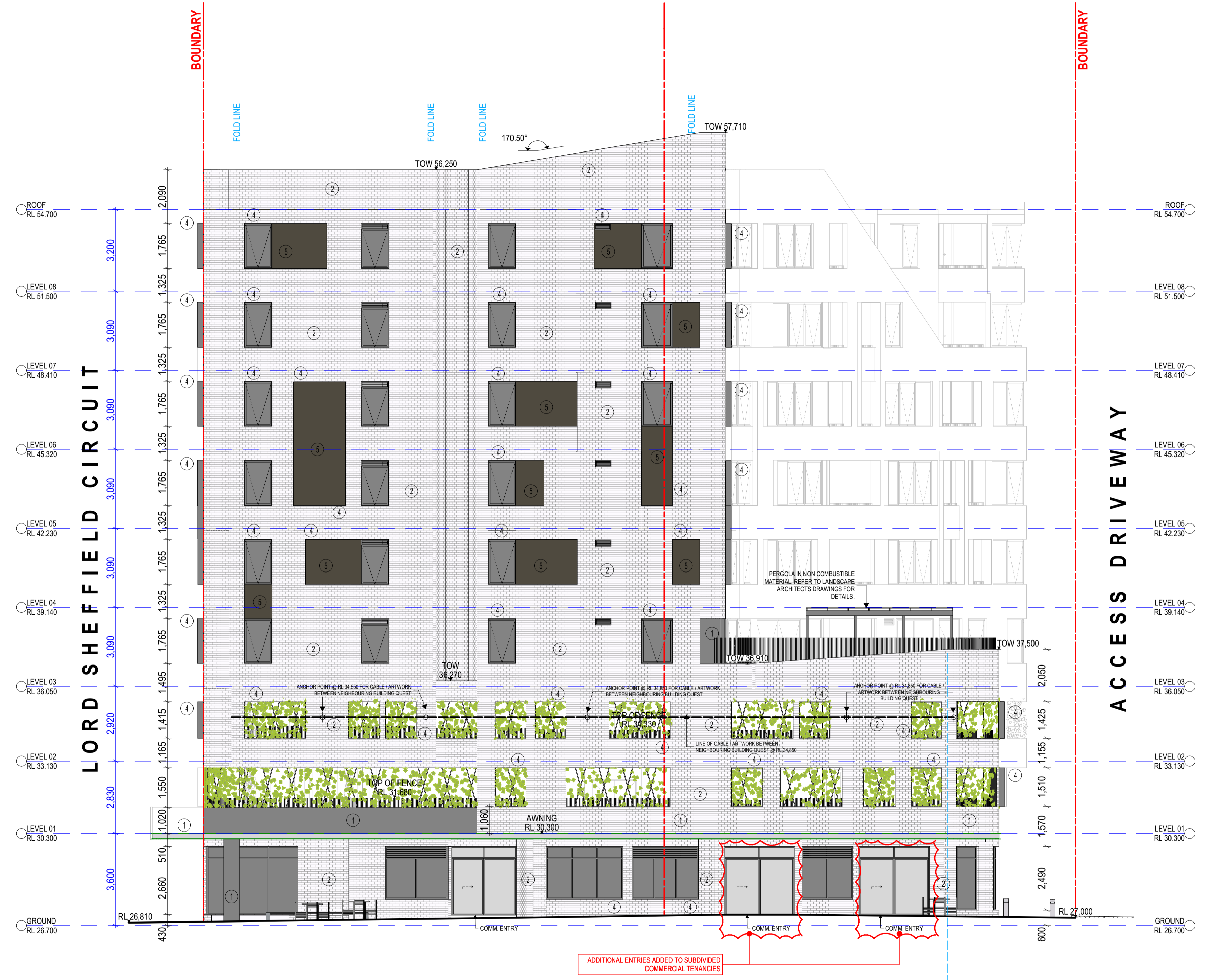
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DO NOT SCALE DRAWINGS  
 YOU DIG

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AUSTRAL - GREY CASHMERE
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LYSAGHT DOMINION® WITH COLOURBOND BASALT® MATT
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DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
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DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 8 ALUMINIUM BALUSTRADE, FENCE, GATES & RAILING  
DULUX - POWDERCOAT DURATEC ZEUS - MONUMENT MATT 90Z8189M
- 9 ARTWOK CABLE  
TBC

A ISSUED FOR APPROVAL 02/10/2020

Rev Description Date App'd

Project

**THE HENRY MIXED USE MULTI RESIDENTIAL**

15 ENGINEERS PLACE, PENRITH NSW 2750

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 Ziad Boumelhem Reg no 8008  
 Youssef El Khawaja Reg no 8933 Nicolas Touba Reg no 9336

Drawing Title

**ELEVATIONS SOUTH ELEVATION**

Date of Issue 8/10/2020 Checked RS Approved TJ

Scale 1:100  
 @A1 Sheet Size 50mm on original

Project Number 2019-114 Drawing Number CC-206 Revision A

Status ISSUED FOR S4.55