

# DRAWING SCHEDULE

COVER PAGE / LOCATION MAP	Sheet 1
DATA PAGE	Sheet 2
SITE PLAN	Sheet 3
FLOOR PLAN	Sheet 4
ELEVATIONS / SECTION	Sheet 5
ELEVATIONS	Sheet 6
KITCHEN DETAILS	Sheet 7
BATHROOM DETAILS	Sheet 8
ENSUITE/L'DRY DETAILS	Sheet 9
WATER RECYCLING / FLOOR FINISHES	Sheet 10

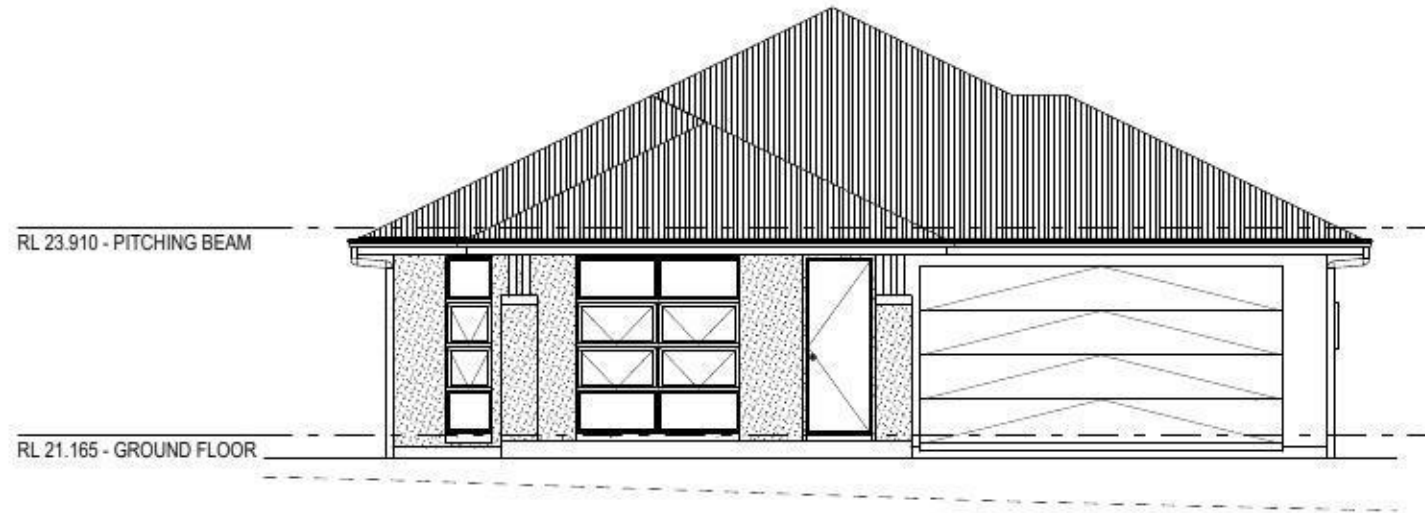
NOTE: REFER TO 'DATA PAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

## SALINE REQUIREMENTS

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN A 'SALINE PRONE ENVIRONMENT', AS REQUIRED BY COUNCIL. THIS SHALL INCLUDE THE FOLLOWING:-

- A. PROVIDE 32MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- B. PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- C. PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- D. PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- E. USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- F. USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE, BELOW THE DAMP PROOF COURSE.
- G. YOUR ATTENTION IS DRAWN TO THE 'BUILDING IN SALINITY PRONE ENVIRONMENT' POLICY FROM PENRITH COUNCIL.



FRONT ELEVATION  
Scale: 1:100

**CDC COMPLIANT: NO**

REASON FOR NON-COMPLIANCE: MINOR CUT AND FILL INTO ACCESS & MAINTENANCE EASEMENT



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



**McDonald Jones**  
YOUR HOME, YOUR DREAM

SPECIFICATION:  
**GENONE** BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS (CT2)	TAD 20130612
2 CONTRACT PLANS	LPH 2013.07.25
3 ALL REPORTS RECEIVED	LPH 2013.08.12

CLIENT: <b>MR J &amp; MRS J BAREMANS</b>		LOT No: <b>2038</b>
ADDRESS: <b>KILLUNA WAY</b>		DP No: <b>1168989</b>
SUBURB: <b>JORDAN SPRINGS</b>	POSTCODE: <b>2747</b>	COUNCIL: <b>PENRITH</b>
		SECTION No: <b>---</b>

HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE: <b>H-MANCLAS12400</b>
FACADE: <b>CUSTOM</b>	FACADE CODE: <b>F-</b>
SHEET TITLE: <b>COVER PAGE / LOCATION MAP</b>	SCALES: <b>1:1, 1:100</b>
	SHEET No: <b>1 / 10</b>

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

**601134**

**BASIX REQUIREMENTS**

**WATER COMMITMENTS**

- 3 STAR (> 4.5 BUT <= 6 L/MIN) SHOWER HEADS
- 3 STAR TOILET SUITES
- 3 STAR KITCHEN TAPS
- 3 STAR BATHROOM TAPS

242.85 m<sup>2</sup> TOTAL ROOF AREA

3000 L WATER TANK(S) MINIMUM CAPACITY  
242.85 m<sup>2</sup> MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
  - ALL TOILETS
  - WASHING MACHINE

NO RETICULATED WATER SUPPLY

150 m<sup>2</sup> GARDEN/LAWN AREA

**ENERGY COMMITMENTS**

**HOT WATER SYSTEM**

- GAS CONTINUOUS FLOW - 5 STAR

**HEATING SYSTEM**

- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 2.5 - 3.0

**COOLING SYSTEM**

- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 2.5 - 3.0

**VENTILATION (EXHAUST FANS)**

- NO MECHANICAL VENTILATION TO BATHROOMS
- KITCHEN RANGEHOOD:  
INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

**PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER**

- 4 BEDROOMS/STUDY, NON DEDICATED
- 3 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

**NATURAL LIGHTING TO**

- 4 BATHROOM(S)/TOILET(S)

**ALTERNATIVE ENERGY**

- N/A

**OTHER**

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

**BASIX CERTIFICATE NUMBER:**

-

**DATED:**

-

**BUILDING INFORMATION**

GROUND FLOOR CEILING HEIGHT(S): 2700 mm  
FRAMES AND TRUSSES: STEEL  
ROOF PITCH (U.N.O.): 26°  
ELECTRICITY SUPPLY: 3-PHASE

ROOF MATERIAL: SHEET METAL  
ROOF COLOUR: DARK  
ROOF INSULATION: R3.0 BATTS  
SARKING  
WHIRLYBIRDS: 1

WALL MATERIAL: BRICK VENEER  
WALL COLOUR: DARK  
WALL INSULATION: R1.5 BATTS

FLOOR INSULATION: N/A

**ENGINEERING & SITE INFORMATION**

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH B.C.A. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

**DESIGN CRITERIA**

WIND RATING: N2

**SITE CLASSIFICATION**

SITE CLASSIFICATION IS: M

**SLAB CLASSIFICATION**

SLAB CLASSIFICATION IS: M

**FLOOR AREAS**

ALFRESCO 12.739  
GARAGE 38.654  
LIVING 155.944  
PATIO / VERANDAH 7.432  
**214.769 m<sup>2</sup>**



**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

PRELIMINARY BASIX ASSESSMENT FOR YOUR JOB HAS NOT BEEN COMPLETED. THE GEOGRAPHIC LOCATION OF YOUR LAND MEANS ASSESSMENT REQUIRES THE INCLUSION OF WALL AND ROOF COLOURS WHICH WILL BE NOMINATED AT YOUR COLOUR SELECTIONS APPOINTMENT. ONCE THIS PROCEDURE HAS BEEN COMPLETED AN ABSA RATING WILL BE PERFORMED ON YOUR DWELLING. AS A RESULT OF THIS PROCESS THERE MAY BE NO FURTHER REQUIREMENTS, OR THERE MAY BE SIGNIFICANT ADDITIONAL ITEMS REQUIRED, FOR EXAMPLE WALL WRAP, WHIRLYBIRDS, CHANGES IN WINDOW SIZE OR ORIENTATION, NOMINATION OF FLOOR COVERINGS. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

**GENONE** BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au © 2013

	DRAWING	DRAWN
1	PRELIMINARY PLANS (CT2)	TAD 2013.06.12
2	CONTRACT PLANS	LPH 2013.07.25
3	ALL REPORTS RECEIVED	LPH 2013.08.12

CLIENT: <b>MR J &amp; MRS J BAREMANS</b>		LOT No: 2038
ADDRESS: KILLUNA WAY		DP No: 1168989
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH
		SECTION No: ---

HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE: H-MANCLAS12400
FACADE: CUSTOM	FACADE CODE: F-
SHEET TITLE: DATA PAGE	SCALES: 1:1, 1:100
	SHEET No: 2 / 10

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

**601134**

DPR - CHARGED DOWNPIPE DIRECTED TO TANK

Room Name	Area (m <sup>2</sup> )	Total Areas
ALFRESCO	12.738	214.769 m <sup>2</sup>
GARAGE	38.654	
LIVING	155.944	
PATIO / VERANDA	7.432	
FLAT ROOF AREA	242.853 m <sup>2</sup>	

Flat Roof Area	Roof Collection Area
242.853 m <sup>2</sup>	242.853 m <sup>2</sup>

NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N2	NO
WITHIN 1 KM. OF BREAKING SALT WATER	NO	NO
WITHIN 100 M. OF SALT WATER	NO	NO

NOTE: REFER TO DATAPAGE (SHEET 2) OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
 - BASIS/ABSA REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL HOUSE SPECIFICATIONS

NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

**SALINE REQUIREMENTS**  
 SEE SHEET 1 (COVER PAGE) FOR DETAILS



**JORDAN SPRING NOTES**

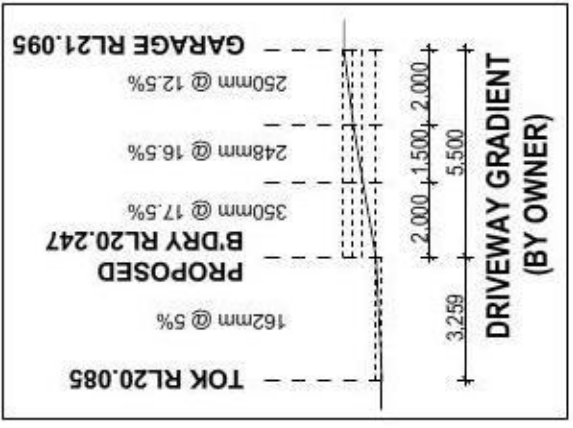
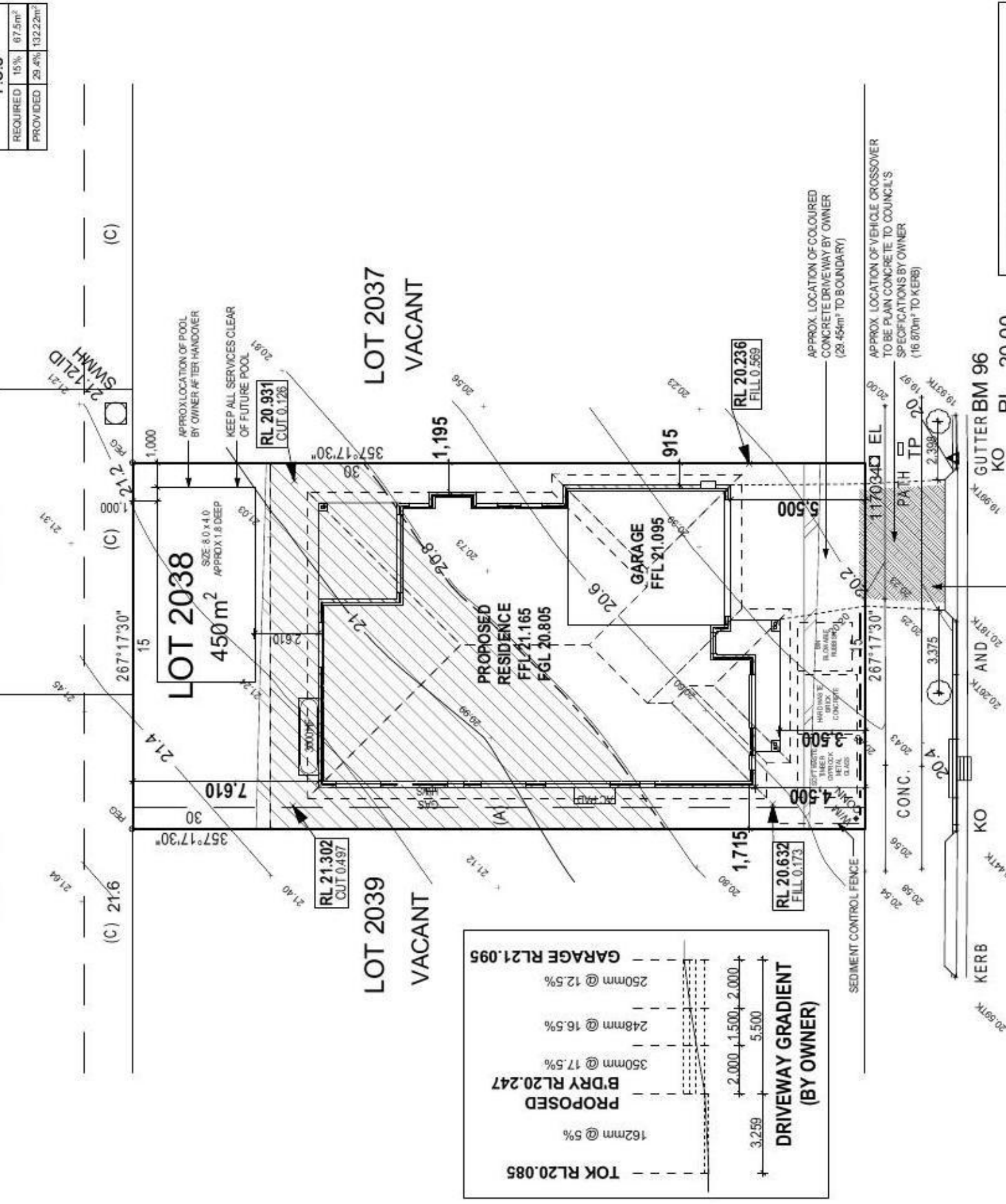
THIS PLAN SHALL INCLUDE THE FOLLOWING:-  
 A. PLAIN CONCRETE TO PENRITH CITY COUNCIL SPECIFICATION IS TO BE 3M WIDE  
 B. LAYBACK TO BE RELOCATED AND RECTIFIED AT BUILDER/OWNERS EXPENSE  
 C. ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.  
 D. ANY REMAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND ARE TO BE OF MASONRY CONSTRUCTION  
 E. ALL GARDEN/LAWN EDGING VISIBLE FROM THE STREET IS REQUIRED TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED

P.O.S

REQUIRED	15%	67.5m <sup>2</sup>
PROVIDED	29.4%	132.2m <sup>2</sup>

LOT 2033  
VACANT

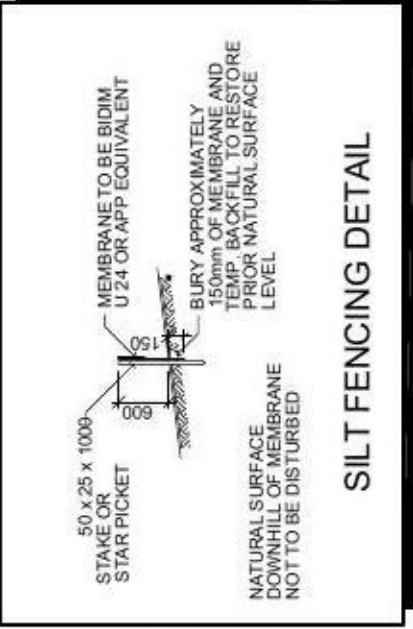
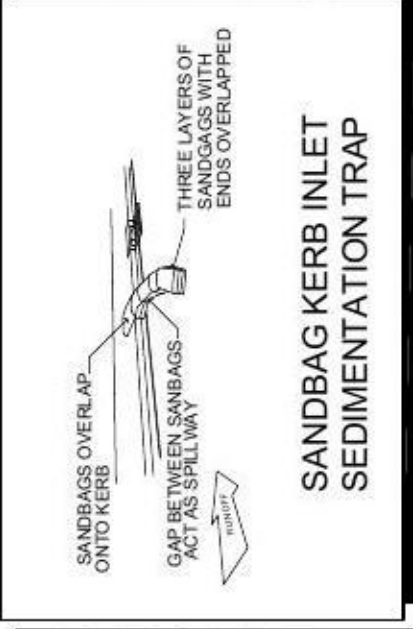
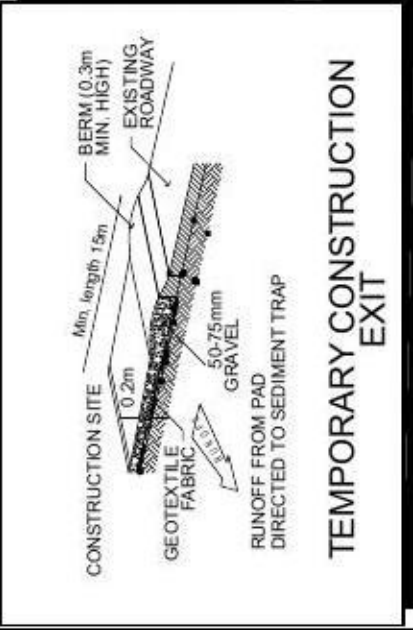
LOT 2032  
VACANT



THIS PLAN ACCEPTED BY:  
 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
 SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**KILLUNA WAY**

(A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
 (C) EASEMENT TO DRAIN WATER 2 WIDE



**GENONE** BY McDONALD JONES HOMES  
 www.mcdonaldjoneshomes.com.au  
 © 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS (CT2)	TAD 2013.06.12
2 CONTRACT PLANS	LPH 2013.07.25
3 ALL REPORTS RECEIVED	LPH 2013.08.12

CLIENT: MR J & MRS J BAREMANS  
 ADDRESS: KILLUNA WAY  
 SUBURB: JORDAN SPRINGS POSTCODE: 2747 COUNCIL: PENRITH

LOT No: 2038  
 DP No: 1168989  
 SECTION No: -

HOUSE DESIGN: MANHATTAN ONE 4 BEDROOM  
 FACADE: CUSTOM  
 SHEET TITLE: SITE PLAN

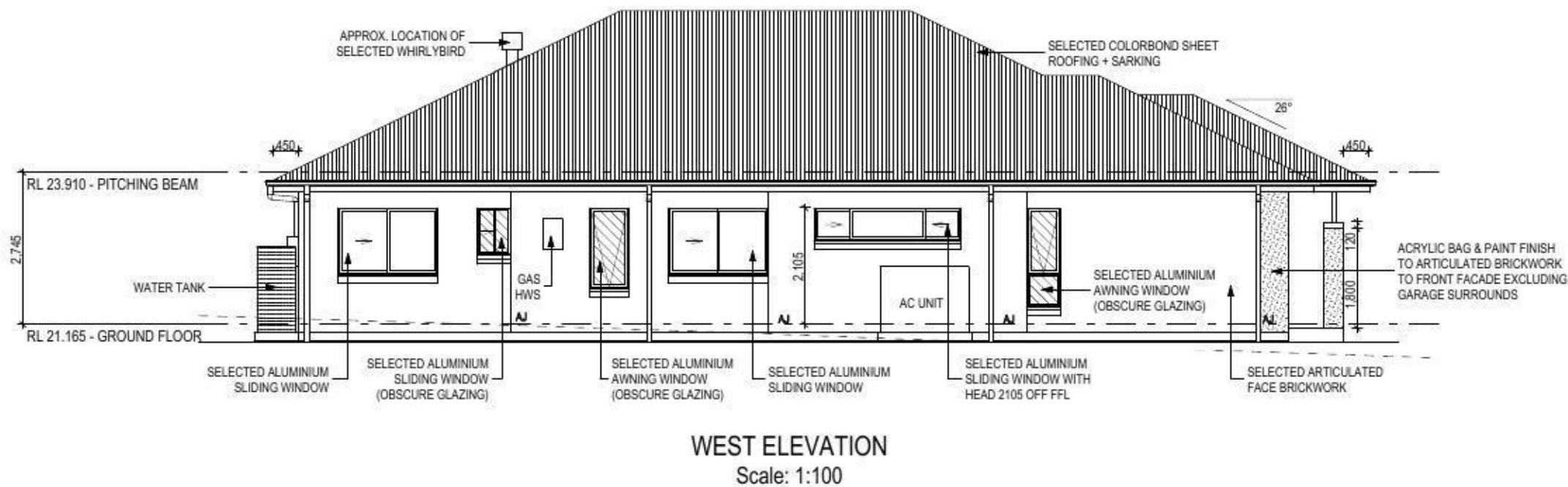
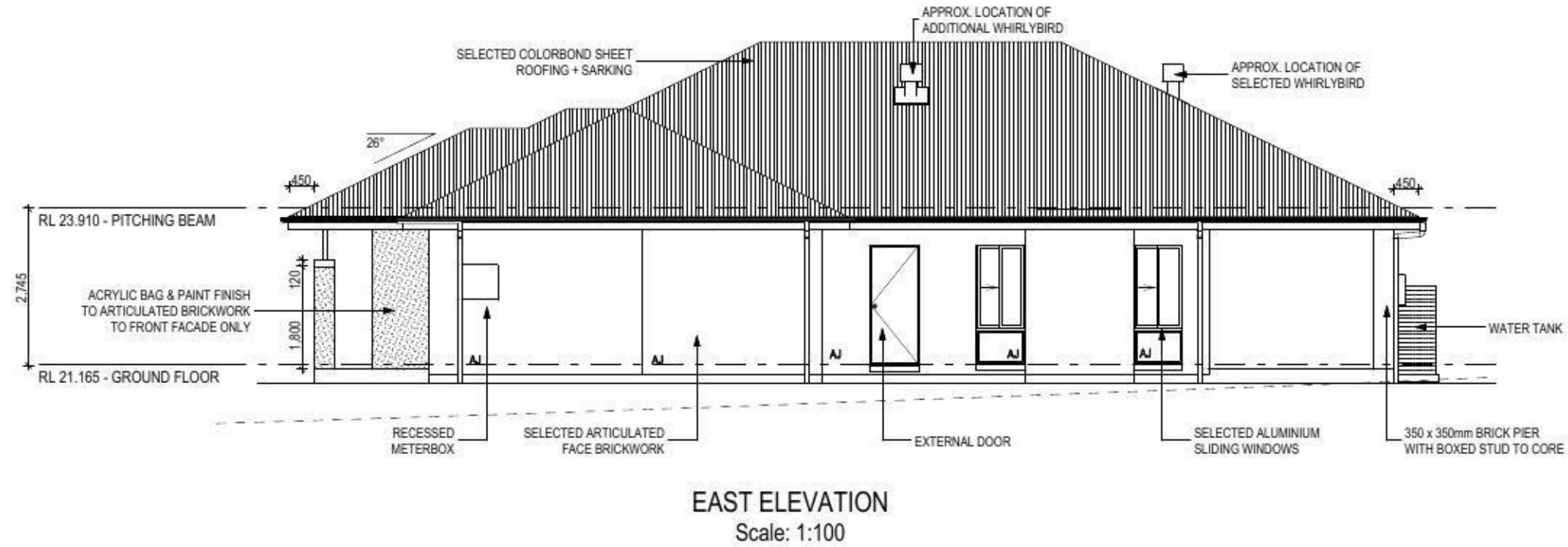
DESIGN CODE: H-MANCLAS12400  
 FACADE CODE: F-  
 SCALES: 1:200, 1:100, 1:1  
 SHEET No: 3 / 10

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.


**601134**

**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS



THIS PLAN ACCEPTED BY:  
\_\_\_\_\_  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
\_\_\_\_\_  
DATE:  
\_\_\_\_\_

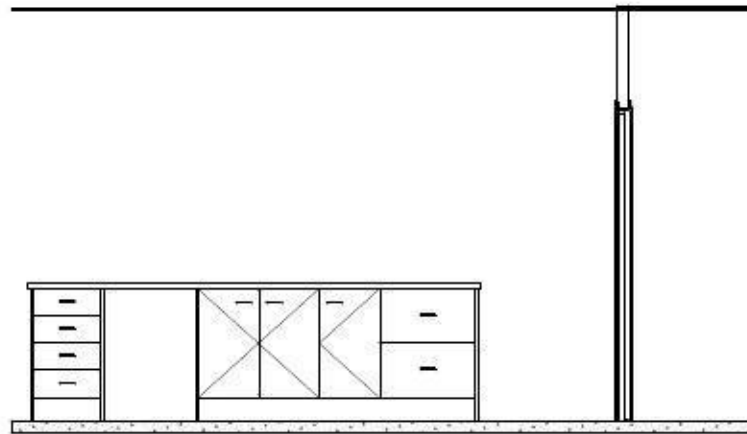
 <b>McDonald Jones</b> YOUR HOME, YOUR DREAM	SPECIFICATION: <b>GENONE</b> BY McDONALD JONES HOMES www.mcdonaldjoneshomes.com.au © 2013	<table border="1"> <thead> <tr> <th>DRAWING</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>1 PRELIMINARY PLANS (CT2)</td> <td>TAD 20130612</td> </tr> <tr> <td>2 CONTRACT PLANS</td> <td>LPH 2013.07.25</td> </tr> <tr> <td>3 ALL REPORTS RECEIVED</td> <td>LPH 2013.08.12</td> </tr> </tbody> </table>	DRAWING	DRAWN	1 PRELIMINARY PLANS (CT2)	TAD 20130612	2 CONTRACT PLANS	LPH 2013.07.25	3 ALL REPORTS RECEIVED	LPH 2013.08.12	CLIENT: <b>MR J &amp; MRS J BAREMANS</b> ADDRESS: <b>KILLUNA WAY</b> SUBURB: <b>JORDAN SPRINGS</b>	LOT No: <b>2038</b> DP No: <b>1168989</b> SECTION No: ---	HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b> FACADE: <b>CUSTOM</b> SHEET TITLE: <b>ELEVATIONS</b>	DESIGN CODE: <b>H-MANCLAS12400</b> FACADE CODE: <b>F-</b> SCALES: <b>1:100</b>	SHEET No: <b>6 / 10</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. <b>601134</b>
	DRAWING	DRAWN														
	1 PRELIMINARY PLANS (CT2)	TAD 20130612														
2 CONTRACT PLANS	LPH 2013.07.25															
3 ALL REPORTS RECEIVED	LPH 2013.08.12															
CLIENT: <b>MR J &amp; MRS J BAREMANS</b> ADDRESS: <b>KILLUNA WAY</b> SUBURB: <b>JORDAN SPRINGS</b>		LOT No: <b>2038</b> DP No: <b>1168989</b> SECTION No: ---	HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b> FACADE: <b>CUSTOM</b> SHEET TITLE: <b>ELEVATIONS</b>	DESIGN CODE: <b>H-MANCLAS12400</b> FACADE CODE: <b>F-</b> SCALES: <b>1:100</b>	SHEET No: <b>6 / 10</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. <b>601134</b>										
CLIENT: <b>MR J &amp; MRS J BAREMANS</b> ADDRESS: <b>KILLUNA WAY</b> SUBURB: <b>JORDAN SPRINGS</b>		LOT No: <b>2038</b> DP No: <b>1168989</b> SECTION No: ---	HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b> FACADE: <b>CUSTOM</b> SHEET TITLE: <b>ELEVATIONS</b>	DESIGN CODE: <b>H-MANCLAS12400</b> FACADE CODE: <b>F-</b> SCALES: <b>1:100</b>	SHEET No: <b>6 / 10</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. <b>601134</b>										

File Location: G:\Sydney\Drafting\Job Files 600000\Job Files 601101 - 601200\601134 Baremans\Drafting\Plans\601134 Baremans.pln  
Last Published: Monday, 12 August 2013 12:51 PM

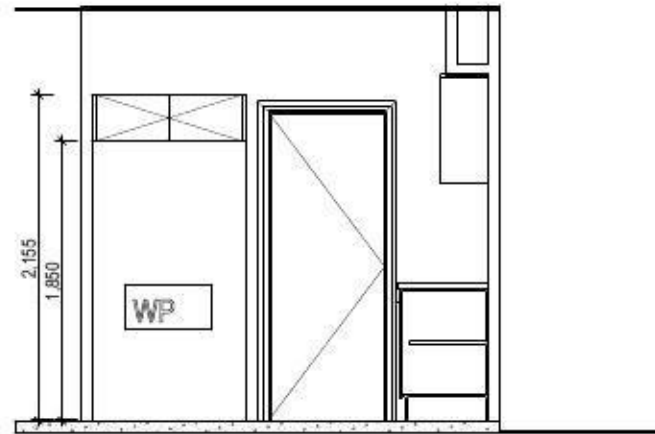
**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

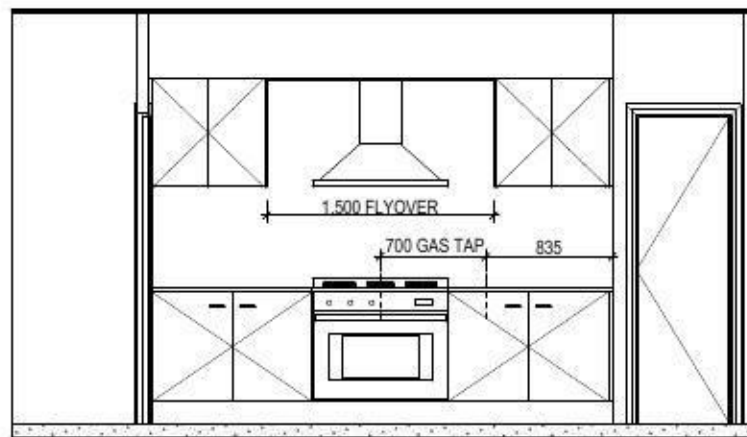
NOTE: KITCHEN DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



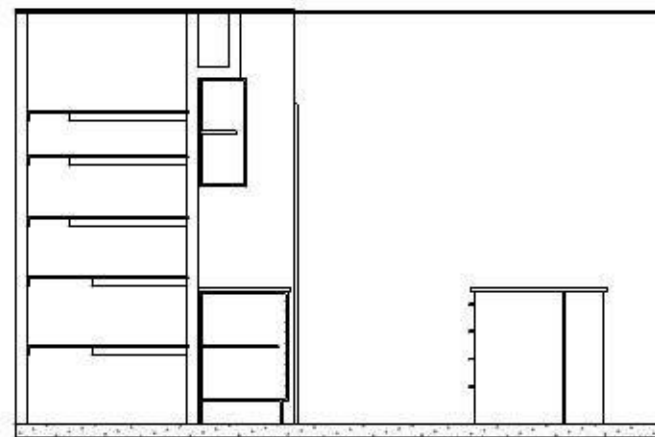
**ELEVATION A**  
Scale: 1:50



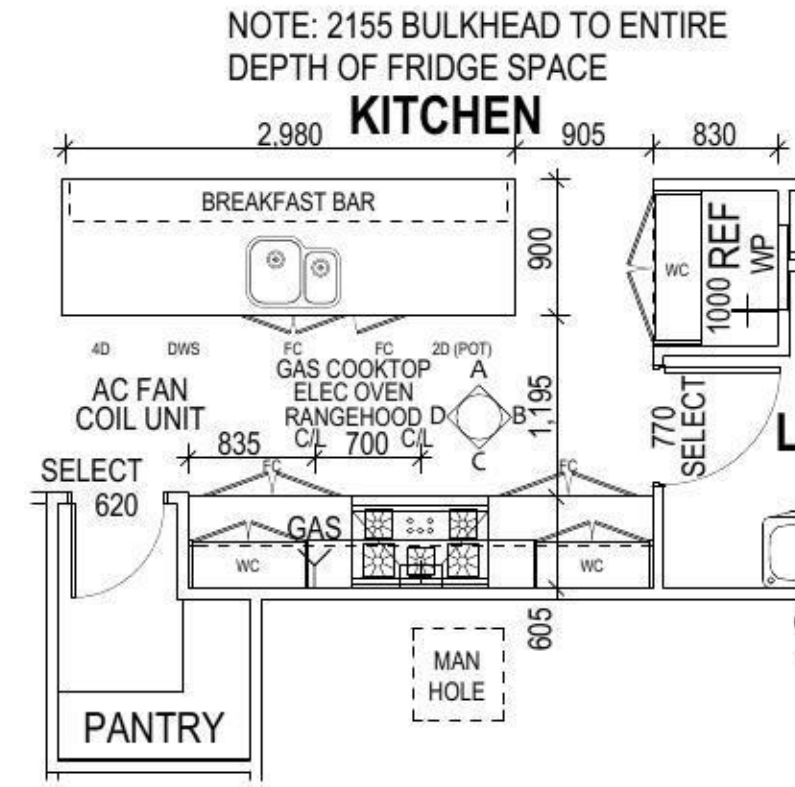
**ELEVATION B**  
Scale: 1:50



**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50



**KITCHEN FLOOR PLAN**  
Scale: 1:50



THIS PLAN ACCEPTED BY:

-----

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

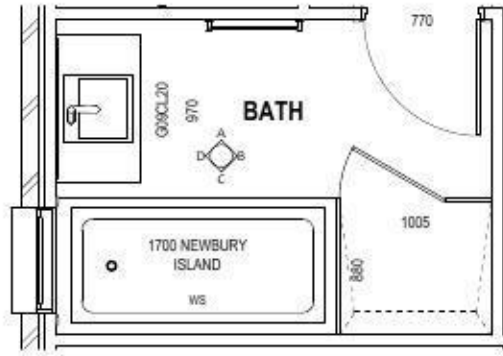
-----

DATE:

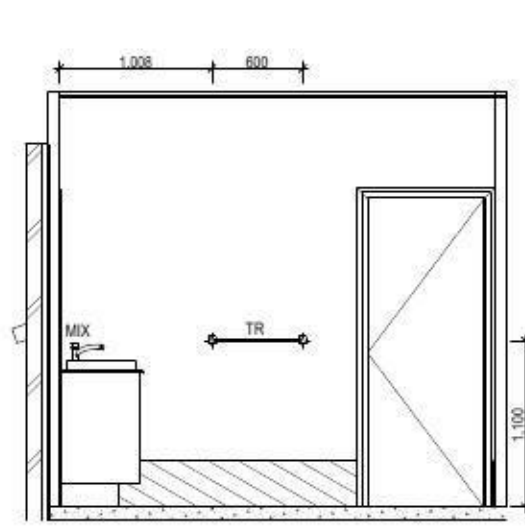
-----

<p><b>McDonald Jones</b> YOUR HOME, YOUR DREAM</p>	<p>SPECIFICATION:</p> <p><b>GENONE</b> BY McDONALD JONES HOMES</p> <p>www.mcdonaldjoneshomes.com.au © 2013</p>	<table border="1"> <thead> <tr> <th>DRAWING</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>1 PRELIMINARY PLANS (CT2)</td> <td>TAD 20130612</td> </tr> <tr> <td>2 CONTRACT PLANS</td> <td>LPH 2013.07.25</td> </tr> <tr> <td>3 ALL REPORTS RECEIVED</td> <td>LPH 2013.08.12</td> </tr> </tbody> </table>	DRAWING	DRAWN	1 PRELIMINARY PLANS (CT2)	TAD 20130612	2 CONTRACT PLANS	LPH 2013.07.25	3 ALL REPORTS RECEIVED	LPH 2013.08.12	<p>CLIENT:</p> <p><b>MR J &amp; MRS J BAREMANS</b></p> <p>ADDRESS:</p> <p><b>KILLUNA WAY</b></p> <p>SUBURB:</p> <p><b>JORDAN SPRINGS</b></p> <p>POSTCODE:</p> <p><b>2747</b></p> <p>COUNCIL:</p> <p><b>PENRITH</b></p>	<p>LOT No:</p> <p><b>2038</b></p> <p>DP No:</p> <p><b>1168989</b></p> <p>SECTION No:</p> <p>---</p>	<p>HOUSE DESIGN:</p> <p><b>MANHATTAN ONE 4 BEDROOM</b></p> <p>FACADE:</p> <p><b>CUSTOM</b></p> <p>SHEET TITLE:</p> <p><b>KITCHEN DETAILS</b></p>	<p>DESIGN CODE:</p> <p><b>H-MANCLAS12400</b></p> <p>FACADE CODE:</p> <p><b>F-</b></p> <p>SCALES:</p> <p><b>1:50, 1:100</b></p> <p>SHEET No:</p> <p><b>7 / 10</b></p>	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p><b>601134</b></p>
	DRAWING	DRAWN													
	1 PRELIMINARY PLANS (CT2)	TAD 20130612													
2 CONTRACT PLANS	LPH 2013.07.25														
3 ALL REPORTS RECEIVED	LPH 2013.08.12														

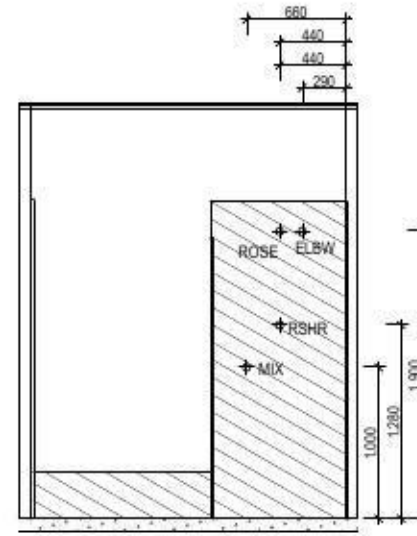
**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS



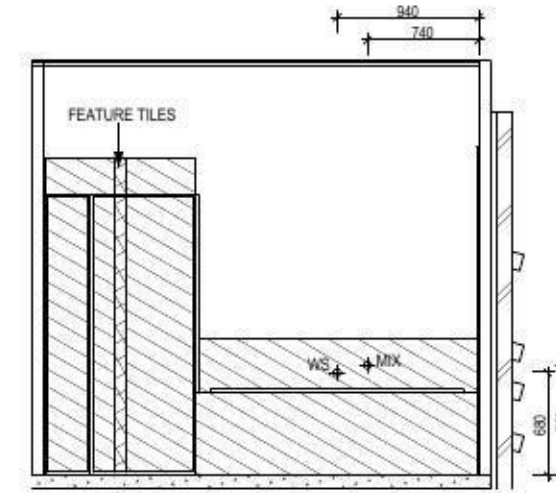
**BATHROOM FLOOR PLAN**  
Scale: 1:50



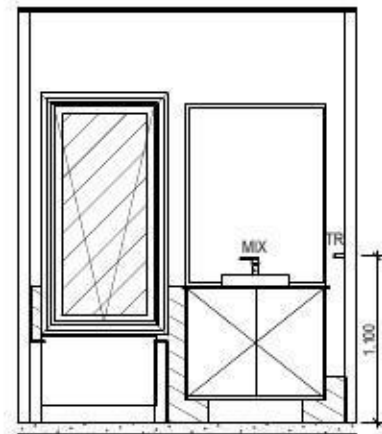
**ELEVATION A**  
Scale: 1:50



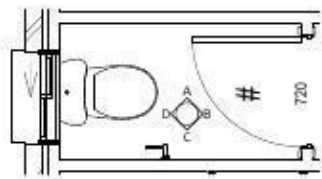
**ELEVATION B**  
Scale: 1:50



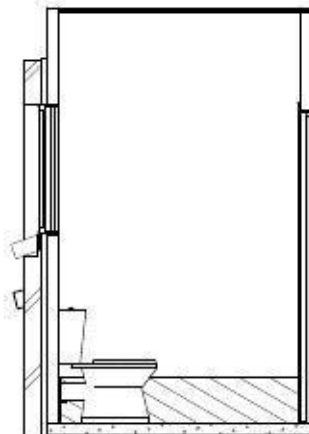
**ELEVATION C**  
Scale: 1:50



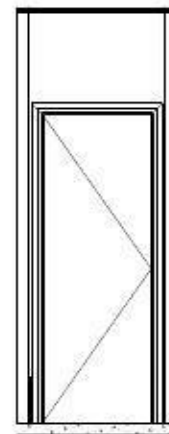
**ELEVATION D**  
Scale: 1:50



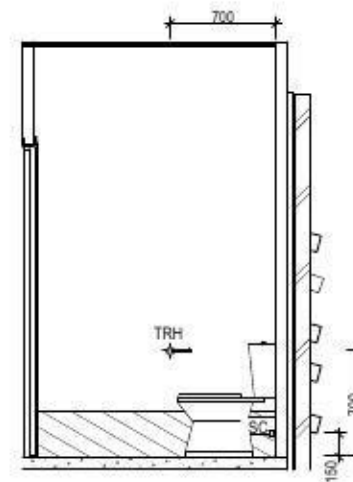
**BATHROOM WC FLOOR PLAN**  
Scale: 1:50



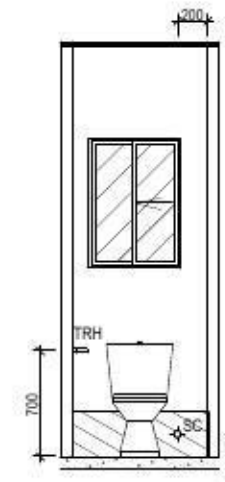
**ELEVATION A**  
Scale: 1:50



**ELEVATION B**  
Scale: 1:50



**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

**LEGEND**

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR TOWEL RAIL
- TL TOWEL LADDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION:  
**GENONE** BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS (CT2)	TAD 20130612
2 CONTRACT PLANS	LPH 2013.07.25
3 ALL REPORTS RECEIVED	LPH 2013.08.12

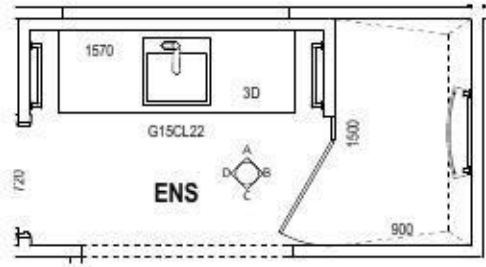
CLIENT: <b>MR J &amp; MRS J BAREMANS</b>		LOT No: 2038
ADDRESS: KILLUNA WAY		DP No: 1168989
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH
		SECTION No: ---

HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE: H-MANCLAS12400
FACADE: CUSTOM	FACADE CODE: F-
SHEET TITLE: BATHROOM DETAILS	SCALES: 1:50, 1:100
	SHEET No: 8 / 10

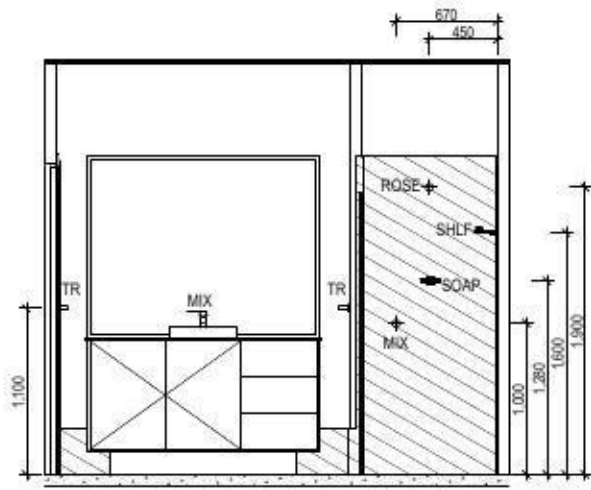
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

**601134**

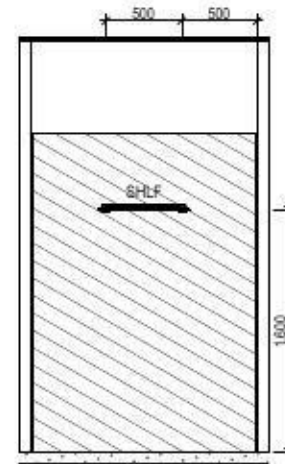
**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS



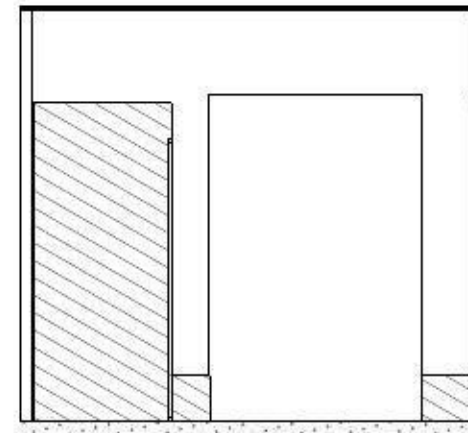
**ENSUITE FLOOR PLAN**  
Scale: 1:50



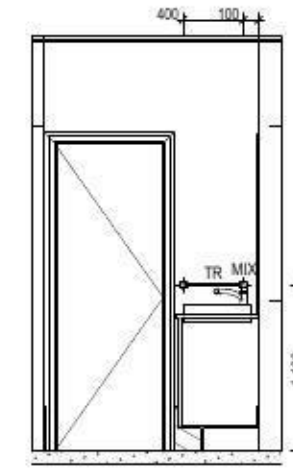
**ELEVATION A**  
Scale: 1:50



**ELEVATION B**  
Scale: 1:50



**ELEVATION C**  
Scale: 1:50



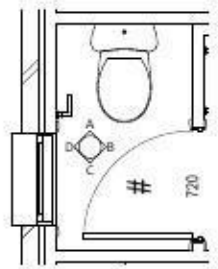
**ELEVATION D**  
Scale: 1:50

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

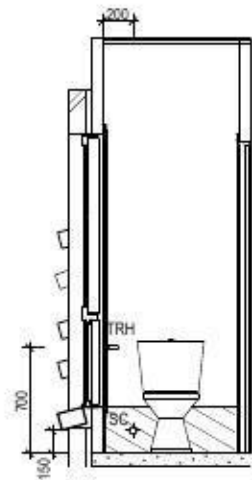
NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

**LEGEND**

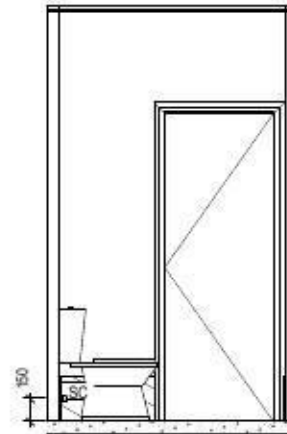
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR TOWEL RAIL
- TL TOWEL LADDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS



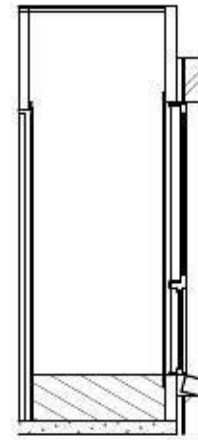
**ENSUITE WC FLOOR PLAN**  
Scale: 1:50



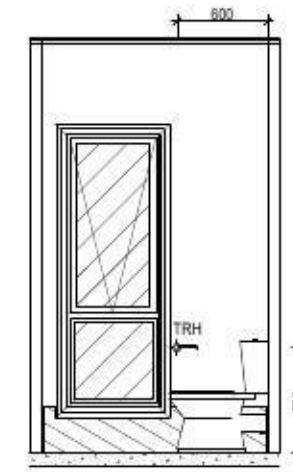
**ELEVATION A**  
Scale: 1:50



**ELEVATION B**  
Scale: 1:50



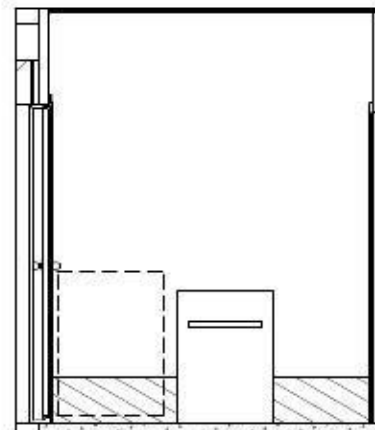
**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50



**L'DRY FLOOR PLAN**  
Scale: 1:50



**ELEVATION E**  
Scale: 1:50



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION:  
**GENONE** BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2013

	DRAWING	DRAWN
1	PRELIMINARY PLANS (CT2)	TAD 2013.06.12
2	CONTRACT PLANS	LPH 2013.07.25
3	ALL REPORTS RECEIVED	LPH 2013.08.12

CLIENT: <b>MR J &amp; MRS J BAREMANS</b>		LOT No: <b>2038</b>
ADDRESS: <b>KILLUNA WAY</b>		DP No: <b>1168989</b>
SUBURB: <b>JORDAN SPRINGS</b>	POSTCODE: <b>2747</b>	COUNCIL: <b>PENRITH</b>
		SECTION No: <b>---</b>

HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE: <b>H-MANCLAS12400</b>
FACADE: <b>CUSTOM</b>	FACADE CODE: <b>F-</b>
SHEET TITLE: <b>ENSUITE/L'DRY DETAILS</b>	SCALES: <b>1:100, 1:50</b>
	SHEET No: <b>9 / 10</b>

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

**601134**

# DRAWING SCHEDULE

COVER PAGE / LOCATION MAP	Sheet	1
DATA PAGE	Sheet	2
SITE PLAN	Sheet	3
FLOOR PLAN	Sheet	4
ELEVATIONS / SECTION	Sheet	5
ELEVATIONS	Sheet	6
KITCHEN DETAILS	Sheet	7
BATHROOM DETAILS	Sheet	8
ENSUITE/L'DRY DETAILS	Sheet	9
WATER RECYCLING / FLOOR FINISHES	Sheet	10

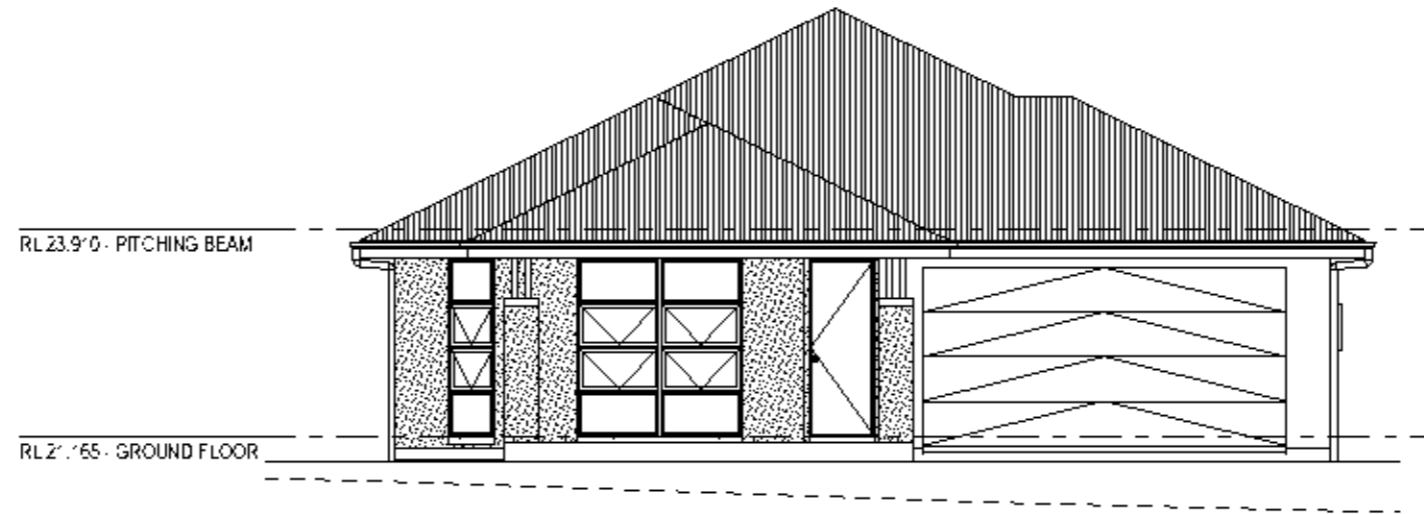
NOTE: REFER TO 'DATA PAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

## SALINE REQUIREMENTS

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN A 'SALINE PRONE ENVIRONMENT', AS REQUIRED BY COUNCIL. THIS SHALL INCLUDE THE FOLLOWING:

- PROVIDE 32MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE, BELOW THE DAMP PROOF COURSE.
- YOUR ATTENTION IS DRAWN TO THE 'BUILDING IN SALINITY PRONE ENVIRONMENT' POLICY FROM PENRITH COUNCIL.



FRONT ELEVATION

Scale: 1:100

## CDC COMPLIANT: NO

REASON FOR NON-COMPLIANCE: MINOR CUT AND FILL INTO ACCESS & MAINTENANCE EASEMENT

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

**GENONE** BY McDONALD JONES HOMES

www.mcdonaldjoneshomes.com.au © 2014

DRAWING	DRAWN
1 PRELIMINARY PLANS (CTZ)	TAD 20/306/2
2 CONTRACT PLANS	LPH 20/307/25
3 ALL REPORTS RECEIVED	LPH 20/308/2
4 AMENDED LANDSCAPING PLAN	LPH 20/40/08
5 AMENDED AS PER PCV004	VP 20/40/14

CLIENT MR J & MRS J BAREMANS		LOT No 2038
ADDRESS KILLUNA WAY		CP No 1168989
BLK No JORDAN SPRINGS	POSTCODE 2747	COUNCIL PENRITH
		SECTION No ---

HOUSE DESIGN MANHATTAN ONE 4 BEDROOM	DESIGN CODE H-MANCLAS12400
PACKAGE CUSTOM	PACKAGE CODE F-
SHEET TITLE COVER PAGE / LOCATION MAP	SCALE 1:1, 1:100
	SHEET No 1 / 10

GENONE HOMES (NSW) Pty Ltd  
 15 GARDENERS QUAY, CHERRY  
 HILL NSW 2126  
 PHONE: 02 9630 9000  
 WWW.GENONEHOMES.COM.AU

**601134**



### BASIX REQUIREMENTS

#### WATER COMMITMENTS

- 3 STAR (> 4.5 BUT <= 6 L/MIN; SHOWER HEADS)
- 3 STAR TOILET SUITES
- 3 STAR KITCHEN TAPS
- 3 STAR BATHROOM TAPS

242.85 m<sup>2</sup> TOTAL ROOF AREA

3000 L WATER TANK(S); MINIMUM CAPACITY  
242.85 m<sup>2</sup> MINIMUM ROOF AREA TO TANK(S);

- RAINWATER TANK(S); TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
  - ALL TOILETS
  - WASHING MACHINE

NO RETICULATED WATER SUPPLY

· 50 m<sup>2</sup> GARDEN/LAWN AREA

#### ENERGY COMMITMENTS

##### HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5 STAR

##### HEATING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 2.5 - 3.0

##### COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 2.5 - 3.0

##### VENTILATION (EXHAUST FANS)

- NO MECHANICAL VENTILATION TO BATHROOMS
- KITCHEN RANGEHOOD:  
INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

##### PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 4 BEDROOMS; STUDY, NON DEDICATED
- 3 LIVING; DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS; TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

##### NATURAL LIGHTING TO

- 4 BATHROOM(S); TOILET(S);

##### ALTERNATIVE ENERGY

- N/A

##### OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

#### BASIX CERTIFICATE NUMBER:

-

#### DATED:

-

PRELIMINARY BASIX ASSESSMENT FOR YOUR JOB HAS NOT BEEN COMPLETED. THE GEOGRAPHIC LOCATION OF YOUR LAND MEANS ASSESSMENT REQUIRES THE INCLUSION OF WALL AND ROOF COLOURS WHICH WILL BE NOMINATED AT YOUR COLOUR SELECTIONS APPOINTMENT. ONCE THIS PROCEDURE HAS BEEN COMPLETED AN ABSA RATING WILL BE PERFORMED ON YOUR DWELLING. AS A RESULT OF THIS PROCESS THERE MAY BE NO FURTHER REQUIREMENTS, OR THERE MAY BE SIGNIFICANT ADDITIONAL ITEMS REQUIRED, FOR EXAMPLE WALL WRAP, WHIRLYBIRDS, CHANGES IN WINDOW SIZE OR ORIENTATION, NOMINATION OF FLOOR COVERINGS. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

### BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700 mm  
FRAMES AND TRUSSES: STEEL  
ROOF PITCH (U.N.O.): 25°  
ELECTRICITY SUPPLY: 3-PHASE  
GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL  
ROOF COLOUR: DARK  
ROOF INSULATION: R3.0 BATTS  
SARKING

WHIRLYBIRDS:

WALL MATERIAL: BRICK VENEER  
WALL COLOUR: DARK  
WALL INSULATION: R1.5 BATTS

FLOOR INSULATION: N/A

### ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.); WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED);

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH B.C.A. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100:1998 OR AS/NZS 4600:2005

#### DESIGN CRITERIA

WIND RATING: N2

#### SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

#### SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

#### FLOOR AREAS

ALFRESCO: 12.739  
GARAGE: 38.654  
LIVING: 55.944  
PATIO / VERANDAH: 7.432  
**214.769 m<sup>2</sup>**

#### SALINE REQUIREMENTS

SEE SHEET 1 (COVER PAGE) FOR DETAILS

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



**GENONE:** BY McDONALD JONES HOMES

www.mcdonaldjoneshomes.com.au  
© 2014

	DRAWING	DRAWN
1	PRELIMINARY PLANS (CTZ)	TAD 20/306/2
2	CONTRACT PLANS	LPH 20/307/25
3	ALL REPORTS RECEIVED	LPH 20/308/2
4	AMENDED LANDSCAPING PLAN	LPH 20/40/08
5	AMENDED AS PER PCV004	VP 20/40/14

CLIENT <b>MR J &amp; MRS J BAREMANS</b>		LOT No 2038
ADDRESS <b>KILLUNA WAY</b>		CP No 1168989
Suburb <b>JORDAN SPRINGS</b>	POSTCODE 2747	COUNCIL PENRITH
SECTION No ---		---

HOUSE DESIGN <b>MANHATTAN ONE 4 BEDROOM</b>		DESIGN CODE H-MANCLAS12400
PACKAGE <b>CUSTOM</b>		PACKAGE CODE F-
SHEET TITLE <b>DATA PAGE</b>		SCALE 1:1, 1:100
		SHEET No 2/10

GENONE: BY McDONALD JONES HOMES  
© 2014

**601134**

DPR - CHARGED DOWNPIPE DIRECTED TO TANK	
Flat Roof Area	242.853 m <sup>2</sup>
Room Name	Area (m <sup>2</sup> )
AL-RES500	12.739
GARAGE	38.854
V-VC	153.914
PATIO-VERANDA-1	7.432
<b>Total Areas</b>	<b>214.769 m<sup>2</sup></b>

Roof Collection Area	242.853 m <sup>2</sup>
Roof Collection Area	242.853 m <sup>2</sup>

NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

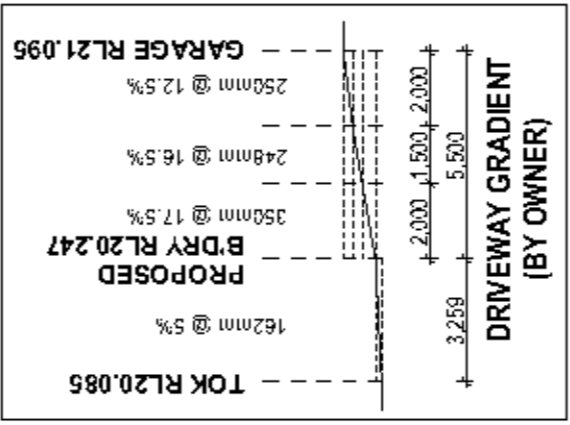
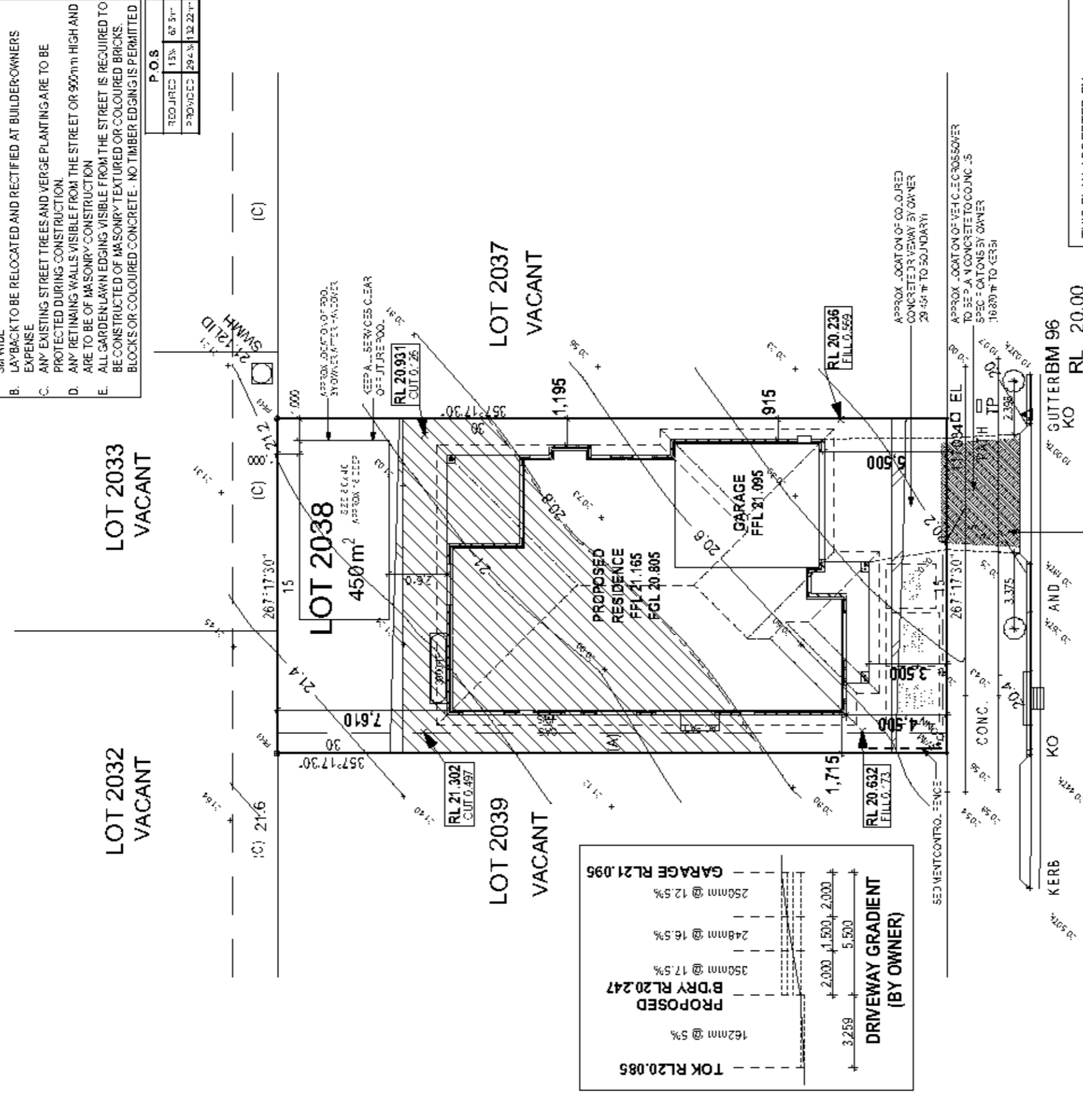
WIND CLASSIFICATION	NZ
WITHIN 1 KM OF BREAKING SALT WATER	NO
WITHIN 100 M OF SALT WATER	NO

NOTE: REFER TO DATAPAGE SHEET 2 OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
 - BASIX/ABS REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL HOUSE SPECIFICATIONS  
 NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.  
 ALL SURFACE WATER DRAINAGE BY OWNER.

**SALINE REQUIREMENTS**  
 SEE SHEET 1 (COVER PAGE) FOR DETAILS

**JORDAN SPRING NOTES**  
 THIS PLAN SHALL INCLUDE THE FOLLOWING:  
 A. PLAIN CONCRETE TO PENRITH CITY COUNCIL SPECIFICATION IS TO BE 3M WIDE  
 B. LAYBACK TO BE RELOCATED AND RECTIFIED AT BUILDER/OWNERS EXPENSE  
 C. ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION  
 D. ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND ARE TO BE OF MASONRY CONSTRUCTION  
 E. ALL GARDEN/LAWN EDGING VISIBLE FROM THE STREET IS REQUIRED TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS. BLOCKS OR COLOURED CONCRETE. NO TIMBER EDGING IS PERMITTED

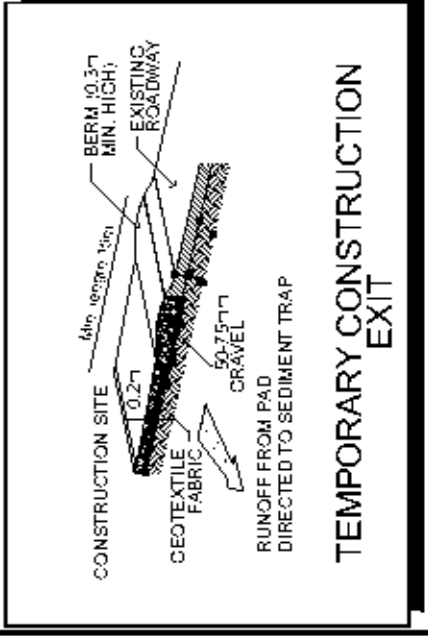
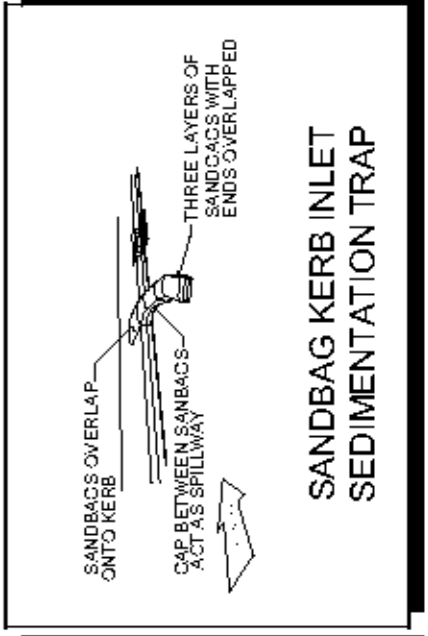
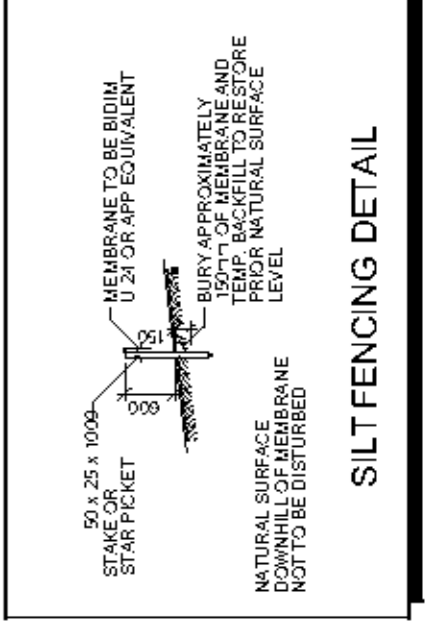
P.O.S	
REQUIRED	15%
PROVIDED	29.4%
	67.5%
	132.22%



THIS PLAN ACCEPTED BY:  
 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
 SIGNATURE:  
 DATE:

**KILLLUNA WAY**

(A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
 (C) EASEMENT TO DRAIN WATER 2 WIDE



**GENONE**  
 www.genone.com.au  
 © 2014

DRAWING	DRAWN
1 PRELIMINARY PLANS (CTZ)	TAD 20/3/06/2
2 CONTRACT PLANS	LPH 20/3/07/25
3 ALL REPORTS RECEIVED	LPH 20/3/08/2
4 AMENDED LANDSCAPING PLAN	LPH 20/4/0/08
5 AMENDED AS PER PCV004	VP 20/4/0/14

CLIENT  
**MR J & MRS J BAREMANS**  
 ADDRESS  
**KILLLUNA WAY**  
 SUBURB  
**JORDAN SPRINGS**  
 POSTCODE  
**2747**  
 COUNCIL  
**PENRITH**

LOT NO  
**2038**  
 SP NO  
**1168989**  
 SITE NO  
**---**

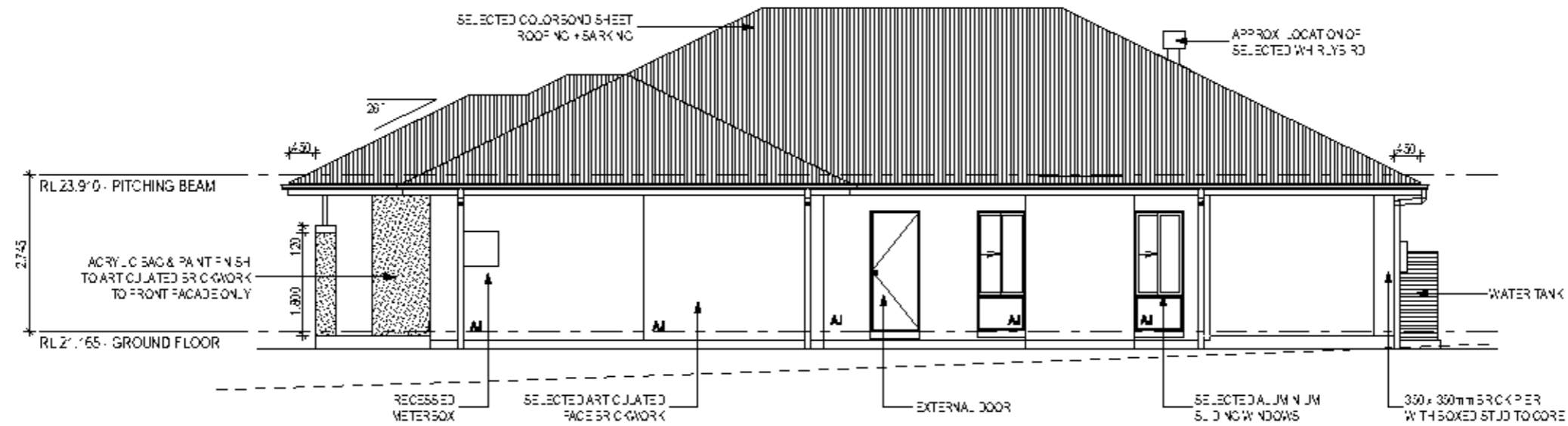
PROJECT NAME  
**MANHATTAN ONE 4 BEDROOM**  
 PACKAGE  
**CUSTOM**  
 SHEET NO  
**SITE PLAN**

CONTRACT NO  
**H-MAN CLAS1 2400**  
 PACKAGE CODE  
**F-**  
 SCALE  
**1:200, 1:100, 1:1**  
 SHEET NO  
**3 / 10**

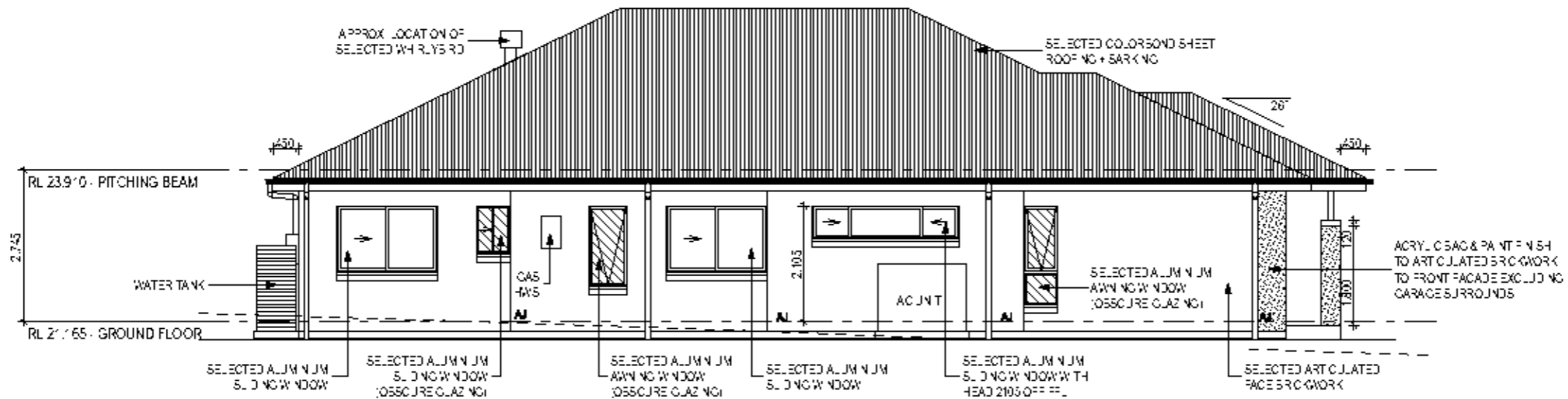
UNCONTROLLED DRAWING - USE ONLY FOR INFORMATION PURPOSES  
**601134**

**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

NOTE: REFER TO 'DATABASE ; SHEET 2' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS



**EAST ELEVATION**  
Scale: 1:100



**WEST ELEVATION**  
Scale: 1:100

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



GENONE: BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2014

DRAWING	DRAWN
1 PRELIMINARY PLANS (CTZ)	TAD 20/306/2
2 CONTRACT PLANS	LPH 20/307/25
3 ALL REPORTS RECEIVED	LPH 20/308/2
4 AMENDED LANDSCAPING PLAN	LPH 20/40/08
5 AMENDED AS PER PCV004	VP 20/40/14

CLIENT MR J & MRS J BAREMANS		LOT No 2038
ADDRESS KILLUNA WAY		CP No 1168989
SUBURB JORDAN SPRINGS	POSTCODE 2747	COUNCIL PENRITH
		SECTION No ---

HOUSE DESIGN MANHATTAN ONE 4 BEDROOM	DESIGN CODE H-MANCLAS12400
FACADE CUSTOM	FACADE CODE F-
SHEET TITLE ELEVATIONS	SCALE 1:100
	SHEET No 6 / 10

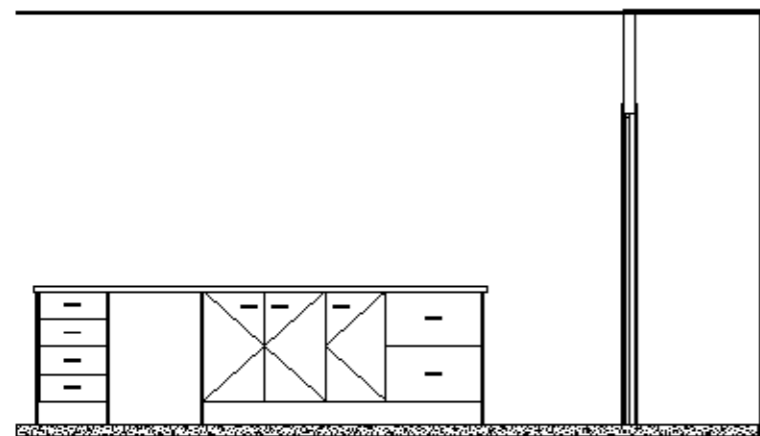
GENONE: YOUR HOME, YOUR DREAM  
601134

File Location: G:\Sydney\Draft\Killuna\34 Baremans\Drawings\PCV\PCV-60-20060-34 Baremans\Drawings\PCV-60-20060-34 Baremans.dwg

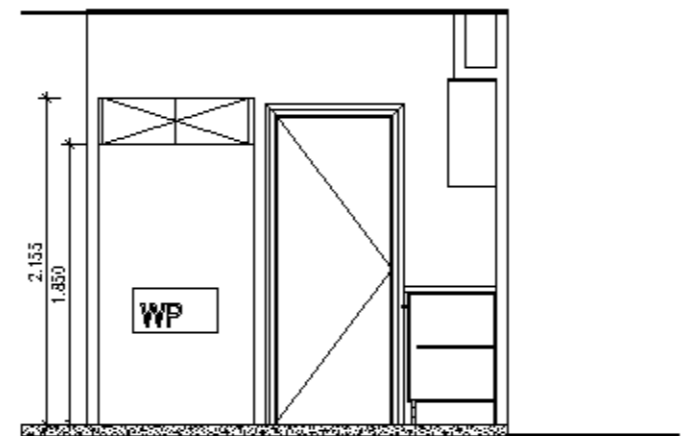
**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

NOTE: REFER TO 'DATABASE ; SHEET Z' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
 - BASIX/ABSA REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL HOUSE SPECIFICATIONS

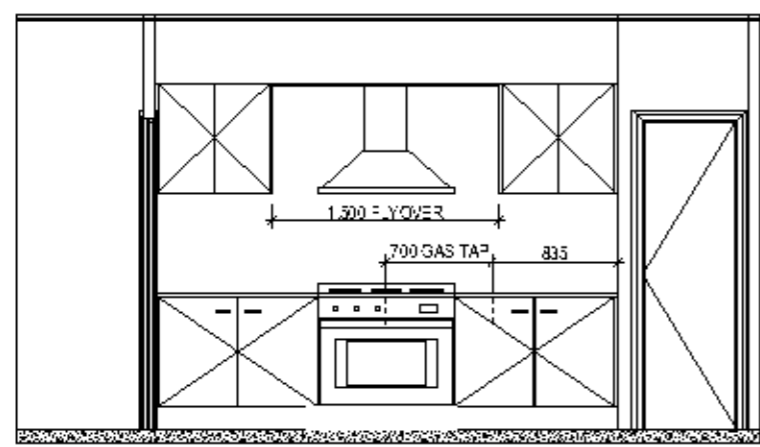
NOTE: KITCHEN DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



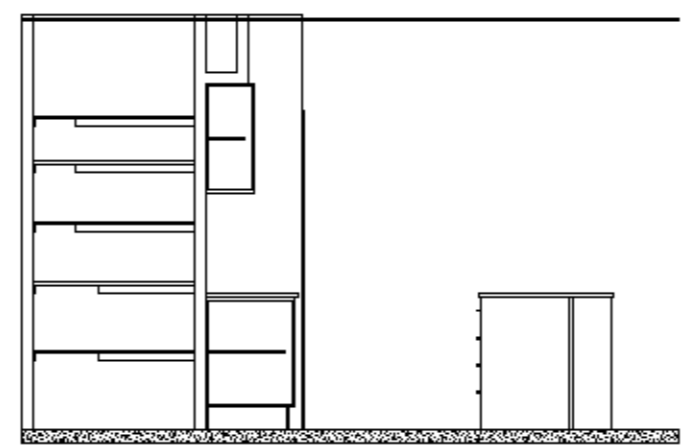
**ELEVATION A**  
Scale: 1:50



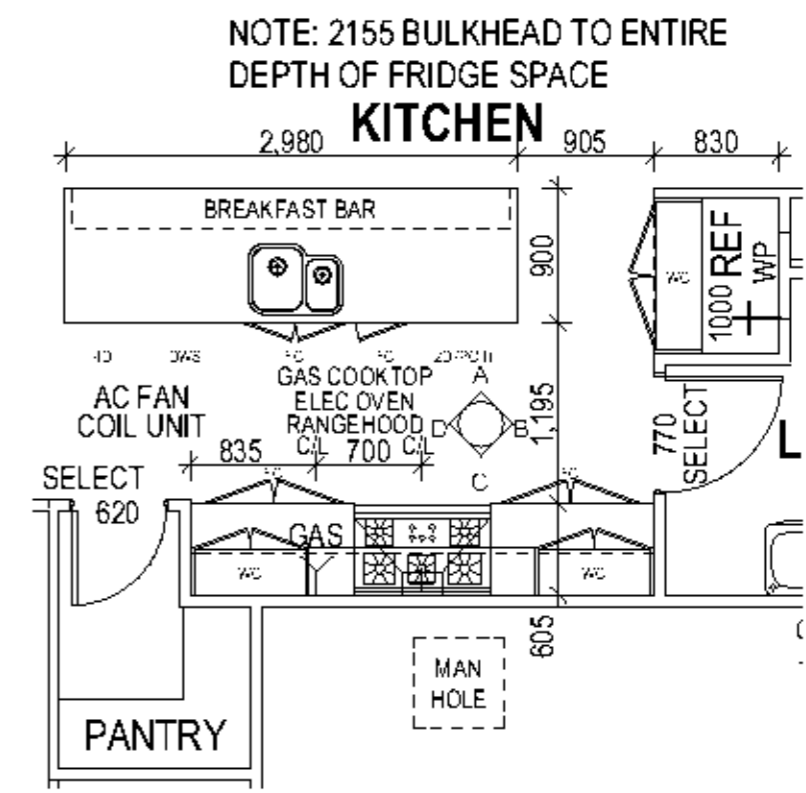
**ELEVATION B**  
Scale: 1:50



**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50



**KITCHEN FLOOR PLAN**  
Scale: 1:50

THIS PLAN ACCEPTED BY:

-----

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

-----

DATE:

-----



GENONE: BY DONALD JONES HOMES

www.mcdonaldjoneshomes.com.au

© 2014

DRAWING	DRAWN
1 PRELIMINARY PLANS (CTZ)	TAD 20/306/2
2 CONTRACT PLANS	LPH 20/307/25
3 ALL REPORTS RECEIVED	LPH 20/308/2
4 AMENDED LANDSCAPING PLAN	LPH 20/40/08
5 AMENDED AS PER PCV004	VP 20/40/14

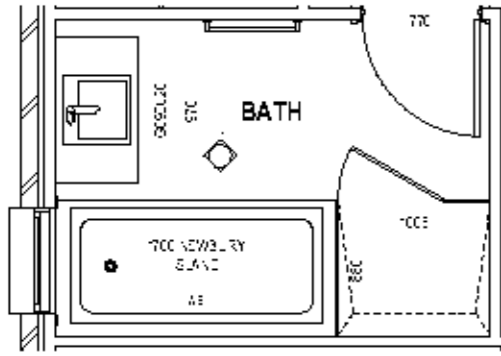
CLIENT <b>MR J &amp; MRS J BAREMANS</b>		LOT No 2038
ADDRESS <b>KILLUNA WAY</b>		CP No 1168989
Suburb <b>JORDAN SPRINGS</b>	Postcode 2747	Council <b>PENRITH</b>
SECTION No ---		---

HOUSE DESIGN <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE <b>H-MANCLAS12400</b>
PACKAGE <b>CUSTOM</b>	PACKAGE CODE F-
SHEET TITLE <b>KITCHEN DETAILS</b>	SCALE 1:50, 1:100
	SHEET No 7/10

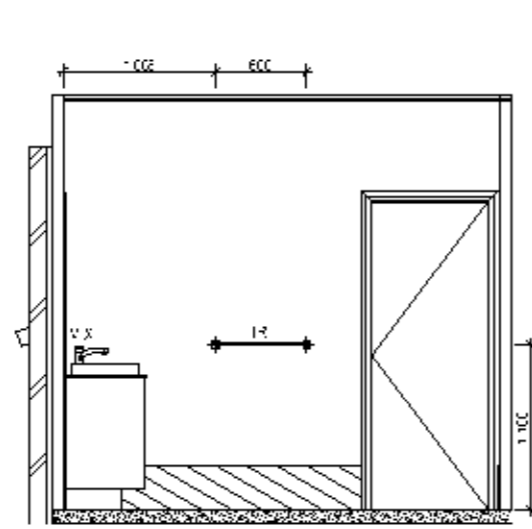
601134

File Location: G:\Sydney\Drawings\601134\Baremans\Drawings\601134\Baremans.dwg File No: 601134 Date: 20/06/14 2:26 PM

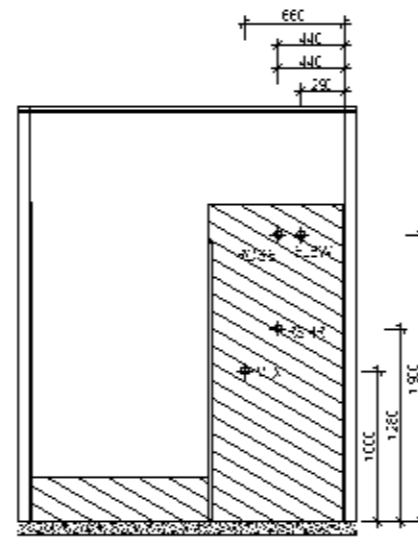
**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS



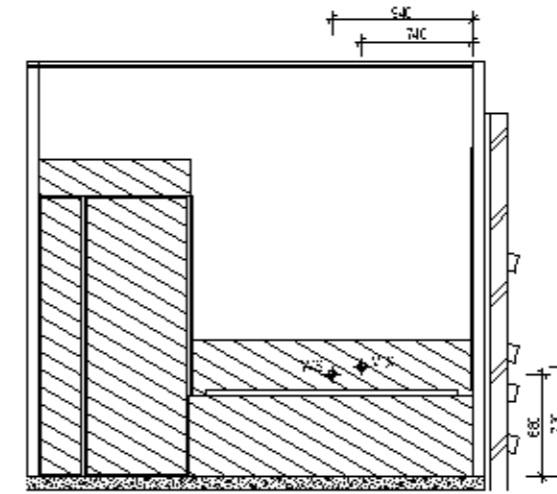
**BATHROOM FLOOR PLAN**  
Scale: 1:50



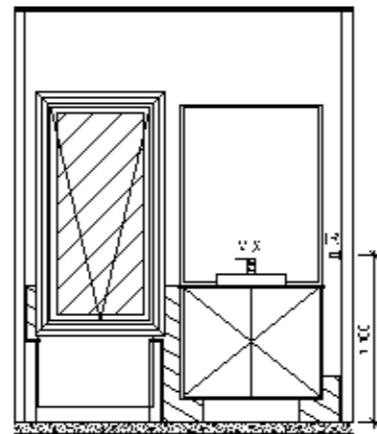
**ELEVATION A**  
Scale: 1:50



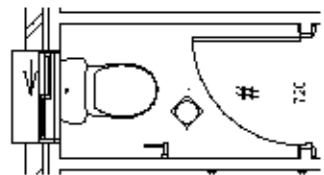
**ELEVATION B**  
Scale: 1:50



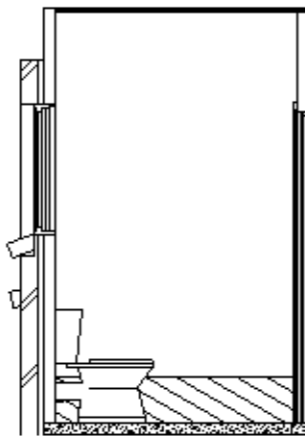
**ELEVATION C**  
Scale: 1:50



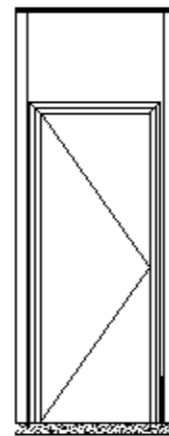
**ELEVATION D**  
Scale: 1:50



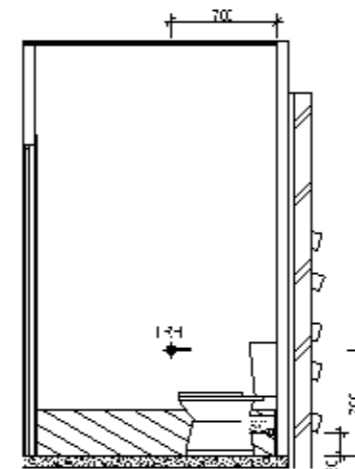
**BATHROOM WC FLOOR PLAN**  
Scale: 1:50



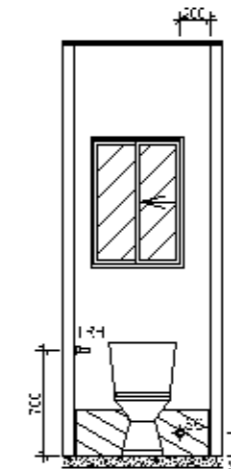
**ELEVATION A**  
Scale: 1:50



**ELEVATION B**  
Scale: 1:50



**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50

NOTE: REFER TO 'DATAPAGE ;SHEET Z' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

**LEGEND**

- RS-4R RAUBS SHOWER
- ROSS SHOWER ROSE
- SEW SHOWER SEW CONNECTION
- VX VASE TAP
- H1 HOT TAP
- C1 COLD TAP
- HS HOLE SPOULI
- WS WALL SPOULI
- SC SHOWER COCK
- FRH FRUIT ROLL HOLDER
- IR IRONING BOARD
- L LADDER
- FRG FRIDGE
- RR ROBE RACK
- SHL SHOWER
- SR SHOWER RECESS

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



GENONE: BY DONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2014

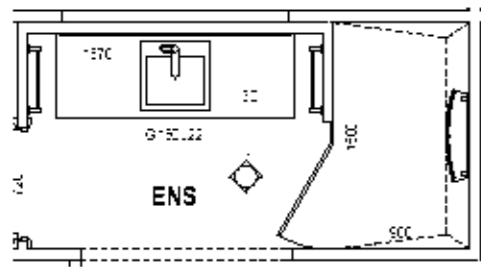
DRAWING	DRAWN
1 PRELIMINARY PLANS (CTZ)	TAD 20/306/2
2 CONTRACT PLANS	LPH 20/307/25
3 ALL REPORTS RECEIVED	LPH 20/308/2
4 AMENDED LANDSCAPING PLAN	LPH 20/40/08
5 AMENDED AS PER PCV004	VP 20/40/14

CLIENT MR J & MRS J BAREMANS		LOT No 2038
ADDRESS KILLUNA WAY		CP No 1168989
Suburb JORDAN SPRINGS	Postcode 2747	Council PENRITH
Section No ---		Section No ---

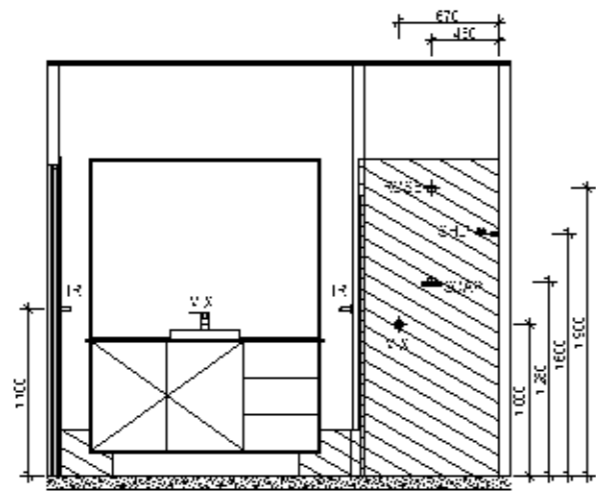
HOUSE DESIGN MANHATTAN ONE 4 BEDROOM	DESIGN CODE H-MANCLAS12400
PACKAGE CUSTOM	PACKAGE CODE F-
SHEET TITLE BATHROOM DETAILS	SCALE 1:50, 1:100
	SHEET No 8 / 10

601134

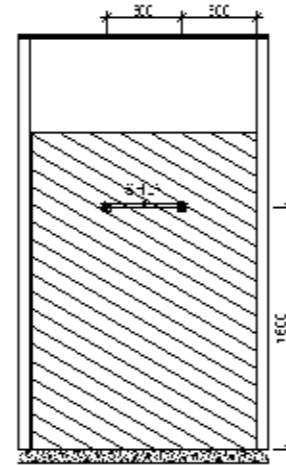
**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS



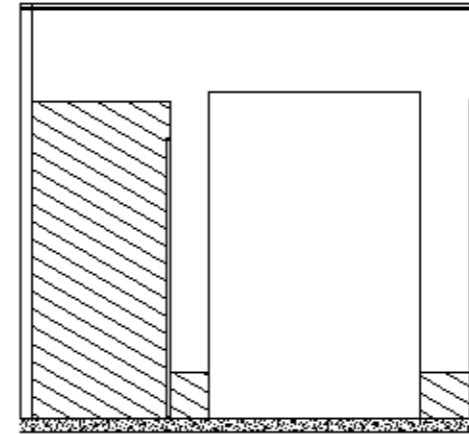
**ENSUITE FLOOR PLAN**  
Scale: 1:50



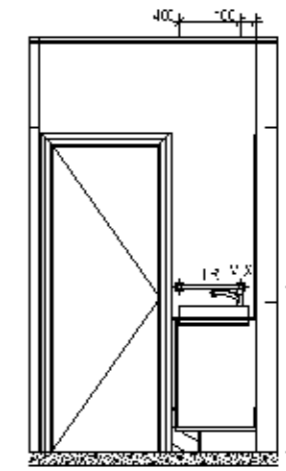
**ELEVATION A**  
Scale: 1:50



**ELEVATION B**  
Scale: 1:50



**ELEVATION C**  
Scale: 1:50



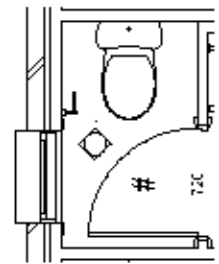
**ELEVATION D**  
Scale: 1:50

NOTE: REFER TO 'DATAPAGE / SHEET Z' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

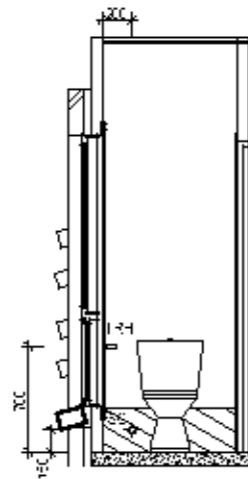
NOTE: BATHROOM DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

**LEGEND**

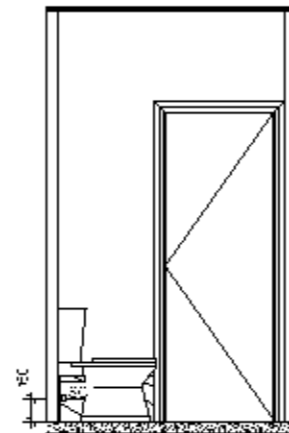
- RS-H RAIN SHOWER
- RS-S SHOWER ROSE
- SEW-S SHOWER SEW CONNECTION
- V-X VANITY TAP
- H-H HOT TAP
- C-C COLD TAP
- HS-HS SHOWER
- WS-WALL SHOWER
- SC-SHOWER COCK
- FRH-FRUIT BOWL HOLDER
- IR-IRWELL RAIL
- L-L IRWELL LADDER
- IRW-IRWELL FRAME
- R-R ROSE ROSE
- S-S-SHOWER
- S-R-SHOWER RECESS



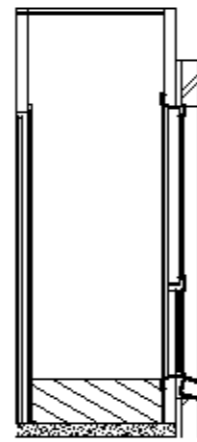
**ENSUITE WC FLOOR PLAN**  
Scale: 1:50



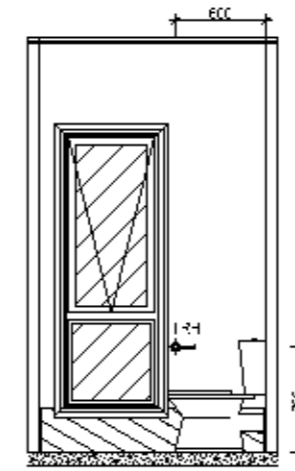
**ELEVATION A**  
Scale: 1:50



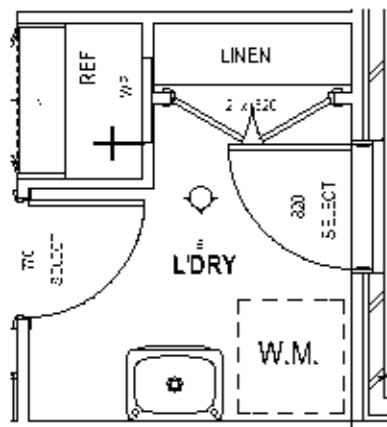
**ELEVATION B**  
Scale: 1:50



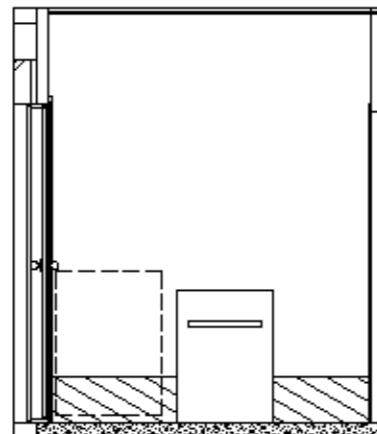
**ELEVATION C**  
Scale: 1:50



**ELEVATION D**  
Scale: 1:50



**L'DRY FLOOR PLAN**  
Scale: 1:50



**ELEVATION E**  
Scale: 1:50

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



GENONE: BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2014

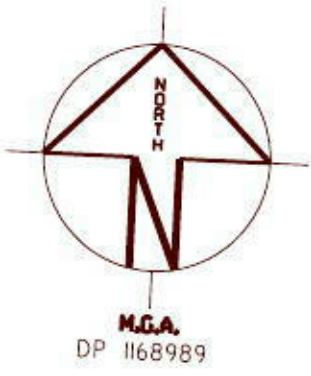
DRAWING	DRAWN
1 PRELIMINARY PLANS (CTZ)	TAD 20/306/2
2 CONTRACT PLANS	LPH 20/307/25
3 ALL REPORTS RECEIVED	LPH 20/308/2
4 AMENDED LANDSCAPING PLAN	LPH 20/40/08
5 AMENDED AS PER PCV004	VP 20/40/14

CLIENT <b>MR J &amp; MRS J BAREMANS</b>		LOT No 2038
ADDRESS <b>KILLUNA WAY</b>		CP No 1168989
Suburb <b>JORDAN SPRINGS</b>	Postcode 2747	Council PENRITH
SECTION No ---		---

HOUSE DESIGN <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE H-MANCLAS12400
PACKAGE <b>CUSTOM</b>	PACKAGE CODE F-
SHEET TITLE <b>ENSUITE/L'DRY DETAILS</b>	SCALE 1:100, 1:50
	SHEET No 9/10

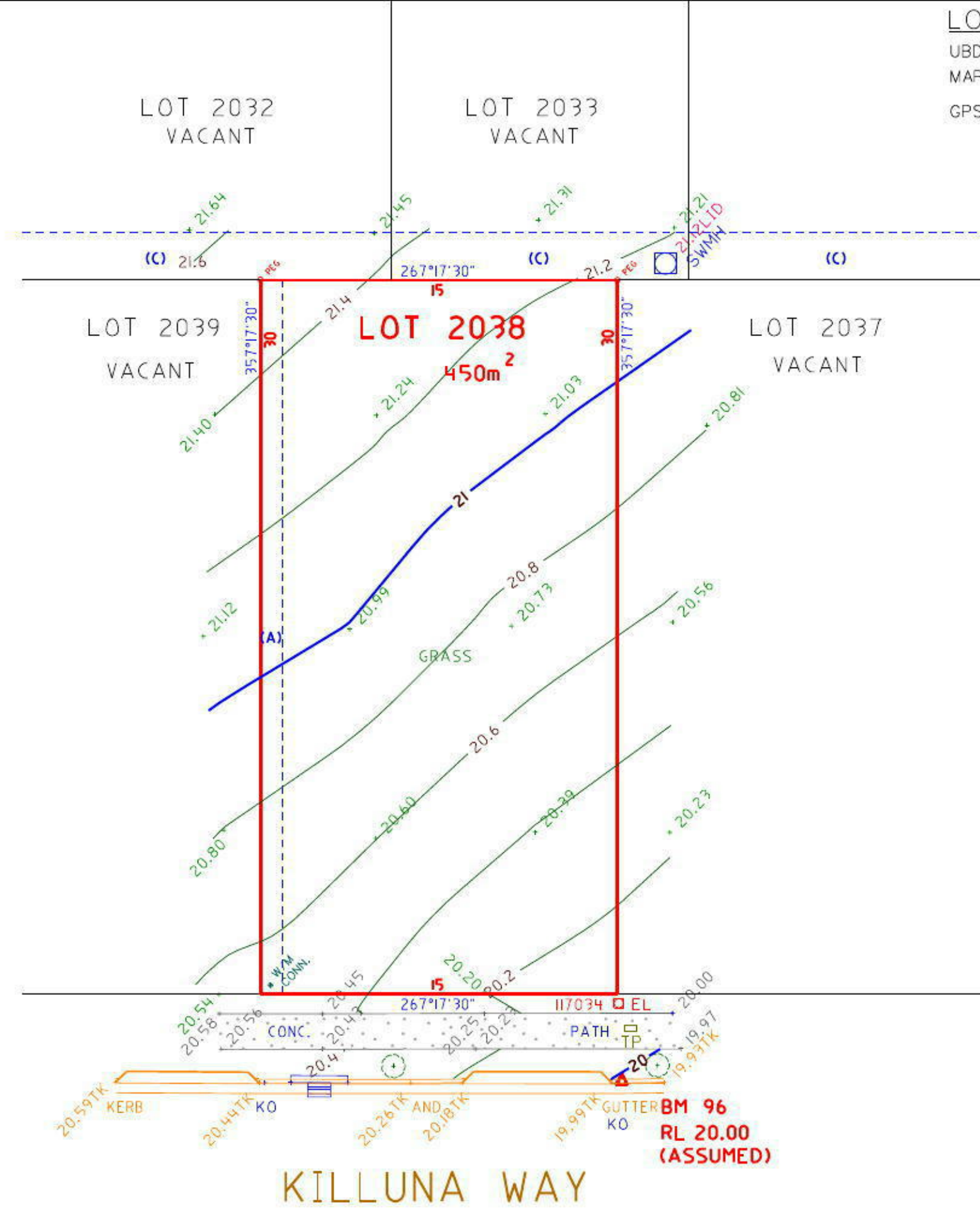
601134

NORTH



LOCALITY SKETCH

UBD AREA: SYD REVISION: 48  
 MAP: 144 REF: G13  
 S 33.72400  
 GPS E 150.73264



(A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE  
 (C) EASEMENT TO DRAIN WATER 2 WIDE



<p><b>COPYRIGHT</b></p> <p>COPYRIGHT OF THIS PLAN AND IN THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT &amp; SURVEY PTY LTD.</p> <p>THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.</p>	<p><b>GENERAL NOTES</b></p> <p>THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.</p>	<p><b>SYMBOLS &amp; ABBREVIATIONS:</b></p> <table border="1"> <tr> <td>GP</td><td>GULLY PIT</td> <td>-E-</td><td>OVERHEAD ELEC LINE</td> </tr> <tr> <td>HYD</td><td>HYDRANT</td> <td>-S-</td><td>SEWER LINE</td> </tr> <tr> <td>SIP</td><td>SURFACE INLET PIT</td> <td>GM</td><td>GAS METER</td> </tr> <tr> <td>SIC</td><td>SEWER INSPECTION COVER</td> <td>LP</td><td>LIGHT POLE</td> </tr> <tr> <td>SMH</td><td>SEWER MANHOLE</td> <td>EC</td><td>ELECTRICITY CONDUIT</td> </tr> <tr> <td>W/M</td><td>WATER METER</td> <td>ECT</td><td>ELEC &amp; TELE CONDUIT</td> </tr> <tr> <td>EL</td><td>ELECTRICITY BOX</td> <td>TC</td><td>TELECOM CONDUIT</td> </tr> <tr> <td>TP</td><td>TELECOM PIT</td> <td>WC</td><td>WATER CONDUIT</td> </tr> <tr> <td>VC</td><td>VEHICLE CROSSING</td> <td>INV</td><td>INVERT</td> </tr> <tr> <td>SV</td><td>STOP VALVE</td> <td>KO</td><td>KERB OUTLET</td> </tr> <tr> <td>SWM</td><td>STORMWATER MANHOLE</td> <td>TK</td><td>TOP OF KERB</td> </tr> </table>	GP	GULLY PIT	-E-	OVERHEAD ELEC LINE	HYD	HYDRANT	-S-	SEWER LINE	SIP	SURFACE INLET PIT	GM	GAS METER	SIC	SEWER INSPECTION COVER	LP	LIGHT POLE	SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT	W/M	WATER METER	ECT	ELEC & TELE CONDUIT	EL	ELECTRICITY BOX	TC	TELECOM CONDUIT	TP	TELECOM PIT	WC	WATER CONDUIT	VC	VEHICLE CROSSING	INV	INVERT	SV	STOP VALVE	KO	KERB OUTLET	SWM	STORMWATER MANHOLE	TK	TOP OF KERB	<p><b>ASPECT DEVELOPMENT &amp; SURVEY PTY LTD</b>                  CONSULTING REGISTERED SURVEYORS                  ABN 60 078 649 000</p> <p>SUITE 1                  103 VANESSA STREET                  KINGSGROVE NSW 2208                  PHONE (02) 9554 6388                  FAX (02) 9554 8588</p> <p>PO BOX 161                  KINGSGROVE NSW 1480                  DX 11392                  HURSTVILLE</p>	<p><b>PROJECT</b></p> <p>OUR REFERENCE 3/1023296/139600                  LOT 2038 DP 1168989 SECTION                  DATUM ASSUMED SOURCE                  ORIGIN OF LEVELS BM 96 REDUCED LEVEL 20.00                  SURVEYED NR DATE 25/07/2013                  DRAWN SK/BK DATE 29/07/2013                  SCALE 1: 200 A3 SHEET</p>	<p><b>CLIENT: McDONALD JONES HOMES</b>                  REF: BAREMANS                  REF: 601134                  ADDRESS: KILLUNA WAY                  SUBURB JORDAN SPRINGS</p>
			GP	GULLY PIT	-E-	OVERHEAD ELEC LINE																																											
HYD	HYDRANT	-S-	SEWER LINE																																														
SIP	SURFACE INLET PIT	GM	GAS METER																																														
SIC	SEWER INSPECTION COVER	LP	LIGHT POLE																																														
SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT																																														
W/M	WATER METER	ECT	ELEC & TELE CONDUIT																																														
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT																																														
TP	TELECOM PIT	WC	WATER CONDUIT																																														
VC	VEHICLE CROSSING	INV	INVERT																																														
SV	STOP VALVE	KO	KERB OUTLET																																														
SWM	STORMWATER MANHOLE	TK	TOP OF KERB																																														
<p><b>SCALE 1:200</b></p>																																																	

# LEGEND (NTS)

- MASS CONCRETE PIERS. REFER PIER SPECIFICATION
- START POD LOCATION
- 1090 SQ STANDARD POD
- CENTRE LINE OF RIB
- 2-N12 TRIMMERS 2000 LONG
- DENOTES TOP OF MAIN SLAB
- DENOTES STEPDOWN FROM TOP OF MAIN SLAB
- ARTICULATION JOINT

**SALINE SOIL SITE NOTE:**

SN1. CONCRETE IN PIERS AND SLAB TO BE STRENGTH GRADE N32 AND VIBRATED.

SN2. A 0.2 HIGH IMPACT RESISTANT WATERPROOF MEMBRANE SHALL BE USED AND INSTALLED IN ACCORDANCE WITH AS2870

SN3. A LAYER OF BEDDING SAND AT LEAST 50 THICK SHALL BE PROVIDED

# WAFFLE RAFT SPECIFICATION

MAIN RESIDENCE	GARAGE/PORCH
SLAB THICKNESS: 85	SLAB THICKNESS: 95
SLAB FABRIC: SL72	SLAB FABRIC: SL82
CONCRETE STRENGTH: N32	CONCRETE STRENGTH: N32
SLUMP: 100	
MAXIMUM SIZE AGGREGATE: 20	

THE OWNERS ATTENTION SHALL BE DRAWN TO APPENDIX 'A' 'PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE' OF AS 2870 AND CSIRO PUBLICATION 'GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'. CURRENT EDITIONS.

**ARTICULATION NOTE:**  
THIS SLAB IS DESIGNED FOR ARTICULATED MASONRY VENEER TYPE CONSTRUCTION AND ARTICULATION JOINTS ARE TO BE PROVIDED AS PER THE B.C.A. VOL.2 CURRENT EDITION

**TRUSSED ROOF NOTE:**  
SLAB HAS BEEN DESIGNED FOR ROOF LOADING TO BE SUPPORTED BY PROPRIETARY TRUSSES ONTO EXTERNAL WALLS ONLY.

### PIER SPECIFICATION

DIAMETER $\phi$	400
CONCRETE STRENGTH: (F <sub>c</sub> AT 28 DAYS)	N32 U.N.O
SLUMP:	100
MAXIMUM SIZE AGGREGATE	20

EXPECTED CONCRETE PIERS/FOOTINGS REQUIRED TO UNIFORM BEARING. ENGINEER AND/OR CERTIFIER TO INSPECT GROUND BEARING OF PIERS/FOOTINGS PRIOR TO POURING OF CONCRETE.

ENGINEER TO BE NOTIFIED IF PIERS/FOOTINGS COLLAPSE IN CONSTRUCTION. BUCKET OR SCREW PIERS MAY NEED TO BE USED

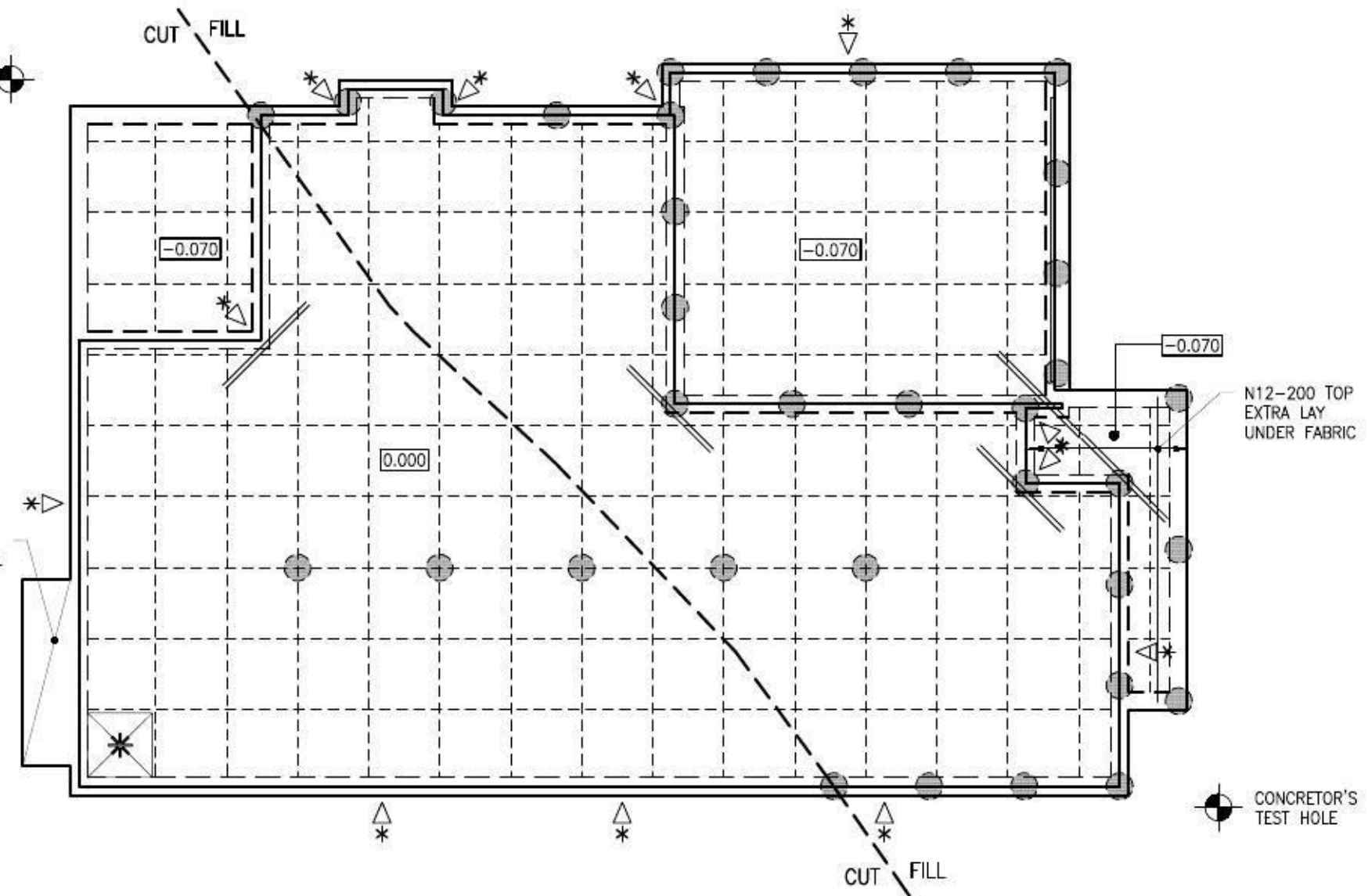
SITE CLASSIFICATION	M
WIND CLASSIFICATION	N1
SITE LOCATION CLASSIFICATION	REFER SITE CLASSIFICATION NOTES FOR DETAILS SL3

THESE DETAILS HAVE BEEN PREPARED IN ACCORDANCE WITH ARCHITECTURAL

DESIGN NAME:  
**MANHATTAN ONE - CUSTOM**

PREPARED BY:	McDONALD JONES
DRAWING/JOB No.:	601134
REVISION/ISSUE:	3
DATED:	12.08.13

IF IN DOUBT, CONTACT ENGINEER.



**WAFFLE RAFT DESIGN LAYOUT DRAWING**

### PIERING NOTE:

DEPTH AND BEARING MATERIAL OF THE PIER HOLES SHALL COMPLY WITH THE GEOTECHNICAL ASSESSMENT OF THE SITE AS IN REPORT:

PREPARED BY:	SMEC TESTING SERVICES
REFERENCED:	1916/0119
REVISION/ISSUE:	-
DATED:	5th AUGUST 2013

BEARING MATERIAL:  
**ORANGE BROWN WITH LIGHT GREY SILTY CLAY**

AVERAGE BEARING DEPTH:  
**1.2m + FILL**

- TEST HOLES MUST BE COMPLETED PRIOR TO COMMENCEMENT OF DRILLING PIER HOLES FOR THE RESIDENTIAL SLAB.
- BEARING MATERIAL AND DEPTH OF THE PROPOSED PIER HOLES SHALL BE CONFIRMED IN THE TEST HOLES AND BE IN ACCORDANCE WITH THE ABOVE RECOMMENDATIONS.
- CONTACT THE DESIGN ENGINEER IMMEDIATELY IF THE BEARING MATERIAL NOTED ABOVE DIFFERS FROM THAT FOUND IN THE TEST HOLE. OTHERWISE CONTINUE PIERING THE RESIDENCE

RAINWATER TANK SLAB REFER TYPICAL RAINWATER TANK SLAB DETAIL

<p>1/19 Jonathan Street, Greystanes NSW 2145 3/256 Argyle Street, Moss Vale NSW 2577 www.residentialengineering.com.au</p>	<p>NSW: BPB 0255 VIC: EC 24609 QLD: RPEQ 4109</p>	<p>COPYRIGHT: THIS DRAWING REMAINS THE PROPERTY OF RESIDENTIAL ENGINEERING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT RESIDENTIAL ENGINEERING WRITTEN CONSENT</p>	<p>APPROVED BY:  A.W. MCCARTHY B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.</p>	<p>CLIENT REF: 601134 DATE: 13.08.13 DRAWN: SG SCALE: 1:100</p>	<p>CLIENT:  McDONALD JONES YOUR HOME YOUR DREAM</p>	<p>FOR: MR J. &amp; MRS J. BAREMANS SITE ADDRESS: LOT 2038 KILLUNA WAY, JORDAN SPRINGS</p>	<table border="1"> <thead> <tr> <th>DRAWN</th> <th>DATE</th> <th>AMENDMENT</th> <th>REV</th> <th>JOB No:</th> <th>ISSUE:</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td></td> <td>MJ0278</td> <td></td> </tr> </tbody> </table>	DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:					MJ0278		<p>SHEET No: <b>01 of 04</b></p>
	DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:														
				MJ0278																



**GENERAL NOTES**

- G1. Engineers structural drawings are signed and issued on the understanding that the builder maintains in force, proper and adequate contract works insurance and public liability insurance during the full course of the construction, and/or any maintenance period, claims of damage to any adjacent property or building is not the responsibility of the engineer.
- G2. These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract, all discrepancies shall be referred to the architect for decision before proceeding with the work.
- G3. All workmanship and materials shall be in accordance with the requirements of the current editions of the saa codes and there-by laws and ordinances of the relevant building authority.
- G4. Dimensions shall not be obtained by scaling the structural drawings, refer to architectural drawings for set out plan measurements, any set out dimensions shown on this document shall be verified by the builder.
- G5. Any discrepancies/substitution in these documents shall be referred to the engineer for decision before proceeding with the work.
- G6. The sections/details on these drawings are intended to give the structural specifications only, architectural sections/details on these drawings are illustrative only.
- G7. These documents are signed subject to certificate of inspection being issued by this firm, all piers, slab and footing reinforcement shall be inspected by the engineer prior to the pouring of concrete, give 24hrs notice to the engineer.

**SITE CLASSIFICATION**

- C1. The site has been the subject of a geotechnical investigation requiring adherence to particular construction procedures and/or techniques, therefore these documents have been prepared using the recommendations of the geotechnical engineer.

Site classification: 'M'  
Classified by: SMEC TESTING SERVICES PTY LTD  
Report/Project no: 19161/0119  
Dated: 5th AUGUST 2013

- C2. The footing details shown are for the site classification stipulated, while every care has been taken to verify that the information shown is correct, Residential Engineering takes no responsibility for variations which may occur in site conditions subsequent to construction.

- C3. SL1: less than 1km from breaking surf or less than 100m from salt water not subject to breaking surf or within heavy industrial areas.

- C4. SL2: 1km or more but less than 10km from breaking surf or 100m or more but less than 1km from salt water not subject to breaking surf

- C5. SL3: 10km or more from breaking surf or 1km or more from salt water not subject to breaking surf.

- C6. Refer BCA class 1 and class 10 buildings housing provisions volume 2 for tables:  
Protective Coatings For Steelwork (table 3.4.4.2)  
Corrosion Protection Of Built-In Structural Steel Members (table 3.3.3.2)  
Corrosion Protection For Wall Ties (table 3.3.3.1)

**FOUNDATION AND FILLING**

- F1. Strip topsoil or other organic matter to a depth of 100 mm and stockpiled.
- F2. Filling used for the support of a slab shall be controlled fill or rolled fill as follows:  
(a) CONTROLLED FILL: Shall be placed, tested and certified by a qualified Geotechnical Engineer as defined in AS 3798. This is deemed to be adequate to support the footing system.  
(b) ROLLED FILL: consists of material compacted in layers by repeated rolling with an excavator or similar equipment. The depth shall not exceed 0.6 m compacted in layers not more than 0.3 m thick for sand material or 0.3 m compacted in layers not more than .15m thick for other material.
- F3. Where fill consists of reactive clay, the fill shall be placed in a moist condition.
- F4. Any fill shall continue past the edge of the building by at least 1 m and shall be retained or battered beyond this point by a slope not steeper than 1:2.
- F5. Except for sites with aggressive soils, a blinding layer of sand is not required. Where used, the blinding layer of sand shall comply with rolled fill requirements.

**DRAINAGE DESIGN REQUIREMENTS**

- D1. Surface drainage shall be designed and constructed to avoid water ponding against or near the footing.
- D2. The ground in the immediate vicinity of the perimeter footing shall be graded to fall 50 mm min away from the footing over a distance of 1 m.
- D3. The min height of the slab above F.G.L., landscaping or paving shall be 150 mm. Where adjoining paved areas slope away from the building, this height may be reduced to 50 mm.
- D4. The base of trenches shall be sloped away from the building and backfilled in accordance with AS 2870
- D5. During construction, water run-off shall be collected and channeled away from the building.

**CONCRETE PIERS**

- P1. Pier diameter and locations are shown on plan.
- P2. u.n.o minimum pier depth is 600 mm below footings and wherever nominated should be socketed a minimum 300 mm into stiff clay.
- P3. All pier holes shall be cleaned and dewatered prior to the placement of concrete.
- P4. All piers shall be poured separate to footings.
- P5. It should be noted that if any of the footings encounter rock or shale, then all footings shall be pierced to rock or shale, if partially pierced to rock then articulation joints shall be provided at the rock/non-rock interface.
- P6. Concrete piers/footings are required to uniform bearing, engineer or council shall inspect ground bearing of piers/footings prior to pouring of concrete.

Strata	Stiff Clay	Rock and Shale	Natural Sand
Min Bearing Capacity 'kPa'	250	600	150

**DAMP PROOFING MEMBRANE**

- DP1. A 0.2 mm min polyethylene damp-proofing high impact resistant membrane shall be placed beneath the slab so that the bottom surface is entirely underlaid and terminate at ground level.
- DP2. The membrane shall be branded continuously 'AS 2870 concrete underlay, 0.2 mm high impact resistant', together with manufacturer or distributors name, trademark or code.
- DP3. Lapping shall be 200 mm at joints and taped or sealed at plumbing penetrations with continuous close fitting sleeve or made continuous with the vapour barrier by taping and be made waterproof.

**PLUMBING**

- PL1. Close cell polyethylene lagging shall be used around all stormwater and sanitary plumbing drain pipe penetrations through footings. The lagging shall be a minimum of 20 mm thick on H1 sites and 40 mm thick on Class H2 and Class E sites. Vertical penetrations do not require lagging. Additionally drains attached to or emerging from underneath the building including stormwater, sanitary and discharge pipes shall incorporate flexible joints immediately outside the footing and commencing within 1 m of the building perimeter to accommodate a total range of differential movement of the site (ys).

**REINFORCEMENT AND FIXING**

- R1. Minimum concrete cover as follows:  
40 mm to unprotected ground  
30 mm to a membrane in contact with the ground  
40 mm to an external surface  
20 mm to an internal surface
- R2. Slab fabric shall be supplied in flat sheets and be lapped one full square plus 25 mm at splices and placed on bar chairs at 1 m cts both ways.
- R3. Reinforcing bars shall have a lap length at splices not less than:  
500 mm up to a bar  $\phi$  of 12 mm  
700 mm up to a bar  $\phi$  of 16 mm  
At T and L intersections the bars shall be continued across the full width of the intersection.
- R4. Service penetrations are permitted through the middle third of the depth of the edge beam and stiffening beams.
- R5. Reinforcement and void formers shall be fixed in position prior to concreting by means of proprietary spacers, bar chairs with bases, ligatures or other appropriate fixings to achieve the required reinforcement position and concrete cover.
- R6. Bar reinforcement shall be tied beneath the slab fabric if used or otherwise placed on bar chairs
- R7. Concrete shall be transported, placed, compacted and cured in accordance with good building practice.
- R8. Trenches, pier holes and beams shall be dewatered and cleaned prior to concrete placement such that no significant softened or loosened material remains.
- R9. Concrete in trenches and beams shall be mechanically vibrated.

**EXCAVATIONS**

- E1. Temporary excavations in the area of the footing shall be carried out only where adequate support for the footing system is maintained such as piling beneath the expected excavation level or underpinning.
- E2. Permanent excavations of any vertical or near vertical structure within 2 m of the building and deeper than 0.6m in material other than rock shall be adequately retained or battered.
- E3. Excavations shall not extend below a line drawn at 30' for sand, 45' for clay to the horizontal from the bottom edge of the footing/pier without prior assessment.

**AGGRESSIVE SOILS**

- A1. Buildings with masonry or concrete exposed to saline soils or to acid sulfate soils shall be protected from the aggressive soil or groundwater.
- A2. Where a layer of bedding sand 100 mm deep is provided, it shall comply with the 'FOUNDATION AND FILLING' notes.
- A3. Protection requirements from Geotechnical & local authorities shall be adhered to and provided to this office before commencing detailing.

**SHRINKAGE CRACKING CONTROL**

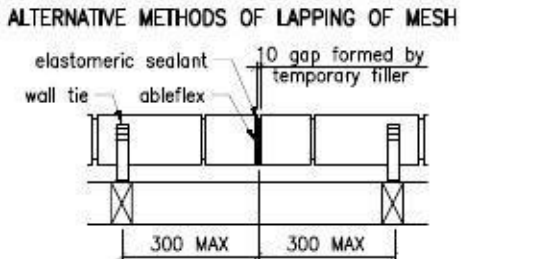
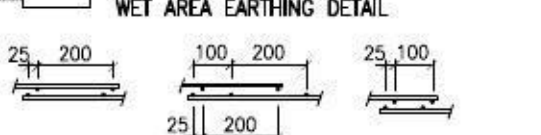
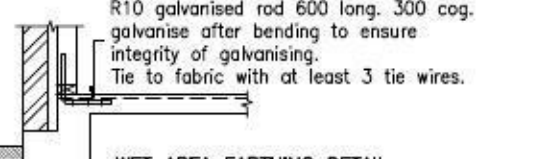
- S1. At re-entrant corners, one strip of 3-L11 or 3-N12 bar 2 m long shall be placed across the direction of potential cracking.
- S2. Where brittle floor coverings are to be used over an area greater than 16 m<sup>2</sup> the following applies:  
(a) Slab reinforcement in part of the slab which brittle finishes are applied shall not be less than SL92 or equivalent.  
(b) The bedding system for brittle coverings shall be selected on the basis of the expected slab movement  
(c) The placement of floor coverings shall be delayed by a minimum period of 3 months.
- S3. Water shall not be added to the concrete on site so as to increase the slump above that specified.
- S4. Curing the concrete shall start immediately after finishing by continually wetting for 7 days min. Plastic or wax liquid sprays may be used in accordance with the manufacturers specifications. extra precaution such as the method of evaporative retardation (the use of aliphatic alcohols) is recommended during hot weather pours to help avoid thermal related slab cracking.

**SUB-TERRANEAN TERMITE PROTECTION AND MAINTENANCE**

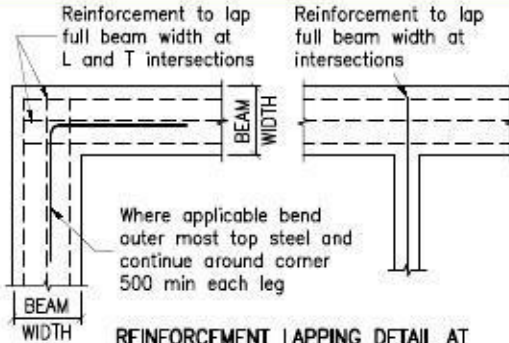
- T1. All works to be in accordance with AS 3660.1
- T2. Any future cracking occurring in the slab/footing system is to be assessed by a qualified pest expert and where directed be sealed by epoxy injection.
- T3. Inspections of the residence and immediate surrounds to be carried out by a qualified pest expert on an annual basis by the home owner.
- T4. Site maintenance is the responsibility of the owner. All recommendations outlined in the CSIRO pamphlet, Building Technology File 18, Foundation Maintenance and Footing performance: A Homeowners Guide, and its recommendations should be followed in full.

**MASONRY NOTES**

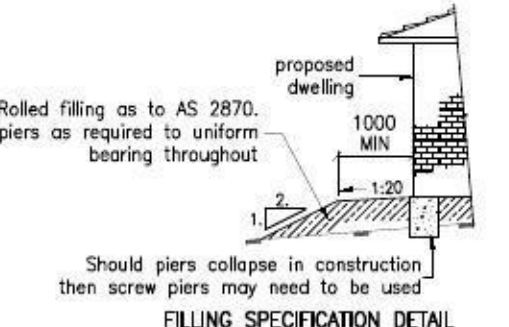
- M1. Load bearing masonry shall comply with AS 3700
- M2. Masonry, Mortar durability and Articulation shall comply with the B.C.A class 1 and 10 buildings volume 2, form TN61 articulated walling and AS 2870
- M3. Internal brickwork built off the slab shall be laid on two layers of 'alcor' or '3 ply malthoid' or equivalent material.



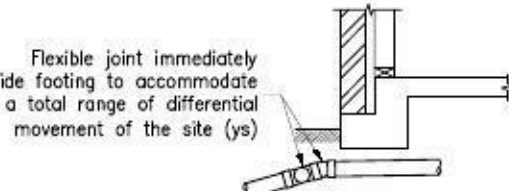
All wall ties to be built in and fixed to frame progressively as construction proceeds spaced at each side of expansion joints and at each third course, the spacing of all other ties shall be as described in the b.c.a class 1 and 10 buildings housing provisions volume 2.



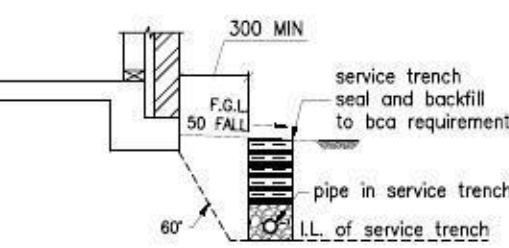
REINFORCEMENT LAPPING DETAIL AT 'L' AND 'T' INTERSECTIONS (PLAN VIEW)



FILLING SPECIFICATION DETAIL



UNDER SLAB PLUMBING DETAIL FOR H1, H2 AND E SITES



HOUSE SERVICES DETAIL

It is outside the control of the engineer to ensure the drainage contractor complies with this detail. The builder shall ensure that the drainage contractor complies with this detail in full

WIND/WALL TIE CLASSIFICATION				
WIND CLASS	WALL TIE (DUTY) (Vp)	HORIZONTAL SPACING	VERTICAL SPACING	
N1	W28N1	LIGHT	600mm	600mm
N2	W33N2	MEDIUM	600mm	600mm
N3	W41N3	MEDIUM	600mm	430mm (5 COURSES)

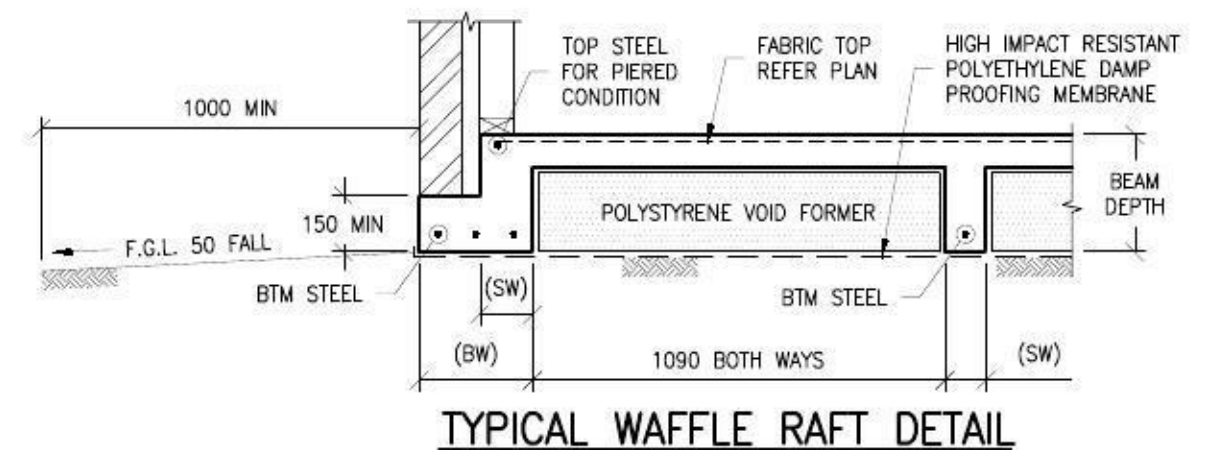
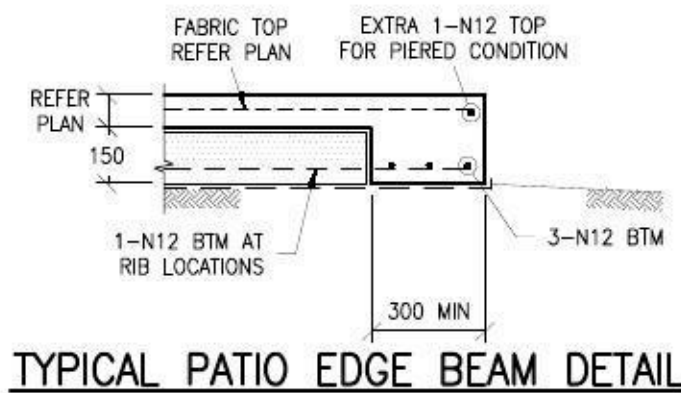
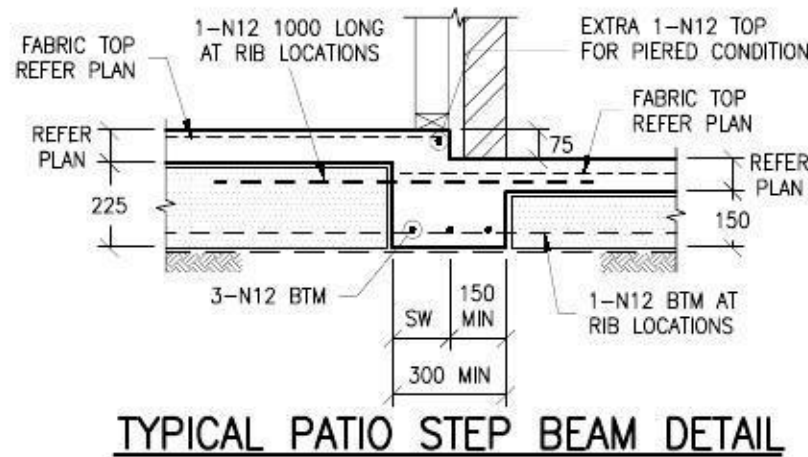
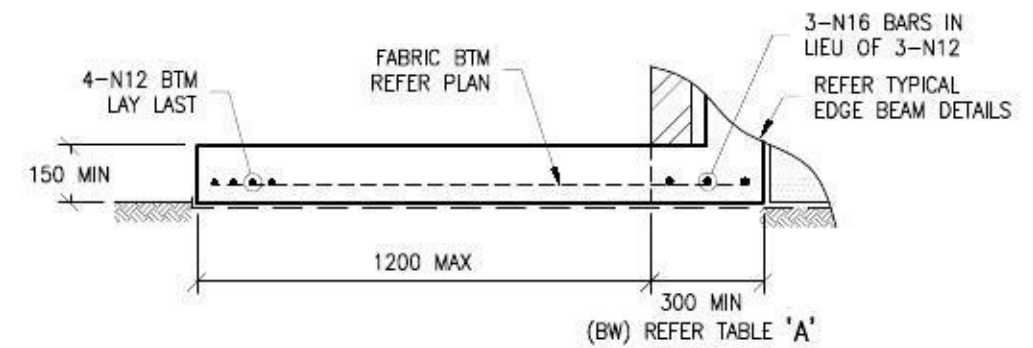
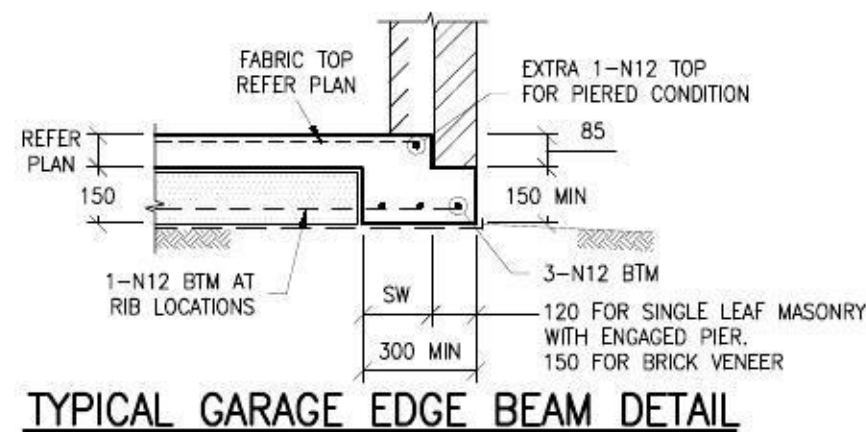
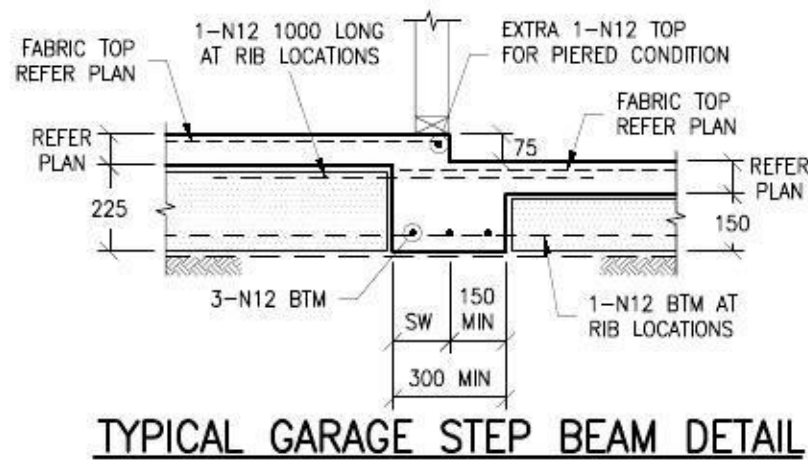
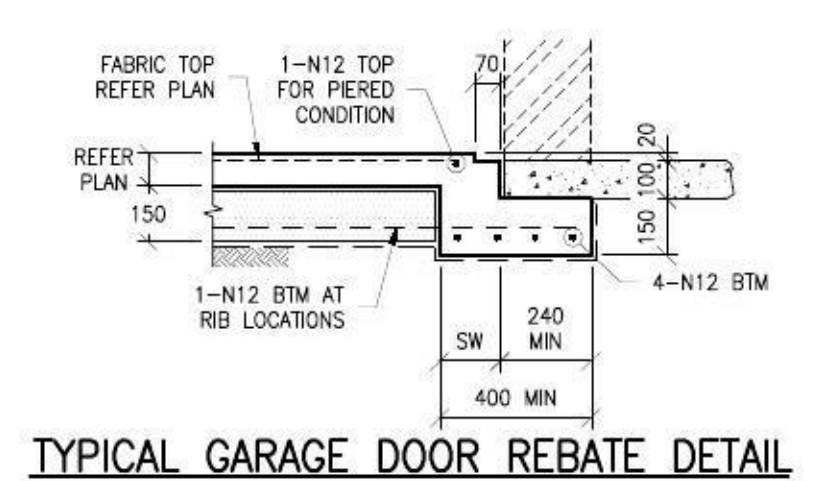
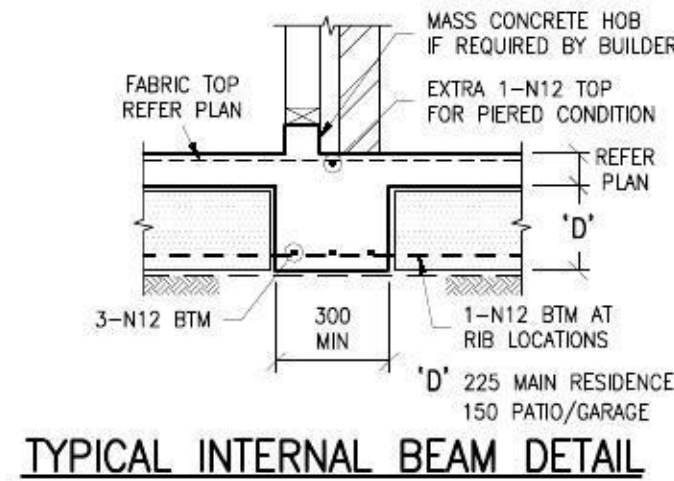
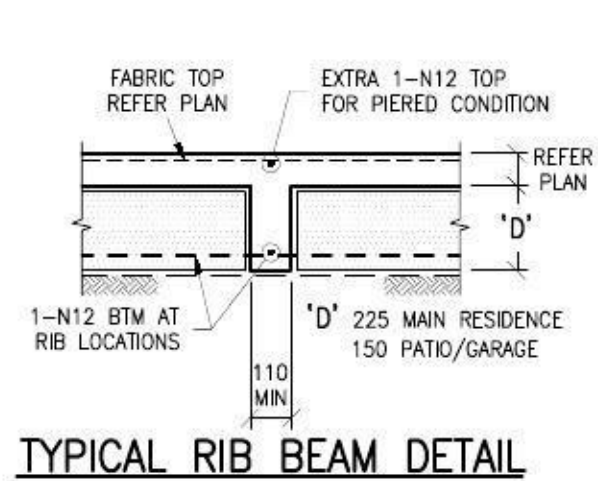
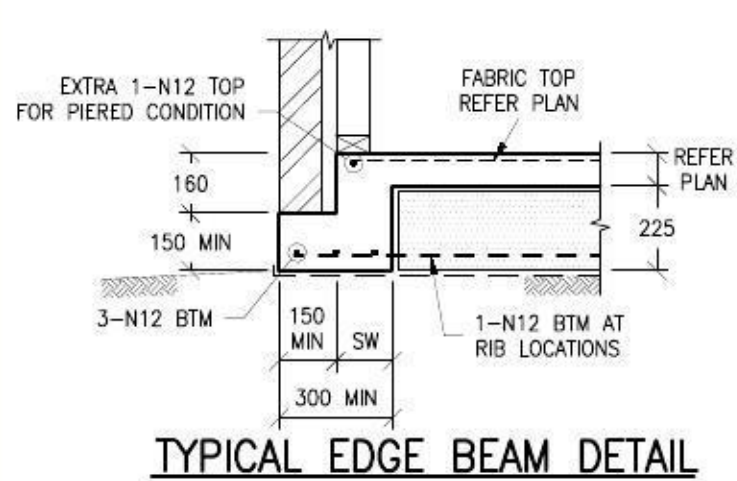
NOTE:  
• wall tie spacings around openings 300cts ew  
• polymer wall ties rated "light duty only" (w28n1)  
• (vp = permissible stress method)

**RESIDENTIAL ENGINEERING CONSULTING ENGINEERS**  
NSW: BPB 0255  
VIC: EC 24609  
QLD: RPEQ 4109  
1/19 Jonathan Street, Greystanes NSW 2145  
3/256 Argyle Street, Moss Vale NSW 2577  
T: 02 9896 5494  
F: 02 9636 1064  
T: 02 4869 5003  
F: 02 4869 5008  
www.residentialengineering.com.au  
enquiries@residentialengineering.com.au

COPYRIGHT: THIS DRAWING REMAINS THE PROPERTY OF RESIDENTIAL ENGINEERING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT RESIDENTIAL ENGINEERING WRITTEN CONSENT  
APPROVED BY: *A.W. McCarthy*  
A.W. MCCARTHY  
B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

CLIENT REF: 601134  
DATE: 13.08.13  
DRAWN: SG  
SCALE:  
CLIENT: **McDONALD JONES**  
FOR: MR J. & MRS J. BAREMANS  
SITE ADDRESS: LOT 2038 KILLUNA WAY, JORDAN SPRINGS

DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				MJ0278	
				SHEET No:	02 of 04



RW11(RIBBED WIRE GRADE 500RW) MAY BE USED IN LIEU OF N12'S

BEAM WIDTH (BW)	BTM STEEL	STEM WIDTH (SW)	ADDITIONAL TOP STEEL IN ADDITION TO SLAB FABRIC
110 TO 150	1-N12	110 TO 150	NIL
151 TO 220	2-N12	151 TO 220	1-N12
221 TO 330	3-N12	221 TO 330	2-N12
331 TO 440	4-N12	331 TO 440	3-N12

IF IN DOUBT, CONTACT ENGINEER.

**RESIDENTIAL ENGINEERING CONSULTING ENGINEERS**  
 NSW: BPB 0255 VIC: EC 24609 QLD: RPEQ 4109  
 1/19 Jonathan Street, Greystanes NSW 2145 T: 02 9896 5494 F: 02 9636 1064  
 3/256 Argyle Street, Moss Vale NSW 2577 T: 02 4869 5003 F: 02 4869 5008  
 www.residentialengineering.com.au enquiries@residentialengineering.com.au

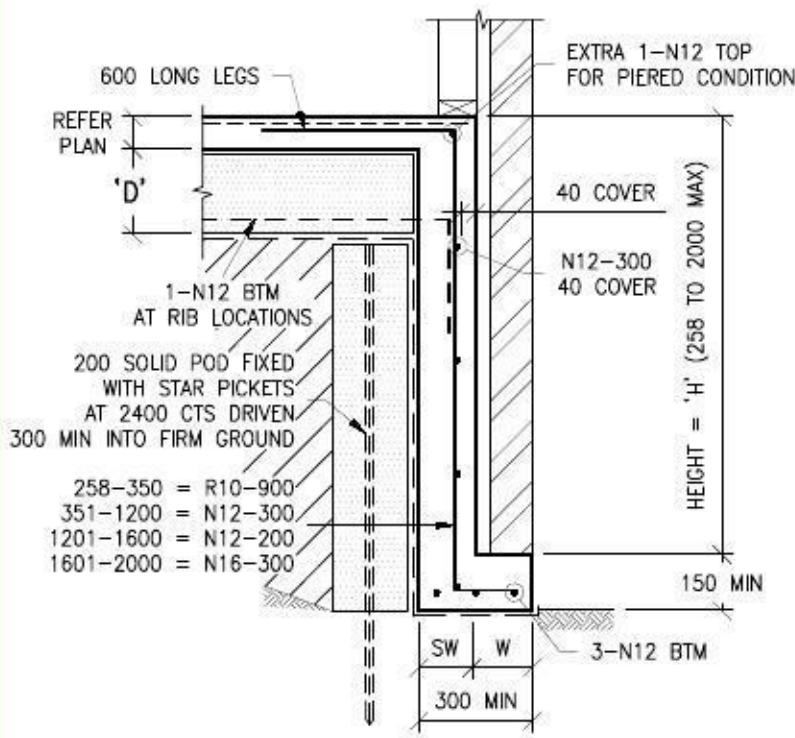
COPYRIGHT: THIS DRAWING REMAINS THE PROPERTY OF RESIDENTIAL ENGINEERING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT RESIDENTIAL ENGINEERING WRITTEN CONSENT

APPROVED BY:  
  
 A.W. MCCARTHY  
 B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

CLIENT REF: 601134  
 DATE: 13.08.13  
 DRAWN: SG  
 SCALE: 1:20  
 CLIENT:   
 McDONALD JONES  
 YOUR HOPE - YOUR DREAM

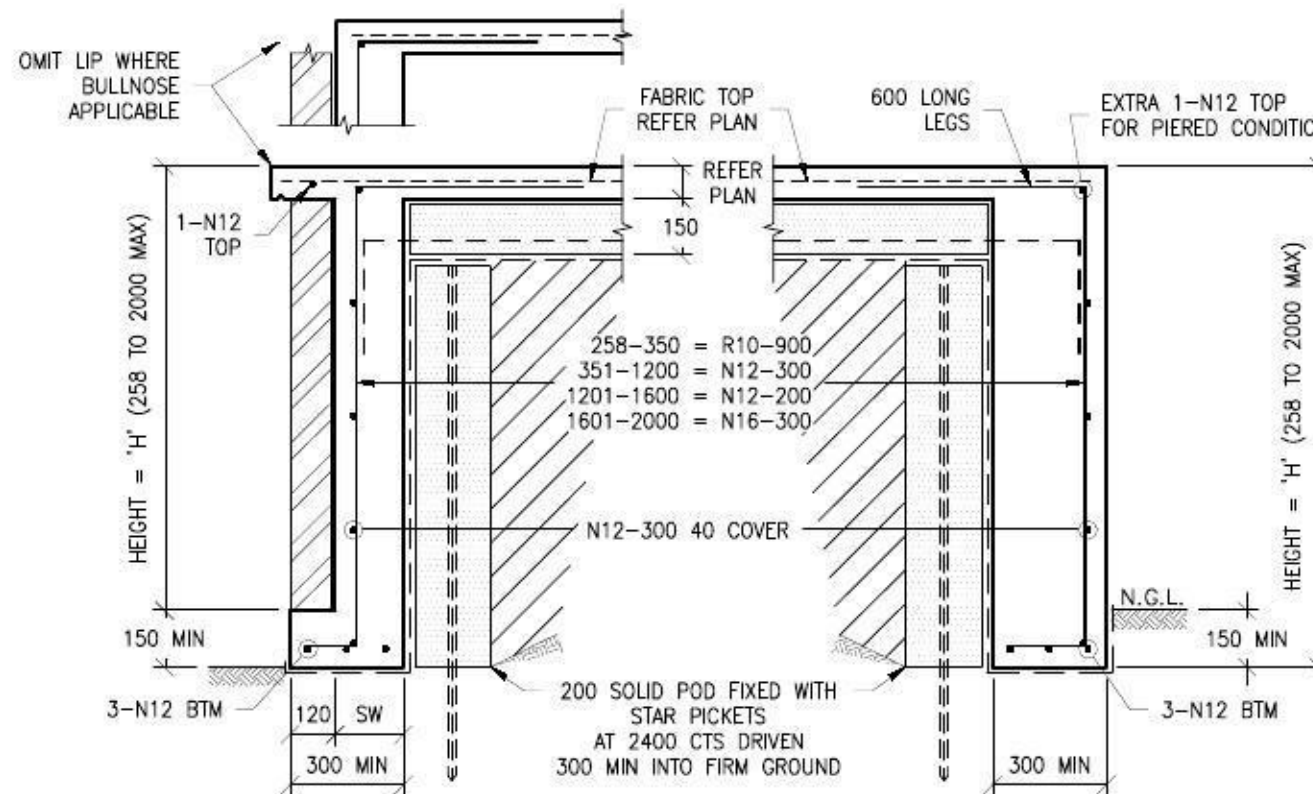
FOR: MR J. & MRS J. BAREMANS  
 SITE ADDRESS: LOT 2038 KILLUNA WAY, JORDAN SPRINGS

DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				MJ0278	
				SHEET No:	
				03 of 04	



**TYPICAL DEEPENED EDGE BEAM DETAIL**

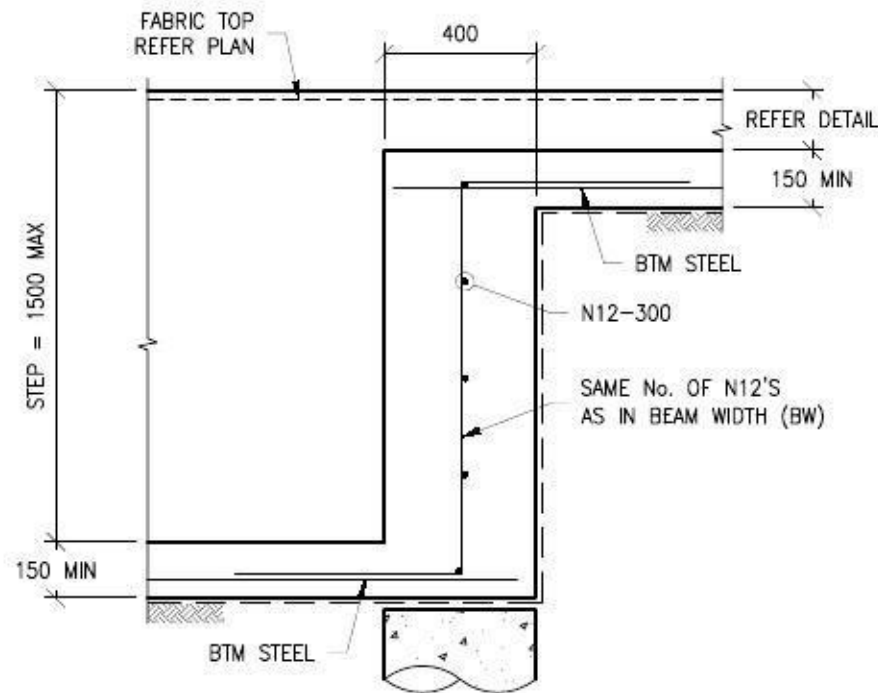
'D' = 225 MAIN RESIDENCE  
150 PATIO/GARAGE  
'W' = 120 MIN FOR SINGLE LEAF MASONRY WITH ENGAGED PIER.  
150 MIN FOR BRICK VENEER



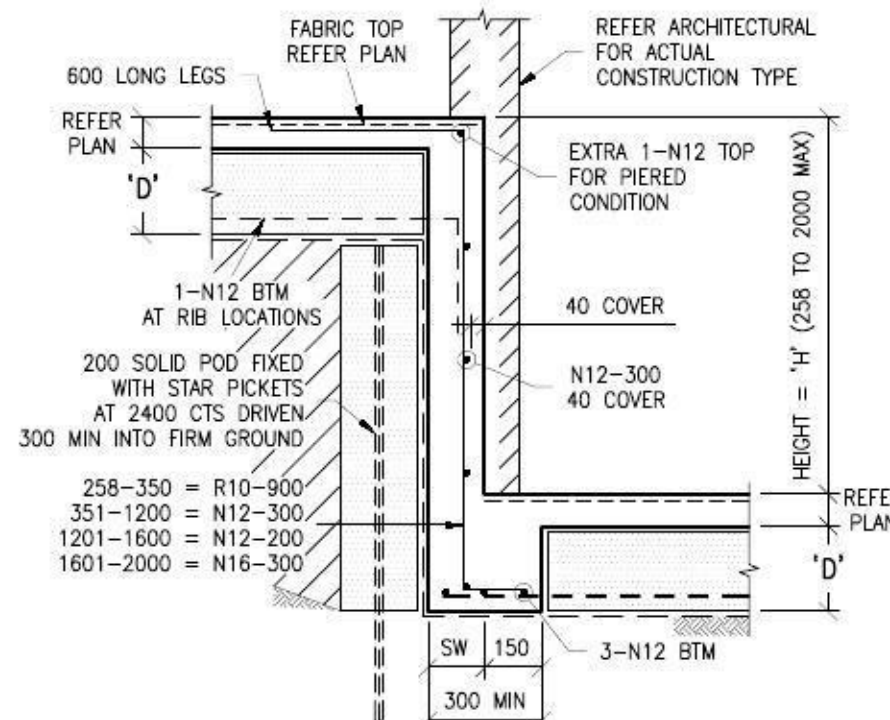
**TYPICAL ALTERNATE DEEPENED PATIO EDGE BEAM DETAILS**

**DEEPENED BEAM STEM WIDTH TABLE**

HEIGHT (H)	(SW) STEM WIDTH
UP TO 1200	150
1201 TO 1600	200
1601 TO 2000	250

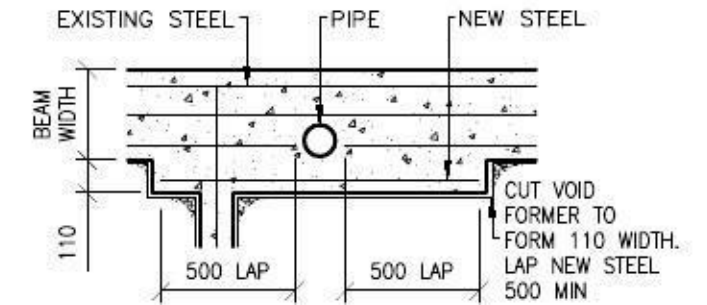


**TYPICAL DEEPENED EDGE BEAM TRANSITION DETAIL**

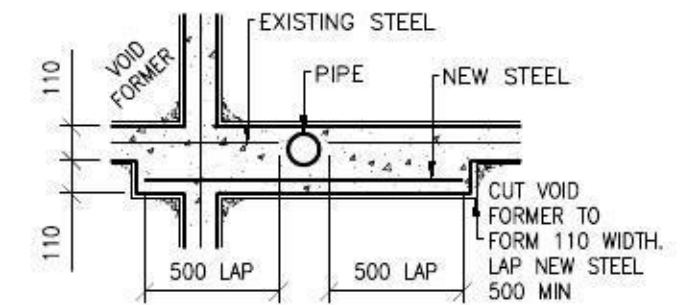


**TYPICAL DEEPENED STEP BEAM DETAIL**

'D' = 225 MAIN RESIDENCE  
150 PATIO/GARAGE



**THROUGH BEAMS**



**THROUGH RIBS  
PLAN ON PIPE PENETRATION**

IF IN DOUBT, CONTACT ENGINEER.

**RESIDENTIAL ENGINEERING CONSULTING ENGINEERS**  
NSW: BPB 0255  
VIC: EC 24609  
QLD: RPEQ 4109  
1/19 Jonathan Street, Greystanes NSW 2145  
3/256 Argyle Street, Moss Vale NSW 2577  
T: 02 9896 5494  
T: 02 4869 5003  
F: 02 9636 1064  
F: 02 4869 5008  
www.residentialengineering.com.au  
enquiries@residentialengineering.com.au

COPYRIGHT: THIS DRAWING REMAINS THE PROPERTY OF RESIDENTIAL ENGINEERING AND MAY NOT BE ALTERED IN ANY WAY WITHOUT RESIDENTIAL ENGINEERING WRITTEN CONSENT

APPROVED BY:  
*A.W. McCarthy*  
A.W. MCCARTHY  
B.Sc.(Eng), M.I.E.Aust, N.P.E.R., C.P.Eng.

CLIENT REF: 601134  
DATE: 13.08.13  
DRAWN: SG  
SCALE: 1:20

CLIENT: **McDONALD JONES**  
YOUR HOME YOUR DREAM

FOR: **MR J. & MRS J. BAREMANS**  
SITE ADDRESS: **LOT 2038 KILLUNA WAY, JORDAN SPRINGS**

DRAWN	DATE	AMENDMENT	REV	JOB No:	ISSUE:
				<b>MJ0278</b>	
				SHEET No:	<b>04 of 04</b>

DRAWING	DRAWN
1 PRELIMINARY PLANS (CT2)	TAD 2013.06.12
2 CONTRACT PLANS	LPH 2013.07.25
3 ALL REPORTS RECEIVED	LPH 2013.08.12
4 AMENDED LANDSCAPING PLAN	LPH 2014.01.08

CLIENT:  
**MR J & MRS J BAREMANS**

ADDRESS:  
**KILLUNA WAY**

SUBURB:  
**JORDAN SPRINGS**

POSTCODE:  
**2747**

COUNCIL:  
**PENRITH**

LOT No:  
**2038**

DP No:  
**1168989**

SECTION No:  
**---**

HOUSE DESIGN:  
**MANHATTAN ONE 4 BEDROOM**

FAÇADE:  
**CUSTOM**

SHEET TITLE:  
**LANDSCAPING PLAN**

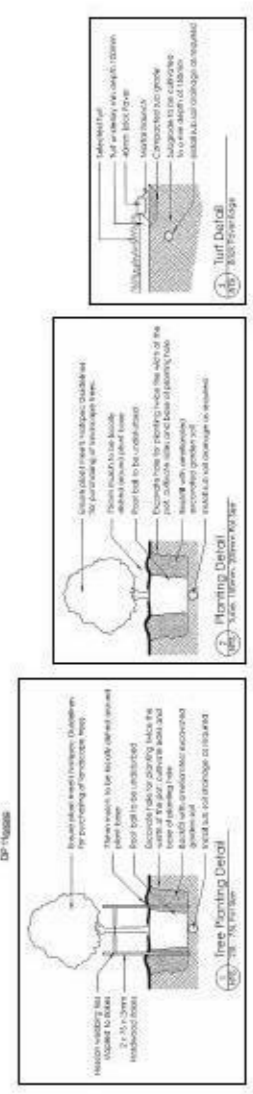
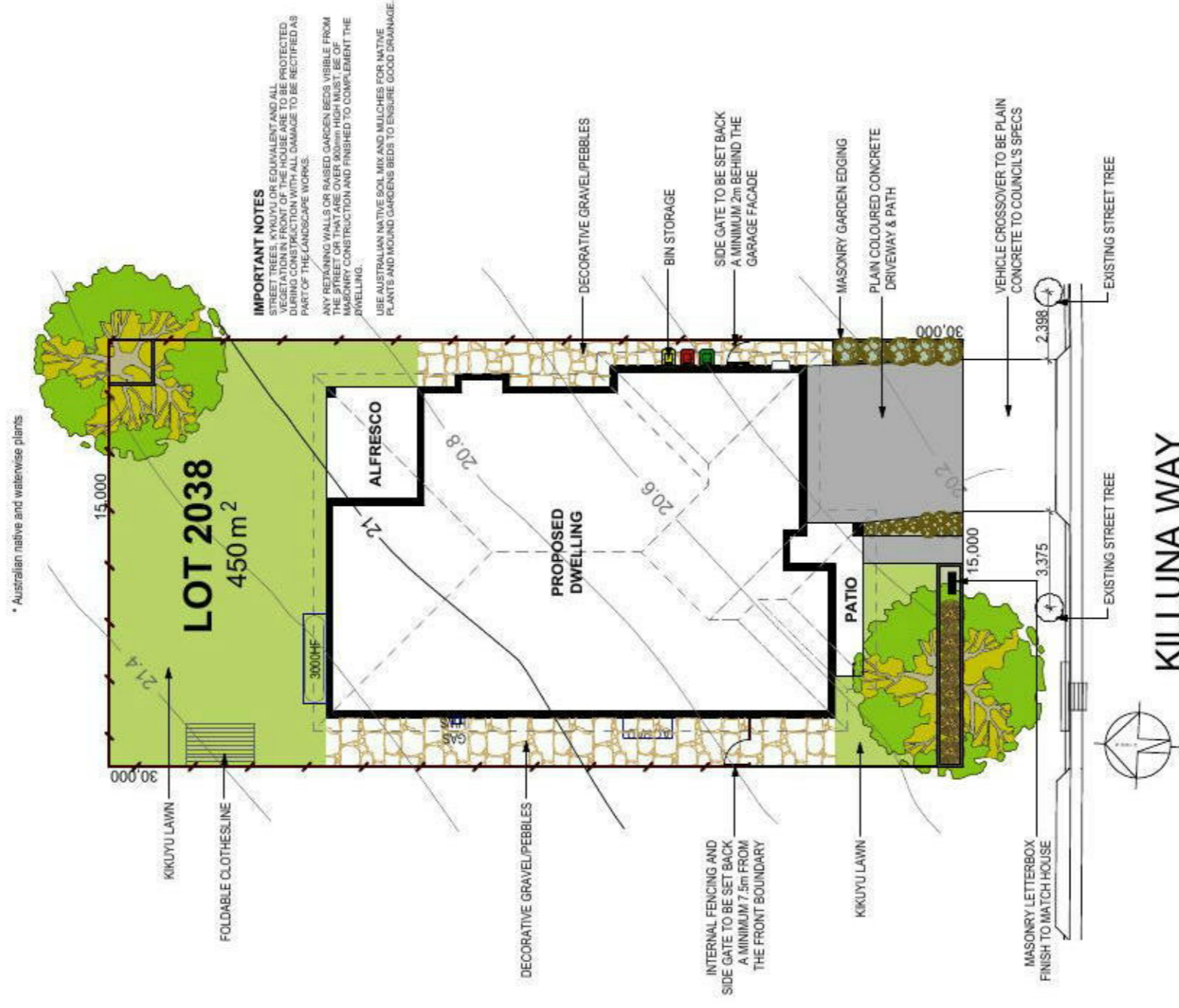
DESIGN CODE:  
**H-MANCLAS12400**

FAÇADE CODE:  
**F-**

SCALE:  
**1:200**

SHEET No:  
**11 / 10**

LEGEND	PLANTING SCHEDULE
1.8m HIGH LYSAGHT SMARTSCREEN FENCE IN 'RIVERSAND'	TREE - FRONT YARD <i>Lagerstroemia tuscaraora</i> (Crepe Myrtle)
RETAINING WALL	TREE - BACK YARD <i>Tristanopsis laurina</i> (Luscious Water Gum) *
TILES	SHRUBS <i>Acmena Smithii</i> (Allyn Magic Lillypilly) *
GARDEN BED AREAS	SHRUBS <i>Acmena Smithii</i> (Allyn Magic Lillypilly) *
MASONRY GARDEN EDGING	SHRUB <i>Cordyline red fountain</i> (Red Fountain Cordyline) *
TURF AREAS Kikuyu	
GRAVELLED AREAS Decorative gravel/pebbles	



**McDonald Jones**  
YOUR HOME. YOUR DREAM

www.mcdonaldjoneshomes.com.au

1 PRELIMINARY PLANS (CT2)	TAD 20/10/06/12	DRAWING
2 CONTRACT PLANS	LPH 20/13/07/25	DRAWING
3 ALL REPORTS RECEIVED	LPH 20/13/08/12	DRAWING

CLIENT: MR J & MRS J BAREMANS  
ADDRESS: KILLUNA WAY  
SUBURB: JORDAN SPRINGS  
POSTCODE: 2747  
COUNCIL: PENRITH

HOUSE DESIGN	MANHATTAN ONE 4 BEDROOM
FRANCE	
CUSTOM	
DESIGN CODE	H-MANCLAS12400
FRANCE CODE	F
SCALES	1:200, 1:100, 1:1
SHEET NO	3/10

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

WIND CLASSIFICATION	N2
WITHIN 1 KM OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO

NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DPR - CHARGED DOWNPIPE DIRECTED TO TANK

Flat Roof Area	242.853
242.853 m <sup>2</sup>	
Roof Collection Area	242.853
242.853 m <sup>2</sup>	

Room Name	Area (m <sup>2</sup> )
ALFRESCO	12.729
GARAGE	38.854
LIVING	156.944
PATIO / VERANDA	7.432
<b>Total</b>	<b>214.769</b>

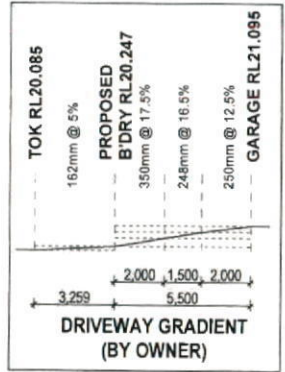
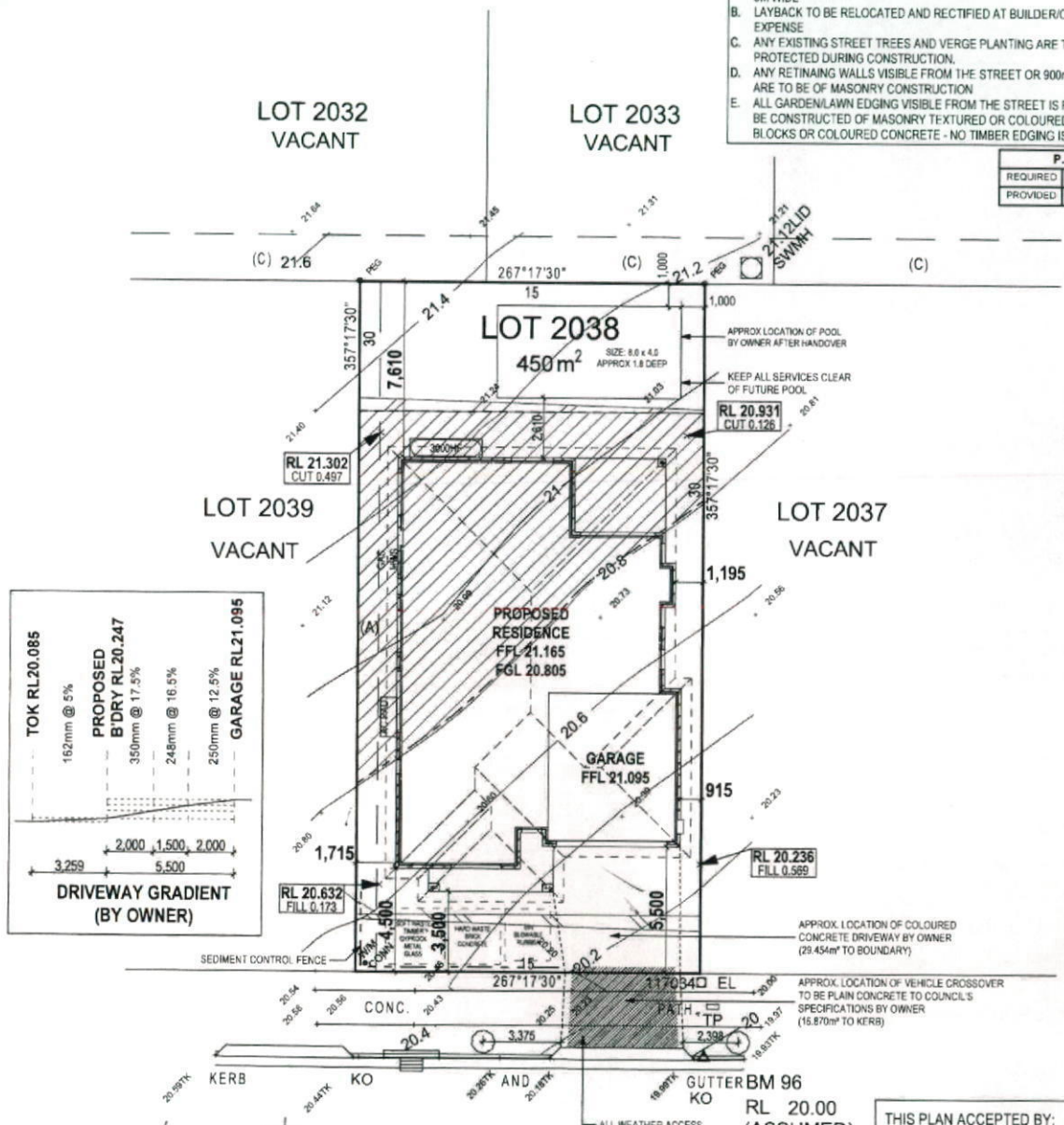
NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

**JORDAN SPRING NOTES**

- THIS PLAN SHALL INCLUDE THE FOLLOWING-
- PLAIN CONCRETE TO PENRITH CITY COUNCIL SPECIFICATION IS TO BE 3M WIDE
  - LAYBACK TO BE RELOCATED AND RECTIFIED AT BUILDER/OWNERS EXPENSE
  - ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.
  - ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND ARE TO BE OF MASONRY CONSTRUCTION
  - ALL GARDEN/LAWN EDGING VISIBLE FROM THE STREET IS REQUIRED TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED

P.O.S		
REQUIRED	15%	67.5m <sup>2</sup>
PROVIDED	29.4%	132.22m <sup>2</sup>



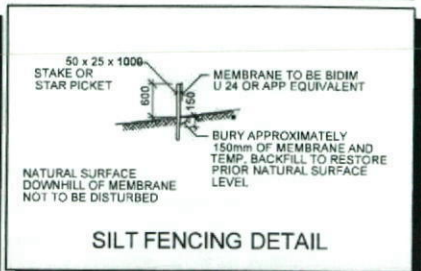
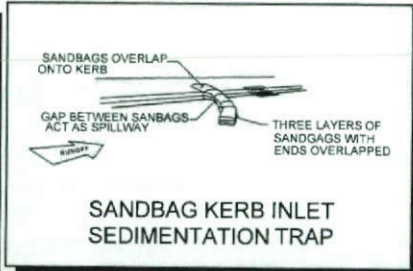
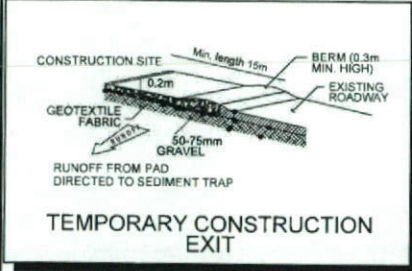
Received by JORDAN SPRINGS  
21 AUG 2013

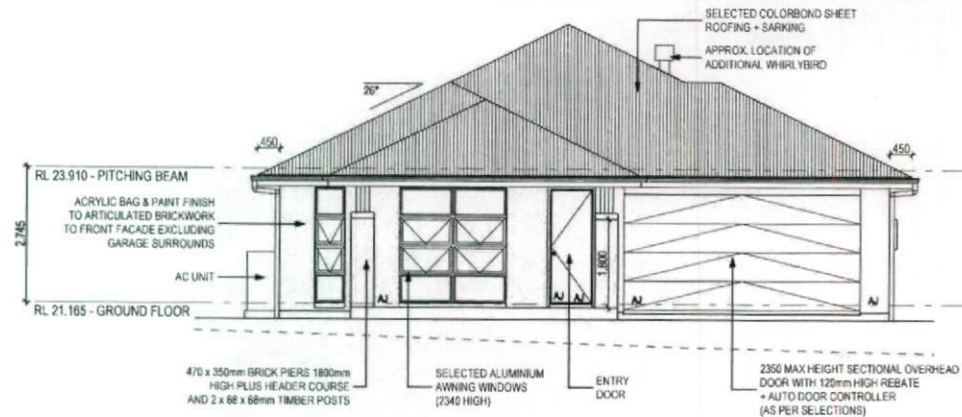


**KILLUNA WAY**

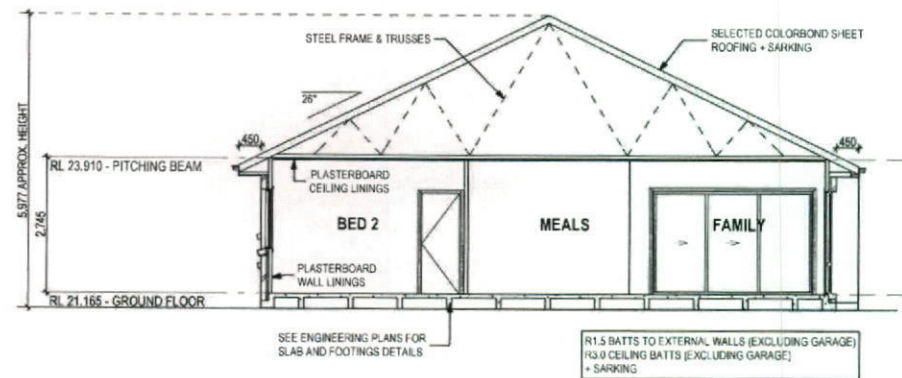
- (A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE

THIS PLAN ACCEPTED BY:  
-----  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
-----  
DATE:  
-----

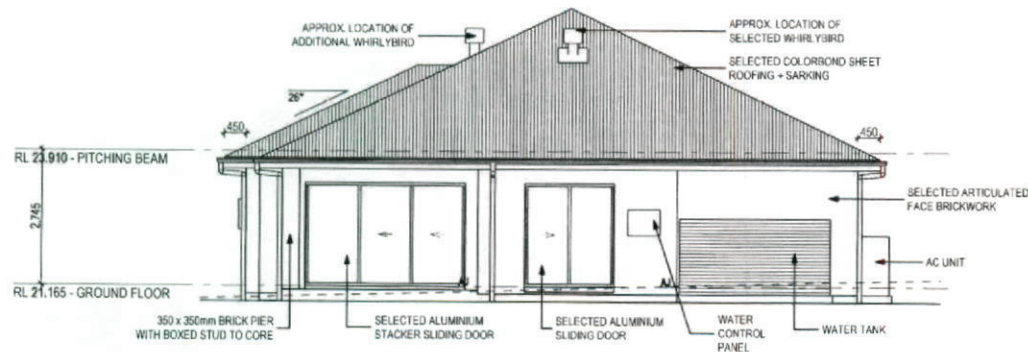




**SOUTH ELEVATION**  
Scale: 1:100



**SECTION A-A**  
Scale: 1:100



**NORTH ELEVATION**  
Scale: 1:100

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

Prepared by JORDAN SPRING LAMBDON & ASSOCIATES  
21 AUG 2013

THIS PLAN ACCEPTED BY:  
  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
  
DATE:



SPECIFICATION  
**GENONE** BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS (CT2)	TAD   20130612
2 CONTRACT PLANS	LPH   2013.07.25
3 ALL REPORTS RECEIVED	LPH   2013.08.12

CLIENT:  
MR J & MRS J BAREMANS  
ADDRESS:  
KILLUNA WAY  
SUBURB:  
JORDAN SPRINGS

POSTCODE:  
2747  
COUNCIL:  
PENRITH

LOT No:  
2038  
DP No:  
1168989  
SECTION No:  
---

HOUSE DESIGN:  
MANHATTAN ONE 4 BEDROOM  
FACADE:  
CUSTOM  
SHEET TITLE:  
ELEVATIONS / SECTION

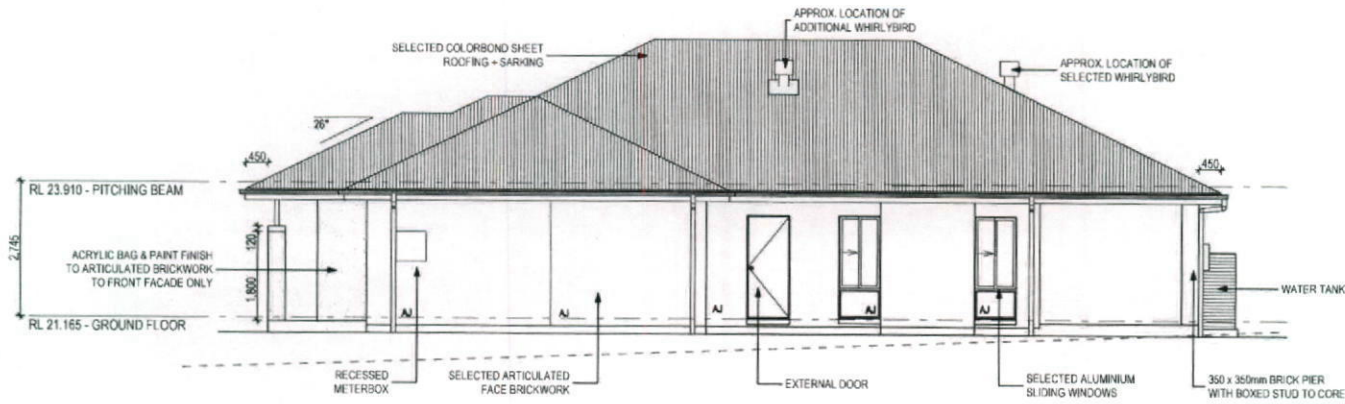
DESIGN CODE:  
H-MANCLAS12400  
FACADE CODE:  
F-  
SCALES:  
1:100  
SHEET No:  
5 / 10

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  
**601134**

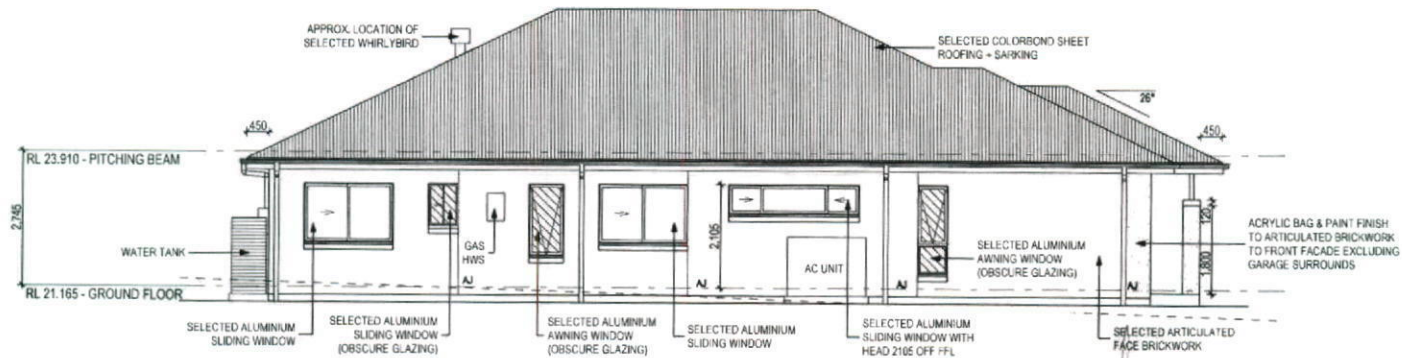
Last Published: Monday, 12 August 2013 12:31 PM  
File Location: G:\Sydney\Drafting\Job Files 60000\Job Files 601101 - 601200\601134 Baremans\Drafting\Plans\601134 Baremans.dwg

**SALINE REQUIREMENTS**  
SEE SHEET 1 (COVER PAGE) FOR DETAILS

NOTE: REFER TO 'DATAPAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:  
- BASIX/ABSA REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS



**EAST ELEVATION**  
Scale: 1:100



**WEST ELEVATION**  
Scale: 1:100

DESIGNED BY: JORDAN SHIMMER  
- RESIDENCE SECTION  
27 AUG 2013  
SIGNED

THIS PLAN ACCEPTED BY:  
  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
  
DATE:



SPECIFICATION  
**GENONE** BY McDONALD JONES HOMES  
www.mcdonaldjoneshomes.com.au  
© 2013

DRAWING	DRAWN
1 PRELIMINARY PLANS (CT2)	TAD 20130612
2 CONTRACT PLANS	LPH 2013.07.25
3 ALL REPORTS RECEIVED	LPH 2013.08.12

CLIENT: <b>MR J &amp; MRS J BAREMANS</b>	LOT No: <b>2038</b>
ADDRESS: <b>KILLUNA WAY</b>	DP No: <b>1168989</b>
SUBURB: <b>JORDAN SPRINGS</b>	SECTION No: <b>---</b>
POSTCODE: <b>2747</b>	COUNCIL: <b>PENRITH</b>

HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE: <b>H-MANCLAS12400</b>
FACADE: <b>CUSTOM</b>	FACADE CODE: <b>F-</b>
SHEET TITLE: <b>ELEVATIONS</b>	SCALES: <b>1:100</b>

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
SHEET No: <b>6 / 10</b>

**601134**

DRAWING	DRAWN
1 PRELIMINARY PLANS (CT2)	TAD 2013.06.12
2 CONTRACT PLANS	LPH 2013.07.25
3 ALL REPORTS RECEIVED	LPH 2013.08.12

CLIENT: <b>MR J &amp; MRS J BAREMANS</b>		LOT No: <b>2038</b>
ADDRESS: <b>KILLUNA WAY</b>		DP No: <b>1168989</b>
SUBURB: <b>JORDAN SPRINGS</b>	POSTCODE: <b>2747</b>	COUNCIL: <b>PENRITH</b>

HOUSE DESIGN: <b>MANHATTAN ONE 4 BEDROOM</b>	DESIGN CODE: <b>H-MANCLAS12400</b>
FAÇADE: <b>CUSTOM</b>	FAÇADE CODE: <b>F-</b>
SHEET TITLE: <b>LANDSCAPING PLAN</b>	SCALES: <b>1:200</b>

SHEET No: <b>11 / 10</b>	SHEET No: <b>601134</b>
-----------------------------	----------------------------

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

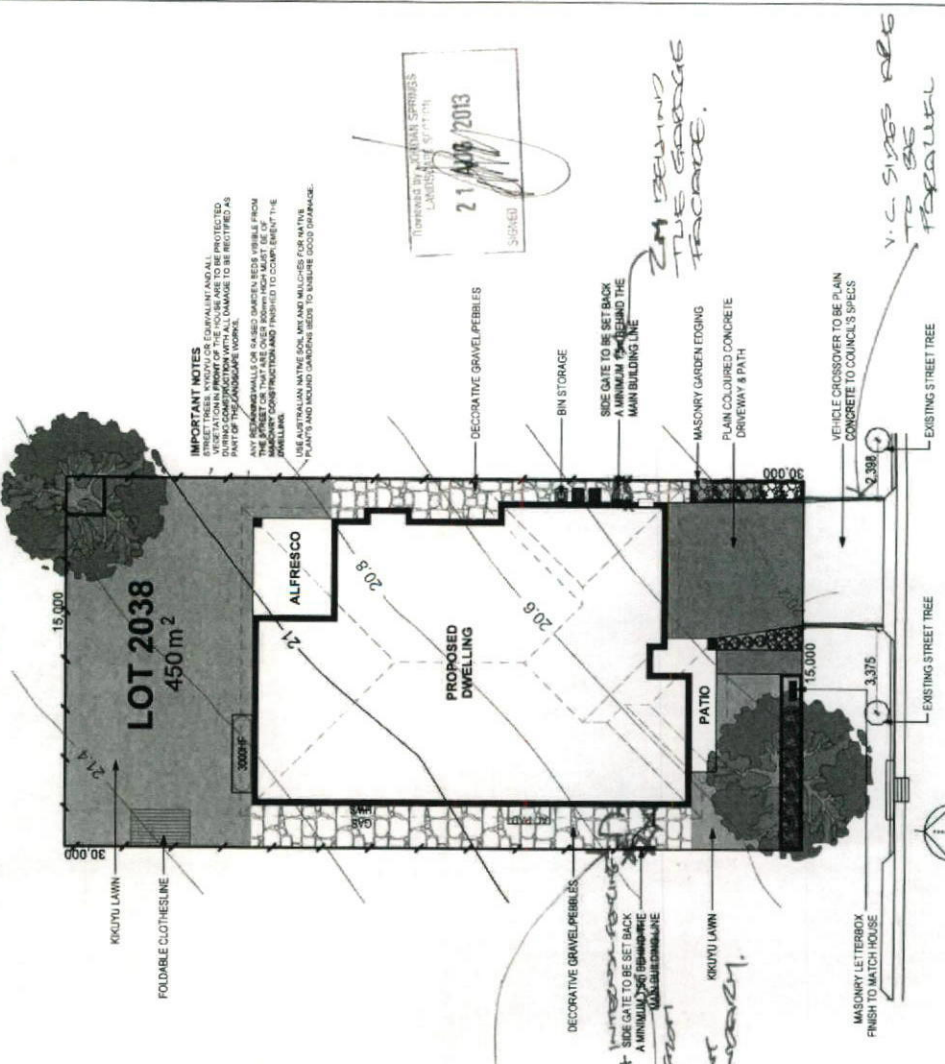
**LEGEND**

	1.8m HIGH FENCE TO COUNCIL'S SPECS
	RETAINING WALL IN DRIVEWAY
	TILES
	GARDEN BED AREAS
	MASONRY GARDEN EDGING
	TURF AREAS Kikuyu
	GRAVELLED AREAS Decorative gravel pebbles

**PLANTING SCHEDULE**

TREE - FRONT YARD	QUANTITY	POT SIZE	MATURE SIZE
Lagerstromia tuscaraora (Crape Myrtle)	1	25L	4m
Trodianopsis lewina (Luscious Water Gum) *	1	25L	7-12m
SHRUBS Acmena Smithii (Allyn Magic Lilypink) *	5	200mm	1m
SHRUBS Acmena Smithii (Allyn Magic Lilypink) *	10	200mm	0.5-1m
SHRUB Coryline red fountain (Red Fountain Coryline) *	6	175mm	1m

\* Australian native and outdoor plants



**KILLUNA WAY**

**Notes:**

- 1.8m HIGH FENCE TO COUNCIL'S SPECS
- RETAINING WALL IN DRIVEWAY
- TILES
- GARDEN BED AREAS
- MASONRY GARDEN EDGING
- TURF AREAS
- GRAVELLED AREAS

**Notes:**

- TREE - FRONT YARD
- QUANTITY
- POT SIZE
- MATURE SIZE

**Notes:**

- IMPORTANT NOTES
- ALL PLANTS AND MATERIALS TO BE SUPPLIED BY THE CONTRACTOR AND ALL VEGGIES TO BE PROTECTED.
- VEGETATION IN FRONT OF THE HOUSE ARE TO BE PROTECTED.
- ANY REMAINING WALLS OR GASED GARDEN BEDS VISIBLE FROM THE STREET OR THAT ARE OVER 1.8m HIGH MUST BE OF THE SAME CONSTRUCTION AND FINISH TO COMPLEMENT THE DWELLING.
- USE AUSTRALIAN NATIVE SOIL AND MULCHES FOR NATIVE PLANTS AND ROUND GARDEN BEDS TO ENSURE GOOD DRAINAGE.