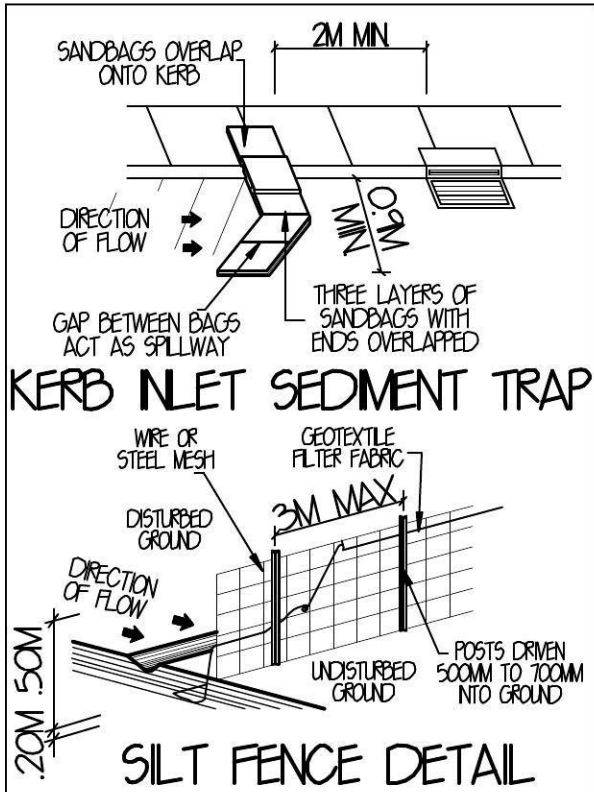


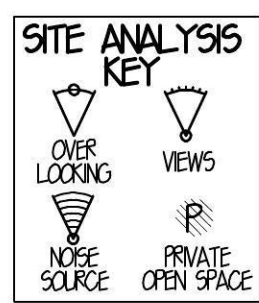
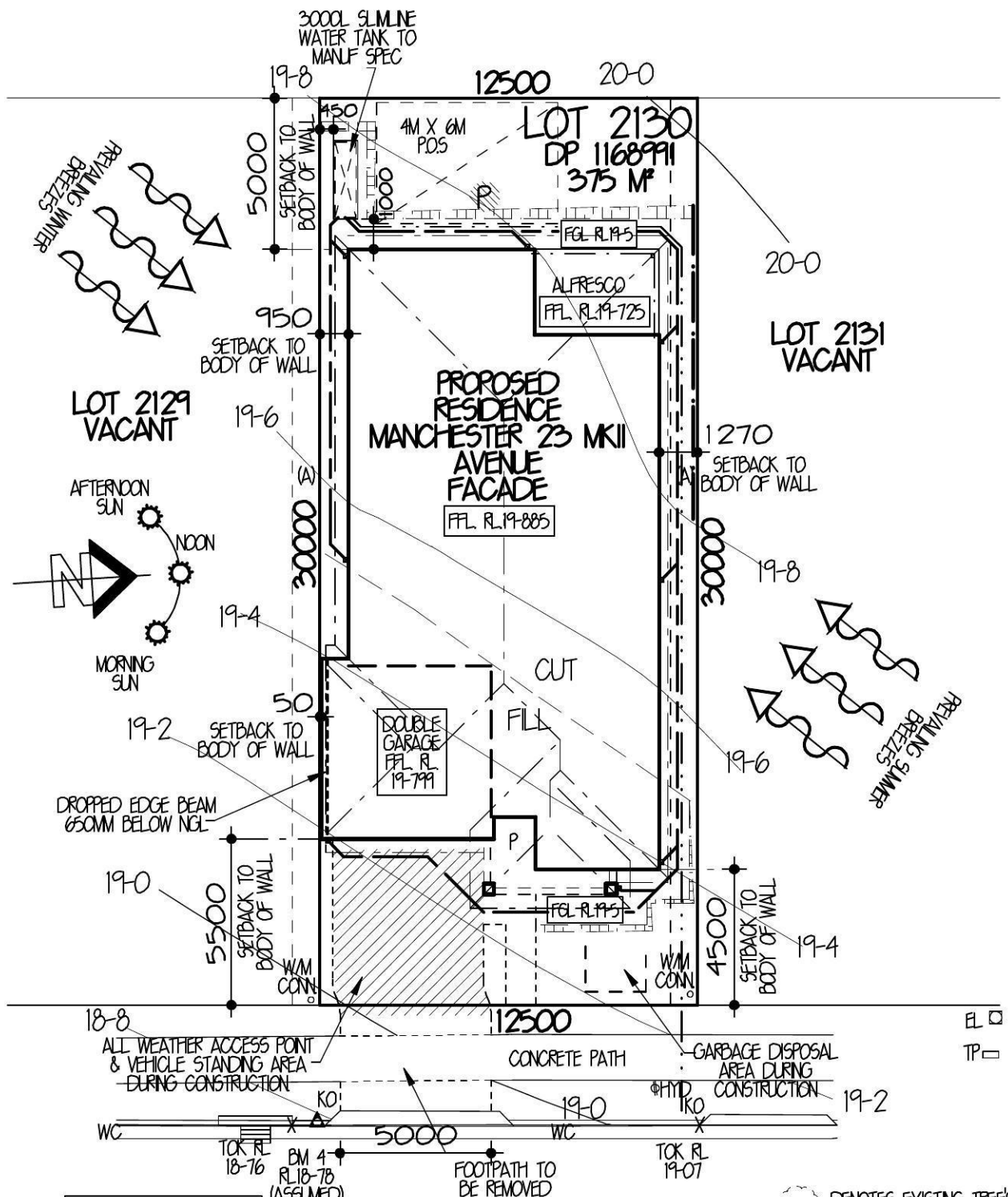
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SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES), FABRIC SHALL BE BURED 150MM ALONG ITS LOWER EDGE.

- GENERAL NOTES:**
- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
 - ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
 - FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
 - WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING.
 - SITE CLASSIFICATION HI
 - CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL19-5 GARAGE TO RL19-5
 - HOUSE FLOOR LEVEL RL19-885, 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL19-799, 299MM ABOVE PLATFORM LEVEL.
 - TOTAL ROOF AREA = 236-8M²



SITE ANALYSIS & SITE PLAN 1:200 (DRAINAGE PLAN)

- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES RETAINING WALL BY OWNER
- DENOTES SILT FENCE BARRIER
- DENOTES DROPPED EDGE BEAM
- DENOTES LINE OF BATTER TO CUT OR FILL

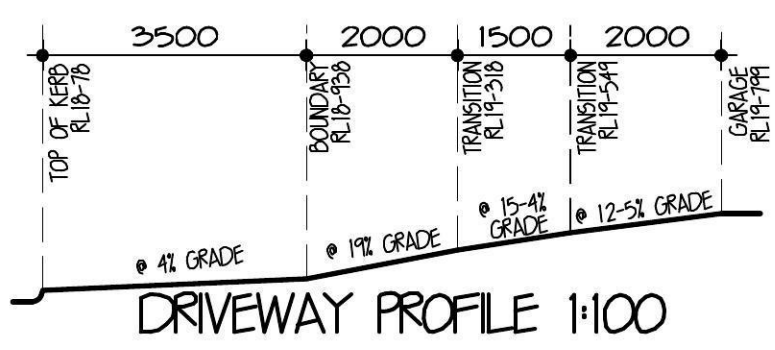
- DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER
- DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER
- VEHICLE CROSSOVER TO BE PLAN CONCRETE TO PCC SPECIFICATION
- ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM AND OVER ON THE LOT ARE TO BE OF MASONRY CONSTRUCTION

SITE DATA

SITE AREA = 375 M²
 PRIVATE OPEN SPACE REQUIRED = 15% OR 56-2 M²
 PROVIDED = 20-7% OR 77-8 M²

FLOOR AREAS
 FLOOR AREA = 164-8 M² (NOT INCLUDING GARAGE)
 GARAGE FLOOR AREA = 32-4 M²
 PORCH FLOOR AREA = 6-4 M²
 ALFRESCO FLOOR AREA = 11-7 M²

TOTAL FLOOR AREA = 215-3 M² OR 23-2 SQS



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 LEVEL 3, 22 BROOKHOLLOW AVENUE,
 NORWEST BUSINESS PARK,
 BULKHAM HILLS NSW 2153
 P: 8860 9222 F: 8860 9233

FOR **CONNECT WAY** LBD AREA: SYD
 REVISION 4B MAP144 REF:G14

AT **LOT 2130 ILLOURA WAY, JORDAN SPRINGS DP 1168991**

TYPE **MANCHESTER 23 MKII** JOB NO. **0016457**

FACADE **AVENUE (SMART LIVING SERIES)** HAND **LH**

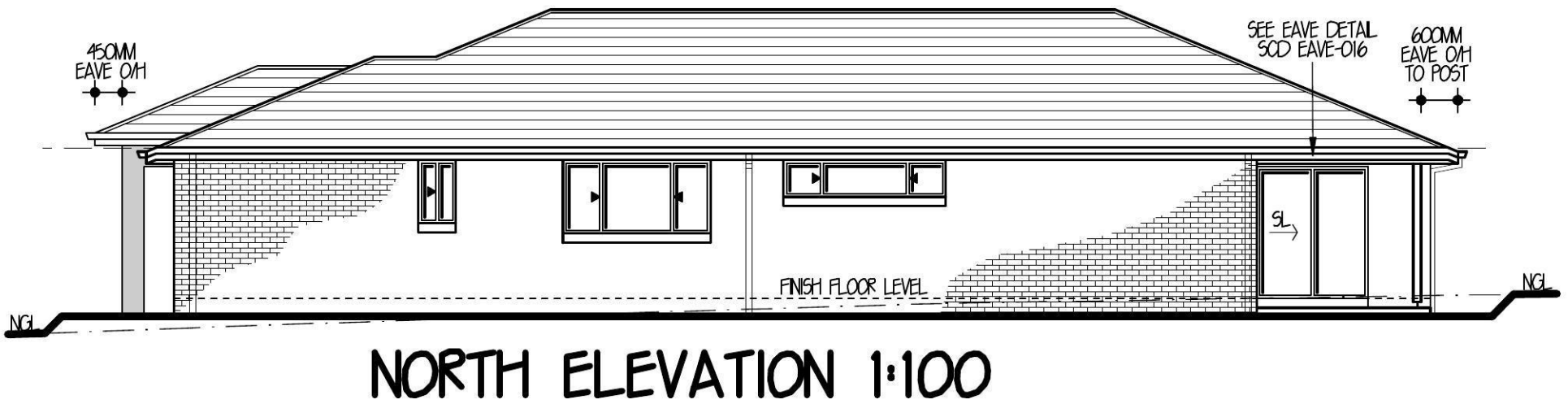
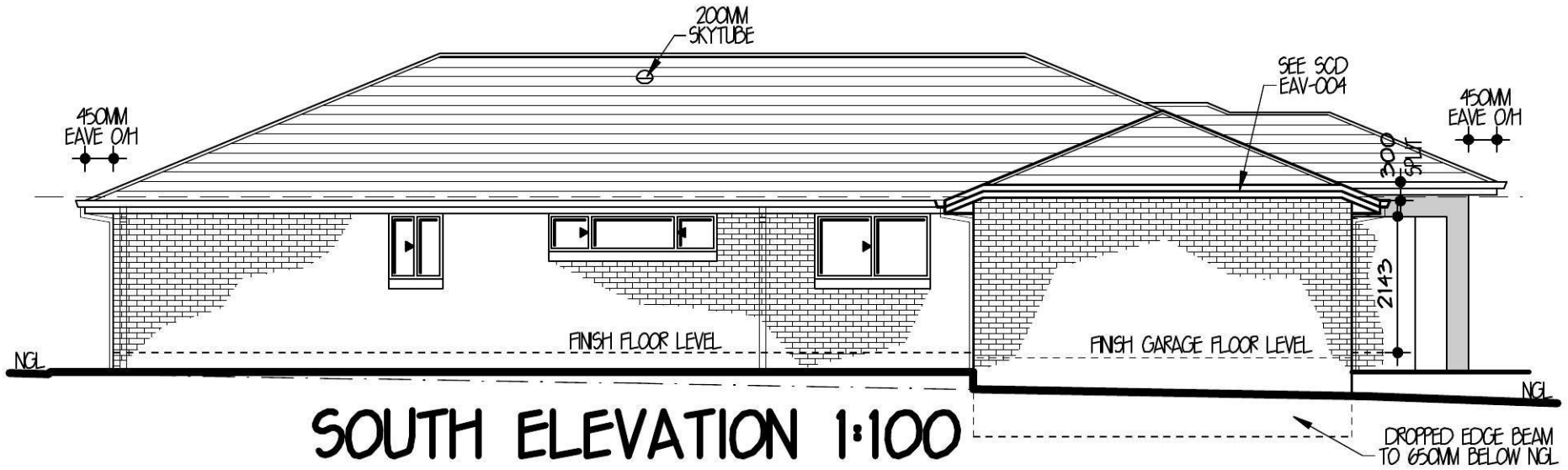
MASTER **A19457** DWG NO. **A19451** PAGE NO. **1 OF 7**

A&N DESIGN SYDNEY

LEVEL 2 SUITE 216 MACARTHUR POINT
 NO. 25-27 SOLENT CIRCUIT BULKHAM HILLS
 PO BOX 6410 BULKHAM HILLS
 BUSINESS CENTRE NSW 2153
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ISS	DATE	REVISION	DRAWN
A	12-02-13	CC PLAN	J5
B	22-02-13	AMENDMENTS & BASIX	TM
C	20-03-13	AMENDMENTS	JT
D	21-05-13	RESITE	CL
E	06-06-13	AMENDMENTS	AD

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FOR **CONNECT WAY** UBD AREA: 51D
 REVISION: 4B
 WAP: 144 REF: G14

AT LOT 2130 ILLOURA WAY,
 JORDAN SPRINGS DP 1168911

TYPE **MANCHESTER 23 MKII** JOB NO. **0016457**

FACADE **AVENUE (SMART LIVING SERIES)** HAND **LH**

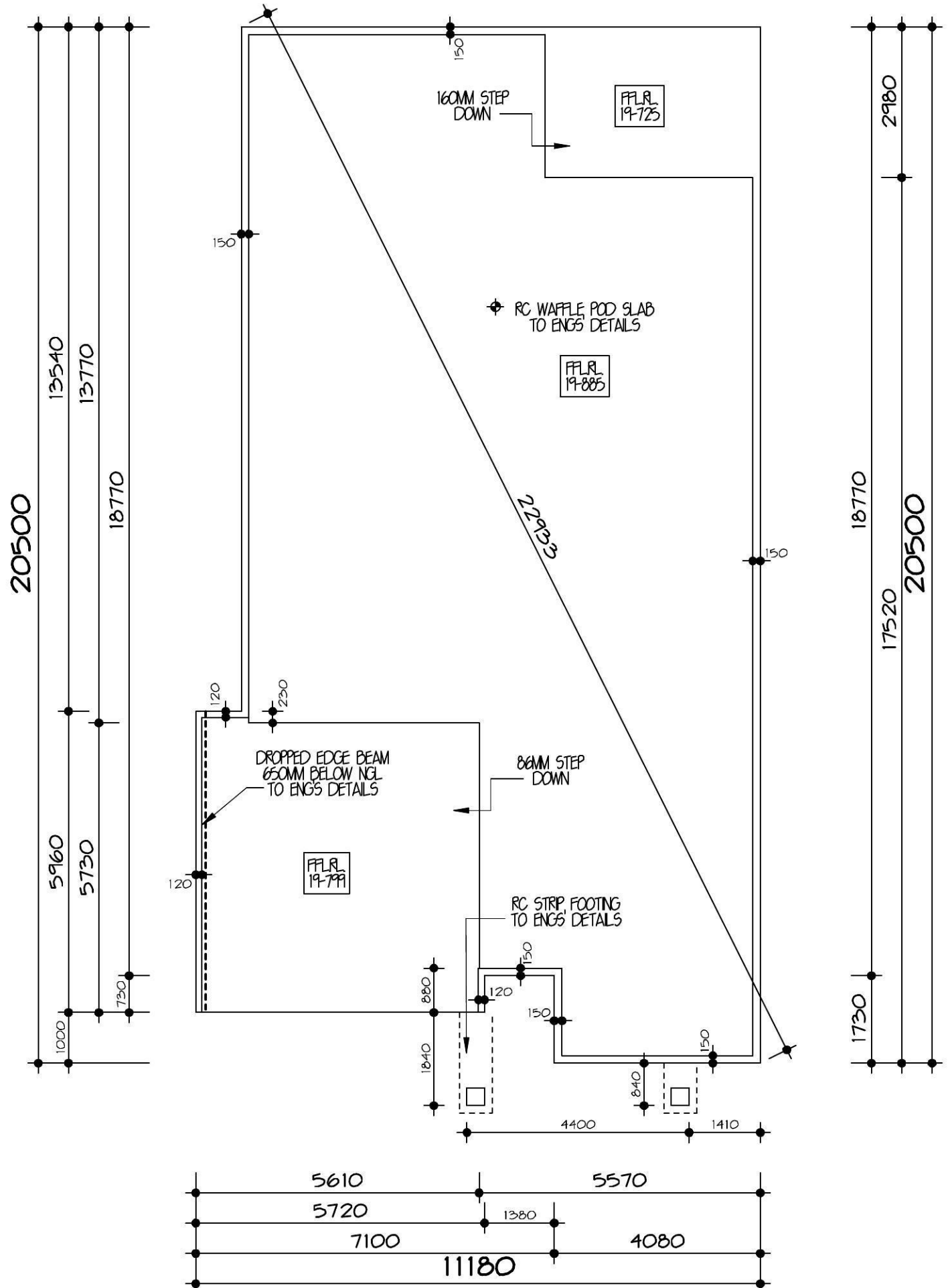
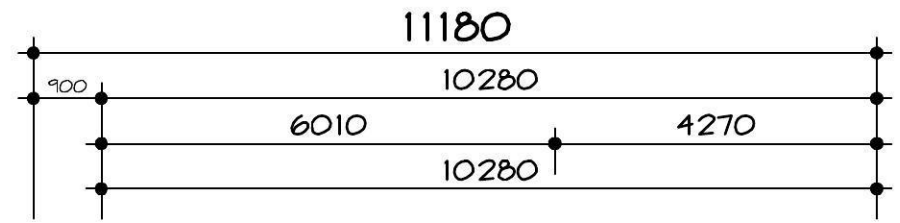
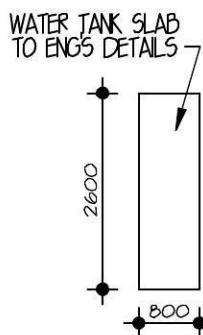
MASTER **A19457** DWG NO. **A19451** PAGE NO. **3 OF 7**

AGSYDNEY

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SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS, ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

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BALLKHAM HILLS NSW 2153
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FOR: **CONNECT WAY** UBD AREA: STD REVISION: 4B MAP144 REF:G14

AT LOT 2130 ILLOURA WAY, JORDAN SPRINGS DP 1168911

TYPE: **MANCHESTER 23 MKII** JOB NO: **0016457**

FACADE: **AVENUE (SMART LIVING SERIES)** HAND: **LH**

MASTER: **A19457** DWG NO: **A19451** PAGE NO: **5 OF 7**

LEVEL 2 SUITE 216 MACARTHUR POINT
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THERMAL COMFORT

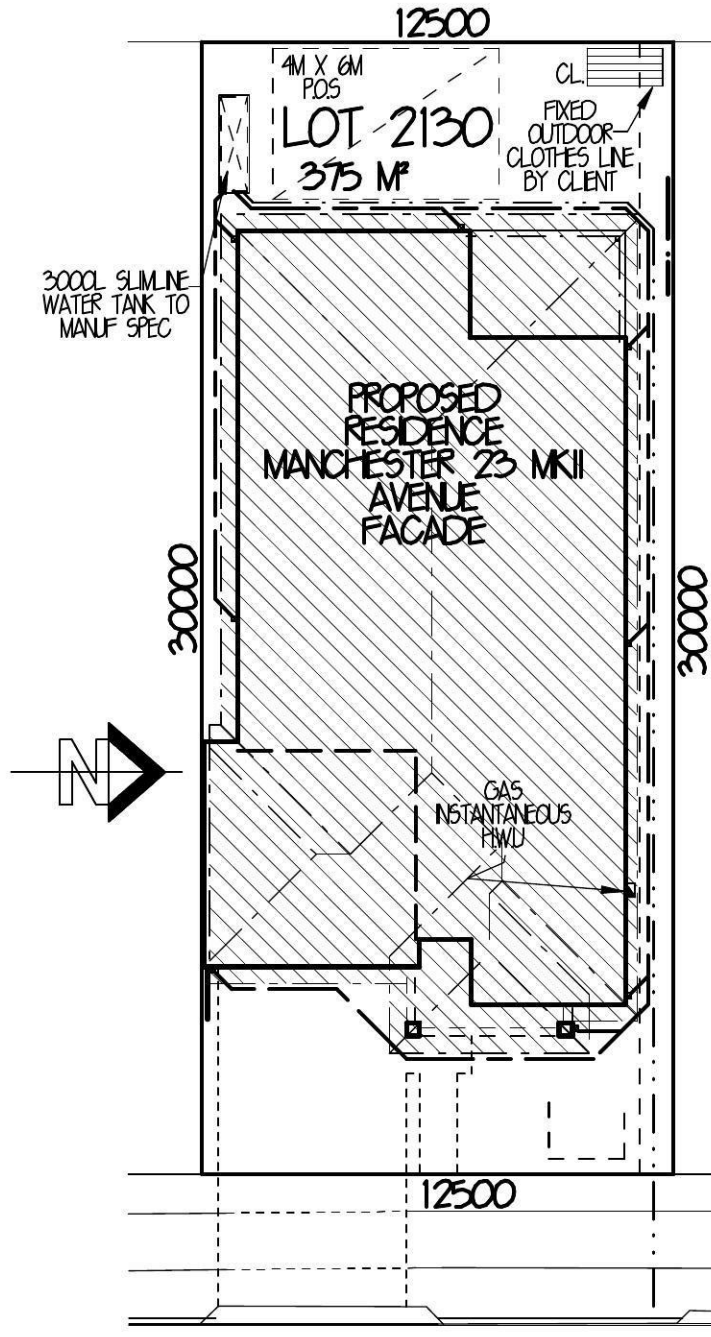
THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N° 469B455_02 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N° 469B455_02

INSULATION

R2-0 WALL INSULATION
R3-5 CEILING INSULATION
(EXCLUDING GARAGE & ALFRESCO)
ROOF SARKING

BASIX SCORE

WATER - 40% (TARGET 40%)
THERMAL COMFORT - PASS (TARGET PASS)
ENERGY - 40% (TARGET 40%)



□ DENOTES 165M² OF ROOF TO BE COLLECTED

ILLOURA WAY BASIX PLAN 1:200

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER:
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK:

THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 165 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

SHOWERHEADS:

THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 BUT ≤9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:

THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:

THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER:

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
GAS INSTANTANEOUS

ACTIVE COOLING:

THE LIVING AREAS MUST NOT INCORPORATE ANY COOLING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A COOLING SYSTEM

THE BEDROOMS MUST NOT INCORPORATE ANY COOLING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A COOLING SYSTEM

ACTIVE HEATING:

THE LIVING AREAS MUST NOT INCORPORATE ANY HEATING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A HEATING SYSTEM

THE BEDROOMS MUST NOT INCORPORATE ANY HEATING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A HEATING SYSTEM

VENTILATION:

THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF

KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF

LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING:

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

ARTIFICIAL LIGHTING:

THE APPLICANT MUST ENSURE THAT THE 'PRIMARY TYPE OF ARTIFICIAL LIGHTING' IS FLUORESCENT OR LED LIGHTING IN THE FOLLOWING ROOMS:

- AT LEAST 4 OF THE BEDROOMS/STUDY: DEDICATED

- AT LEAST 2 OF THE LIVING/ DINING AREAS: DEDICATED

AS WELL AS THESE ROOMS THE APPLICANT MUST ALSO ENSURE THAT THE PRINCIPLES APPLY TO ANYWHERE THE WORD 'DEDICATED' APPEARS.

FITTINGS FOR THESE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LED LAMPS

COOKING:

THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:

THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS 'WELL VENTILATED', AS DEFINED IN THE BASIX

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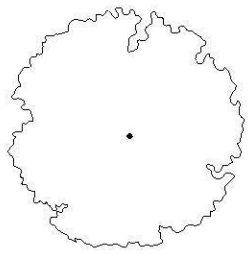
FOR CONNECT WAY	UBD AREA: 51D REVISION: 48 MAP: 144 REF: G14
AT LOT 2130 ILLOURA WAY, JORDAN SPRINGS DP 1168911	
TYPE: MANCHESTER 23 MKII	JOB NO. 0016457
FACADE: AVENUE (SMART LIVING SERIES)	HAND: LH
MASTER: A19457	DWG NO. A19451 PAGE NO. 8 OF 7



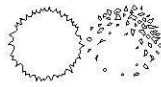
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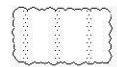
LEGEND



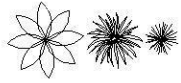
Proposed trees - refer to plant schedule



Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Proposed accents & grasses - refer to plant schedule



Existing levels

+RL 101.55

Proposed levels

+TOW 101.55

Proposed Top Of Wall levels



Boundary



Fence



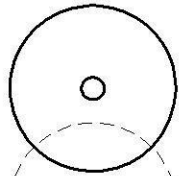
Garden edging



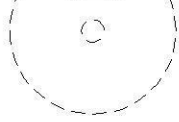
Masonry retaining walls



Existing contours



Existing tree to be retained



Existing tree to be removed

PLANT SCHEDULE Prepared by H2O Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Dcl	*Dianella caerulea 'Little Jess'	Compact Blue Flax Lily	13	150mm	0.3m
Er	*Elaeocarpus reticulatus	Blueberry Ash	1	25L	9m
Hf	*Hymenoporum flavum	Native Frangipani	1	25L	10m
Lt	*Lomandra 'Tanika'	Fine-leafed Mat Rush	4	150mm	0.5m
Wfz	*Westringia fruticosa 'Zena'	Dwarf Native Rosemary	6	200mm	0.9m

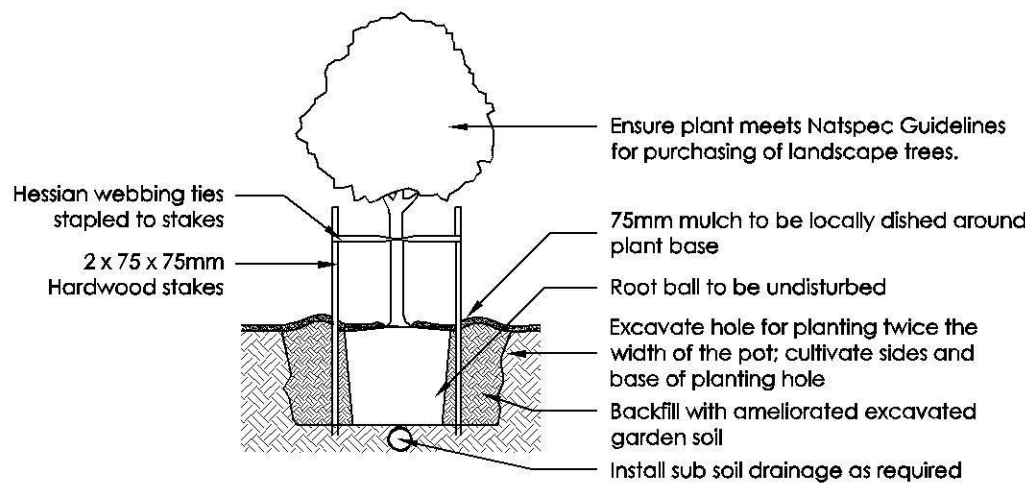
*Australian native plants

PLANTING SUMMARY

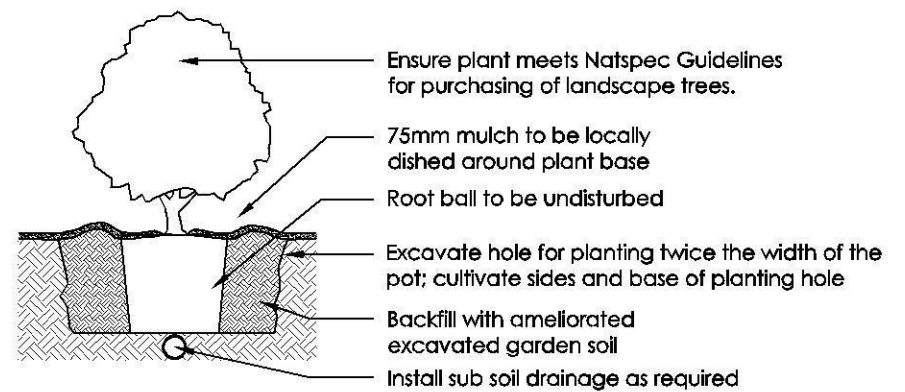
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***
25	25	0	100%	2

** Minimum required 50%

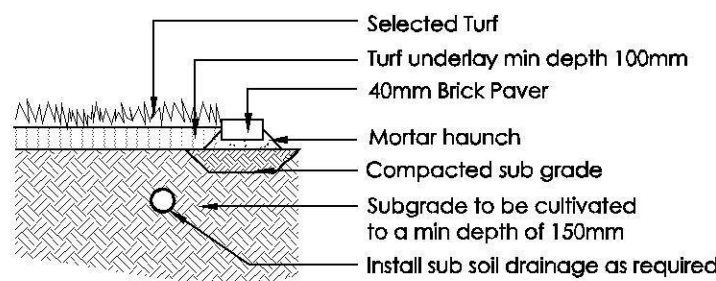
*** Minimum 2 trees



1 Tree Planting Detail
NTS 25L - 75L Pot Size



2 Planting Detail
NTS Tube, 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge

REVISION	DESCRIPTION	DRAWN	CHECKED	DATE
A	SUBMITTED FOR APPROVAL	VF	MD	07-08-13
B	AMENDED DUE TO EBH COMMENTS	VF	MD	14-09-13
C	AMENDED DUE TO DEVELOPER COMMENTS	VF	MD	17-06-13



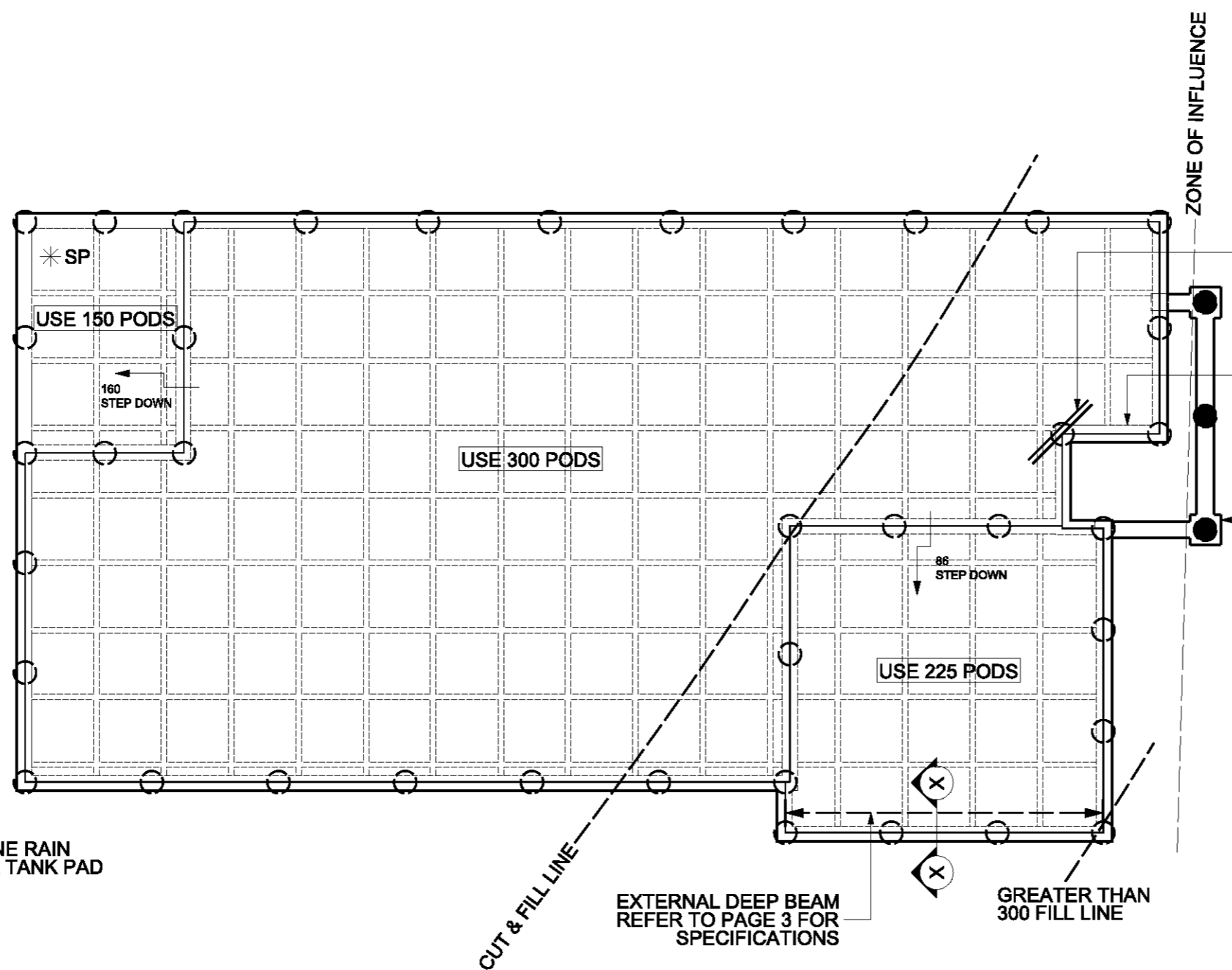
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Ph: (02) 9671 7701 Fax: (02) 9679 2966
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2. Verify all measurements on site
3. Notify H2Odesign of any inconsistencies
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6. All work to comply with relevant Australian Standards or Building Code of Australia
7. All work to be performed by a suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS		PROJECT	
LOT 2130 ILLOURA WAY, JORDAN SPRINGS		NEW RESIDENCE	
CLIENT		DRAWING	
CONNECT HOMES		LANDSCAPE PLAN	
SCALE		DATE	SHEET
1:100 @ A3		DA	L-02
DRAWN	CHECKED	DATE	DESIGN
VF	MD	17-06-13	C





2-N12 BARS 1500 LONG, TYPICAL, TIED TO UNDERSIDE OF FABRIC.

WIDEN EDGE BEAM. REFER TO PAGE 2 FOR ADDITIONAL TOP & BTM REINFORCEMENT.

STRIP FOOTING 300 WIDE 400 DEEP 3L-11 TM TOP & BTM R6 TIES @ 900 CTS WIDEN FOOTING AS REQUIRED UNDER COLUMN, 100mm PAST FACE OF BRICKWORK.

SLIMLINE RAIN WATER TANK PAD

CUT & FILL LINE
EXTERNAL DEEP BEAM REFER TO PAGE 3 FOR SPECIFICATIONS
GREATER THAN 300 FILL LINE

THIS IS TO CERTIFY THAT THE SLAB HAS BEEN DESIGNED FOR SALINE AFFECTED SOILS. REFER TO PAGES 1 & 2 FOR SALINITY REQUIREMENTS.

REFER TO PAGES 4 & 5 FOR SEWER DETAILS

FORMWORK LEVEL CHECK BOOKED
FORMWORK LEVEL CHECK COMPLETE

CONSTRUCTION NOTES

GENERAL: UNLESS NOTED OTHERWISE
THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.
DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.
UNLESS REQUESTED AND PRODUCED ON THE PLANS, BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY
FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.
PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.
FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION
ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.
ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.
A 1 METRE WIDE APRON, WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE
IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.
ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HWS AND LPG UNITS.
CONCRETE SPECIFICATION (F_c 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP

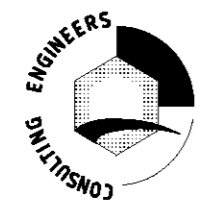
LOCATION	NORMAL F _c	SALINE AFFECTED F _c
PIERS	20 MPa	32 MPa
SLAB	20 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOW:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

REINFORCEMENT SYMBOLS ARE AS FOLLOWS:
(N) - HOT ROLLED DEFORMED BARS (400 n)
(SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 sl)
(S) - STRUCTURAL GRADE DEFORMED BARS
NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL.
CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE
PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK
BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.
● REINFORCED CONC. PIER ● SEWER AFFECTED PIER ⊕ SCREW PIER
○ UNREINFORCED CONC. PIER ♀ ARTICULATION JOINT * STARTING POINT
DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODE

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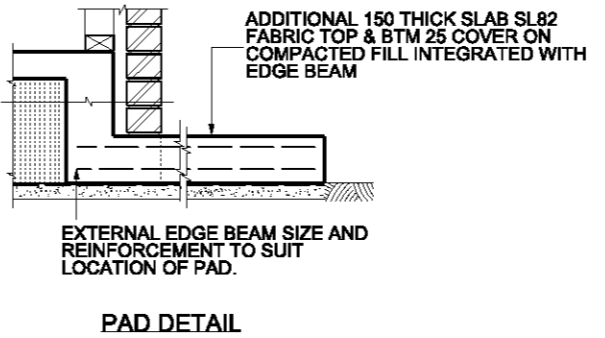
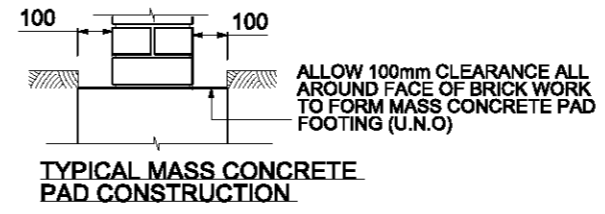
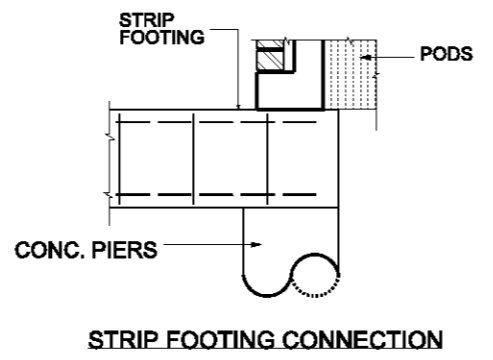
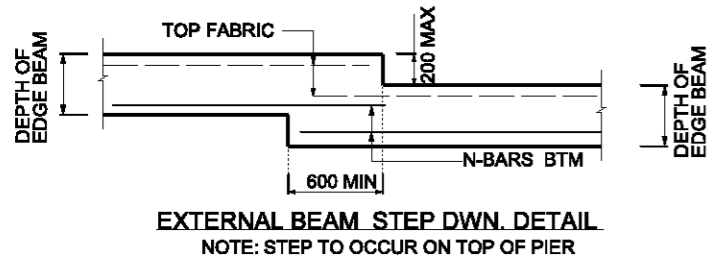
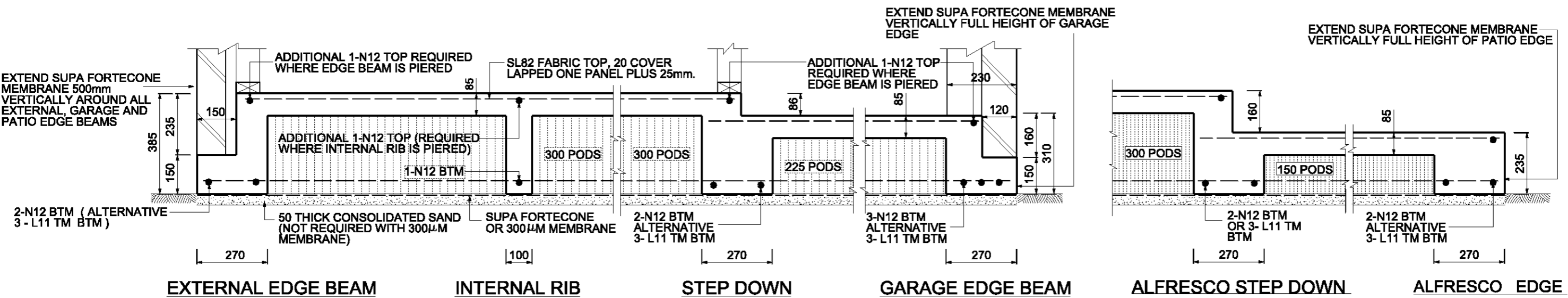
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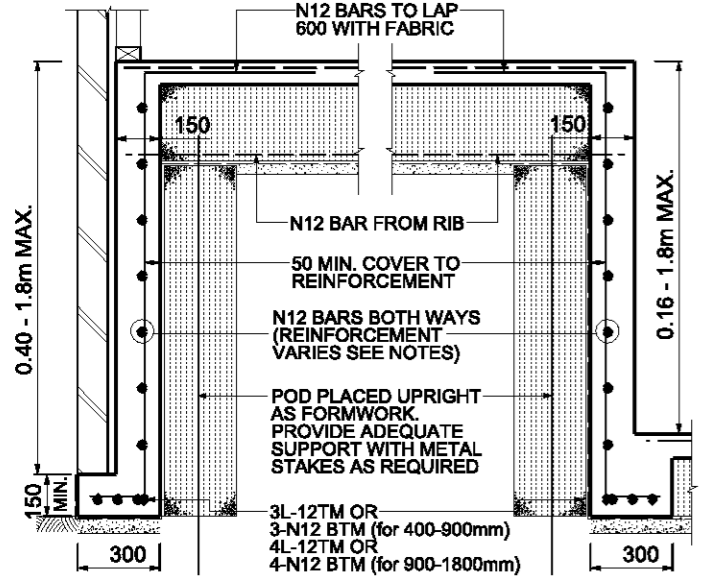
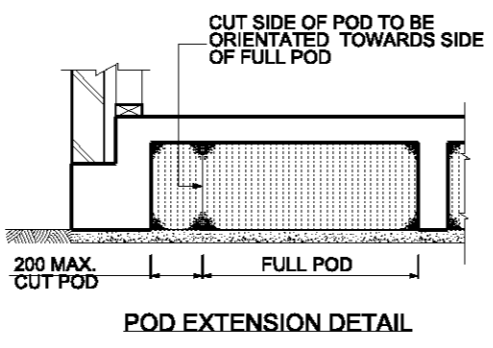


CLASSIFICATION H1
REFERENCE 16457

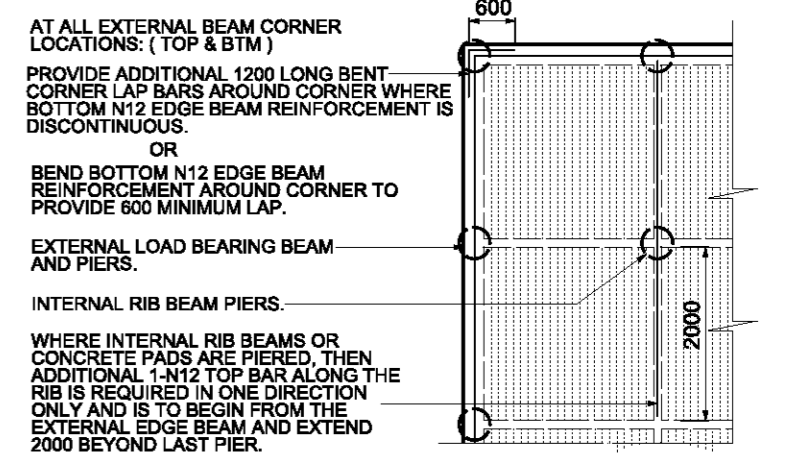
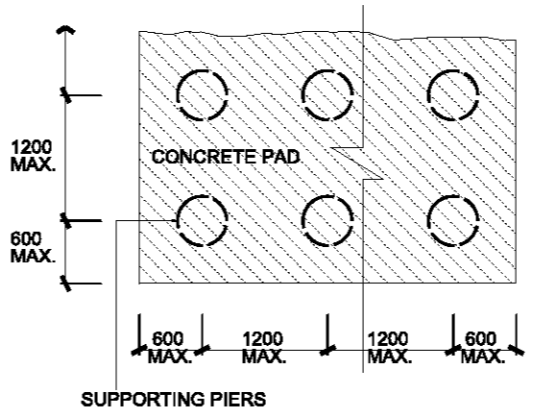
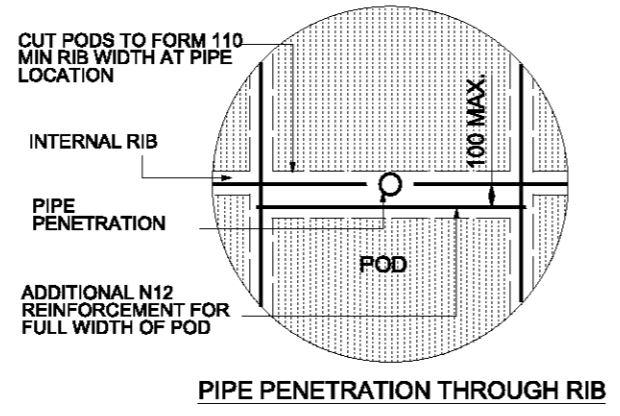
STRUCTURAL SLAB DETAIL PLAN				
CLIENT LOCATION	CONNECT WAY LOT 2130 ILLOURA WAY, JORDAN SPRINGS			
DRAWN	N.P	SCALE	1:100	SHEET No. 1
ISSUE	A	DATE	20/06/13	JOB No. 55745EB



- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS



THIS IS TO CERTIFY THAT THE SLAB HAS BEEN DESIGNED FOR SALINE AFFECTED SOILS.

PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.

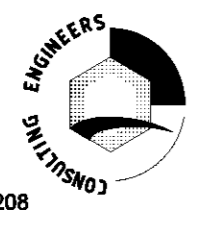
SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE

PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.

N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)

REINFORCEMENT FOR RIBS AND BEAMS		
WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

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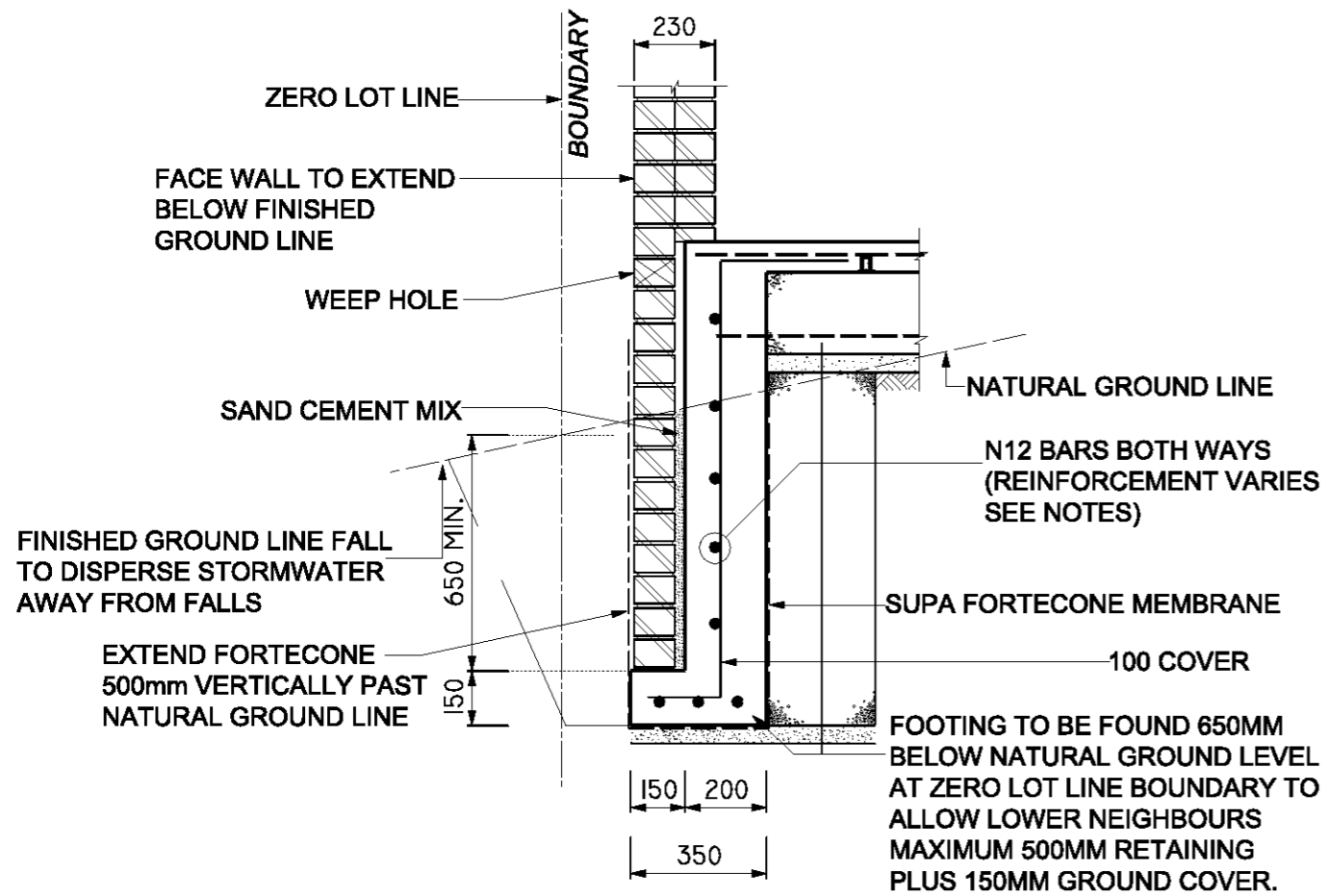


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heden brae homes

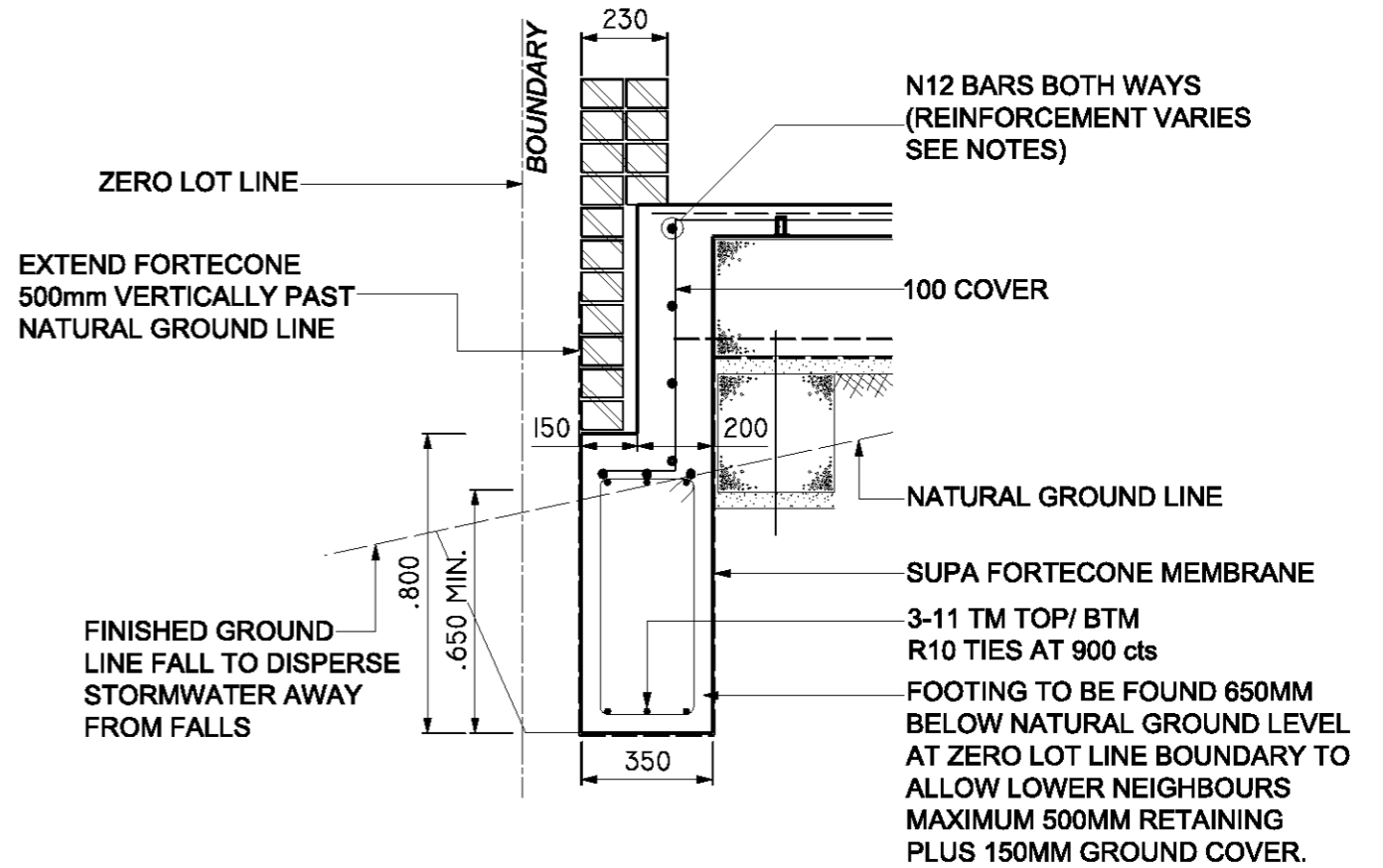
STRUCTURAL DETAIL PLAN					
CLIENT LOCATION	CONNECT WAY LOT 2130 ILLOURA WAY, JORDAN SPRINGS				
SALINE AFFECTED	CLASSIFICATION	H1	SCALE	NTS.	SHEET No. 2
300.82.2.S	ISSUE	A	DATE	20/06/13	JOB No. 55745EB



**GARAGE WALL DEEPENED
EDGE BEAM / RETAINING WALL**

SECTION X-X

NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER



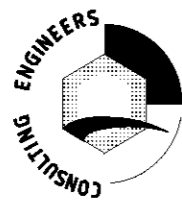
**EDGE BEAM
RETAINING WALL**

SECTION X-X

NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER

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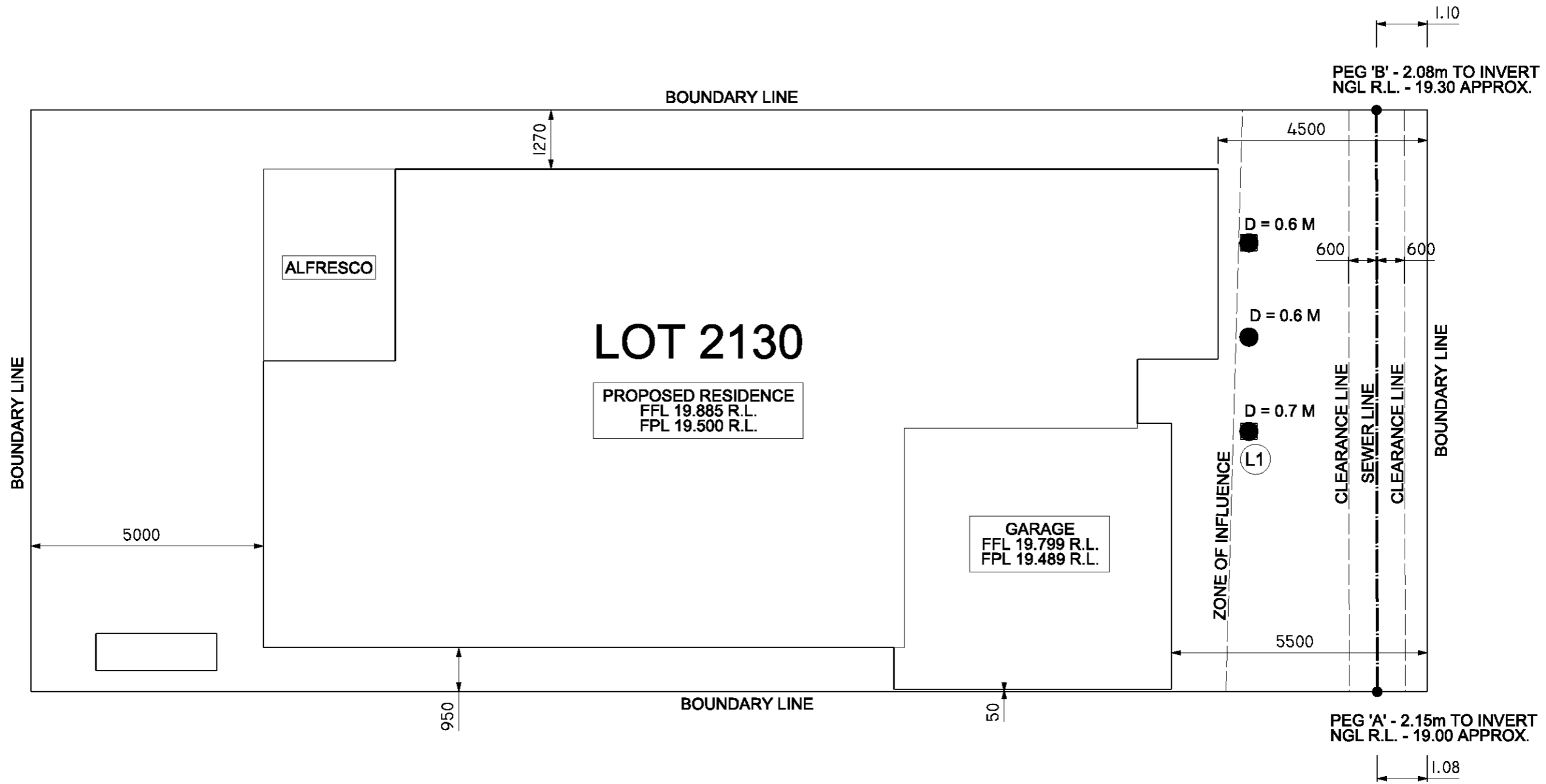
CLASSIFICATION H1
REFERENCE 16457

STRUCTURAL SLAB DETAIL PLAN

CLIENT LOCATION	CONNECT WAY LOT 2130 ILLOURA WAY, JORDAN SPRINGS						A3
DRAWN	N.P	SCALE	1:100	SHEET No.	3		
ISSUE	A	DATE	20/06/13	JOB No.	55745EB		

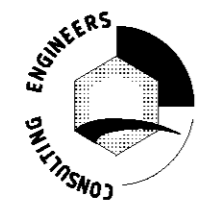
SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY



ILLOURA WAY

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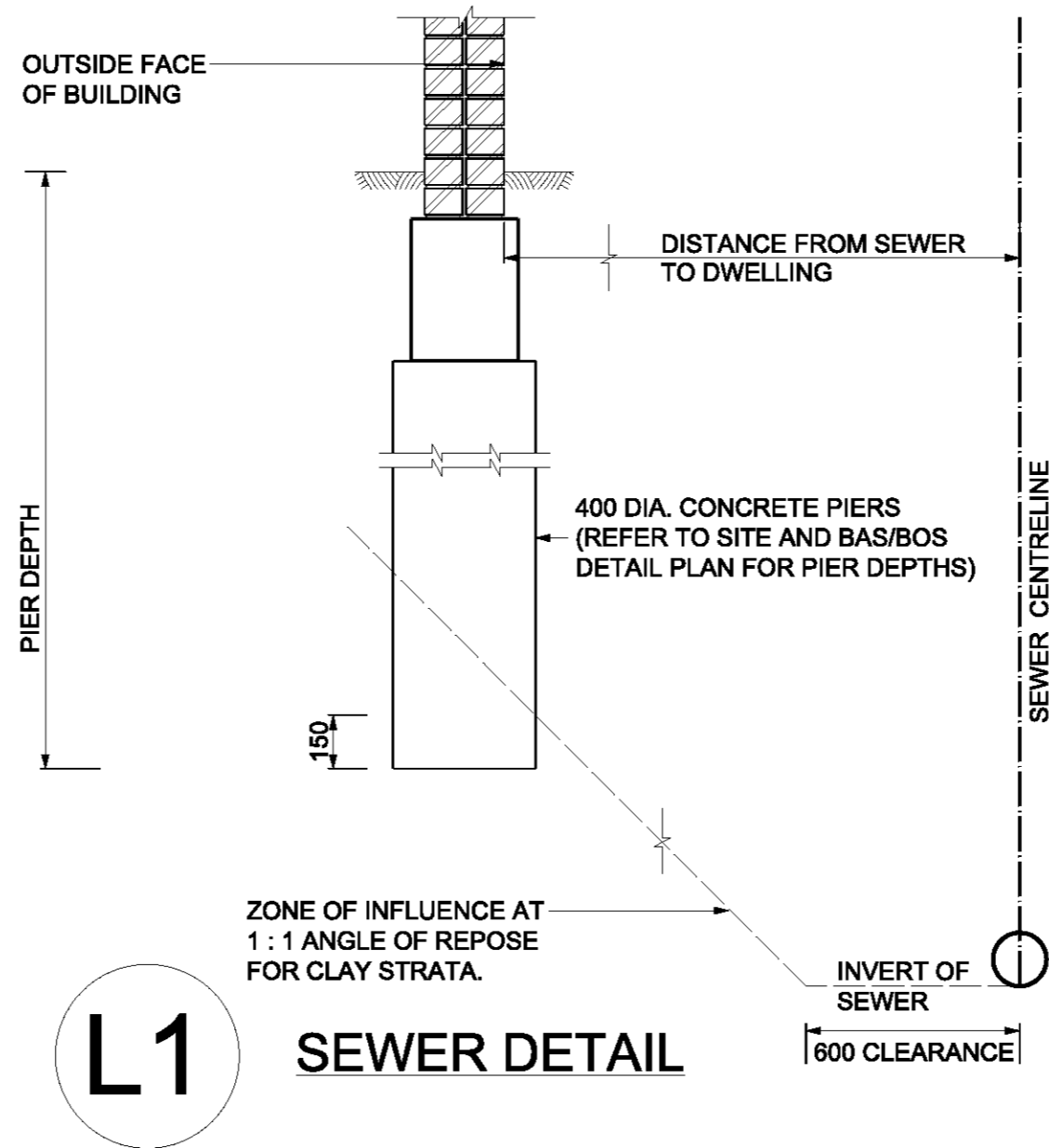
CLASSIFICATION H1
 REFERENCE 16457

SITE AND B.A.S/B.O.S DETAIL PLAN						
CLIENT LOCATION	CONNECT WAY LOT 2130 ILLOURA WAY, JORDAN SPRINGS					A3
DRAWN	N.P	SCALE	1:100	SHEET No.	4	
ISSUE	A	DATE	20/06/13	JOB No.	55745EB	

SEWER NOTES:

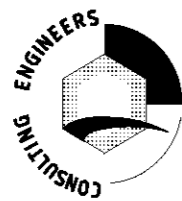
- * POSITION OF SEWER IS ONLY APPROXIMATE
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- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

SEWER CALCULATIONS		L1
PERPENDICULAR DISTANCE FROM SEWER TO PIER (m)		2.549
FINISHED PLATFORM LEVEL AT PIER LOCATION (r.l.) =		19.500
SEWER INVERT LEVEL PERPENDICULAR AT LOCATION (r.l.) =		17.016
PIER DEPTH FROM FINISHED PLATFORM LEVEL (m) =		0.7
Z.O.I. EXTENT FROM SEWER USING PLATFORM LEVEL (m) =		3.084
NATURAL GROUND LEVEL AT SEWER LOCATION (R.L.) =		19.134



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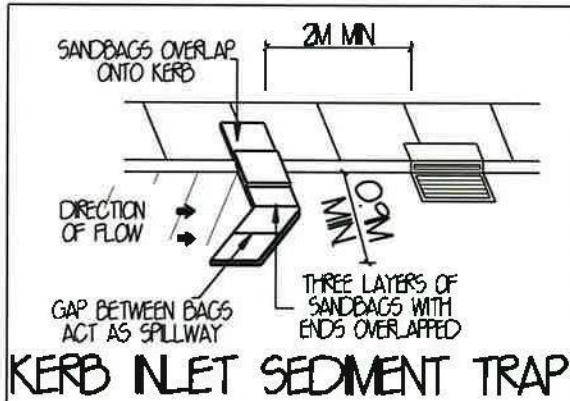
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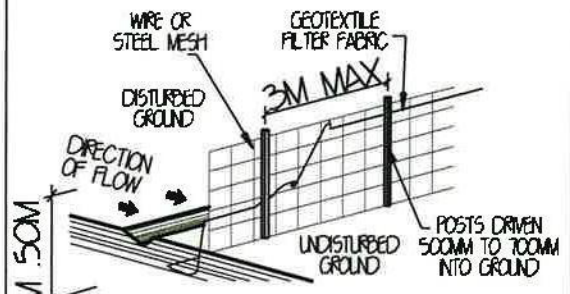
CLASSIFICATION H1
REFERENCE 16457

SEWER SECTION/S PLAN					
CLIENT LOCATION	CONNECT WAY LOT 2130 ILLOURA WAY, JORDAN SPRINGS				A3
DRAWN	N.P	SCALE	1:20	SHEET No.	5
ISSUE	A	DATE	20/06/13	JOB No.	55745EB

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KERB INLET SEDIMENT TRAP



SILT FENCE DETAIL

SEDIMENT CONTROL NOTES:

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

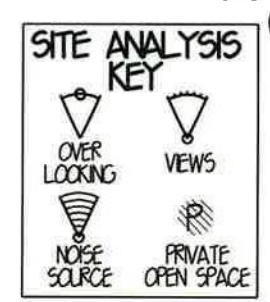
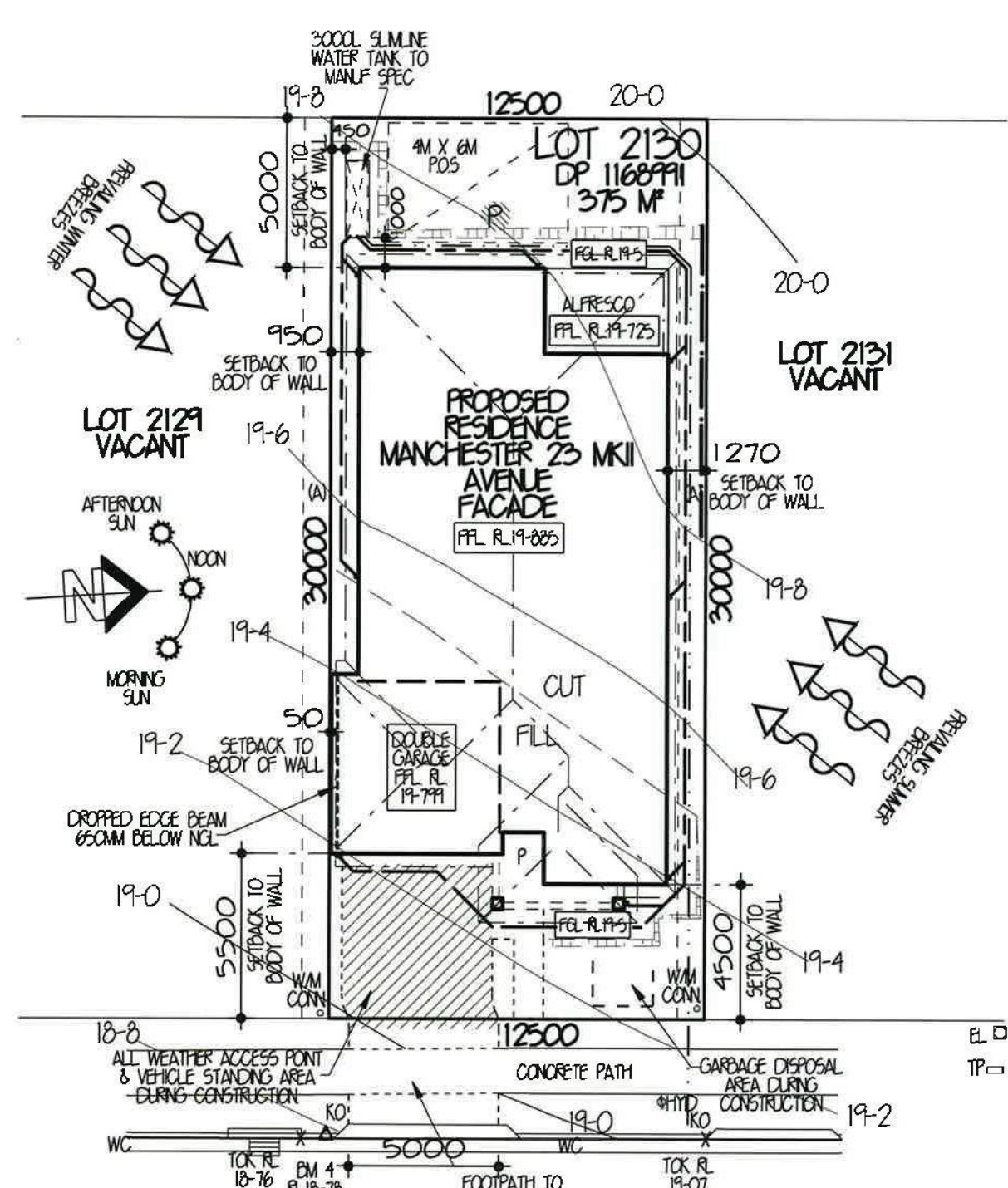
ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POSTS AT 2M CENTRES). FABRIC SHALL BE BURED 150MM ALONG ITS LOWER EDGE.

GENERAL NOTES:

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS.
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING.
- SITE CLASSIFICATION HI.
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL19-5 GARAGE TO RL19-5.
- HOUSE FLOOR LEVEL RL19-885, 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL19-791, 299MM ABOVE PLATFORM LEVEL.
- TOTAL ROOF AREA = 236.8M²



ILLOURA WAY
SITE ANALYSIS & SITE PLAN 1:200
(DRAINAGE PLAN)

○ DENOTES EXISTING TREES TO BE REMOVED

— .. DENOTES RETAINING WALL BY OWNER

- - - DENOTES SILT FENCE BARRIER

- - - - DENOTES DROPPED EDGE BEAM

||| DENOTES LINE OF BATTER TO CUT OR FILL

— (A) EASEMENT FOR ACCESS AND MAINTENANCE OF WIDE

○ DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK. FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER.

○ DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER. FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER.

- VEHICLE CROSSOVER TO BE PLAN CONCRETE TO PCC SPECIFICATION

- ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION

- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM AND OVER ON THE LOT ARE TO BE OF MASONRY CONSTRUCTION

Reviewed by: JORDAN SPRINGS LANDSCAPE SECTION
21 JUN 2013
SIGNED: [Signature]

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NORTHWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P 8860 9222
F 8860 9233

FOR **CONNECT WAY** UED AREA STD REVISION 4B MAP141 REF:GM

AT **LOT 2130 ILLOURA WAY, JORDAN SPRINGS DP 1168991**

TYPE **MANCHESTER 23 MKII** JOB NO. **0016457**

FACADE **AVENUE (SMART LIVING SERIES)** HAND **LH**

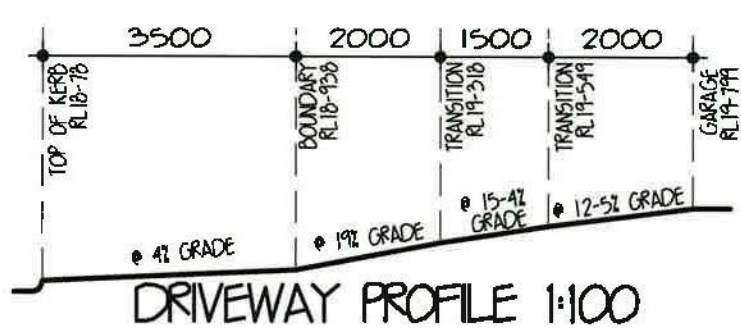
MASTER **A19457** DWG NO. **A19451** PAGE NO. **1 OF 7**

SITE DATA
SITE AREA= 375 M²

PRIVATE OPEN SPACE= REQUIRED= 15% OR 56-2 M² PROVIDED= 20-7% OR 77-8 M²

FLOOR AREAS
FLOOR AREA= 164-8 M² (NOT INCLUDING GARAGE)
GARAGE FLOOR AREA= 32-4 M²
PORCH FLOOR AREA= 6-4 M²
ALFRESCO FLOOR AREA= 11-7 M²

TOTAL FLOOR AREA= 215-3 M² OR 23-2 SCS



A&N DESIGN SYDNEY

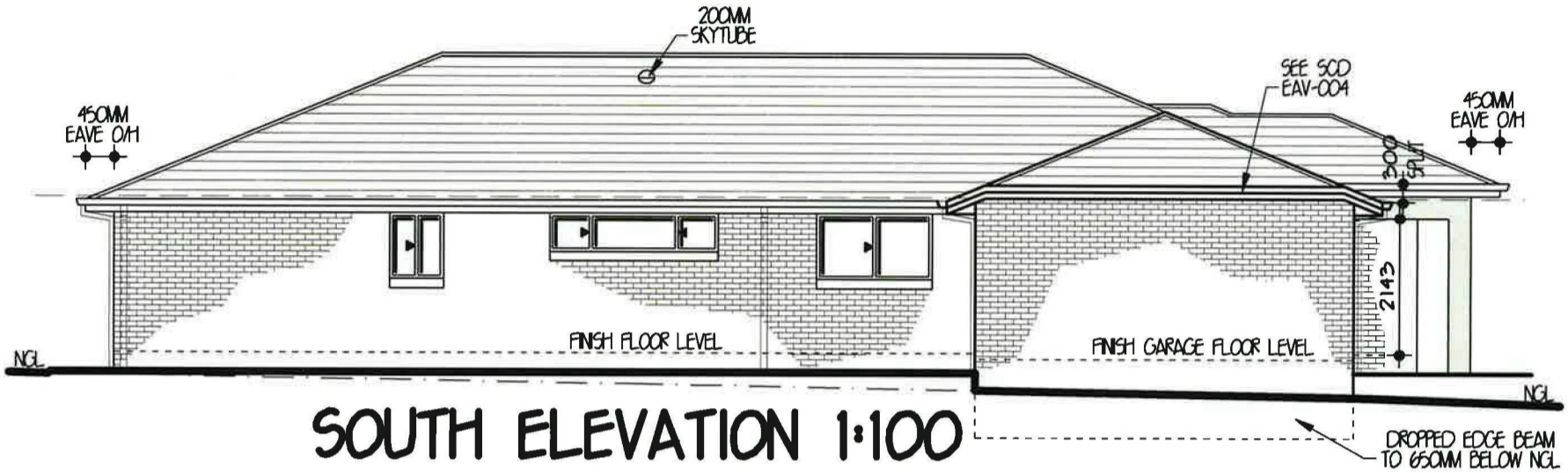
LEVEL 2 SUITE 216 MACARTHUR POINT
NO 25-27 SOLENT CIRCUIT BALLKHAM HILLS
PO BOX 6410 BALLKHAM HILLS
BUSINESS CENTRE NSW, 2153
PHONE: (02) 8824 3533 FAX: (02) 8824 3544
WWW.AANDDESIGNSYDNEY.COM.AU

ISS	DATE	REVISION	DRAWN
A	12-02-13	CC PLAN	JS
B	22-02-13	AMENDMENTS & BASIS	TM
C	20-03-13	AMENDMENTS	JT
D	21-05-13	RESITE	CL
E	06-06-13	AMENDMENTS	AD

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EAST ELEVATION 1:100



SOUTH ELEVATION 1:100



NORTH ELEVATION 1:100



WEST ELEVATION 1:100

Reviewed by: JORDAN SPRINGS
LANDSCAPE SECTION
21 JULY 2013
SIGNED: [Signature]

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NORWEST BUSINESS PARK,
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P 8860 9222
F 8860 9233

FOR **CONNECT WAY** LBD AREA 51D
REVISION 4B
MAP144 REF04

AT LOT 2130 ILLOURA WAY,
JORDAN SPRINGS CP 1168911

TYPE **MANCHESTER 23 MKII** JOB NO. **0016457**

FACADE **AVENUE (SMART LIVING SERIES)** HAND **LH**

MASTER **A19457** DWG NO. **A19451** PAGE NO. **3 OF 7**

AGN DESIGN SYDNEY

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ISS	DATE	REVISION	DRAWN
A	12-02-13	CC PLAN	JS
B	22-02-13	AMENDMENTS & BASIS	TM
C	20-03-13	AMENDMENTS	JT
D	21-05-13	RESITE	CL
E	06-06-13	AMENDMENTS	AD