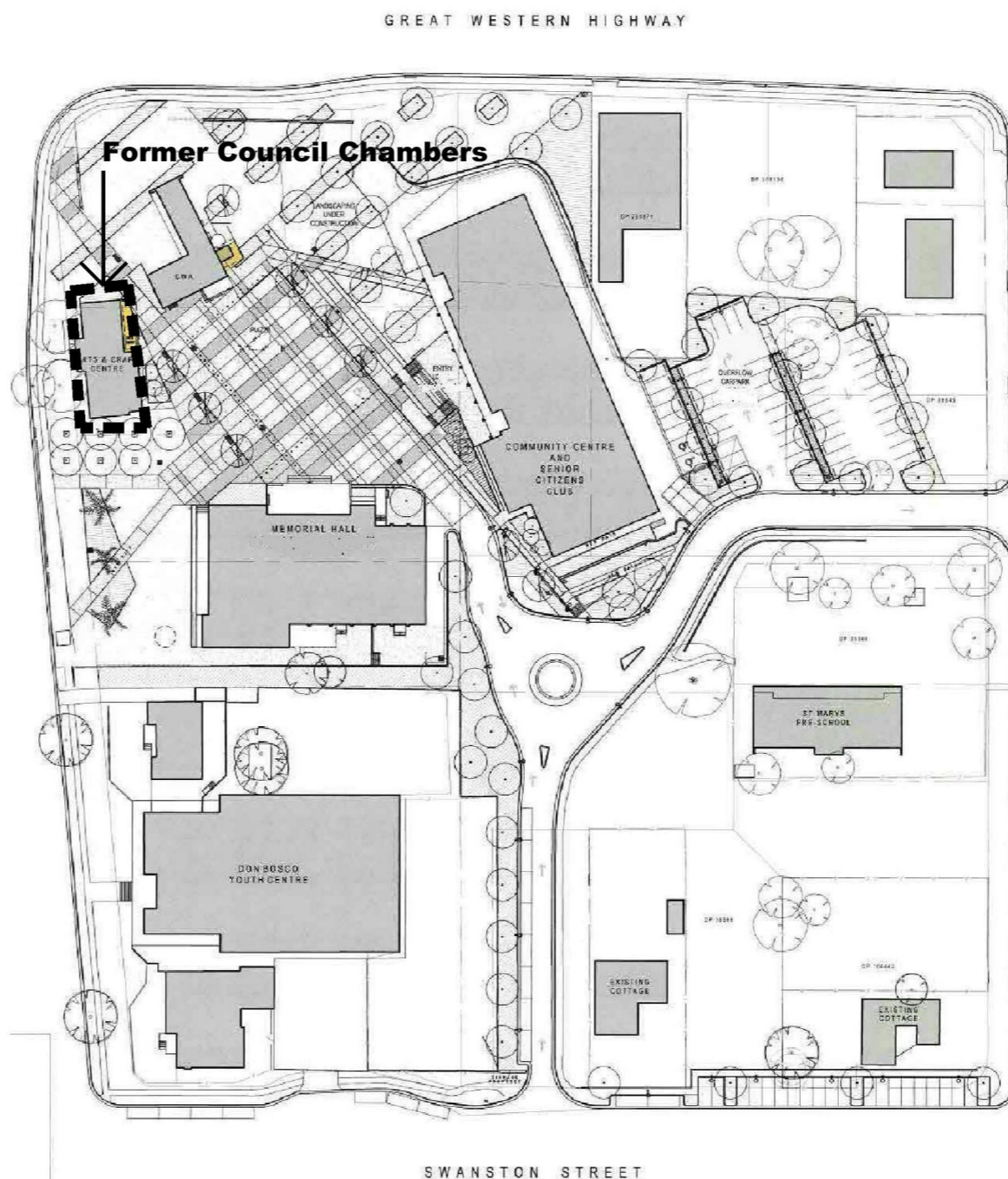


DRAWING SCHEDULE

Dwg No:	Drawing Title
01	Location Plan & Drawing Schedule
02	General Notes
03	Demolition Plan
04	Proposed Floor Plan
05	Proposed Roof Plan
06	Elevations Sheet 1 of 2
07	Elevations Sheet 2 of 2
08	Sections A-A, B-B & C-C
09	Schedule of Finishes
10	Concrete Setout - Entry
11	Wall Setout - Entry and Accessible Toilet
12	Circulation Plan - Entry and Accessible Toilet
13	Ceiling Plan - Entry and Accessible Toilet Plan
14	Detail - Entry Roof and Threshold
15	Detail - Stair and Ramp
16	Door and Window Details and Schedule - Sheet 1 of 2
17	Door and Window Details and Schedule - Sheet 2 of 2
18	Accessible Toilet Details.
19	Vitra Panel Details
20	Signage Details



1 LOCATION PLAN
NTS

NOTE:
This drawing to be read in conjunction with:
1) Architectural Specification
2) Architectural Drawings
3) Structural Drawings
4) Access Report (if provided)
Drawings are not to be scaled, used figured dimensions only.

Incase of discrepancies contact
Penrith City Council, Project Manager.

REV.	DATE	DESCRIPTION	BY
C	20.05.15	CC Submission	RMC
B	19.01.15	DA Submission	RMC

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia

Postal Address: p: (02) 4732 7777
GPO Box 60 e: (02) 4732 7958
Penrith NSW 2751 Australia e: penrithc@penrithcity.nsw.gov.au.

PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

TITLE
Location Plan &
Drawing Schedule

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		
SHEET NO. MP-A-13 -01			REV[C]

EROSION AND SEDIMENT CONTROL
Erosion and sediment control measures shall be installed prior to the commencement of works on site.

All land that has been disturbed by earthworks is to be spraygrassed or similar to treat and establish a grass cover.

DEMOLITION
All demolition works are to be conducted in accordance with provisions of AS2601-1991 "The Demolition of Structures".

Prior to the demolition, all services shall be suitably disconnected and capped or sealed to the satisfaction of the relevant service authority requirements.

Council's Fact Sheet titled "Handling and Disposal of Fibrous cemenets Products" should be read before any demolition works commence on site.

Contractor to provide portaloos with appropriate washing facilities shall for work site.

Any demolition work involving the removal of all asbestos shall be carried out by a licensed asbestos removal contractor and is holder of a current WorkCover Asbestos License.

All asbestos laden waste, including asbestos cement flat and corrugated sheeting must be disposed of at a tipping facilities licensed by the Environmental Protection Authority to receive asbestos waste.

All tipping receipts following payments of asbestos tipping fees are to be submitted to the Project Manager

Dust suppression techniques are to be employed during demolition to reduce any potential nuisance to the surrounding properties.

Mud and soil from vehicular movements to and from the site must not be deposited on the road.

Unless otherwise noted demolition works are to be restricted to the following hours:
M-F 7am - 6pm
Sat 8am-1pm
Sun & Public Hoildays-no demolition work

CONSTRUCTION
1) Working hours:
Monday - Friday 7am - 6pm
Saturday: 7am - 1pm
Sun-public Holidays- no work permitted

Engineering
Workshop drawings/details of manufacturer roof trusses are to be submitted to the Project manager for Structural Engineer signoff prior to manufacturer.

All timber framework shall comply with AS1684-1999 "Residential Timber framing Construction"

A Structural Engineer must inspect the following stages (inspection cost to be borne by contractor unless otherwise noted), inspection Certificate to be provide with progress invoice with associated trade/stage of work.
Inspection stages required:
1) Piers/piles
2)Slab steel placement
3) Steel frame/roof

All construction aspects of the works are to comply with the National Construction Code (formerly BCA) as to achieve and maintain acceptable standards of structural integrity, safety(including fire safety) health and amenities.

Structural alterations shall not unduly reduce or compromise;
a) existing level of fire protection
b) existing level of fire resistance

Access and santiary facilites identified as Accessible are designed as per AS1428 "Design for Access and Mobility"
Construction of areas are not to deviate from drawings and specification, unless advised.

UTILITY SERVICES
1) A Section 73 Compliance Certificate must be obtained from Sydney Water.
The application must be made through an authorised Sydney Water Servicing Coordinator.
The Certificate must be submitted to the Project Manger prior to the works deemed Practically Complete.

HEALTH MATTERS
1) Sewer and plumbing shall be carried out in accordance with Sydney Water's requirements or Local Government (Water,sewage and drainage Regulations 1993).

DELAPIDATION SURVEY
Builder to provide a delapidation photograpic survey of both the interior and exterior of the building.Survey to be submitted to the Project Manger before works commence.

AS BUILT DRAWINGS
1) The following As-Built Drawings must be provided to the Project manager prior to the works deemed Practically Complete:
a) Hydraulic
b) Electrical
Unless otherwise noted hand line drawing adequate.

NOTE:
This drawing to be read inconjunction with:
1) Architectural Specification
2) Architectural Drawings
3) Structural Drawings
4) Access Report (if provided)
Drawings are not be be scaled, used figured dimensions only.

Incase of discrepencies contact Penrith City Council, Project Manager.

1. All work to comply with (NCC) National Construction Code, (AS) Australian Standard

2. All work to comply with Council conditions of Consent if provided.

3. Setout of works to be confirmed on site, prior to demolition/and or works proceeding.

4. Location of Sydney Water' sewer mains, sewer connection lines, water pipes, stormwater drains, underground electricity lines and other services must be obtained prior to commencement of any work on site
DIAL BEFORE YOU DIG 1100

B	20.05.15	CC SUBMISSION	B
A	27.03.15	DA SUBMISSION	A
REV.	DATE	DESCRIPTION	BY

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia
Postal Address: GPO Box 60 Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au.

PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

TITLE
General Notes

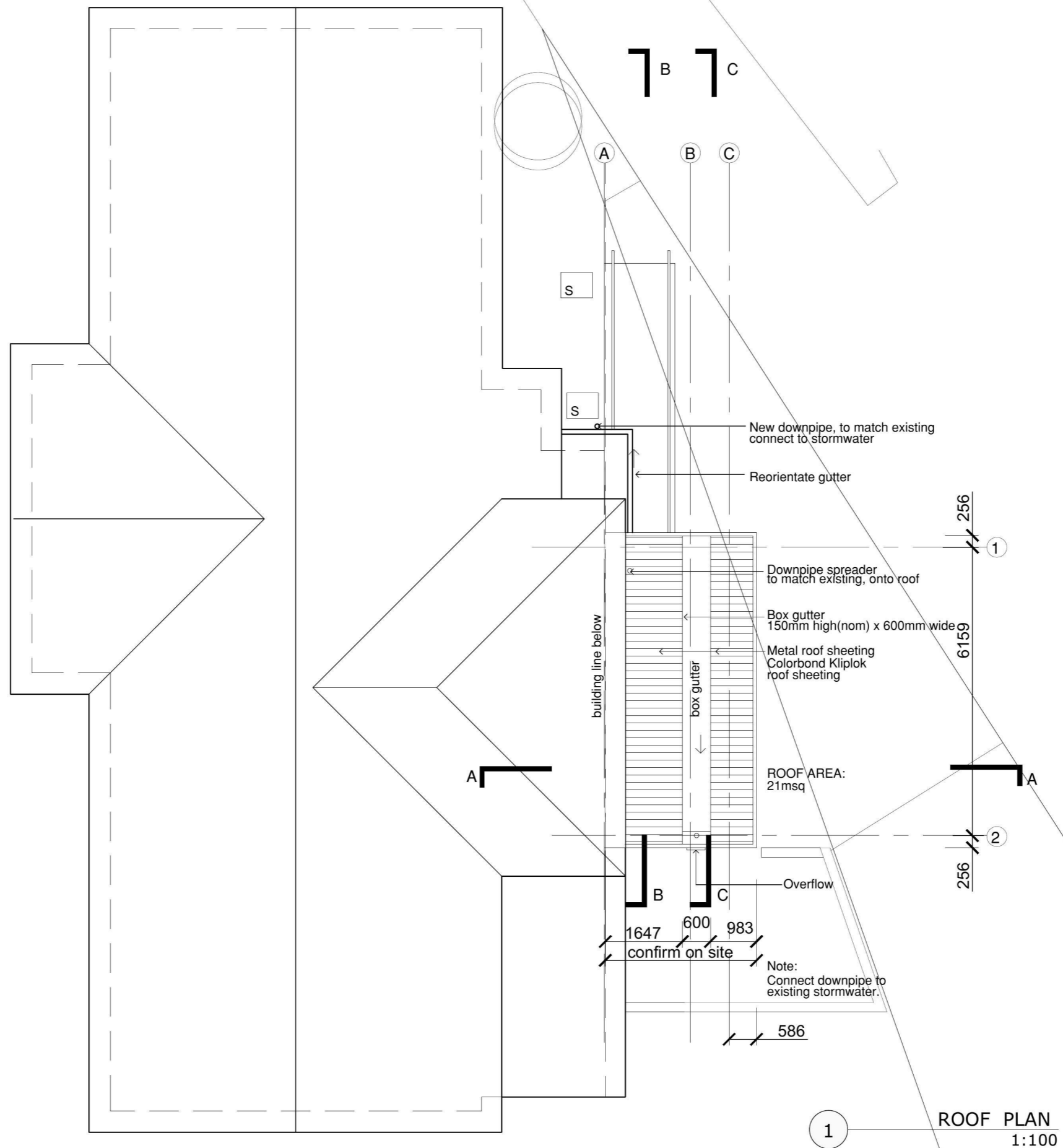
SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13 -02 **REV B]**

NOTE:
 This drawing to be read in conjunction with:
 1) Architectural Specification
 2) Architectural Drawings
 3) Structural Drawings
 4) Access Report (if provided)
 Drawings are not to be scaled, used figured dimensions only.

In case of discrepancies contact
 Penrith City Council, Project Manager.

1. All work to comply with (NCC) National Construction Code, (AS) Australian Standard
2. All work to comply with Council conditions of Consent if provided.
3. Setout of works to be confirmed on site, prior to demolition/and or works proceeding.
4. Location of Sydney Water' sewer mains, sewer connection lines, water pipes, stormwater drains, underground electricity lines and other services must be obtained prior to commencement of any work on site DIAL BEFORE YOU DIG 1100



ROOF

||||| Metal roof

REV.	DATE	DESCRIPTION	BY
C	19.05.15	CC SUBMISSION	C
B	27.01.15	DA SUBMISSION	B
A	19.09.14	FOR CLIENT COMMENT	A

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

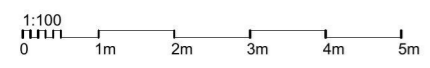
ARCHITECT
 PENRITH CITY COUNCIL
 Major Projects Department.
 601 High Street
 PENRITH NSW 2750 Australia
 Postal Address: GPO Box 60 Penrith NSW 2751 Australia
 p: (02) 4732 7777
 f: (02) 4732 7958
 e: penrithc@penrithcity.nsw.gov.au

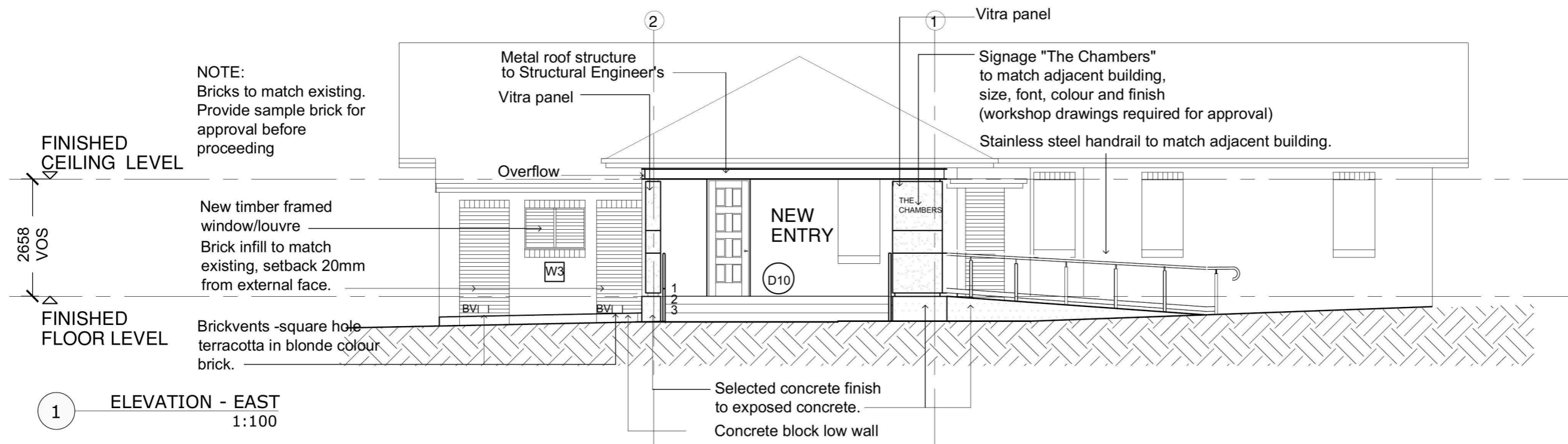
PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

TITLE
PROPOSED ROOF PLAN

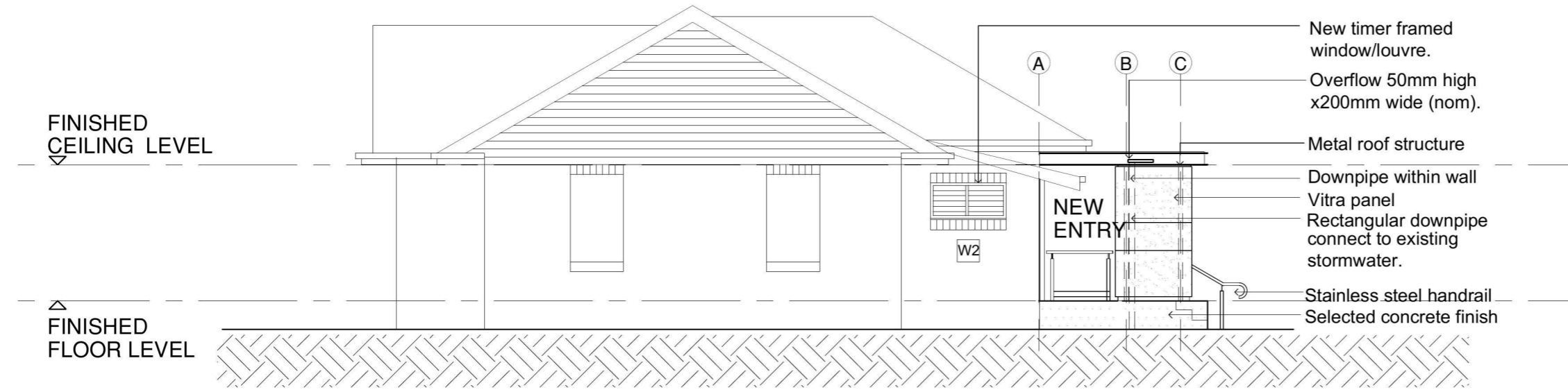
SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		
SHEET NO.			REV C J
MP-A-13-05			

1 **ROOF PLAN**
 1:100





1 ELEVATION - EAST
1:100



2 ELEVATION - SOUTH
1:100

NOTE:
Bricks to match existing.
Provide sample brick for approval before proceeding

New timber framed window/louvre
Brick infill to match existing, setback 20mm from external face.

Brickvents -square hole terracotta in blonde colour brick.

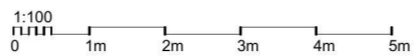
STEEL WORKS	
PX	Post to Engineers's details
HR	Stainless steel handrail to match adjacent building

LEVELS	
RL	Reduced level
FFL	Finished floor level
SFL	Structural floor level
FF	Finished floor

DOORS	
(DX)	Door number
(WX)	Window number
DS	Door Stop

NOTE:
This drawing to be read inconjunction with:
1) Architectural Specification
2) Architectural Drawings
3) Structural Drawings
4) Access Report (if provided)
Drawings are not be be scaled, used figured dimensions only.

Incase of discrepancies contact
Penrith City Council, Project Manager.



REV.	DATE	DESCRIPTION	BY
C	20.05.15	CC SUBMISSION	rmc
B	27.01.15	DA SUBMISSION	rmc
A	19.09.14	FOR CLIENT COMMENT	rmc

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

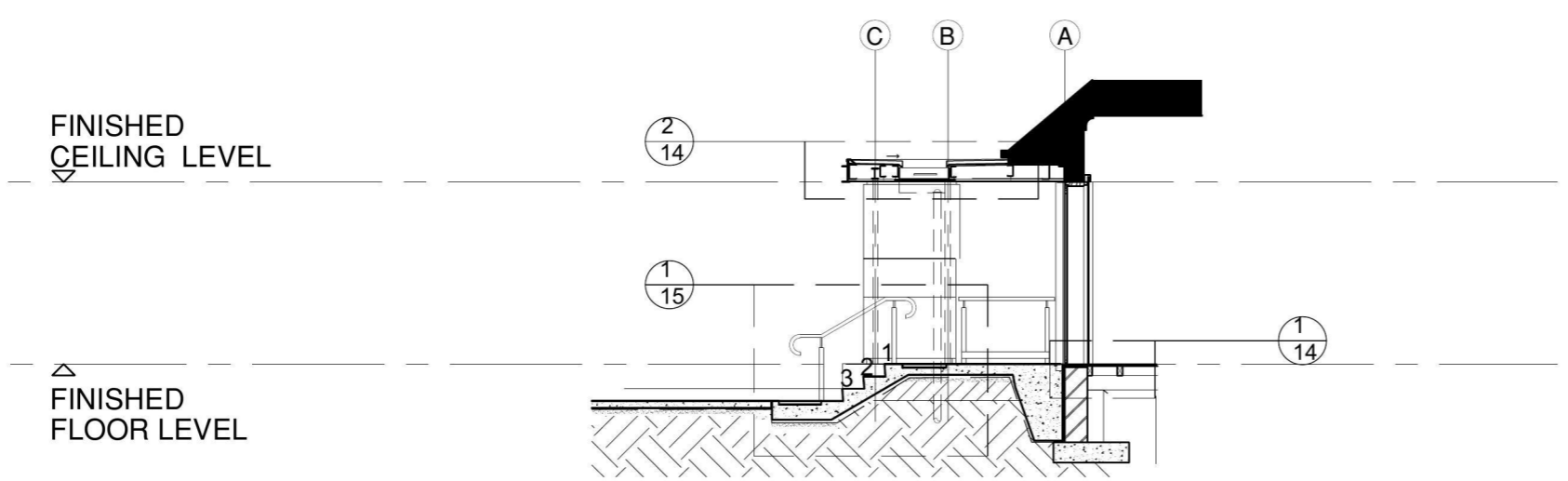
ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia
Postal Address:
GPO Box 60
Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au

PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

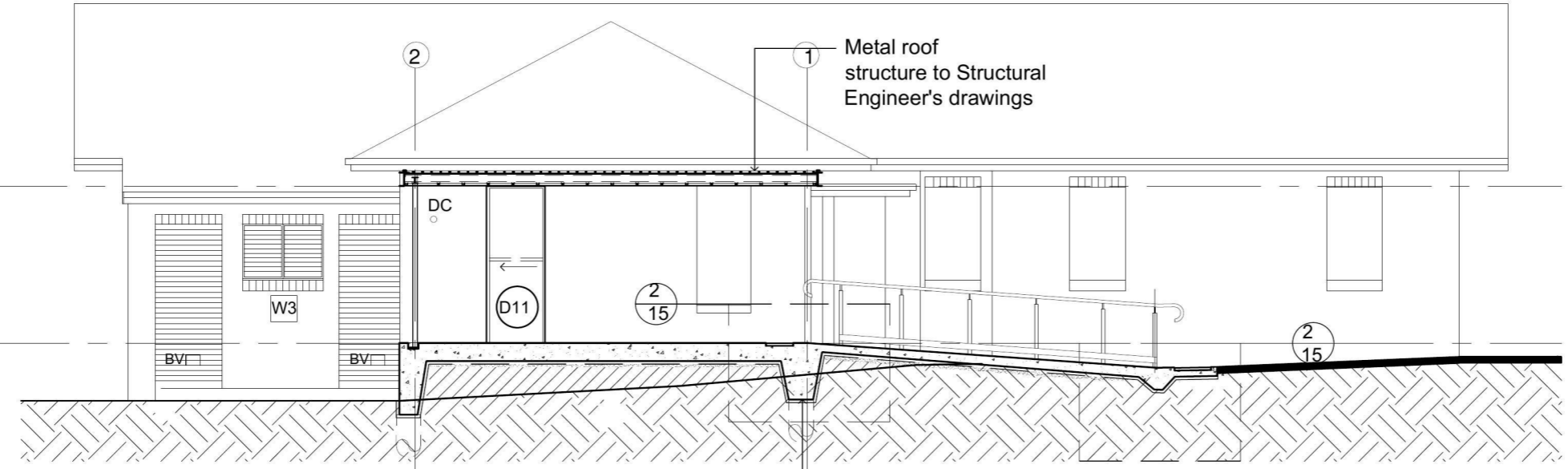
TITLE
**ELEVATIONS
SHEET 1 OF 2**

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

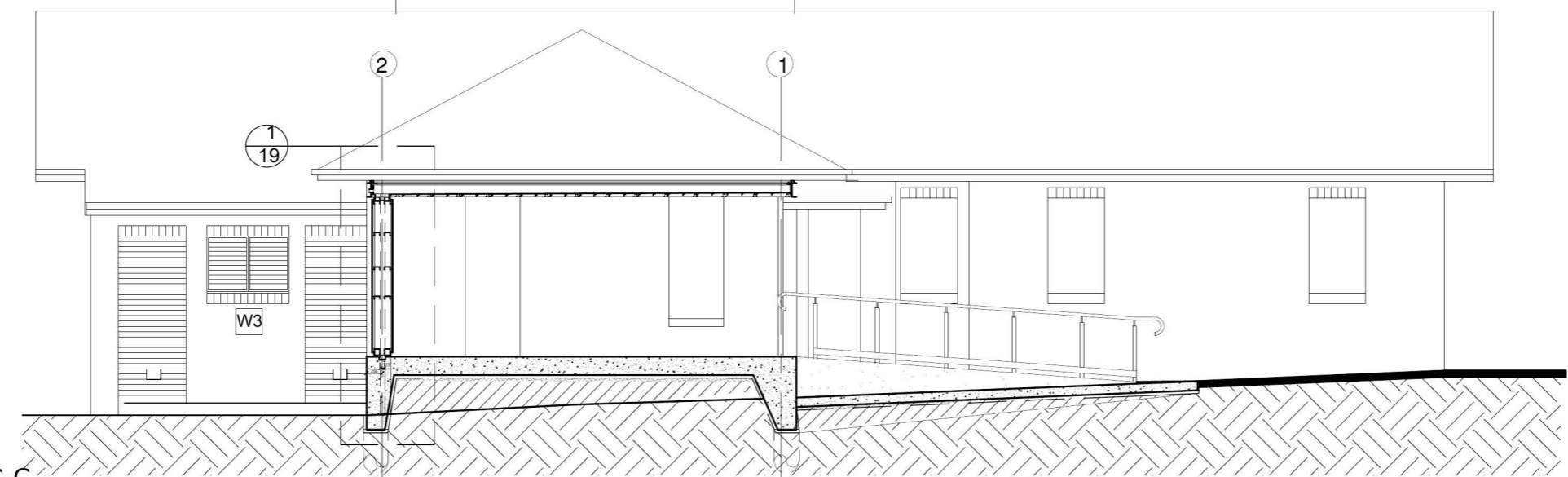
SHEET NO.
MP-A-13 - 6 REV [C]



5 SECTION - A-A
1:100



6 SECTION - B-B
1:100



7 SECTION - C-C
1:100

STEEL WORKS

PX	Post to Engineers's details
HR	Stainless steel handrail to match adjacent building

LEVELS

RL	Reduced level
FFL	Finished floor level
SFL	Structural floor level
FF	Finished floor

DOORS

(DX)	Door number
(WX)	Window number
DS	Door Stop

NOTE:
This drawing to be read in conjunction with:
1) Architectural Specification
2) Architectural Drawings
3) Structural Drawings
4) Access Report (if provided)
Drawings are not to be scaled, used figured dimensions only.

In case of discrepancies contact Penrith City Council, Project Manager.

C	20.05.15	CC SUBMISSION	rmc
B	27.01.15	DA SUBMISSION	rmc
A	19.09.14	FOR CLIENT COMMENT	rmc

REV.	DATE	DESCRIPTION	BY
------	------	-------------	----

PHASE
CONSTRUCTION CERTIFICATE

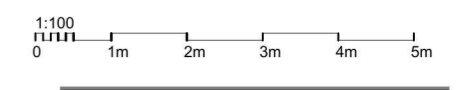
CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

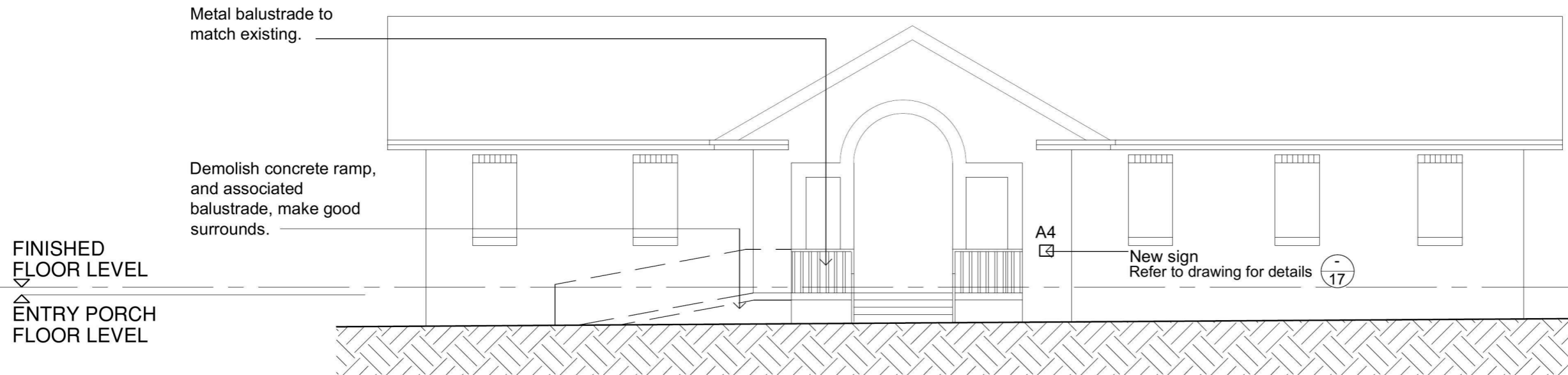
ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department
601 High Street
PENRITH NSW 2750 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au

PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

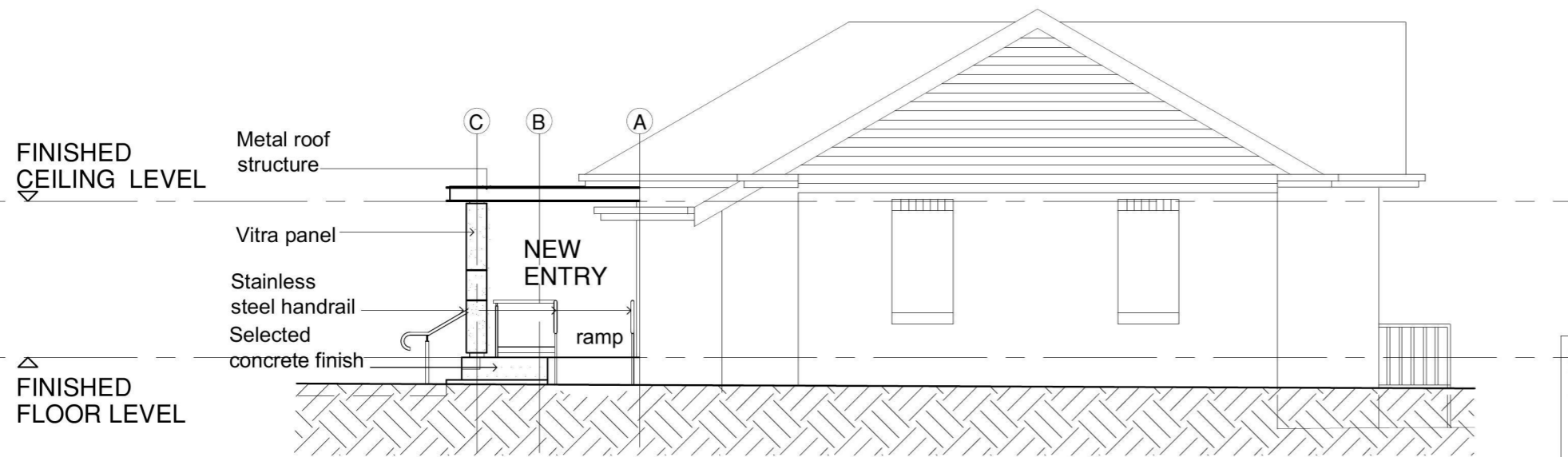
TITLE
SECTIONS A-A, B-B & C-C

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		
SHEET NO. MP-A-13-8			REV[C]





3 ELEVATION - WEST
1:100

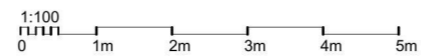


4 ELEVATION - NORTH
1:100

STEEL WORKS	
PX	Post to Engineers's details
HR	Stainless steel handrail to match adjacent building

LEVELS	
RL	Reduced level
FFL	Finished floor level
SFL	Structural floor level
FF	Finished floor

DOORS	
(DX)	Door number
(WX)	Window number
DS	Door Stop



NOTE:
This drawing to be read inconjunction with:
1) Architectural Specification
2) Architectural Drawings
3) Structural Drawings
4) Access Report (if provided)
Drawings are not be be scaled, used figured dimensions only.

Incase of discrepancies contact
Penrith City Council, Project Manager.

- All work to comply with (NCC) National Construction Code, (AS) Australian Standard
- All work to comply with Council conditions of Consent if provided.
- Setout of works to be confirmed on site, prior to demolition/and or works proceeding.
- Location of Sydney Water' sewer mains, sewer connection lines, water pipes, stormwater drains, underground electricity lines and other services must be obtained prior to commencement of any work on site
DIAL BEFORE YOU DIG 1100

REV.	DATE	DESCRIPTION	BY
C	20.05.15	CC SUBMISSION	rmc
B	27.01.15	DA SUBMISSION	rmc
A	19.09.14	FOR CLIENT COMMENT	rmc

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia
Postal Address: GPO Box 60 Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au.

PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

TITLE
ELEVATIONS
SHEET 2 OF 2

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		
SHEET NO. MP-A-13-7			REV[C]

LEGEND

WALLS

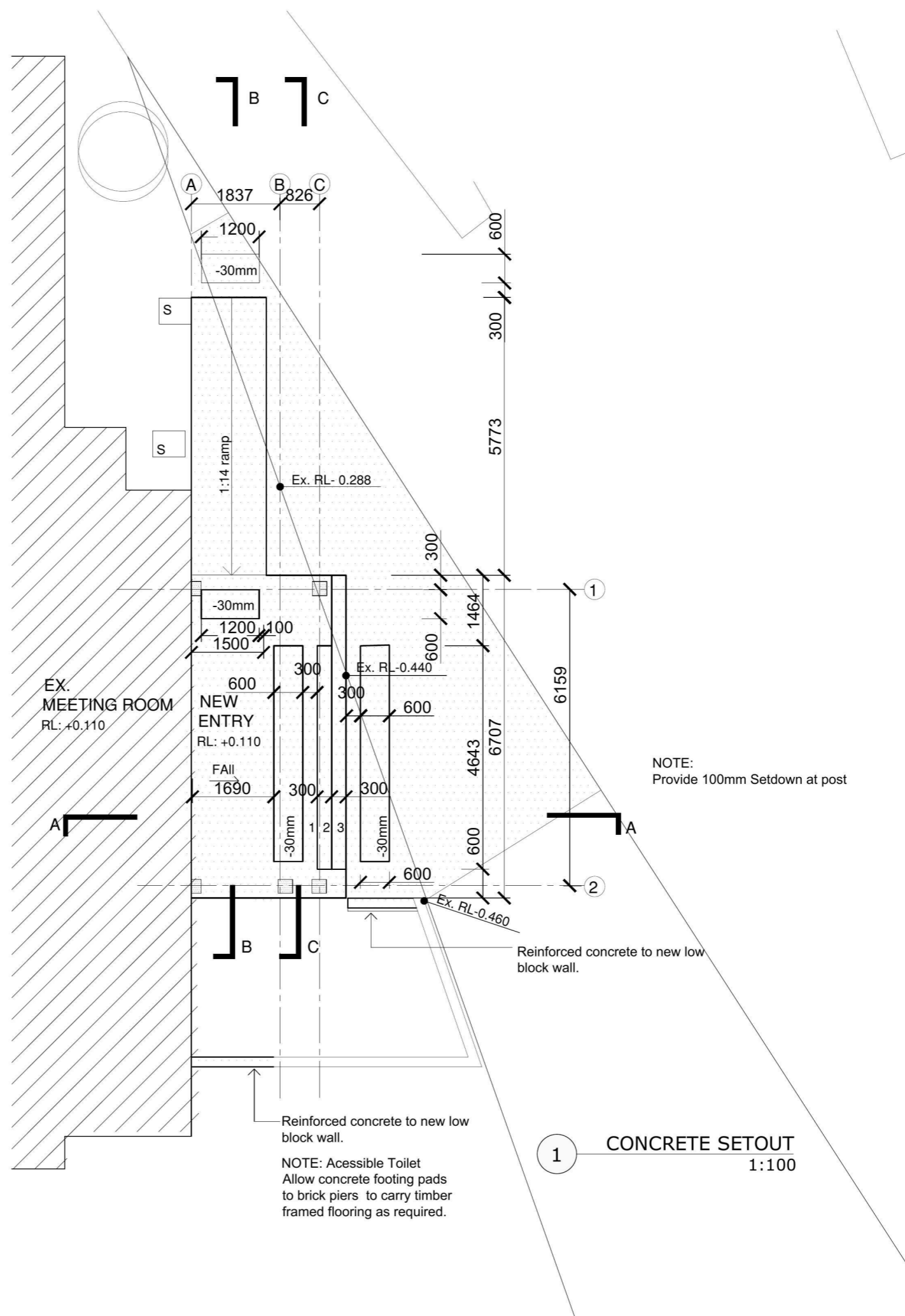
	Existing
	110mm single brick wall
	230mm single brick wall
	Double brick cavity 110 / 50 / 110

STEEL WORKS

PX	Post to Engineers's details
HR	Stainless steel handrail to match adjacent building

LEVELS

RL	Reduced level
FFL	Finished floor level
SFL	Structural floor level
FF	Finished floor



NOTE:
 This drawing to be read inconjunction with:
 1) Architectural Specification
 2) Architectural Drawings
 3) Structural Drawings
 4) Access Report (if provided)
 Drawings are not to be scaled, used figured dimensions only.

Incase of discrepancies contact
 Penrith City Council, Project Manager.

- All work to comply with (NCC) National Construction Code, (AS) Australian Standard
- All work to comply with Council conditions of Consent if provided.
- Setout of works to be confirmed on site, prior to demolition/and or works proceeding.
- Location of Sydney Water' sewer mains, sewer connection lines, water pipes, stormwater drains, underground electricity lines and other services must be obtained prior to commencement of any work on site
DIAL BEFORE YOU DIG 1100

B	20.05.15	CC SUBMISSION	A
A	27.03.15	DA SUBMISSION	A
REV.	DATE	DESCRIPTION	BY

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

ARCHITECT
 PENRITH CITY COUNCIL
 Major Projects Department
 601 High Street
 PENRITH NSW 2750 Australia
 Postal Address:
 GPO Box 60
 Penrith NSW 2751 Australia
 p: (02) 4732 7777
 f: (02) 4732 7958
 e: penrithc@penrithcity.nsw.gov.au

PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

TITLE
CONCRETE SETOUT
ENTRY

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13-10 REV B J

1 CONCRETE SETOUT
 1:100

FINISHES SCHEDULE: EXTERNAL ELEVATIONS					
WEST ELEVATION					
Area	Item	Material	Finish	Colour	Notes
Concrete	na	Reinforced concrete	To match existing	To match existing	na
Balustrade	na	Metal To match existing	To match existing	Paint to match existing	Detail of balustrade to match existing
SOUTH ELEVATION					
Area	Item	Material	Finish	Colour	Notes
Timber window	na	Timber	Dressed, paint	To be confirmed	Timber louvre window
EAST ELEVATION					
Area	Item	Material	Finish	Colour	Notes
Footpath	na	Concrete	To match existing	To match existing	Colour concrete
Brickwork	na	Brick	To match existing	To match existing	Reuse existing sound bricks where possible.
Timber Window	na	To match existing	To match existing	To match existing	Detail to window to match existing
Timber Door	na	To match existing	To match existing	To match existing	Detail to door to match existing
Verandah	na	Concrete	To match adjacent building	To match existing	na
Balustrades	na	Stainless steel	To match adjacent building	To match adjacent building	Detail of handrail to match adjacent building
Handrails	na	Stainless steel	To match adjacent building	To match adjacent building	Detail of handrail to match adjacent building
Column	na	Vitra	To match adjacent building	To match adjacent building	Colour "Sahra"
Column	Skirting	Aluminium angle	To match adjacent building	To match adjacent building	
Roof	PFC	Steel	To match adjacent building	To match adjacent building	
Roof	Ceiling	Villaboard	To match adjacent building	To match adjacent building	
Roof	Roofing	Kliplok	To match adjacent building	To match adjacent building	
Roof	Downpipe	PVC	na	To be advised	
Roof	Spreader	Aluminium	Powdercoat finish	To be advised	Ensure material selection does not create corrosion.

C 27.05.15 CC SUBMISSION rmc
 B 27.01.15 DA SUBMISSION rmc

REV.	DATE	DESCRIPTION	BY

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

ARCHITECT
 PENRITH CITY COUNCIL
 Major Projects Department
 601 High Street
 PENRITH NSW 2750 Australia
 Postal Address: GPO Box 60 Penrith NSW 2751 Australia
 p: (02) 4732 7777
 f: (02) 4732 7958
 e: penrithc@penrithcity.nsw.gov.au

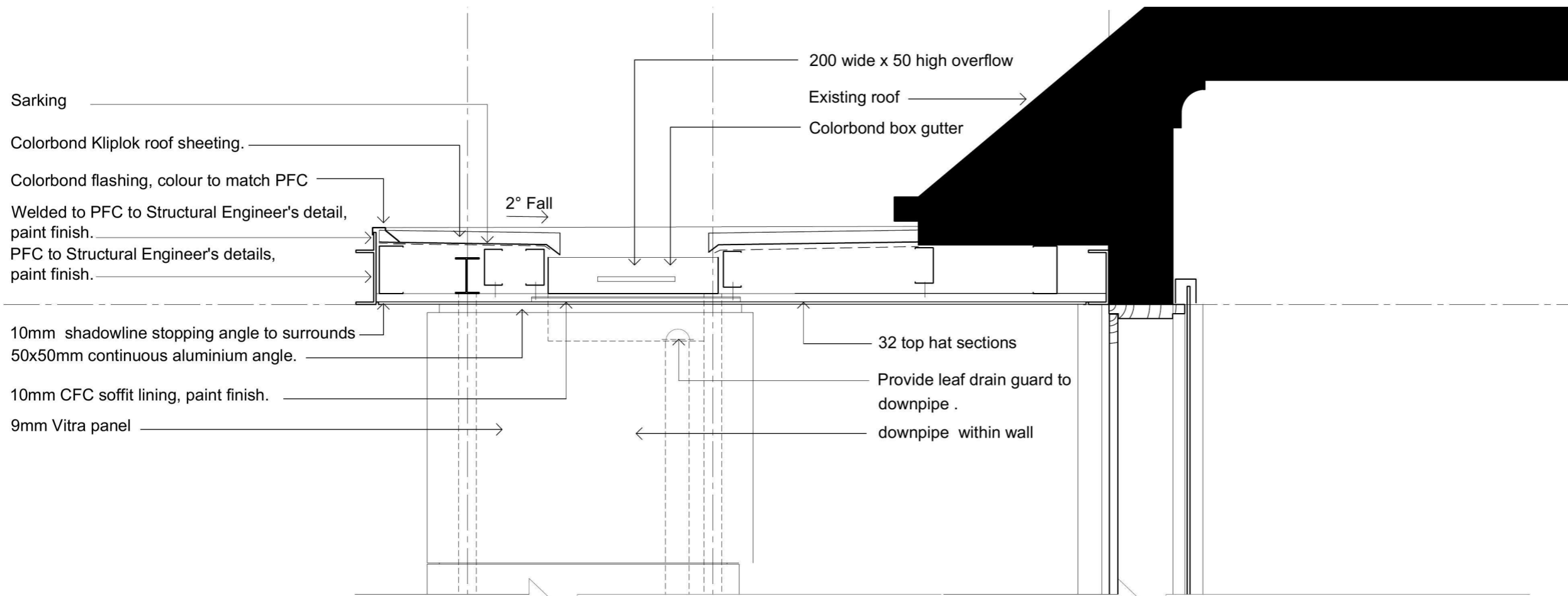
PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

TITLE
 Schedule of Finishes

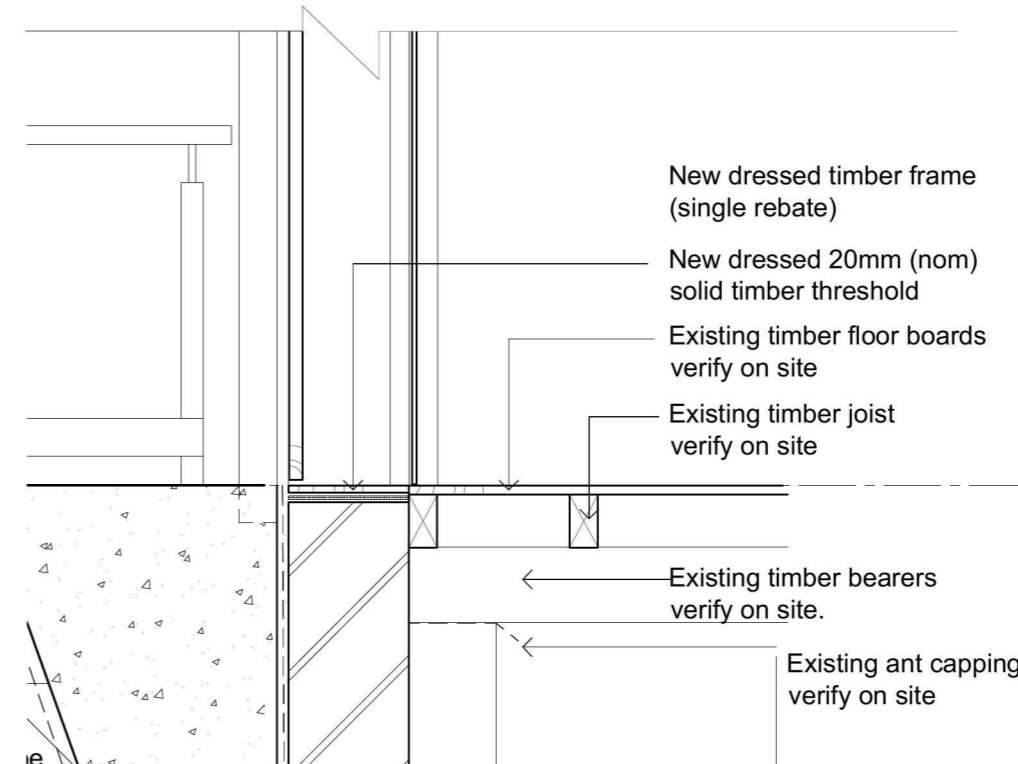
SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13 -9 **REV[C]**

FINISHES SCHEDULE: INTERNAL ELEVATIONS					
STORE/PANTRY					
Area	Item	Material	Finish	Colour	Notes
Floor	Flooring	Timber	To match floor in Meeting room	To match floor in Meeting room	In pantry floor to match Kitchennett
Skirting	na	Timber	Timber	To match skirting in Meeting Room	quad
Wall	na	Rendered	To match render in Meeting Room	To match wall colour of Meeting Room	Paint finish
Cornice	na	Plasterboard	Set paint finish	To match wall colour	Standard 90mm cove cornice
Ceiling	na	Plasterboard	Set paint finish	Ceiling white	
Timber architrave	na	Timber	To match other internal doors	To match other internal doors	
Timber Door	na	Timber	To match other internal doors	To match other internal doors	
KITCHENNETT					
Area	Item	Material	Finish	Colour	Notes
Floor	Flooring	Timber	To match floor in Meeting room	To match floor in Meeting room	na
Skirting	na	Timber	To match skirting in Meeting Room	To match skirting in Meeting Room	na
Wall	na	Rendered	To match render in Meeting Room	To match wall colour of Meeting Room	Paint finish
Cornice	na	Plasterboard	Set paint finish	To match wall colour	To match cornice in Kitchennett
Ceiling	na	Plasterboard	Set paint finish	Ceiling white	
Timber architrave	na	Timber	To match other internal doors	To match other internal doors	
Timber Door	na	Timber	To match other internal doors	To match other internal doors	
ACCESSIBLE TOILET					
Area	Item	Material	Finish	Colour	Notes
Floor	Flooring	Tiles	na	to be confirmed	na
Skirting	na	Cove tile	na	to be confirmed	na
Wall tile	na	Wall Tiles	na	to be confirmed	Paint finish
Wall	above tiles	na	Paint finish	To be confirmed	na
Cornice	na	Plasterboard	Set Paint	Ceiling white	Standard 90mm cove cornice
Ceiling	na	Plasterboard	Set paint finish	Ceiling white	Moisture resistant plasterboard to ceiling.



2 DETAIL: ROOF 1:20



1 DETAIL- THRESHOLD 1:20

B	27.05.15	CC SUBMISSION	B
REV.	DATE	DESCRIPTION	BY

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia
Postal Address: GPO Box 60 Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au.

PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

TITLE
**DETAILS
ENTRY ROOF AND THRESHOLD**

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13-14 REV B]

ELECTRICAL

- (S) Motion sensor
- (K) Smoke alarm
- (E) Emergency luminaire
(8W recessed- equal to pierlite "flyfire"
8W Tungsten Halogen 85mm reflector
NiMH Battery Split Pack Cat FF685,
or equal.
- (E) Recessed Emergency Warning
Speaker equal to AMPAC 100mm
recessed ceiling speaker Cat No:
218-0008 (speaker)218-003 (grill)
or equal.
- (L1) Recessed LED downlight, IP65
100mm dia, with white trim,
connected to motion sensor
- (L2) Recessed LED downlight
100mm dia, with white trim
Connected to motion sensor
- (L3) Recessed LED Downlight IP65,
100mm dia, white trim
connected to PE cell

NOTES:

1. Design of Electrical Services to be carried out by Contractor. Cost of design to be borne by Contractor.
2. Smoke alarm back to base, with a NESS Secure Link GP, (PSTN, GSM +GPRS dialer)
3. All work to be carried out in accordance with AS/NZS 3000:2007, NNC and requirements of the supply authority and all other relevant Australian standards.
4. Existing services not shown on drawings, contractor shall be responsible to any damage caused to the existing service.
5. All new cabling to be reticulated in conduit, unless otherwise noted, to be chased or concealed in ceiling/wall cavity.
6. Contractor to utilise space on building distribution board and supply and install new 20A earth leakage circuit breaker for each new sub-circuit.
7. Lighting and exhaust fans in Accessible toilet to be switched with occupancy sensor c/w time switch set to minimum five (5) minutes delay.
8. External lighting to be switched with existing adjacent building external lighting time/PE cell control.
9. Existing surface mounted luminaire to be controlled by new ceiling mounted movement sensor. Existing switch to be wired in series with new movement sensor.

LEGEND

WALLS

- Existing
- 110mm single brick wall
- 230mm single brick wall
- Double brick cavity 110 / 50 / 110

STEEL WORKS

- PX Post to Engineers's details
- HR Stainless steel handrail to match adjacent building

LEVELS

- RL Reduced level
- FFL Finished floor level
- SFL Structural floor level
- FF Finished floor

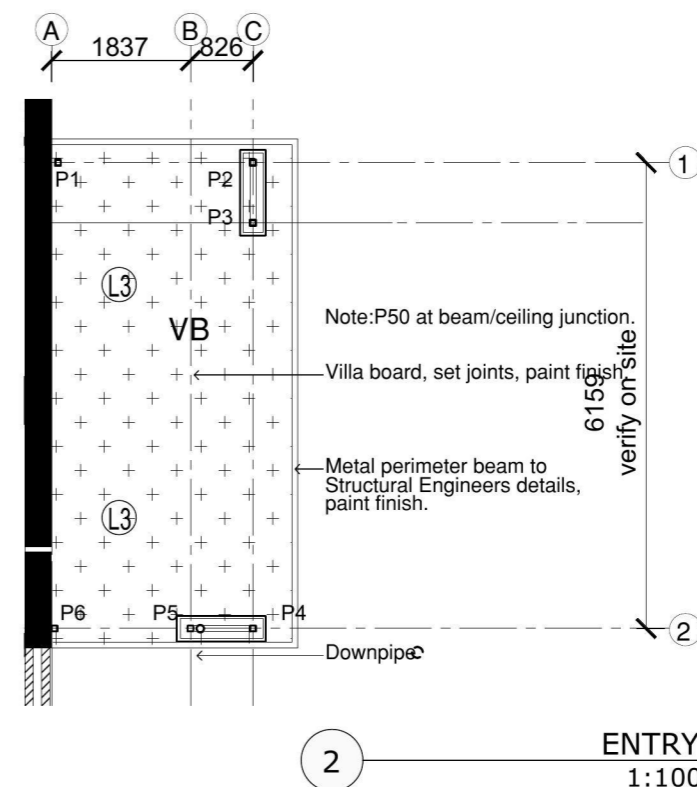
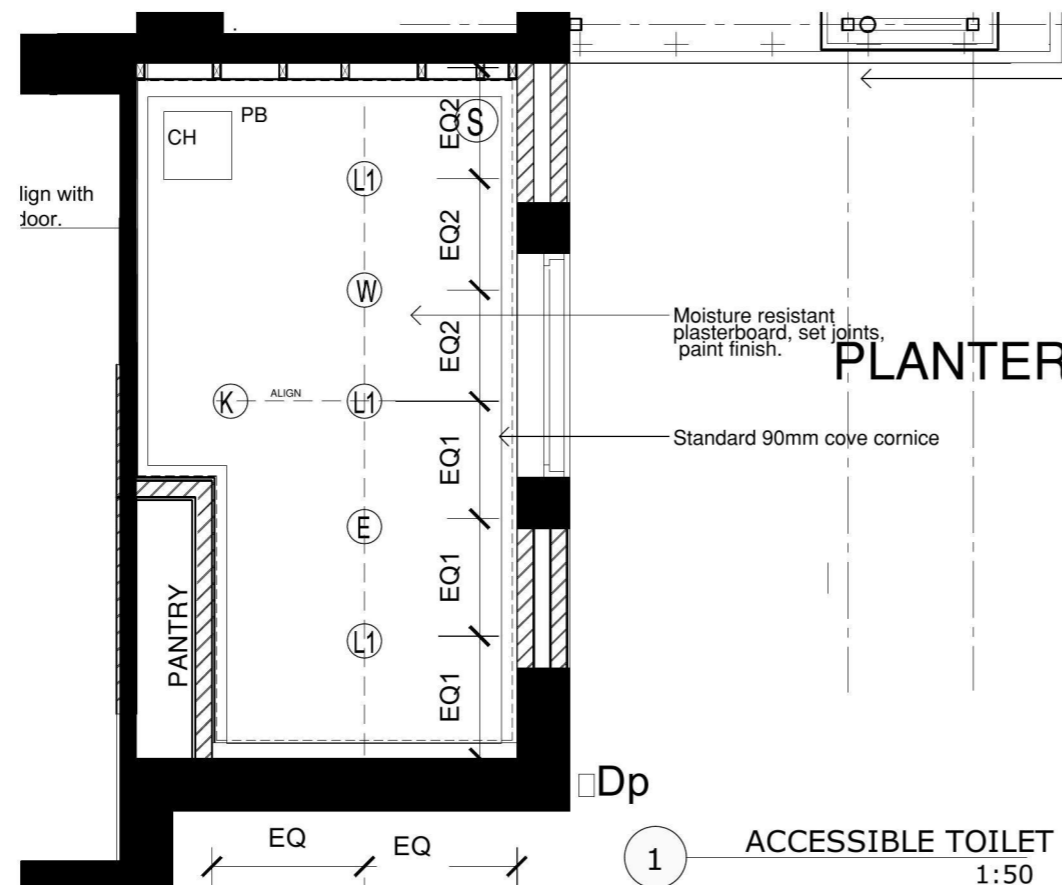
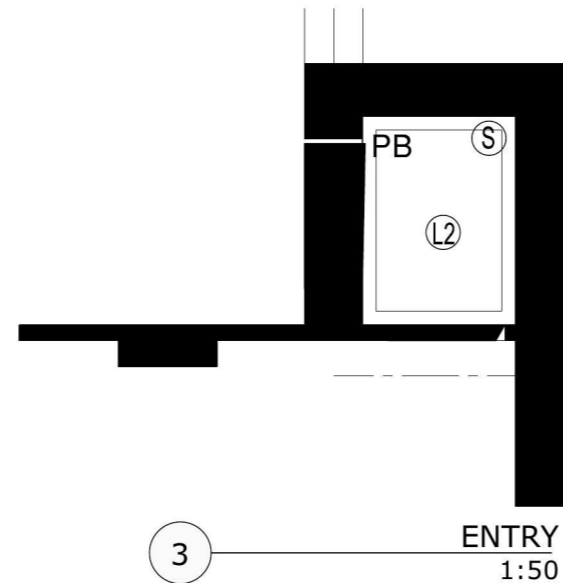
DOORS

- (DX) Door number
- (WX) Window number
- DS Door Stop

CEILING

- PB Plasterboard,
Paint finish - white (matt)
- MB Moisture resistant Plasterboard,
paint finish- white (matt)
- VB Villa board,
paint finish-white(matt)
- CH Access panel
450x450mm (if required)

NOTE:
Provide a standard 90mm plasterboard cove cornice to Accessible Toilet, Pantry and Store Room.



B	20.05.15	CC SUBMISSION	B
A	27.03.15	DA SUBMISSION	A
REV.	DATE	DESCRIPTION	BY

CONSTRUCTION CERTIFICATE

CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

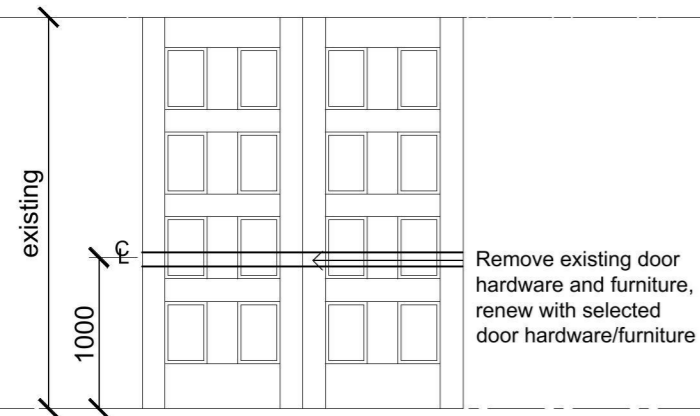
ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia
Postal Address:
GPO Box 60
Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au.

PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

TITLE
CEILING PLAN
ENTRY AND ACCESSIBLE TOILET

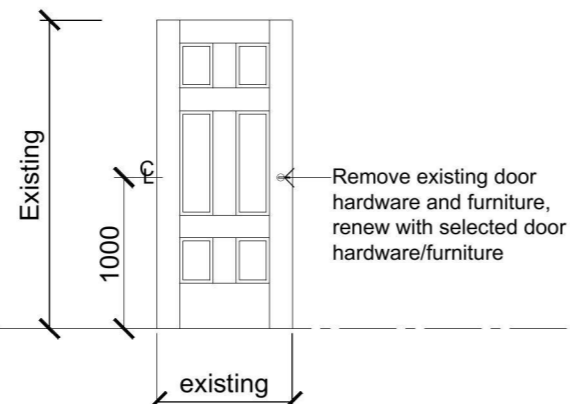
SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13-13 **REV[B]**



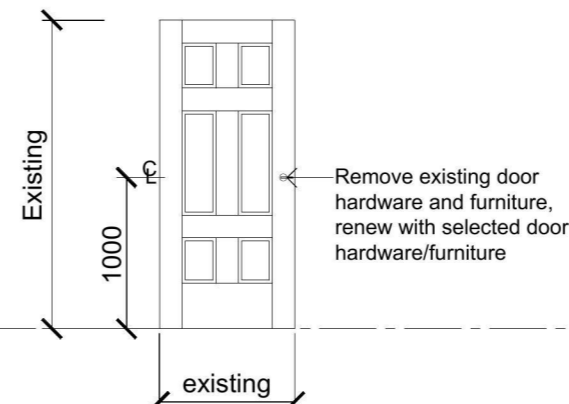
1 ELEVATION D01
1:50

DOOR SCHEDULE:	
Door Number:	D01 (existing)
Use:	Exit door
Door leaf:	Existing Soild Timber moulding and panels
Frame:	Existing - Solid timber
Hinges:	Existing
Locking:	Removal all existing locking devices Provide - Internal - free at all times External - free with lock
Door Hardware:	Panic bar
Door Furniture:	to be advised
Keying:	Abloy (by Council)
Other:	



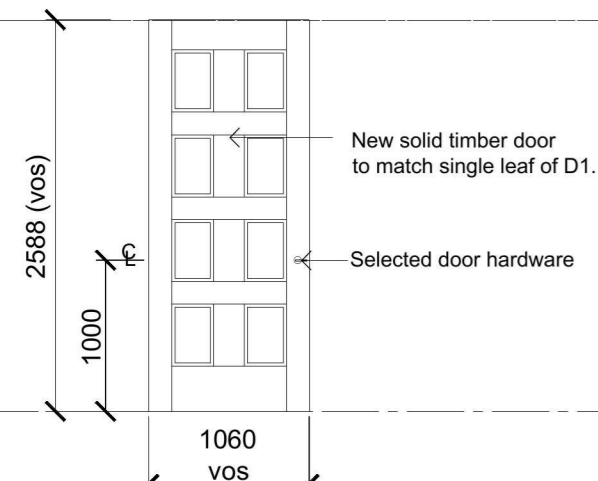
2 ELEVATION D05
1:50

DOOR SCHEDULE:	
Door Number:	D05
Use:	Store
Door leaf:	Existing
Frame:	Existing
Hinges:	Existing
Locking:	Store room lock
Closer:	na
Door Hardware:	to be advised
Door Furniture:	to be advised
Keying:	to be advised
Other:	na



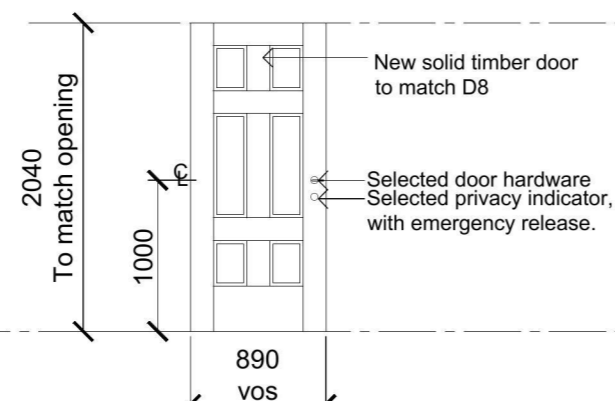
3 ELEVATION D12
1:50

DOOR SCHEDULE:	
Door Number:	D12
Use:	Kitchenette
Door leaf:	Existing
Frame:	Existing
Hinges:	Existing
Locking:	Free at all times
Closer:	na
Door Hardware:	to be advised
Door Furniture:	to be advised
Keying:	to be advised
Other:	na



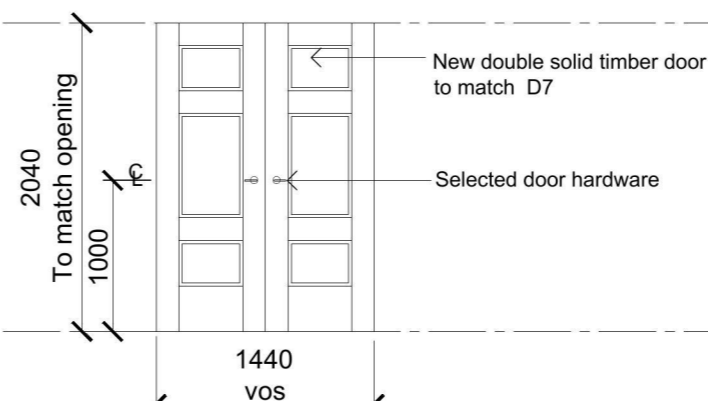
4 ELEVATION D10
1:50

DOOR SCHEDULE:	
Door Number:	D10
Use:	Exit door
Door leaf:	40mm (nom)Soild Timber moulding and panels to match D1
Frame:	Solid timber - single rebate
Hinges:	4 x parliment hinges
Locking:	Internal - free at all times External - free with lock
Door Hardware:	to be advised
Door Furniture:	to be advised
Keying:	Abloy (by Council)
Other:	Door catch to secure door to wall when open



5 ELEVATION D08
1:50

DOOR SCHEDULE:	
Door Number:	D08
Use:	Toilet
Door leaf:	40mm (nom)Soild Timber moulding and panels to match D1
Frame:	Solid timber - double rebate
Hinges:	to be advised
Locking:	Privacy with emergency release
Closer:	Dorma TS93 EN1-5 (located on pull side)
Door Hardware:	to be advised
Door Furniture:	to be advised
Keying:	to be advised
Other:	na



6 ELEVATION D13
1:50

DOOR SCHEDULE:	
Door Number:	D13
Use:	pantry
Door leaf:	40mm (nom)Soild Timber moulding and panels to match D7
Frame:	Solid timber - single rebate
Hinges:	to be advised
Locking:	to be advised
Door Hardware:	to be advised
Door Furniture:	to be advised
Keying:	to be advised
Other:	na

REV.	DATE	DESCRIPTION	BY
B	20.05.15	CC SUBMISSION	B

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia
Postal Address:
GPO Box 60
Penrith NSW 2751 Australia
t: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au.

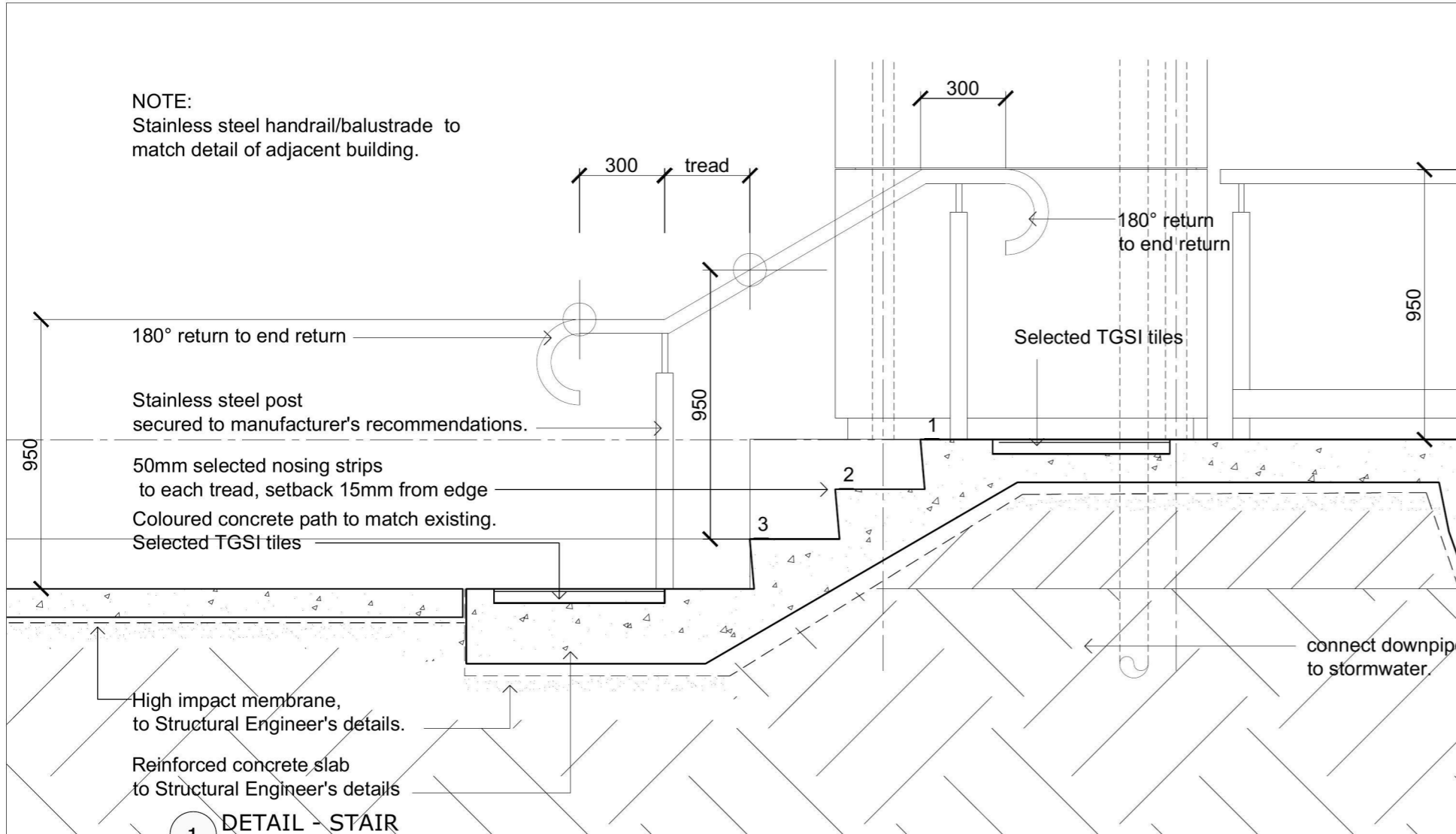
PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

TITLE
**DOOR & WINDOW DETAILS
SHEET 1 OF 2**

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13-16 REV[B]

NOTE:
Stainless steel handrail/balustrade to match detail of adjacent building.



180° return to end return
Stainless steel post secured to manufacturer's recommendations.
50mm selected nosing strips to each tread, setback 15mm from edge
Coloured concrete path to match existing.
Selected TGSi tiles

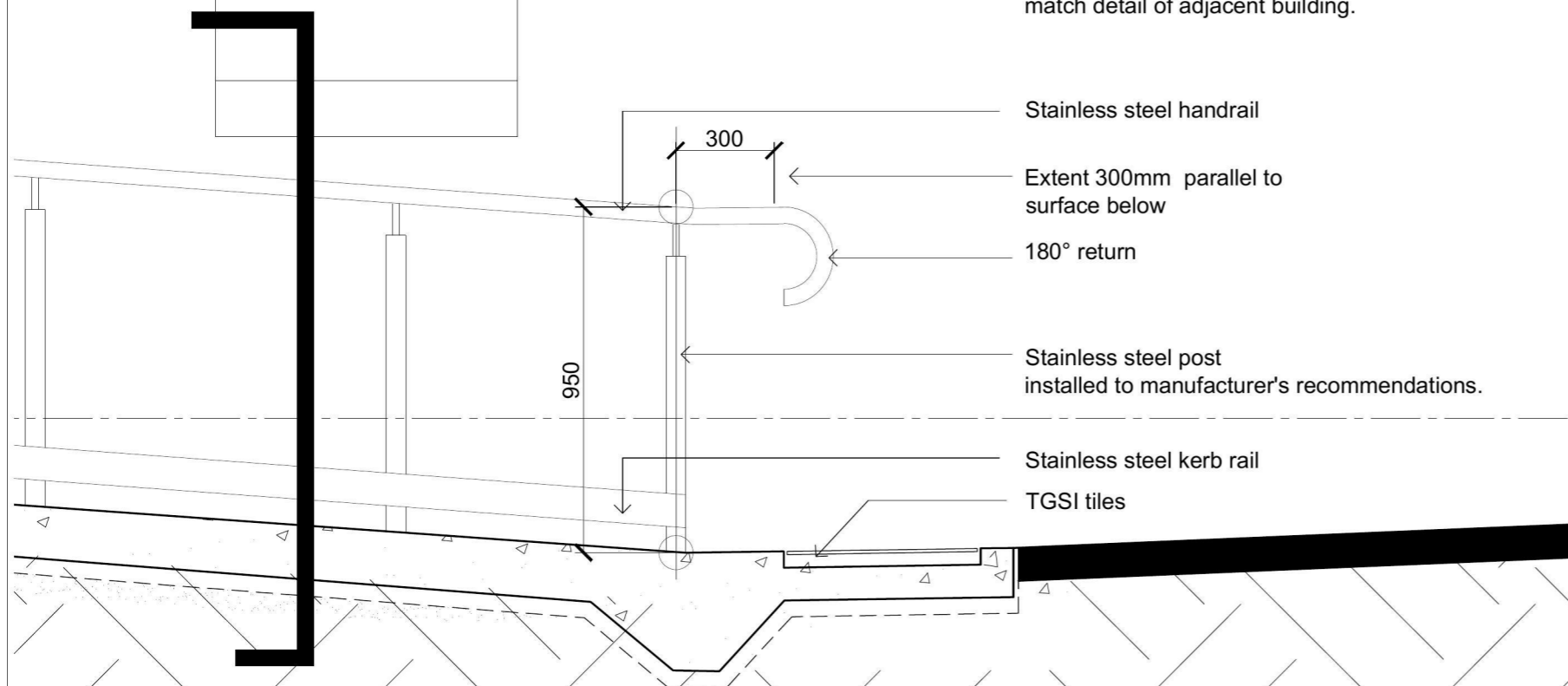
High impact membrane, to Structural Engineer's details.

Reinforced concrete slab to Structural Engineer's details

1
DETAIL - STAIR
1:20

A

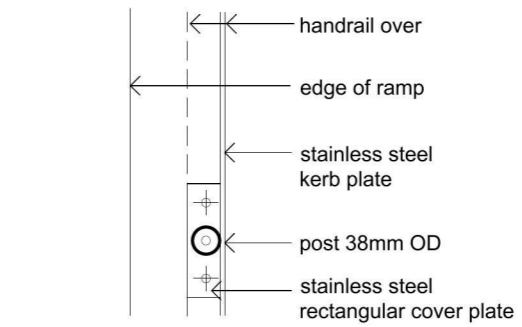
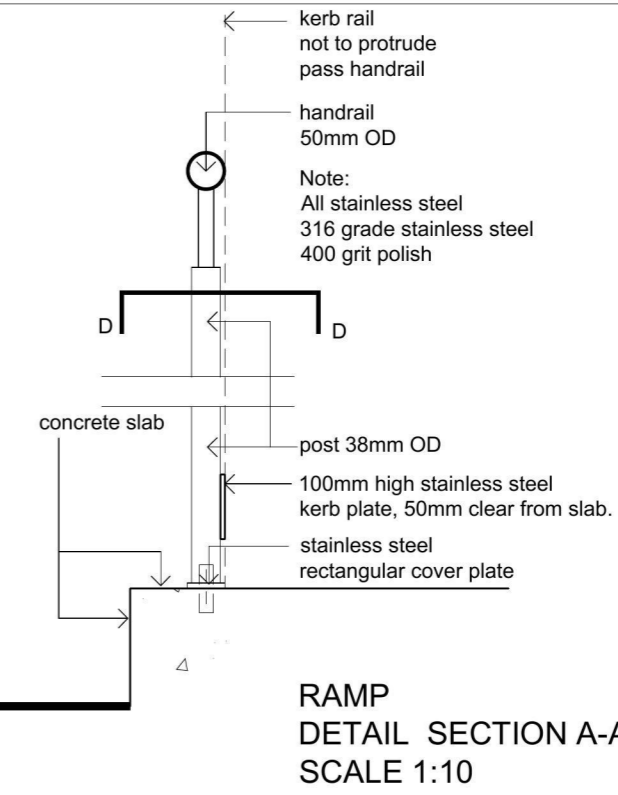
NOTE:
Stainless steel balustrade to match detail of adjacent building.



Stainless steel handrail
Extent 300mm parallel to surface below
180° return
Stainless steel post installed to manufacturer's recommendations.
Stainless steel kerb rail
TGSi tiles

2
DETAIL - RAMP
1:20

A



RAMP
DETAIL SECTION A-A
SCALE 1:10

RAMP
DETAIL PLAN D-D
SCALE 1:10

B	20.05.15	CC SUBMISSION	B
REV.	DATE	DESCRIPTION	BY

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department
601 High Street
PENRITH NSW 2750 Australia
Postal Address:
GPO Box 60
Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au

PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

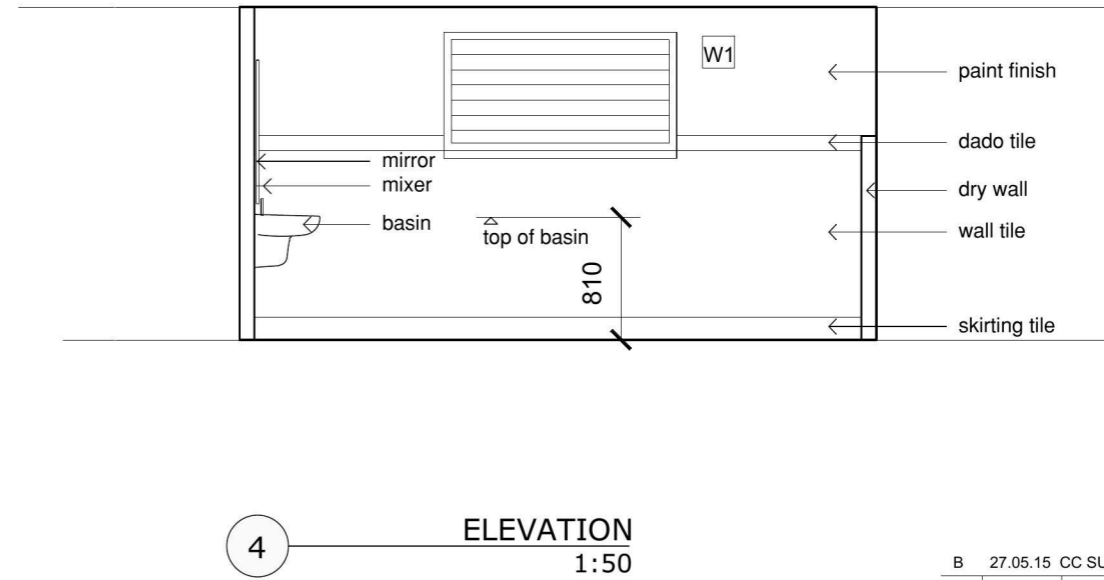
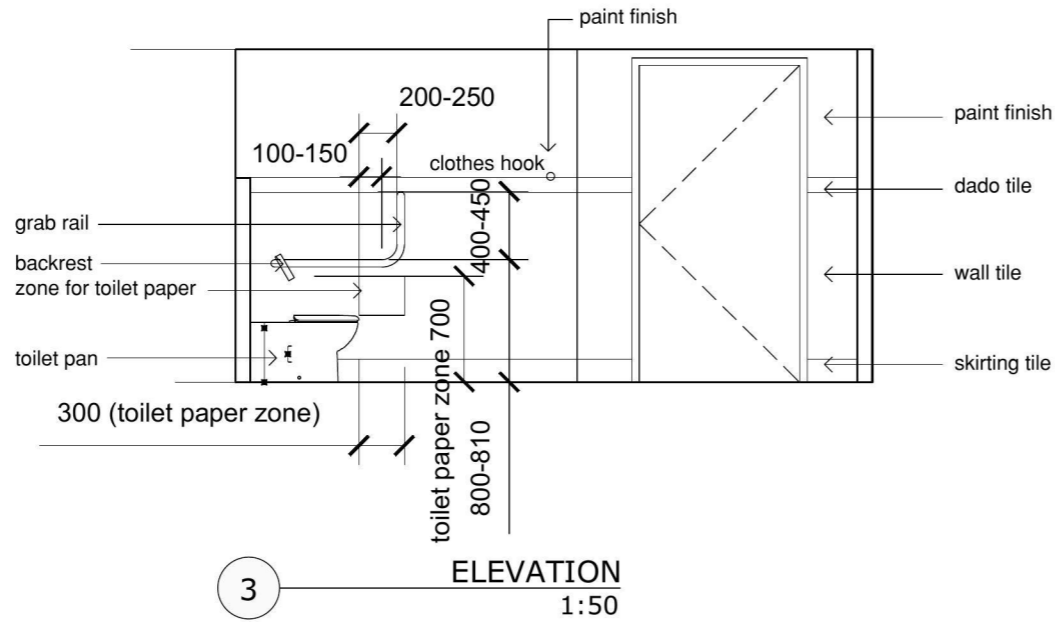
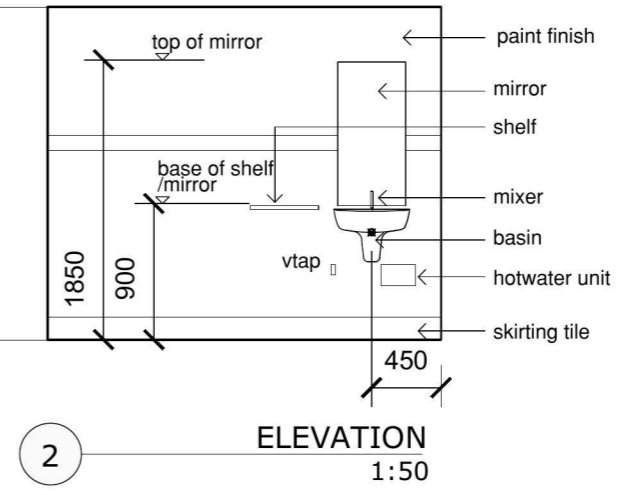
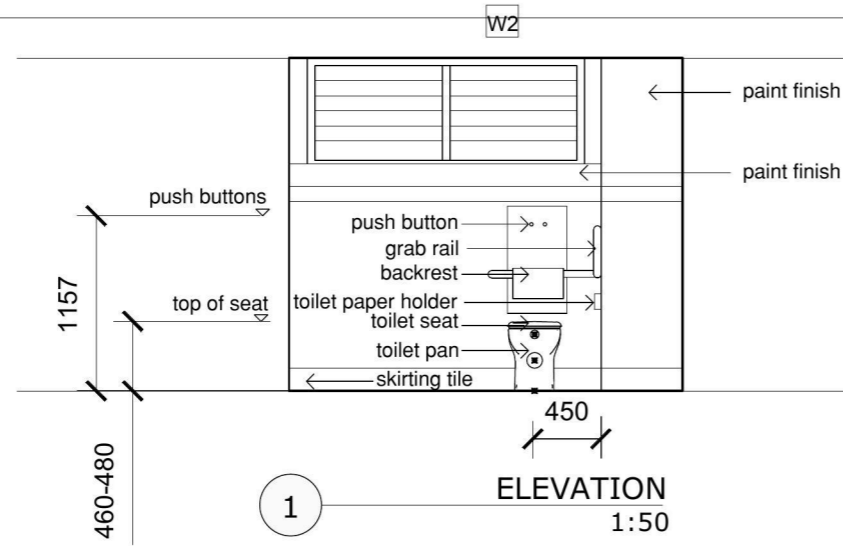
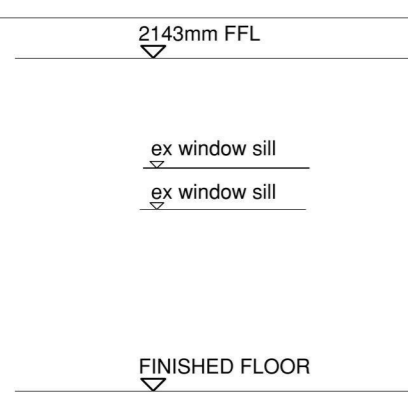
TITLE
**DETAILS
STAIR & RAMP**

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13-15 REV[B]

NOTE:
This drawing to be read in conjunction with:
1) Architectural Specification
2) Architectural Drawings
3) Structural Drawings
4) Access Report (if provided)
Drawings are not to be scaled, used figured dimensions only.

Incase of discrepancies contact
Penrith City Council, Project Manager.



FIXTURES & FITTINGS: TOILET			
ITEM	MAN.	MODEL	DETAILS
WC pan	Caroma	Leda Cre Invisi II Wall faced toilet suite with backrest	
WC pan infill	Enware	Care design toilet pan infill	
WC seat	Caroma	Carevelle Care single flap seat	colour -to be confirmed
Cistern buttons	Caroma	Invisi Series II custom care buttons	Chrome
WC access panel	Caroma	Invisi Series II Dual FLush Access panel	Satin Stainless steel
Basin	Caroma	Care 600 wall basin with single hole and shroud	
Mixer	Caroma	Aqua basin mixer	To be confirmed before ordering
Mirror	tba	na	450mm wide x 1000mm high, framed
Shelf	tba	na	obscure framed glass 150mm deep x 450mm wide
Clothes hook	tba	tba	
Toilet paper	tba	tba	
Soap dispenser	tba	tba	
Hotwater unit	RBA	Chronomite RBA-240-AU35C	40 amps Chromite 35 degree C set with pressure balanced TMV.

Note:
TBA= to be advised
New sanitary drainage to be connected to existing sewer.
Ensure all fittings and fixtures are installed to comply with AS1428.1 as per manufacturer's recommendations.
Upgrade power supply to three phase is required.
Hot water and cold water isolation valves in ceiling space. Provide 450x450 access panel in ceiling.

B	27.05.15	CC SUBMISSION	B
REV.	DATE	DESCRIPTION	BY

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

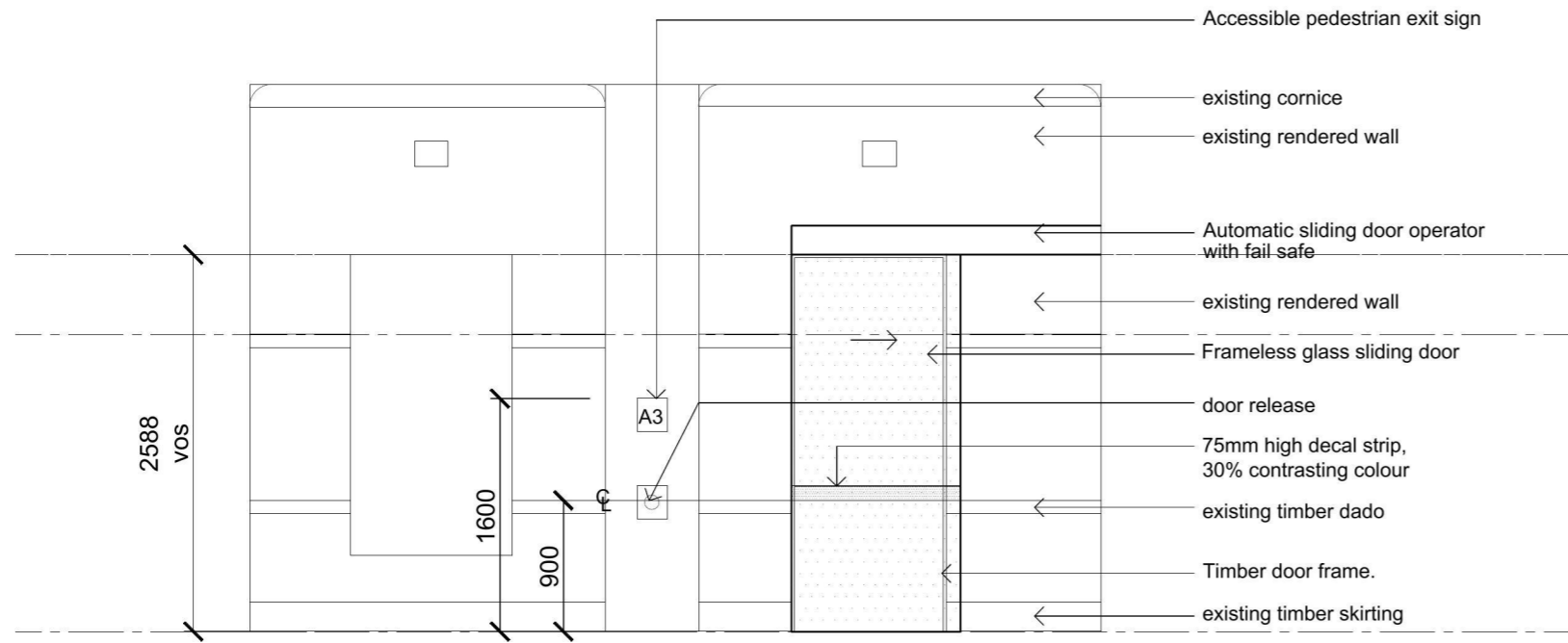
ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department
601 High Street
PENRITH NSW 2750 Australia
Postal Address: GPO Box 60 Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au

PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

TITLE
ACCESSIBLE TOILET DETAILS

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

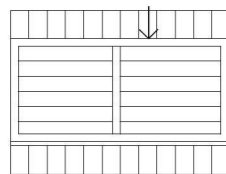
SHEET NO.
MP-A-13-18 REV[B]



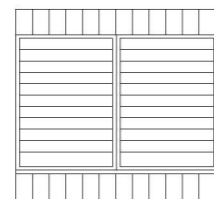
1 ELEVATION - INTERNAL D11
1:50

Note:
New sliding door to be clear of existing timber architrave and dado, pack out as required.

DOOR SCHEDULE:	
Door Number:	D11
Type:	Privacy Door System
Manufacturer:	Dorma
Door:	ES200 Automatic Sliding door
External plate:	
Internal Plate:	



W2



W3

5 WINDOW W2
1:50

6 WINDOW W3
1:50

WINDOW SCHEDULE:	
W2 + W3	
Type:	Timber Louvre Windows
Manufacturer:	Stegar or equal
Frame:	Timber framed, paint finish, colour to be confirmed
Louvre blades:	152mm timber blades (hardwood), paint finish colour to be confirmed
Keyed:	Clear andoised.

REV.	DATE	DESCRIPTION	BY
B	20.05.15	CC SUBMISSION	B

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

ARCHITECT

PENRITH CITY COUNCIL
Major Projects Department.
601 High Street
PENRITH NSW 2750 Australia

Postal Address: Penrith NSW 2751 Australia
P: (02) 4732 7777
F: (02) 4732 7958
E: penrithc@penrithcity.nsw.gov.au

PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

TITLE
**DOOR & WINDOW DETAILS
SHEET 2 OF 2**

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13-17 REV[B]



1 ————— SIGN A1
NTS



2 ————— SIGN A2
NTS



3 ————— SIGN A3
NTS



4 ————— SIGN A4
NTS

ACCESSIBLE SIGNAGE

A1 Unisex Accessible toilet
VISA-UATK (Handing to be confirmed)

A2 VISA-XL-Lev1
Accessible pedestrian entrance
(contact Visualise.net.com.au)

A3 VISA-AXL-Lev1
Non accessible pedestrian exit.

A4 Accessible Entry + Arrow

Note:

1. All Signage to be Visualise (braille and tactile) unless otherwise noted.
2. All signs to be Arcylic unless otherwise noted.
3. Install to manufacturers recommendations
4. Provide packing plate when securing when securing to brickwork.
5. Signage to be installed as per AS1428.1-2009
6. Signage to be located 1200mm FFL, 65mm clear from door frame, unless otherwise noted

B	20.05.15	CC SUBMISSION	RMC
REV.	DATE	DESCRIPTION	BY

CONSTRUCTION CERTIFICATE

CLIENT
PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT

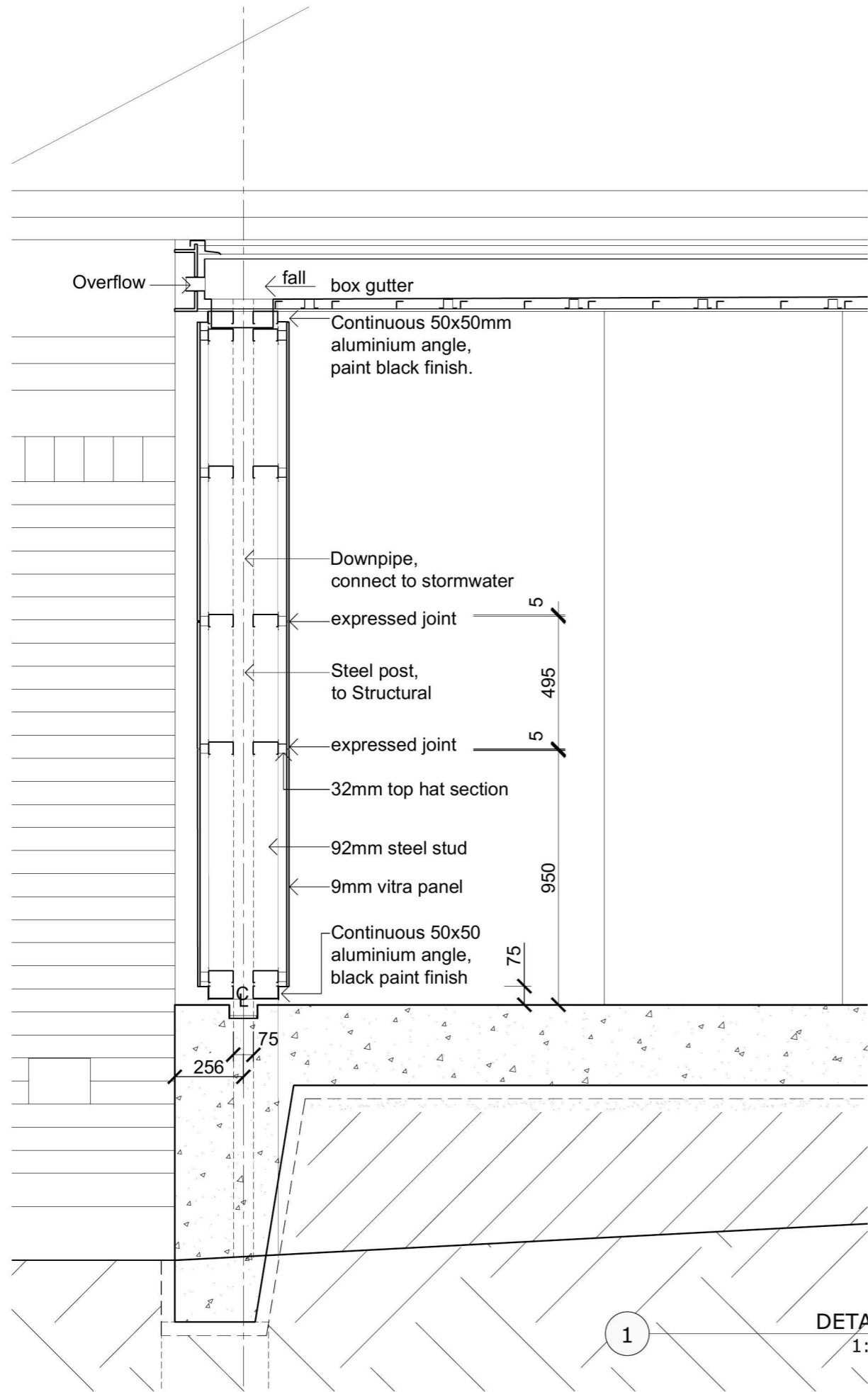
ARCHITECT
PENRITH CITY COUNCIL
Major Projects Department
601 High Street
PENRITH NSW 2750 Australia
Postal Address: GPO Box 60 Penrith NSW 2751 Australia
p: (02) 4732 7777
f: (02) 4732 7958
e: penrithc@penrithcity.nsw.gov.au

PROJECT
FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS

TITLE

SIGNAGE- DETAILS

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		
SHEET NO. MP-A-13 -20			REV[B]



REV.	DATE	DESCRIPTION	BY
B	27.05.15	CC SUBMISSION	RMC

PHASE
CONSTRUCTION CERTIFICATE

CLIENT
**PENRITH CITY COUNCIL
CULTURAL AND COMMUNITY DEVELOPMENT**

ARCHITECT

PENRITH CITY COUNCIL
Major Projects Department
601 High Street
PENRITH NSW 2750 Australia

Postal Address: GPO Box 60 Penrith NSW 2751 Australia
P: (02) 4732 7777
F: (02) 4732 7658
E: penrithc@penrithcity.nsw.gov.au

PROJECT
**FORMER COUNCIL CHAMBERS
ALTERATIONS AND ADDITIONS
29 SWANSON STREET, ST MARYS**

TITLE

DETAIL - VITRA PANEL

SCALE (A3)	DRAWN	RMC	PROJECT CODE
DATE 22-01-2014	APPROVED		

SHEET NO.
MP-A-13-19 REV[B]