

LIST OF CHANGES

Notes:

1. Cupboards for recycling and residual bin each floor provided
2. Unit 2 layout and private open space adjusted to increased deep soil area.
3. Access ramp in the rear removed to increased deep soil area.
4. Waste room and bulky waste storage relocated to ground floor.

GROUND FLOOR PLAN

SCALE 1:100@A1
1:200@A3

ISSUE	DATE	AMENDMENT
A	23.5.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL
D	30.08.19	AMENDED AS REQUESTED BY COUNCIL DATED 29-08-19

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS IF IN DOUBT CALL CAD PLANS PTY LTD.
5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS NTA-1982.
6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER AS INDICATED ON THE STORMWATER PLANS DESIGNED BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED 'ISSUED FOR CONSTRUCTION'.



PROJECT STATUS:
DEVELOPMENT APPLICATION

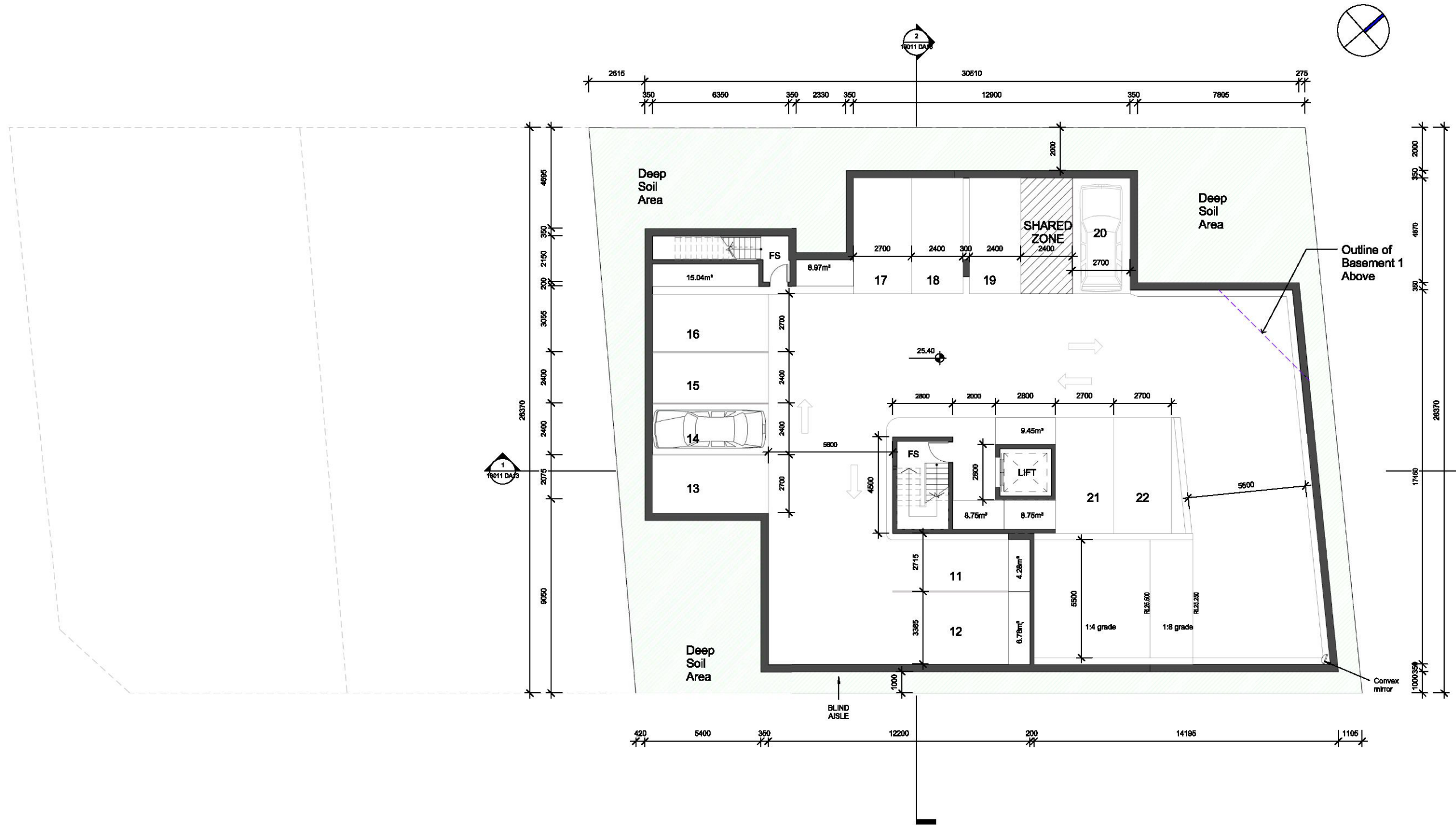
COPYRIGHT:
THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS Pty Ltd AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS Pty Ltd

PROJECT :
RESIDENTIAL BUILDING DEVELOPMENT
SITE ADDRESS:
29-31 CASTLEREAGH ST, PENRITH, NSW 2750
CLIENT:

SHEET TITLE:
GROUND FLOOR PLAN

DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: A1: 1:100
A3: 1:200

ISSUE:
D
SHEET :
16011 DA05



BASEMENT PLAN LVL-2

SCALE 1:100@A1
1:200@A3

pens
Design Studio
ABN 47 814 249 889
REGISTRATION NUMBER: 6886

ISSUE	DATE	AMENDMENT
A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL

CAD Plans
DESIGN Solutions
38 Cumberland Rd Auburn NSW 2144
P: (02) 8088 2177
M: 0418009172
E: info@cadplans.net.au
PTV LTD
ABN 88 808 742 281

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARD AND APPLICABLE DEVELOPMENT CONSENT CONSIDERATIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND SUBMITTALS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYORS.
4. PAVED DRIVEWAYS TO TAHS PROVIDED OVER SCALED DIMENSIONS, IF IN ACCORD CALL CAD PLANS PTY LTD.
5. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS NBS 1:2012.
6. ROOF WATER AND SOIL DRAINAGE TO BE DISPOSED OF BY THE APPROVED OWNER AS NOTED ON THE STORMWATER PLANS SUBMITTED BY THE PROPERTY OWNER.
7. ALL STRUCTURAL DETAILS TO BE DETERMINED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED FOR CONSTRUCTION.



PROJECT STATUS:
DEVELOPMENT APPLICATION

COPYRIGHT:
THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS PTY LTD.

PROJECT:
RESIDENTIAL BUILDING DEVELOPMENT
SITE ADDRESS:
29-31 CASTLEREAGH ST, PENRITH, NSW 2750
CLIENT:

SHEET TITLE:
BASEMENT PLAN LVL-2

DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: A1 - 1:100
A3 - 1:200

ISSUE:
C
SHEET:
16011 DA03

W:\16011 29-31 Castlereagh St Penrith\Architectural\REV\16011-29-31 Castlereagh St Penrith-Sales C.rvt

BASEMENT PLAN LVL-1

SCALE 1:100@A1
1:200@A3

ISSUE	DATE	AMENDMENT
A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHALL BE VERIFIED ON SITE BY BUILDERS PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND SUBMITTALS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYORS.
4. PAVED DRIVEWAYS ARE TO HAVE PERMEABLE OPEN GRADED DIMENSIONAL 100mm DEPOSIT GALL AND PLANT PP1 L20.
5. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIER 1 FRAMING CODE AS N/A - 1802.
6. ROOF WATER AND SOIL DRAINAGE TO BE DISPOSED OF BY THE APPROVED OWNER AS NOTED ON THE FLOOR PLAN AND SHOWN BY THE STORMWATER ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DETERMINED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED FOR CONSTRUCTION.



PROJECT STATUS:
DEVELOPMENT APPLICATION

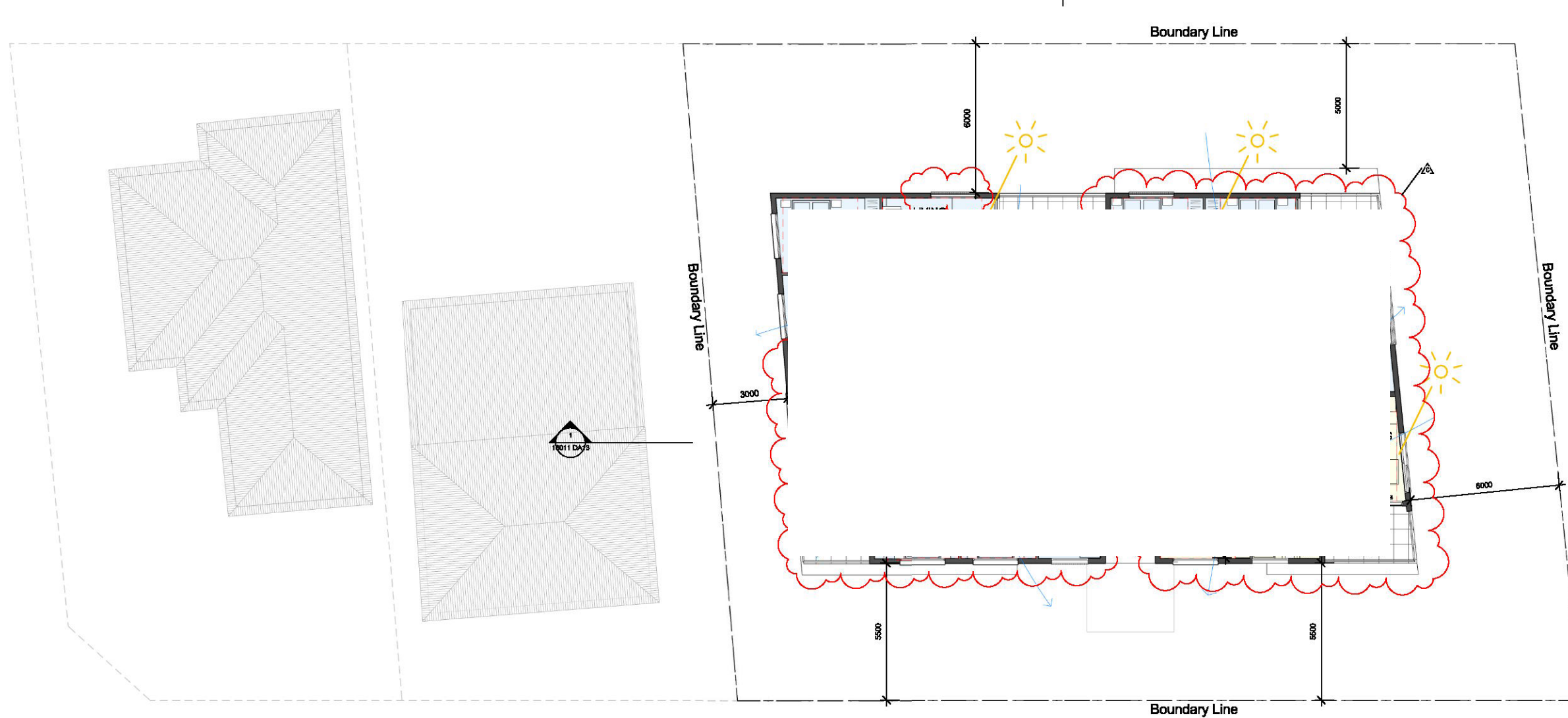
COPYRIGHT:
THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS Pty Ltd AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS Pty Ltd

PROJECT:
RESIDENTIAL BUILDING DEVELOPMENT
SITE ADDRESS:
29-31 CASTLEREAGH ST, PENRITH, NSW 2750
CLIENT:

SHEET TITLE:
BASEMENT PLAN LVL-1

DESIGNER: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: A1 - 1:100
A3 - 1:200

ISSUE:
C
SHEET:
16011 DA04



LIST OF CHANGES

Notes:

- Unit 5,6,7,8,9,10,12,13,15,16 and 17 layout adjusted to maximise solar access.
- Additional window provided in Unit 7 and Unit 14.
- Metal wall cladding in level 4 applied.
- Unit 5,6,9,12 and 15 balconies adjusted.

LEVEL 1

SCALE 1:100@A1
1:200@A3

Viewing Angle
Internal Solar Study

1B UNIT
2B UNIT
3B UNIT

ISSUE	DATE	AMENDMENT
A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHALL BE VERIFIED ON SITE BY THE CLIENT PRIOR TO COMMENCEMENT OF WORKS.
- ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
- ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND SUBMISSIONS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYORS.
- PROPOSED CONSTRUCTION TO TRUE PHYSICAL DIMENSIONS OF EXISTING STRUCTURE, IF A COURT CALL, CAD PLANS PTY LTD.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE RISK MANAGEMENT STANDARD AS 5387-1:2012.
- ROOF PITCHES AND MATERIALS SHALL BE AS SPECIFIED BY THE APPROVED DRAWINGS AS NOTED ON THE STRUCTURAL PLANS DRAWN BY THE STRUCTURAL ENGINEER.
- ALL STRUCTURAL ELEMENTS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
- DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED FOR CONSTRUCTION.



PROJECT STATUS:

DEVELOPMENT APPLICATION

COPYRIGHT:

THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS PTY LTD.

PROJECT:

RESIDENTIAL BUILDING DEVELOPMENT
SITE ADDRESS:
29-31 CASTLEREAGH ST, PENRITH, NSW
2750
CLIENT:

SHEET TITLE:

LEVEL-1

DESIGN:

NS

DRAWN:

AJRSA

DATE:

JUNE 2016

SCALE:

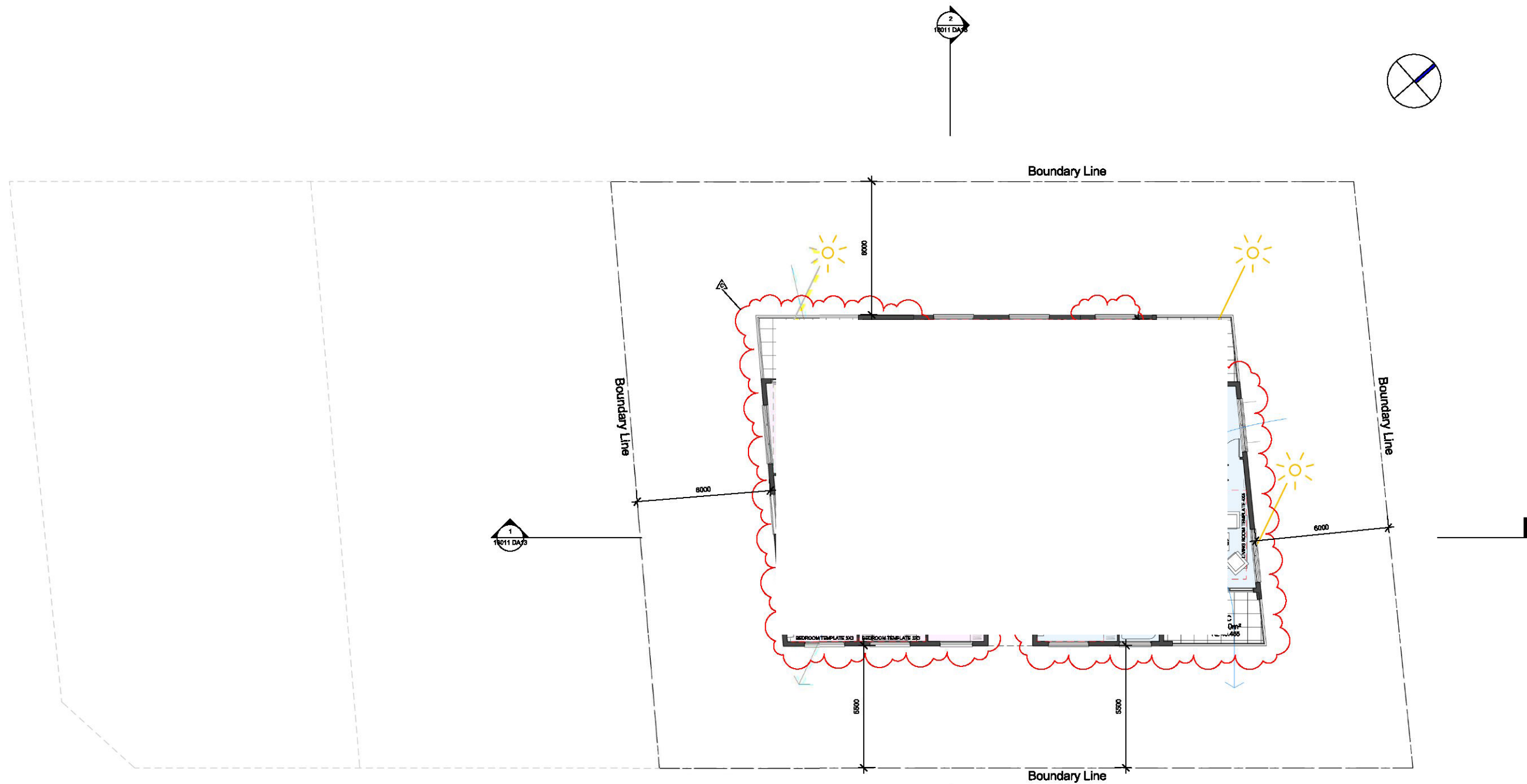
A1 - 1:200
A3 - 1:400

ISSUE:

C

SHEET:

16011 DA06



LIST OF CHANGES

Notes:

- Unit 5,6,7,8,9,10,12,13,15,16 and 17 layout adjusted to maximise solar access.
- Additional window provided in Unit 7 and Unit 14.
- Metal wall cladding in level 4 applied.
- Unit 5,6,9,12 and 15 balconies adjusted.

LEVEL 3

SCALE 1:100@A1
1:200@A3

pens
Design Studio
ABN 47 814 249 880
REGISTRATION NUMBER: 6686

ISSUE	DATE	AMENDMENT
A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL

CAD Plans
DESIGN Solutions
38 Cumberland Rd Auburn NSW 2144
P: (02) 8088 2177
M: 0416009172
E: info@cadplans.net.au
ABN 55 608 740 281

NOTES:
1. ALL DIMENSIONS ARE UNLESS OTHERWISE STATED AND SHALL BE VERIFIED ON SITE BY THE CLIENT PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND SUBMISSIONS ARE SUBJECT TO PRELIMINARY SURVEY BY SURVEYORS.
4. PAINTED DIMENSIONS TO THESE PLANS/DESIGNS OVER SCALE DIMENSIONS IF IN CONFLICT CALL CAD PLANS PTY LTD.
5. ALL DIMENSION CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMEWORK AS PER AS 1600.
6. ROOF PITCHES AND MATERIALS TO BE DETERMINED BY THE APPROVED ENGINEER AS REPORTED ON THE STRUCTURAL PLANS SUBMITTED BY THE CLIENT TO THE COUNCIL.
7. ALL STRUCTURAL ELEMENTS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS EXPLICITLY MARKED FOR CONSTRUCTION.



PROJECT STATUS:

DEVELOPMENT APPLICATION

COPYRIGHT:
THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS PTY LTD.

PROJECT:

RESIDENTIAL BUILDING DEVELOPMENT

SITE ADDRESS:

29-31 CASTLEREAGH ST, PENRITH, NSW

2750

CLIENT:

SHEET TITLE:

LEVEL-3

DESIGN:

NS

DRAWN:

AJRSA

DATE:

JUNE 2016

SCALE:

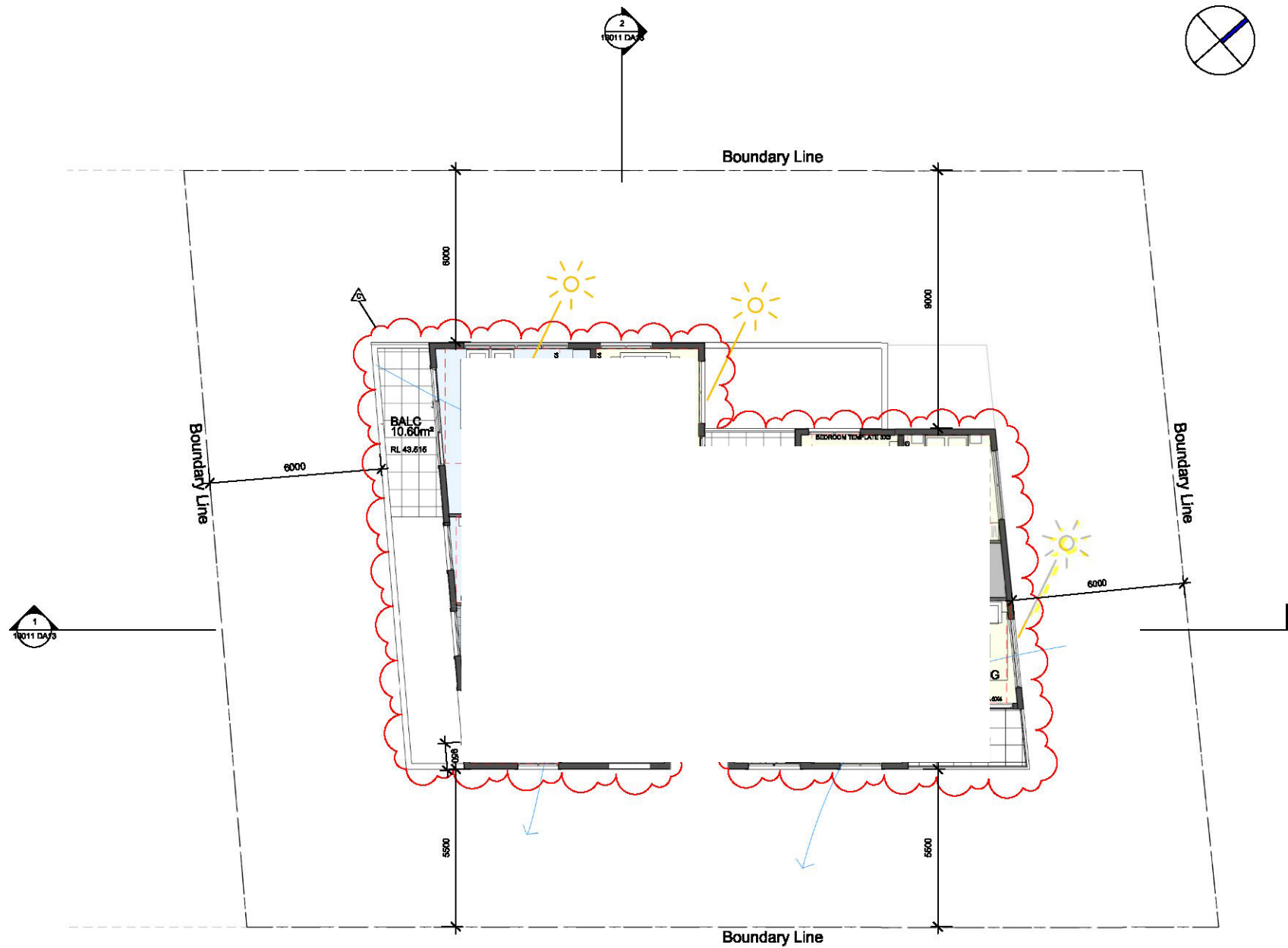
A1 - 1:200
A3 - 1:400

ISSUE:

C

SHEET:

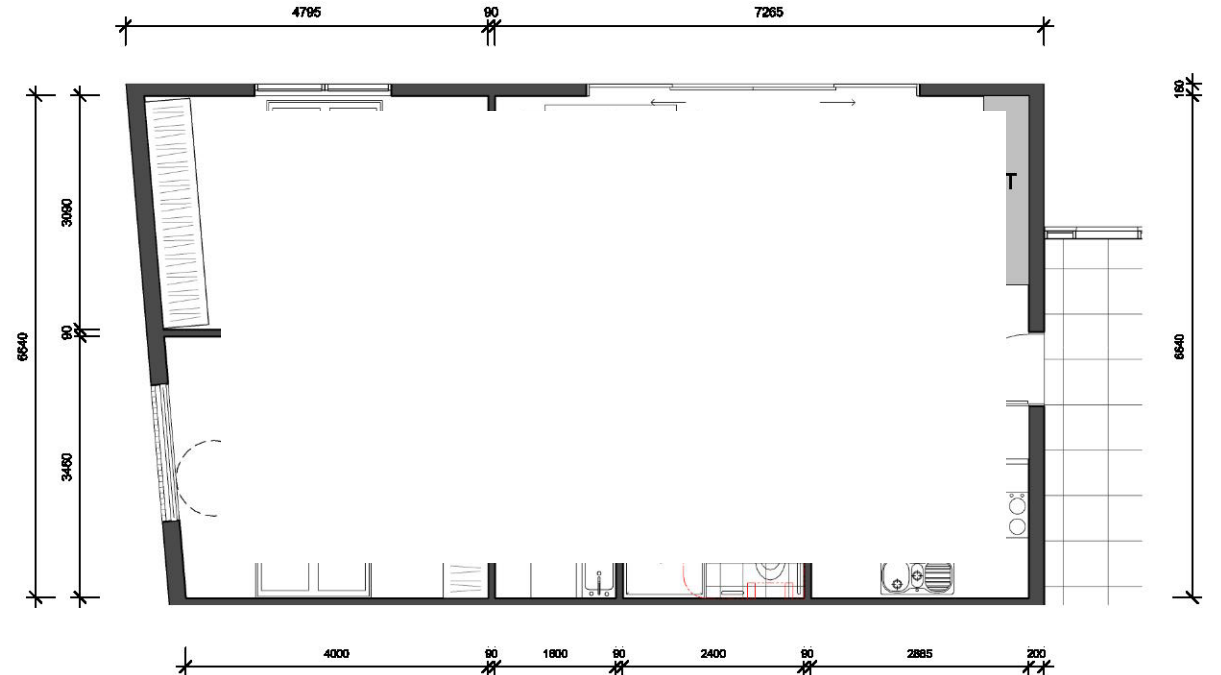
16011 DA08



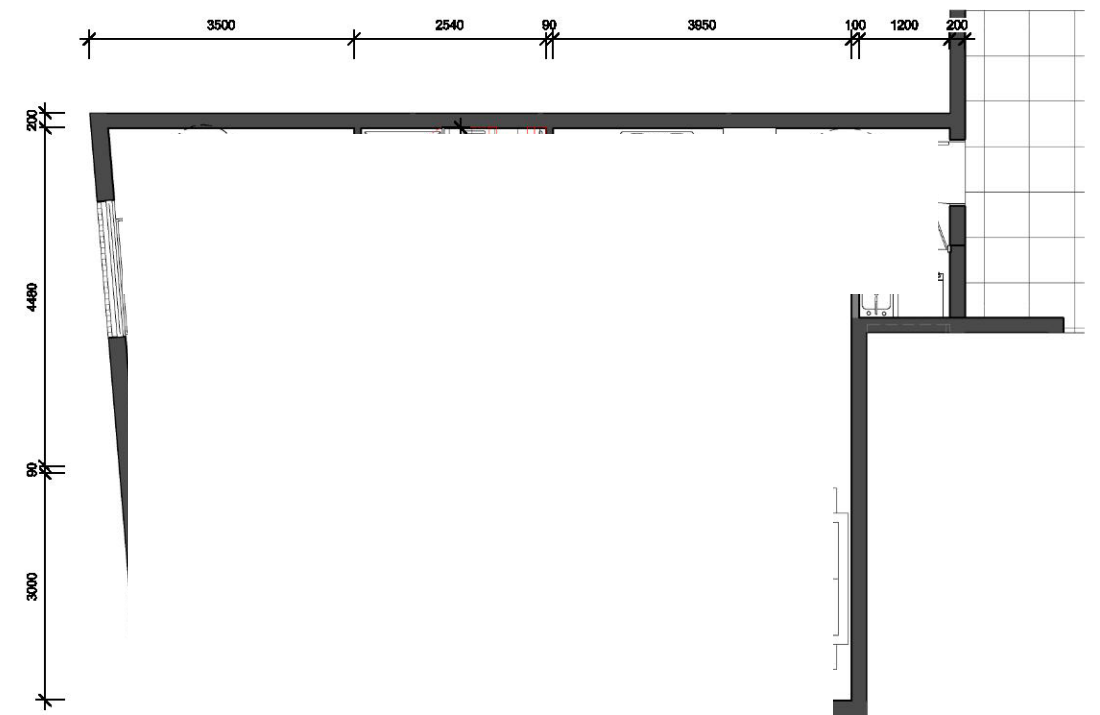
LEVEL 4
SCALE 1:100@A1
1:200@A3

LIST OF CHANGES

- Notes:
- Unit 5,6,7,8,9,10,12,13,15,16 and 17 layout adjusted to maximise solar access.
 - Additional window provided in Unit 7 and Unit 14.
 - Metal wall cladding in level 4 applied.
 - Unit 5,6,9,12 and 15 balconies adjusted.



POST ADAPTABLE-UNIT 3
SCALE 1:50 @A1
1:100@A3



POST ADAPTABLE-UNIT 2
SCALE 1:50 @A1
1:100@A3

ISSUE	DATE	AMENDMENT
A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL

BASIX COMMITMENTS

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	✓
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures				Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	-	3 star	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(iii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

Dwelling no.	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	manual switch on/off	individual fan, not ducted	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	

A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL
ISSUE	DATE	AMENDMENT

DEVELOPMENT APPLICATION

RESIDENTIAL BUILDING DEVELOPMENT

29-31 CASTLEREAGH ST, PENRITH, NSW

2750

ROOF TERRACE

N8

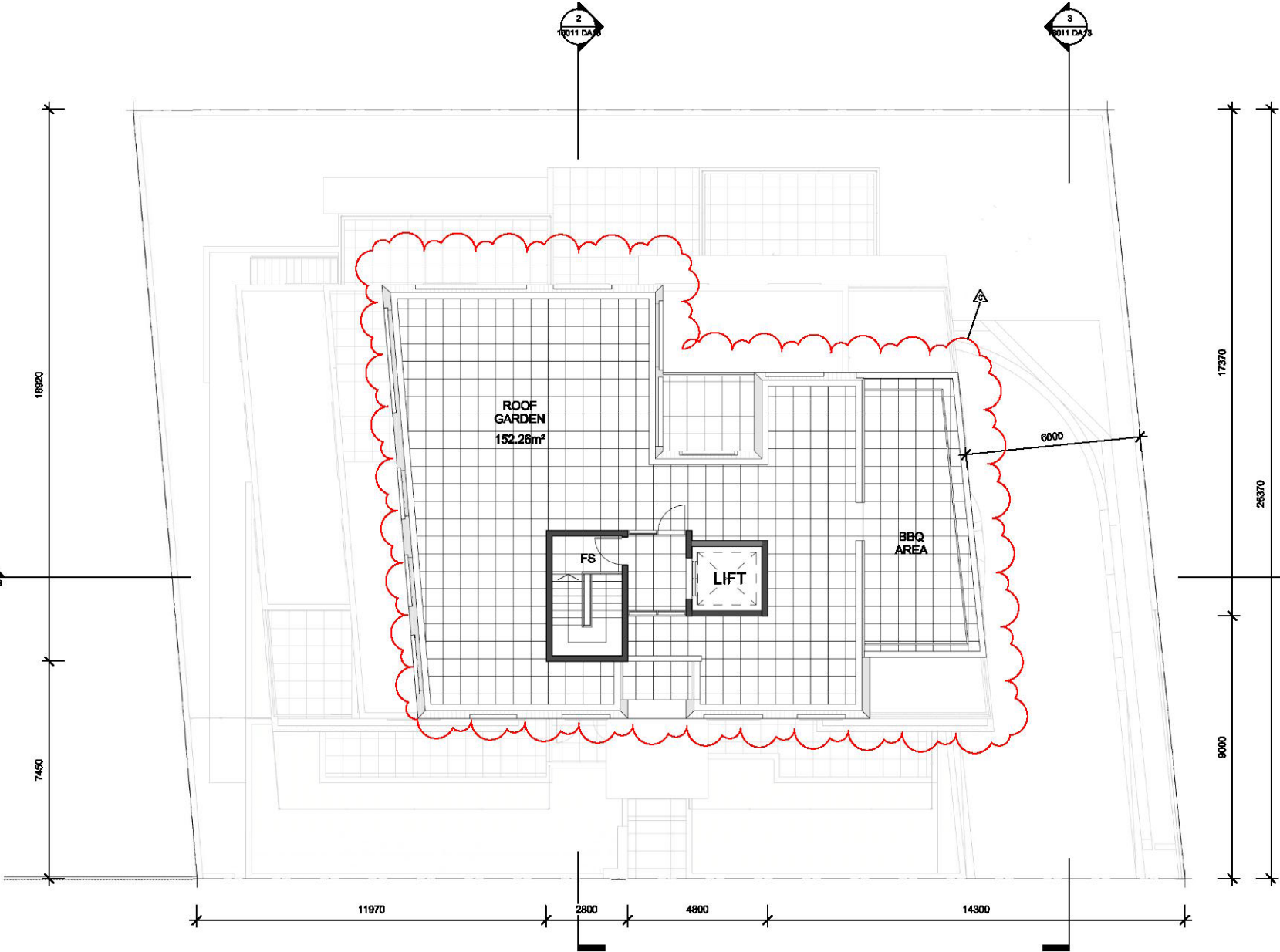
AJRSA

JUNE 2016

A1 - 1:200
A3 - 1:400

C

16011 DA10



ROOF TERRACE

SCALE 1:100@A1
1:200@A3

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
5	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1	2	yes	yes	yes	yes	1	no
7	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	2	2	yes	yes	yes	yes	0	yes
10, 13	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	3	2	yes	yes	yes	yes	1	yes
15, 18	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	2	2	yes	yes	yes	yes	1	yes
1, 17, 20	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1	2	yes	yes	yes	yes	0	no
3, 4, 9, 12	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	2	2	yes	yes	yes	yes	1	no
All other dwellings	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	1-phase airconditioning 3 Star	2	2	yes	yes	yes	yes	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures						
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	3.5 star	-	2 star	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	✓
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.		✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.		✓	✓

Dwelling no.	Thermal loads	
	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	59.0	46.7
2	62.6	28.5
3	59.4	22.7
4	16.0	27.1
5	52.8	61.3

BASIX COMMITMENTS

Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
6	54.2	54.9
7	63.2	46.4
8	9.2	29.2
9	28.2	27.3
10	34.5	26.3
11	7.2	16.5
12	38.2	27.1
13	38.5	32.9
14	4.7	31.1
15	35.6	34.4
16	50.2	30.0
17	17.4	19.3
18	50.1	62.0
19	61.9	59.6
All other dwellings	34.4	43.7

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area ventilation system			Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area, basement LVL1	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	fluorescent	motion sensors	No
Car park area, basement LVL2	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	fluorescent	motion sensors	No
Lift car (No.1)	-	-	compact fluorescent	connected to lift call button	No
Garage rooms	ventilation exhaust only	-	fluorescent	motion sensors	No
Plant or service rooms	ventilation supply only	thermostatically controlled	fluorescent	manual on / manual off	No
Other internal, storage	ventilation supply only	time clock or BMS controlled	fluorescent	motion sensors	No
Ground floor lobby types	no mechanical ventilation	-	compact fluorescent	manual on / timer off	No
Halfway/lobby types	no mechanical ventilation	-	compact fluorescent	manual on / timer off	No

Central energy systems	Type	Specification
Central hot water system (No. 1)	gas-fired storage (manifolded)	Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.6 (~25 mm); (b) Piping internal to building: R0.6 (~25 mm)
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 8

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

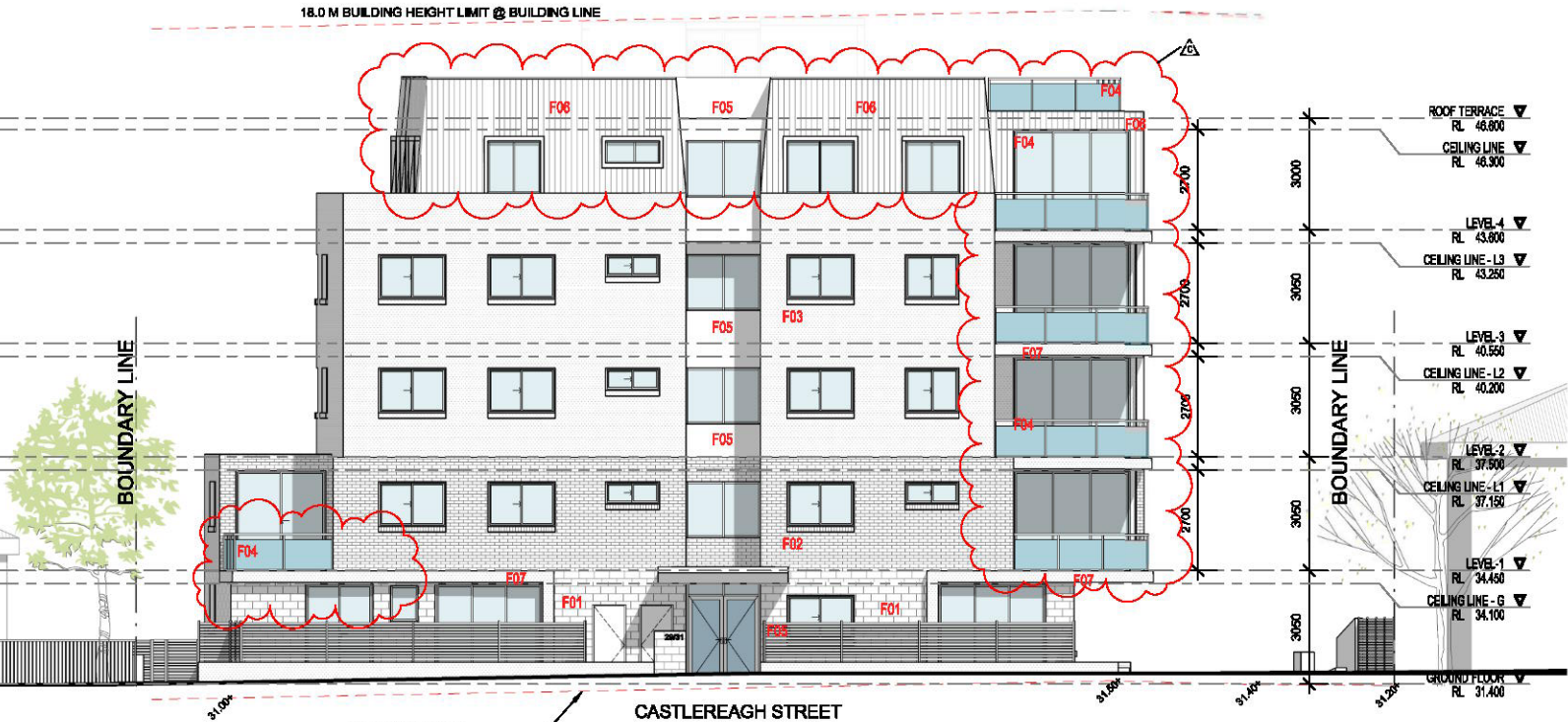
Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

ADG COMPLIANCE TABLE

UNIT NUMBER	NO. OF BED	UNIT AREA (m ²)	BALCONY AREA (m ²)	SOLAR ACCESS	CROSS VENTILATION	STORAGE UNIT (m ³)	STORAGE BASEMENT(m ³)	STORAGE TOTAL (m ³)
1	1 BED	52.20m ²	23.19m ²	YES	YES	4.23m ³	4.20m ³	8.43m ³
2	2 BED	75.61m ²	26.13m ²	NO	YES	4.00m ³	4.20m ³	8.20m ³
3	2 BED	75.90m ²	17.20m ²	YES	YES	4.00m ³	4.66m ³	8.66m ³
4	2 BED	76.80m ²	16.20m ²	YES	YES	4.30m ³	8.00m ³	12.30m ³
5	1 BED	50.40m ²	8.20m ²	YES	YES	3.50m ³	4.66m ³	8.16m ³
6	2 BED	70.20m ²	10.10m ²	NO	YES	4.00m ³	5.52m ³	9.52m ³
7	2 BED	70.00m ²	10.10m ²	YES	YES	4.00m ³	5.14m ³	9.14m ³
8	2 BED	70.10m ²	10.00m ²	YES	YES	4.00m ³	5.14m ³	9.14m ³
9	2 BED	70.46m ²	10.10m ²	YES	YES	4.00m ³	5.14m ³	9.14m ³
10	3 BED	90.80m ²	12.10m ²	NO	YES	5.00m ³	5.52m ³	10.52m ³
11	2 BED	70.45m ²	10.15m ²	YES	NO	4.00m ³	8.72m ³	12.72m ³
12	2 BED	70.50m ²	10.10m ²	YES	YES	4.00m ³	8.72m ³	12.72m ³
13	3 BED	90.80m ²	12.10m ²	YES	YES	5.00m ³	10.42m ³	15.42m ³
14	2 BED	70.45m ²	10.15m ²	YES	NO	4.00m ³	8.72m ³	12.72m ³
15	1 BED	60.00m ²	8.00m ²	YES	YES	4.00m ³	4.80m ³	8.80m ³
16	2 BED	76.20m ²	10.60m ²	YES	YES	4.00m ³	12.48m ³	16.48m ³
17	1 BED	51.29m ²	8.00m ²	YES	NO	3.20m ³	4.80m ³	8.00m ³

SOLAR ACCESS	82.40%(14/17 UNITS)	70% OF UNITS TO HAVE 2HRS OF SOLAR ACCESS
CROSS VENTILATION	82.40%(14/17 UNITS)	60% OF UNITS TO HAVE CROSS VENTILATION



SOUTH ELEVATION

SCALE 1:100@A1
1:200@A3



EAST ELEVATION

SCALE 1:100@A1
1:200@A3

pens
Design Studio
ABN 47 814 248 888
REGISTRATION NUMBER: 0988

A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL
ISSUE	DATE	AMENDMENT

CAD Plans
DESIGN Solutions
30 Cumberland Rd Auburn NSW 2144
P: (02) 8068 2177
M: 0418009172
E: info@cadplans.net.au

PTV LTD
ABN 98 808 742 381

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES AND TO BE VERIFIED ON SITE BY THE BUILDING OFFICER.
- ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENTS.
- ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND SUBSISTANCES ARE SUBJECT TO VERIFICATION ON SITE BY THE BUILDING OFFICER.
- PROPOSED CONSTRUCTION TO BE IN ACCORDANCE WITH THE NATIONAL "TIER 1" SUBMITTAL.
- ALL DIMENSIONS TO BE IN ACCORDANCE WITH THE NATIONAL "TIER 1" SUBMITTAL.
- ROOF WATER AND WIND LOADS TO BE DETERMINED BY THE APPROVED ENGINEER AS NOTED ON THE STRUCTURAL PLANS AND SUBMITTED BY THE BUILDING OFFICER.
- ALL STRUCTURAL PLANS TO BE SUBMITTED BY AN APPROVED STRUCTURAL ENGINEER.
- DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED FOR CONSTRUCTION.

PROJECT STATUS:

DEVELOPMENT APPLICATION

COPYRIGHT:

THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS PTY LTD.

PROJECT:

RESIDENTIAL BUILDING DEVELOPMENT

SITE ADDRESS:

29-31 CASTLEREAGH ST, PENRITH, NSW 2750

CLIENT:

DESIGN:

NS

DRAWN:

AJRSA

DATE:

JUNE 2016

SCALE:

A1 - 1:200
A3 - 1:400

SHEET TITLE:

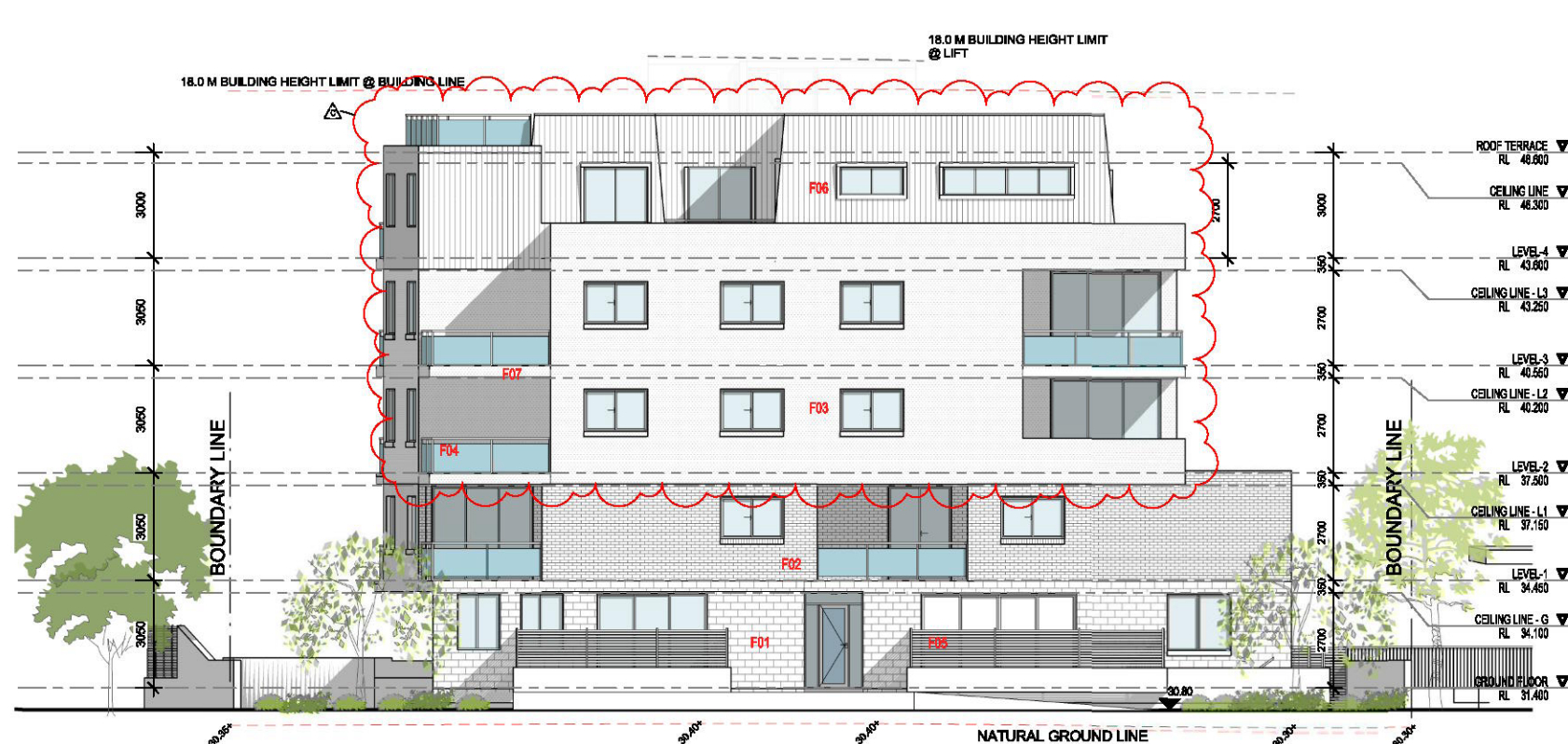
ELEVATIONS

ISSUE:

C

SHEET:

16011 DA11



NORTH ELEVATION

SCALE 1:100@A1
1:200@A3



WEST ELEVATION

SCALE 1:100@A1
1:200@A3

COLOUR AND FINISHES



STREETSCAPE ELEVATION

SCALE 1:100@A1
1:200@A3

pens
Design Studio
ABN 47 814 248 880
REGISTRATION NUMBER: 6886

ISSUE	DATE	AMENDMENT
A	22.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL

CAD Plans
DESIGN Solutions
38 Cumberland Rd Auburn NSW 2144
P: (02) 8088 2177
M: 0418009172
E: info@cadplans.net.au

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHALL BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARD AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND SUBMITTER'S ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYOR.
4. FENCED OVERLOOKS TO 1500mm ABOVE GROUND LEVEL DIMENSIONS SHALL BE INDICATED ON ALL PLANS.
5. ALL DIMENSION CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TAPING STANDARD AS 1546-1992.
6. ROOF VENTILATION AND SOIL DRAINAGE TO BE DESIGNED BY THE APPROVED ENGINEER AS NOTED ON THE STRUCTURAL PLANS AND USED BY THE STRUCTURAL ENGINEER.
7. ALL STRUCTURAL DETAILS TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
8. DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED FOR CONSTRUCTION.



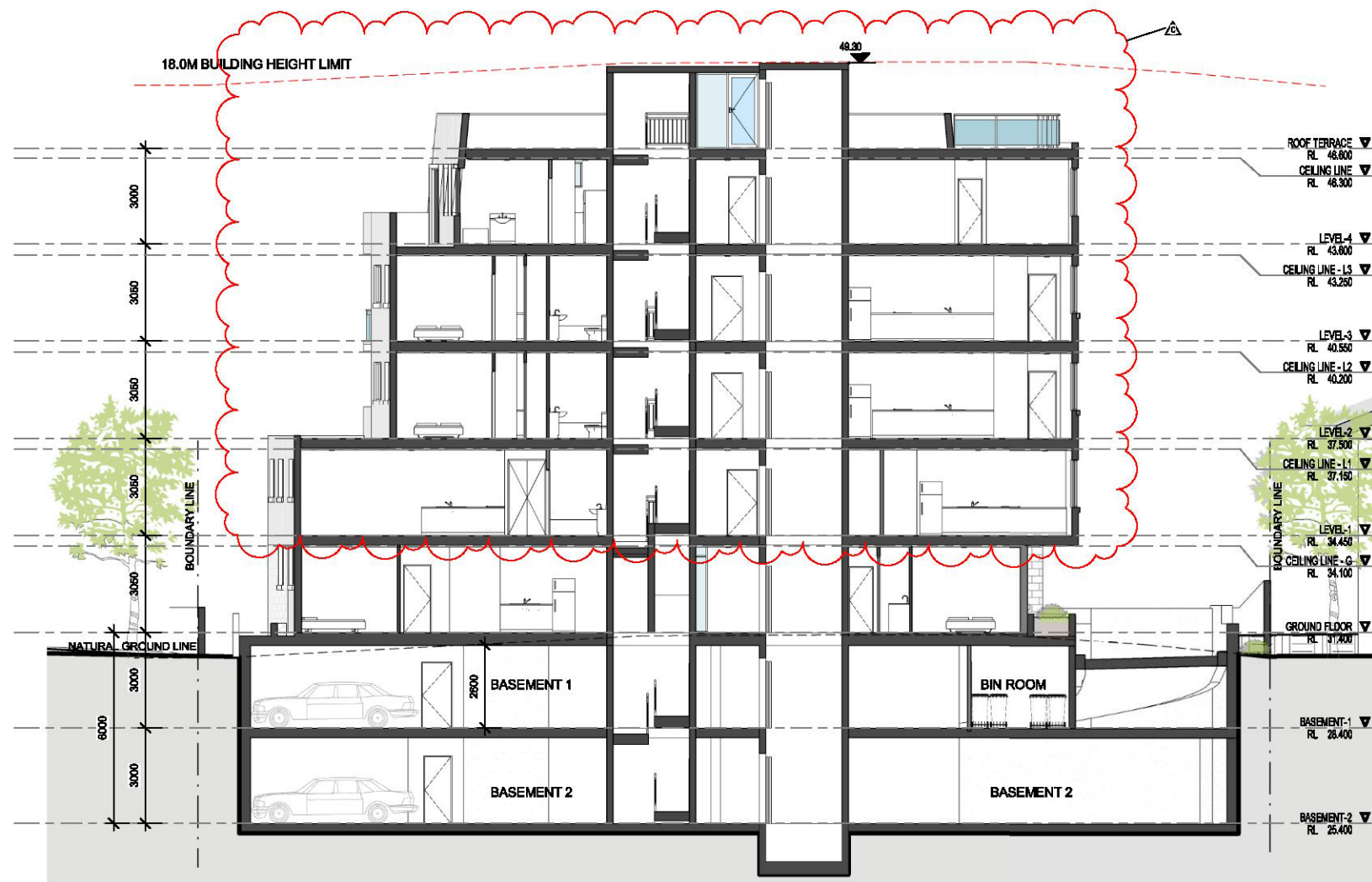
PROJECT STATUS:
DEVELOPMENT APPLICATION

COPYRIGHT:
THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS Pty Ltd AND MUST NOT BE REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS Pty Ltd

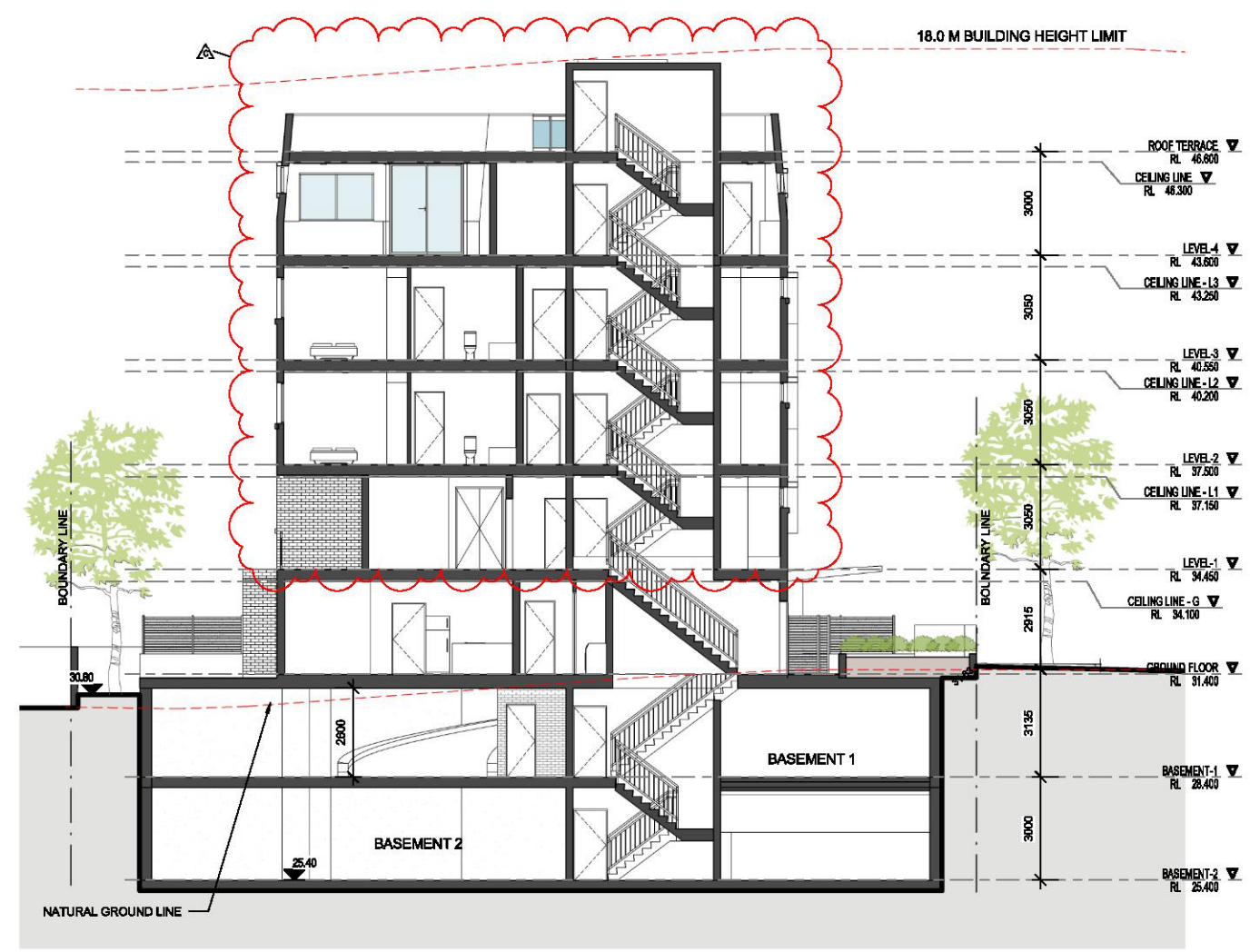
PROJECT:
RESIDENTIAL BUILDING DEVELOPMENT
SITE ADDRESS:
29-31 CASTLEREAGH ST, PENRITH, NSW 2750
CLIENT:

SHEET TITLE:
ELEVATIONS

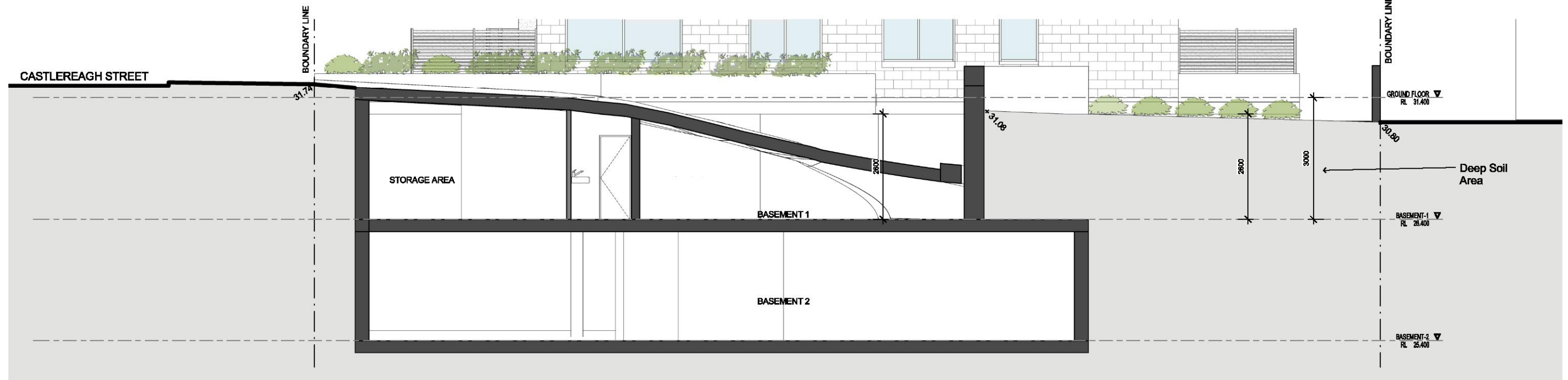
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: A1 - 1:200
A3 - 1:400
ISSUE: C
SHEET: 16011 DA12



SECTION-A
SCALE 1:100@A1
1:200@A3



SECTION-B
SCALE 1:100@A1
1:200@A3



DRIVEWAY SECTION
SCALE 1:50 @A1
1:100@A3

pens
Design Studio
ABN 47 814 248 889
REGISTRATION NUMBER: 6886

CAD Plans
DESIGN Solutions
38 Cumberland Rd Auburn NSW 2144
P: (02) 8088 2177
M: 0418009172
E: info@cadplans.net.au

NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
- ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARD AND APPROVED DEVELOPMENT COURSE OF CONSTRUCTION.
- ALL DIMENSIONS THAT RELATE TO THE BOUNDARY AND SETBACKS ARE SUBJECT TO VERIFICATION ON SITE BY SERVICES.
- POURED CONCRETE FOUNDATION TO BE IN ACCORDANCE WITH THE NATIONAL TUBER FRAMING CODE AS N/A - 1992.
- ALL TUBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TUBER FRAMING CODE AS N/A - 1992.
- ROOF WATER AND SOIL DRAINAGE TO BE DISPOSED OF BY THE APPROVED OWNER AS NOTED ON THE FOUNDATION PLAN SHEET BY THE FORMER TO CONSIDER.
- ALL STRUCTURAL DETAILS TO BE DETERMINED BY AN APPROVED STRUCTURAL ENGINEER.
- DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS WRITTEN FOR CONSTRUCTION.

PROJECT STATUS:
DEVELOPMENT APPLICATION

COPYRIGHT:
THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS Pty Ltd AND MUST NOT BE REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS Pty Ltd.

PROJECT:
RESIDENTIAL BUILDING DEVELOPMENT
SITE ADDRESS:
29-31 CASTLEREAGH ST, PENRITH, NSW
2750
CLIENT:

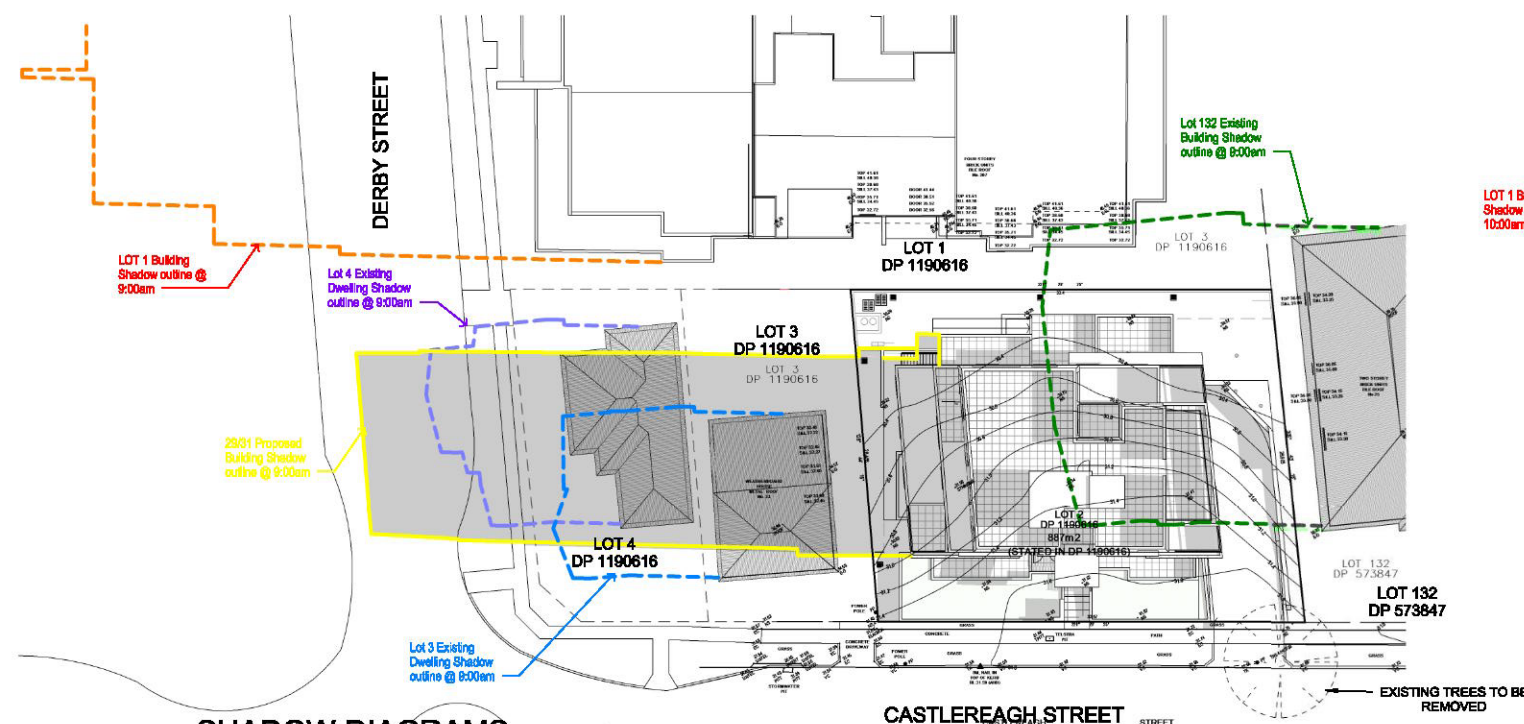
SHEET TITLE:
SECTIONS

DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: A1 - 1:100
A3 - 1:200

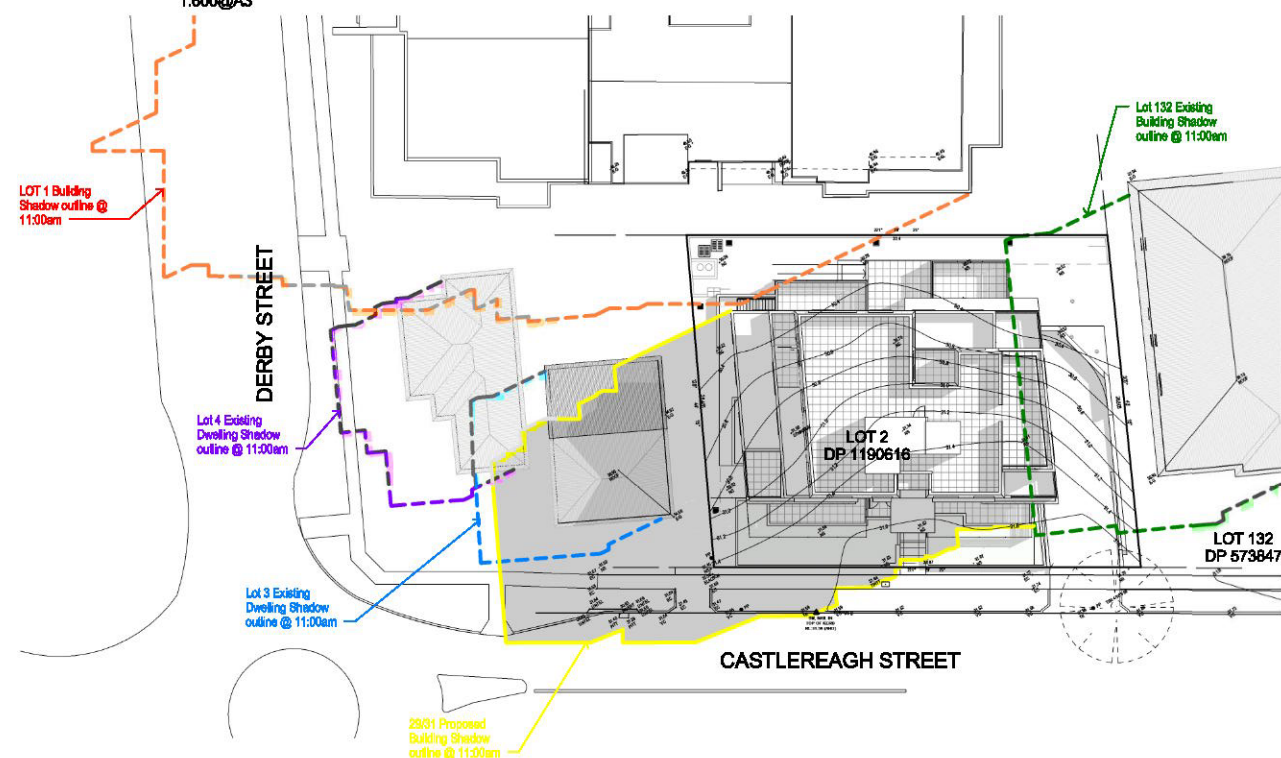
ISSUE:
C

SHEET:
16011 DA13

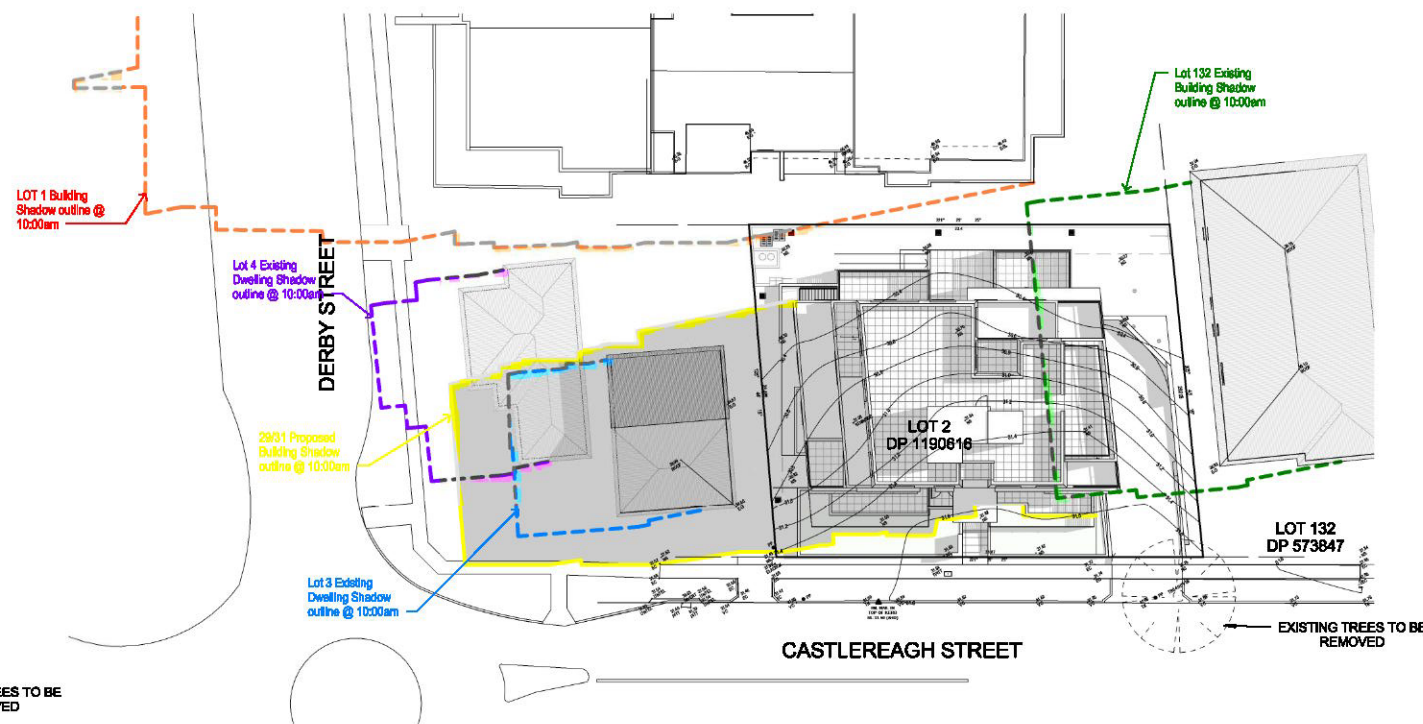
W:\16011 DA13\16011 DA13.dwg at penrith\architectural\REV\16011 DA13.dwg C:\Users\AJRSA\Desktop\16011 DA13.dwg



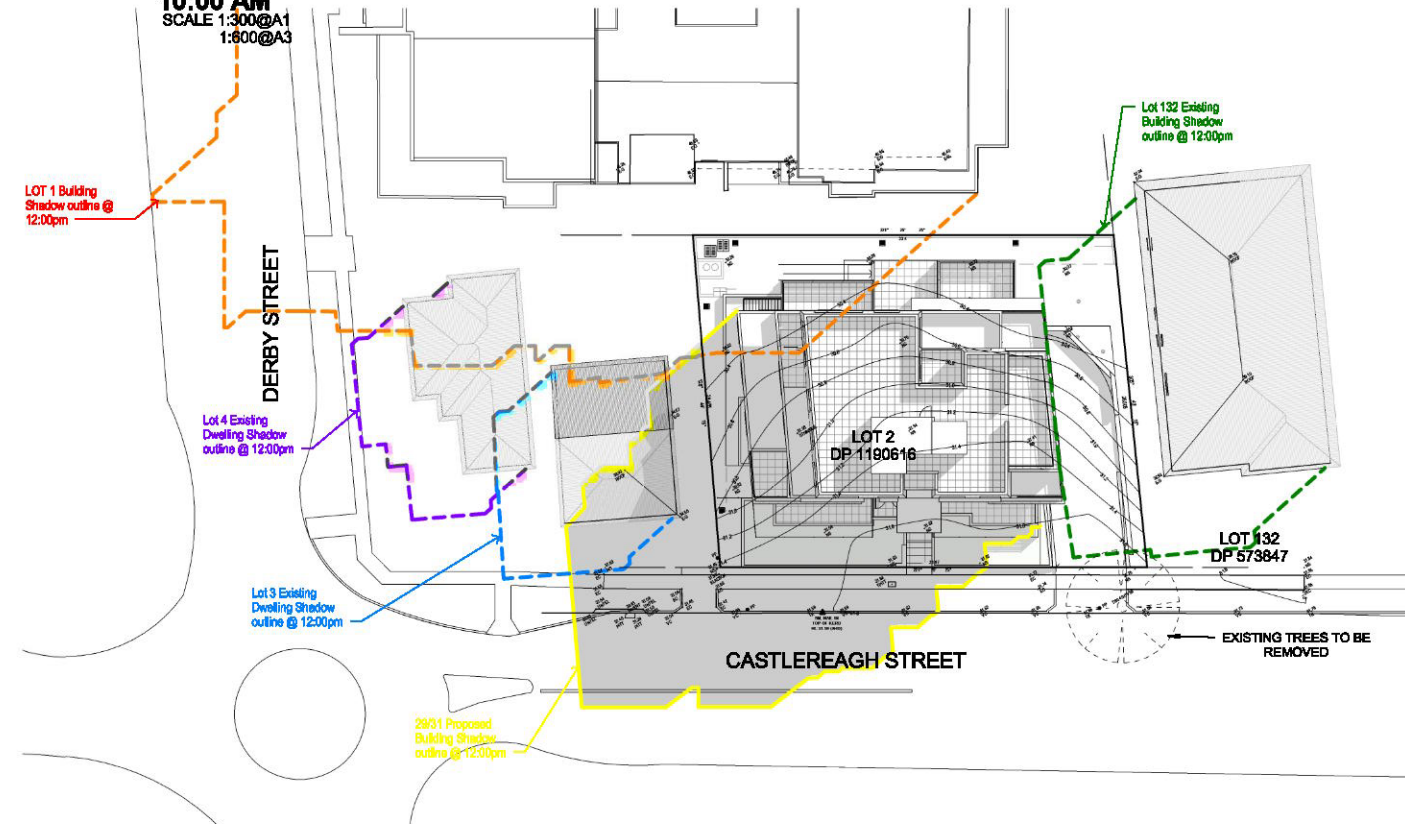
SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
9:00 AM
SCALE 1:300@A1
1:600@A3



SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
11:00 AM
SCALE 1:300@A1
1:600@A3

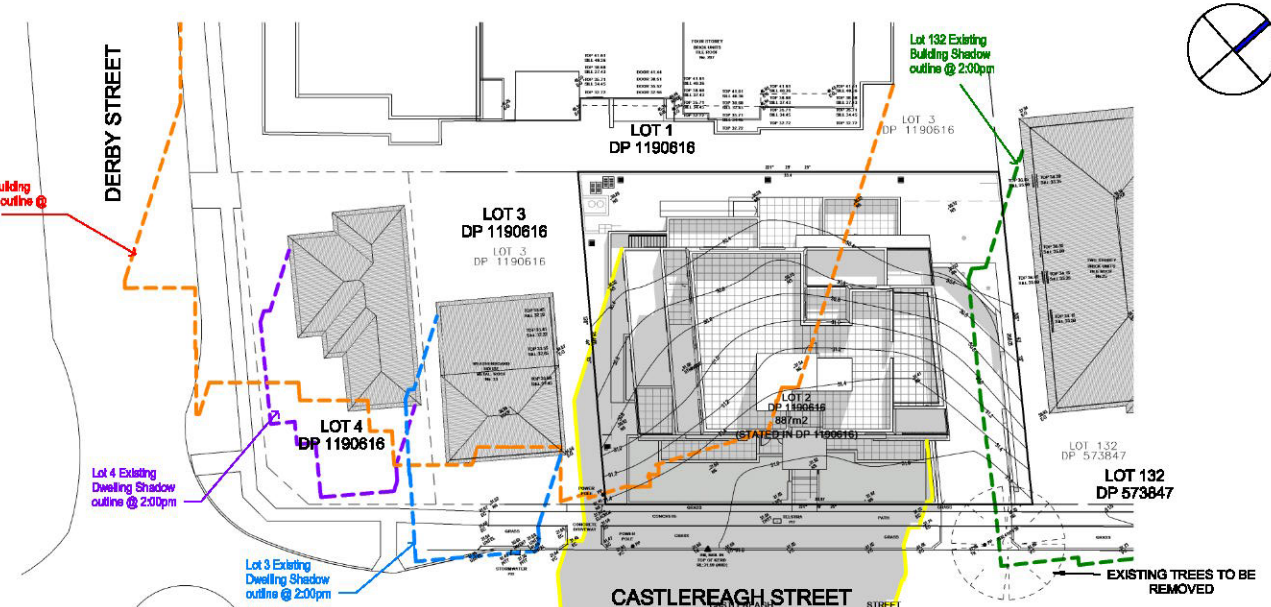


SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
10:00 AM
SCALE 1:300@A1
1:600@A3

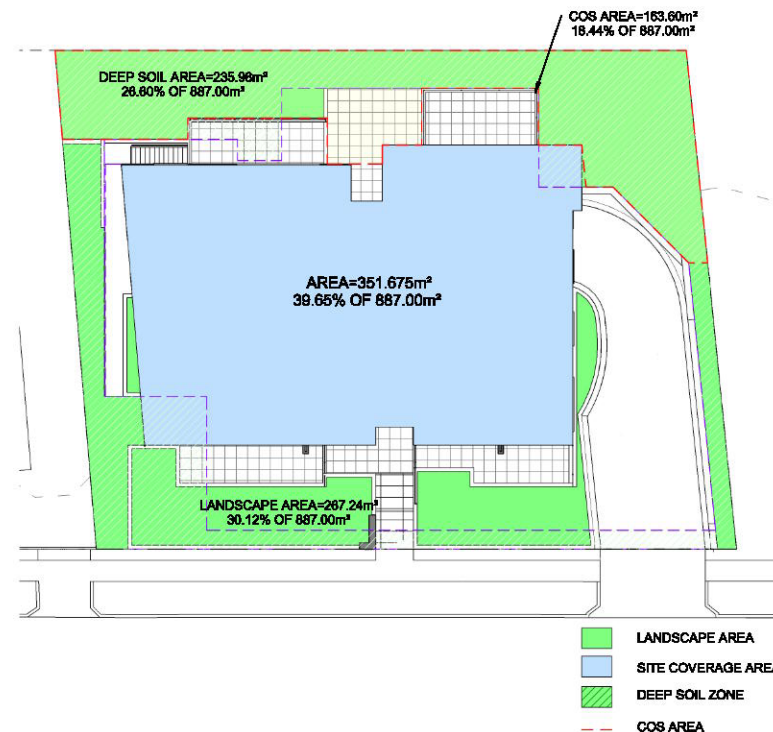


SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
12:00 PM
SCALE 1:300@A1
1:600@A3

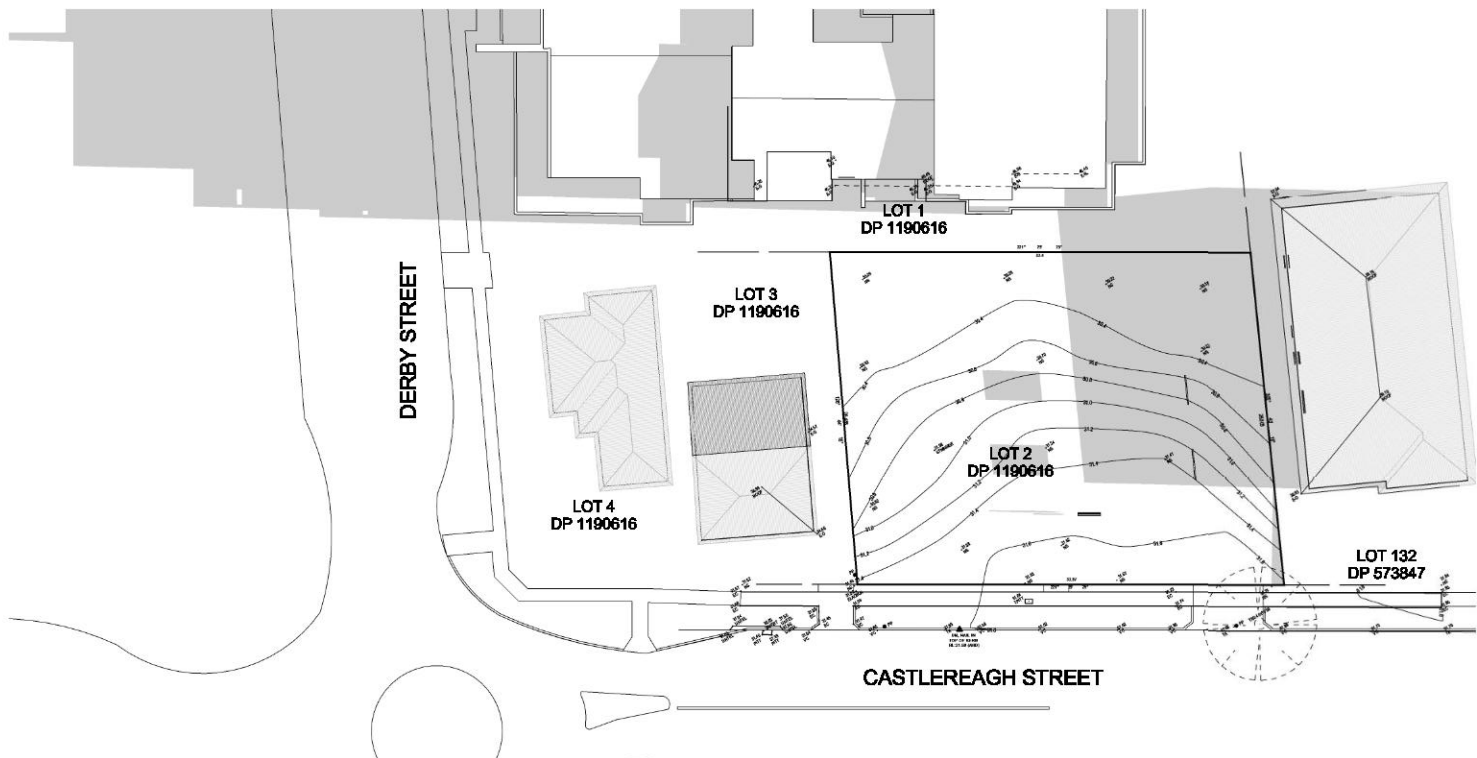
ISSUE	DATE	AMENDMENT
A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL



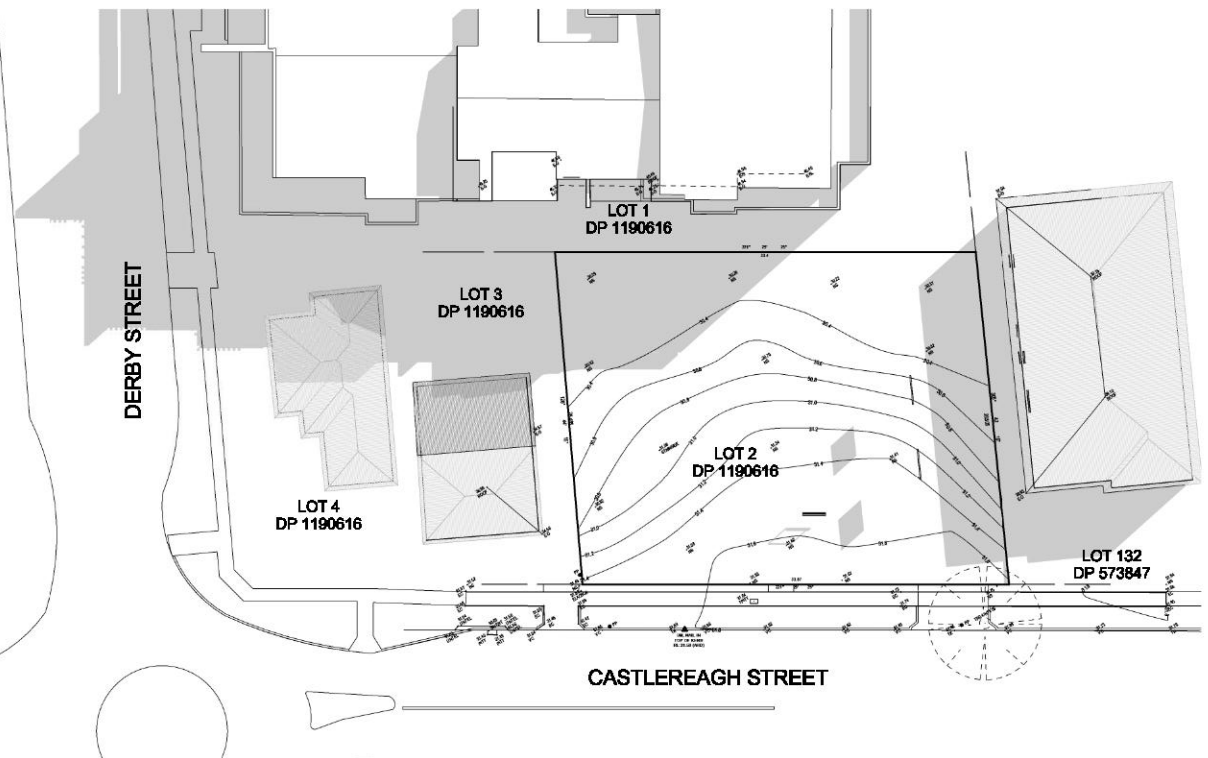
SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
2:00 PM
SCALE 1:300@A1
1:600@A3



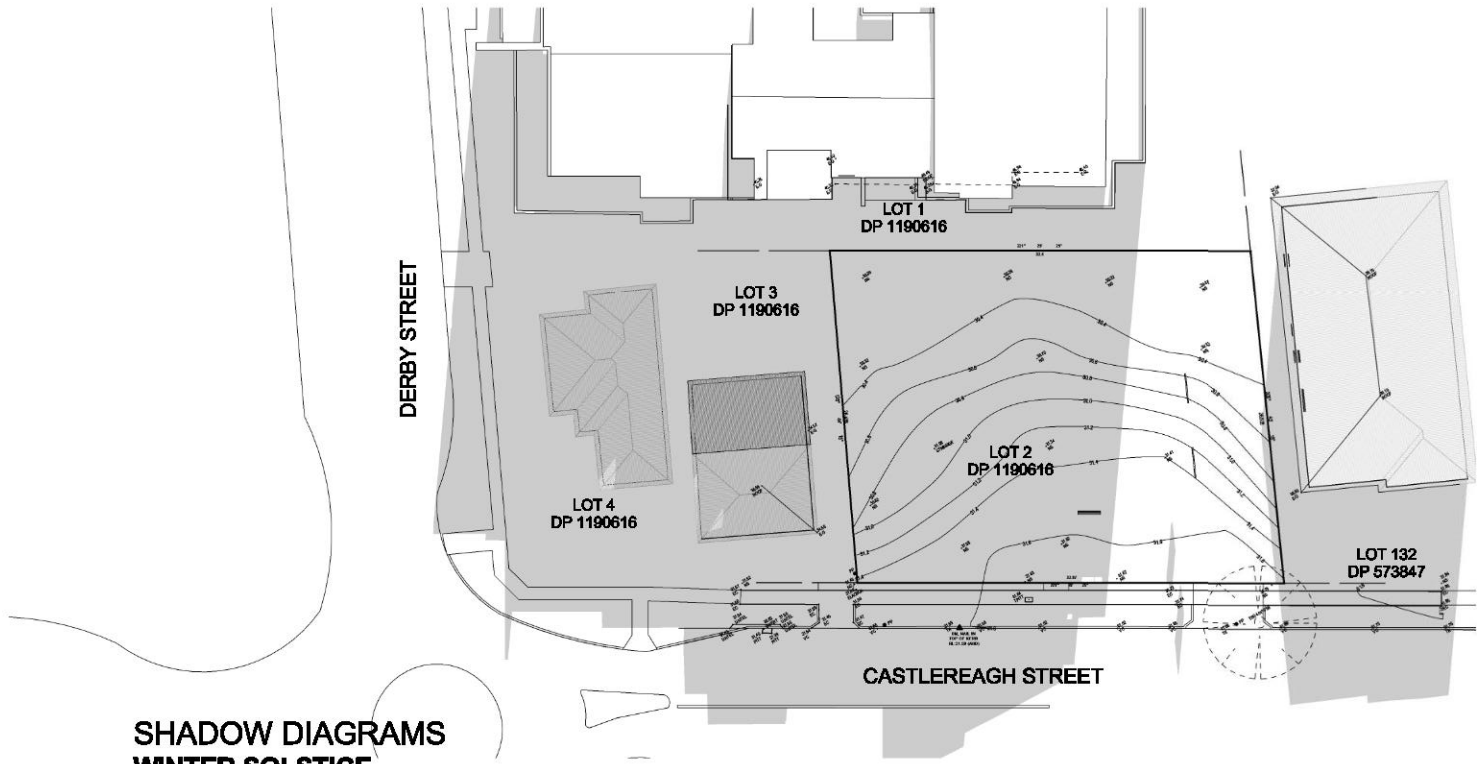
SITE COVERAGE DIAGRAM



SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
9:00 AM
SCALE 1:300@A1
1:600@A3



SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
12:00 PM
SCALE 1:300@A1
1:600@A3



SHADOW DIAGRAMS
WINTER SOLSTICE
JUNE 21
3:00 PM
SCALE 1:300@A1
1:600@A3

pens
Design Studio
ABN 47 814 249 888
REGISTRATION NUMBER: 6886

ISSUE	DATE	AMENDMENT
A	23.6.17	ISSUE FOR D.A.
B		ISSUE FOR D.A.
C	30.11.18	REFER TO NOTES AS REQUESTED BY COUNCIL

CAD Plans
DESIGN Solutions
38 Cumberland Rd Auburn NSW 2144
P: (02) 8088 2177
M: 0416009172
E: info@cadplans.net.au

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE VERIFIED ON SITE BY THE CLIENT PRIOR TO COMMENCEMENT OF WORKS.
2. ALL CONSTRUCTION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND APPROVED DEVELOPMENT CONSENT CONDITIONS.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND SUBMISSIONS ARE SUBJECT TO VERIFICATION ON SITE BY SURVEYORS.
4. PAVED ROADS ARE TO BE CONSTRUCTED TO THE DIMENSIONS OF THE LOCALITY COUNCIL. ALL PLANS ARE TO BE TO THE DIMENSIONS OF THE LOCALITY COUNCIL.
5. ALL DIMENSIONS ARE TO BE IN ACCORDANCE WITH THE NATIONAL TIER 1 STANDARD.
6. ALL DIMENSIONS ARE TO BE IN ACCORDANCE WITH THE NATIONAL TIER 1 STANDARD.
7. ALL DIMENSIONS ARE TO BE IN ACCORDANCE WITH THE NATIONAL TIER 1 STANDARD.
8. ALL DIMENSIONS ARE TO BE IN ACCORDANCE WITH THE NATIONAL TIER 1 STANDARD.



PROJECT STATUS:
DEVELOPMENT APPLICATION

COPYRIGHT:
THIS DESIGN AND PRINT REMAINS THE PROPERTY OF CAD PLANS Pty Ltd AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT PERMISSION FROM CAD PLANS Pty Ltd.

PROJECT:
RESIDENTIAL BUILDING DEVELOPMENT
SITE ADDRESS:
29-31 CASTLEREAGH ST, PENRITH, NSW 2750
CLIENT:

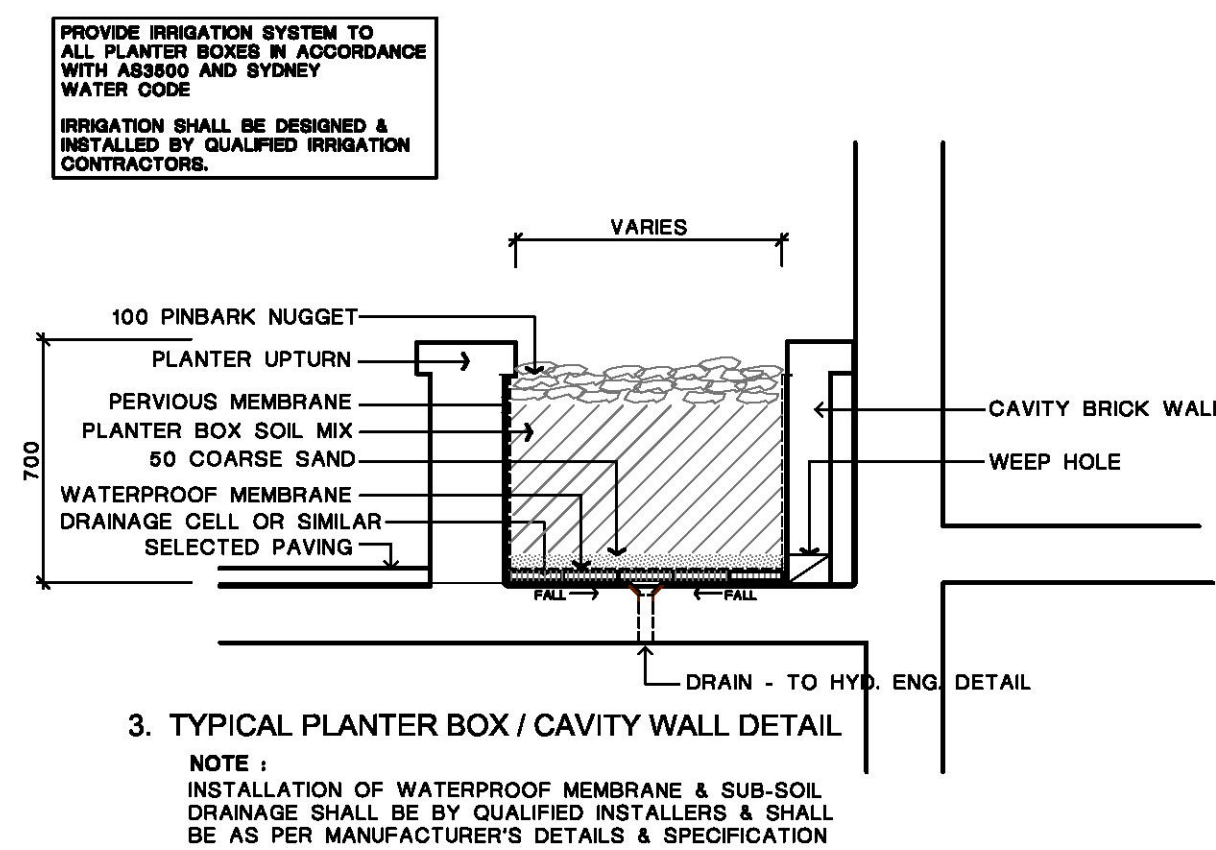
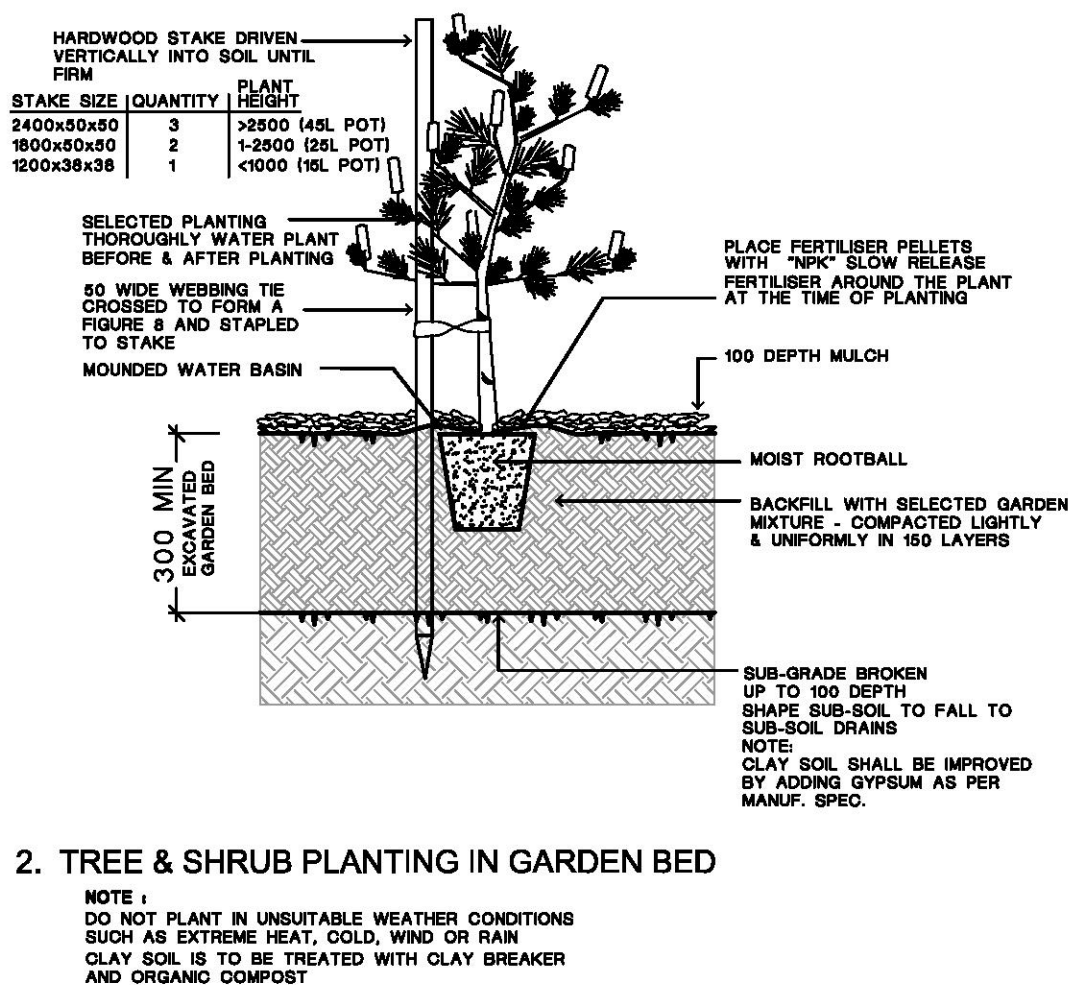
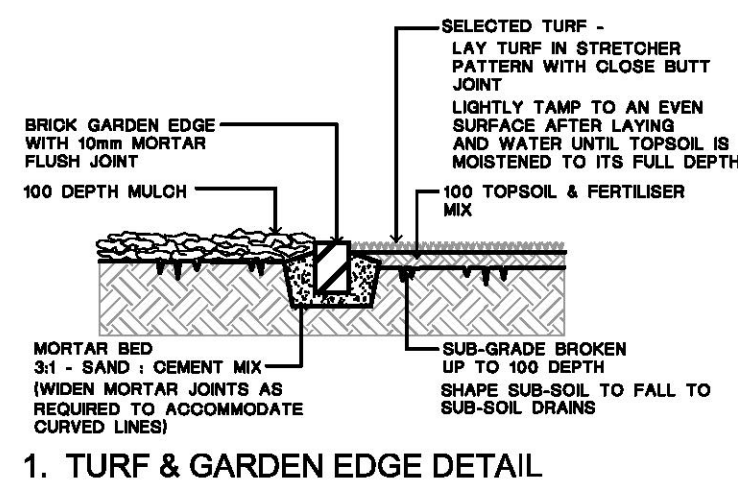
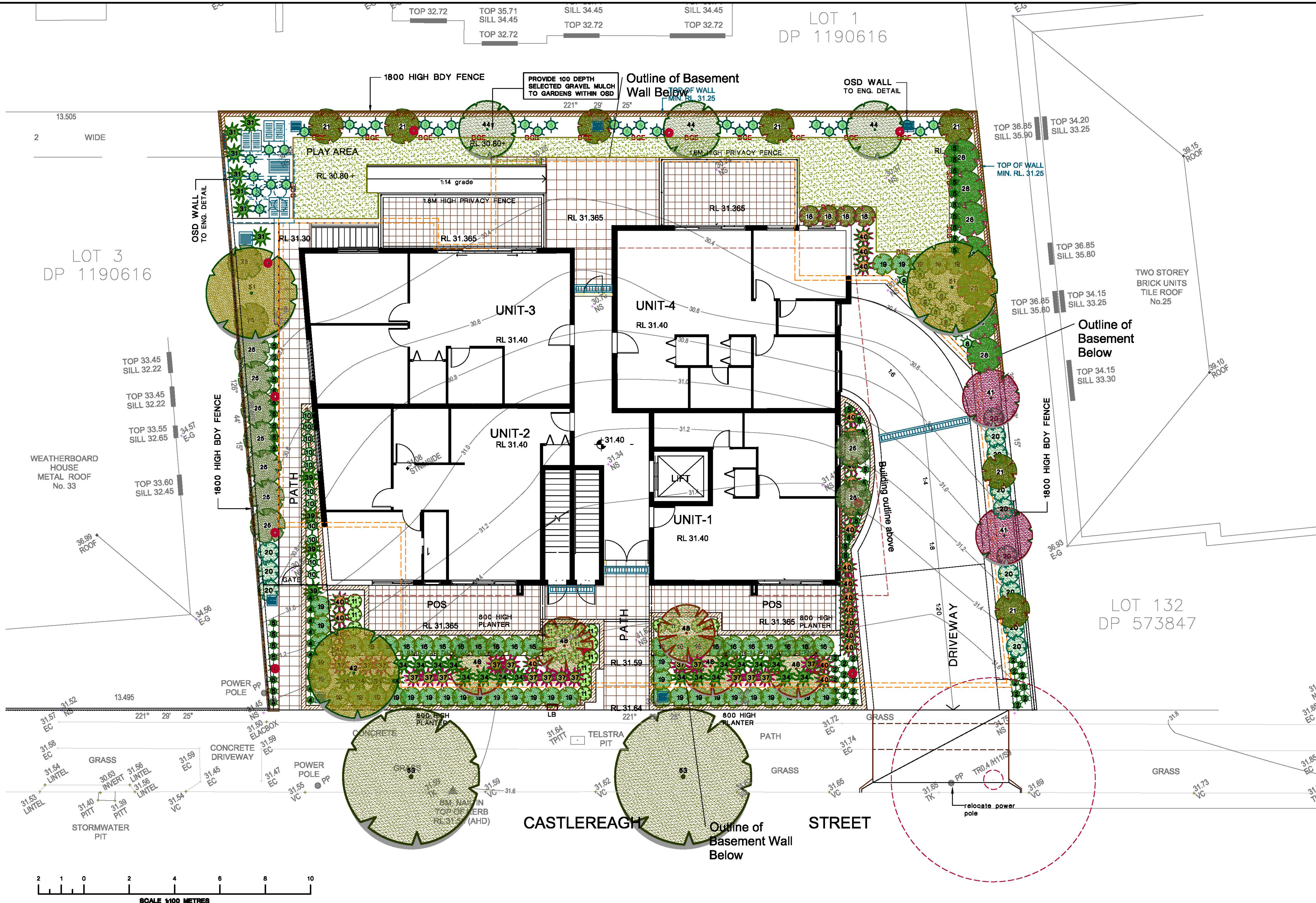
SHEET TITLE:
SHADOW DIAGRAMS
DESIGN: NS
DRAWN: AJRSA
DATE: JUNE 2016
SCALE: A1 - 1:200
A3 - 1:400

ISSUE:
C
SHEET:
16011 DA14.2

LEGEND / FINISHES SCHEDULE

	EXISTING RL
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE RETAINED AND SHALL BE PROTECTED DURING CONSTRUCTION
	PROPOSED TREES, SHRUBS & GROUND COVER (REFER NO. TO PLANT SCHEDULE)
	BOUNDARY FENCE
	GARDEN BED 900 WIDE MIN.
	SELECTED BRICK GARDEN EDGE OR AS SELECTED REFER TO DETAIL 1
	LAWN AREA SIR WALTER BUFFALO REFER TO DETAIL 1
	PEBBLE AREA SELECTED 100 DEPTH RIVER PEBBLES WITH WEED MAT UNDER
	PATIO / TERRACE / PATH SELECTED TILES
	SELECTED RETAINING WALL / OSD WALL TO ENGINEER DETAIL
	IN SITU PLANTER BOX TO ENGINEER DETAIL
	SELECTED MASONRY COURTYARD FENCE TO ARCHITECT / ENGINEER DETAIL
	SELECTED LETTER BOX - TO AUST POST REQUIREMENTS AND TO AS/NZS 4253:1994
	SELECTED AUTOMATIC BOLLARD - ILLUMINATION SHALL BE DESIGNED BY A QUALIFIED LIGHTING CONSULTANT AND IN ACCORDANCE WITH AS 4282 & AS 1158
	STORM WATER PIT TO ENGINEER DETAIL

ITEM	MATERIAL
SOIL	NOTE: ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT
LAWN AREA	1st QUALITY TOP SOIL
NATIVE GARDEN BED	NATIVE GARDEN MIX
EXOTIC GARDEN BED	ORGANIC GARDEN MIX
PLANTER BOX	PLANTER BOX MIX IN ACCORDANCE WITH AS4419:1998 & AS3743
MULCH	SELECTED HARD WOOD CHIP DECORATIVE GRAVEL TO OSD AREA REFER TO DETAIL 1 & 2
PLANT MATERIAL	AS PER PLANT SCHEDULE REFER TO DETAIL 2
GARDEN EDGE	SELECTED PRESSED BRICK OR AS SELECTED REFER TO DETAIL 1
RETAINING WALL & PLANTER BOX	SELECTED MASONRY RETAINING WALL AND DRAINAGE TO ENG. DETAIL
FENCE	1800 HIGH LAPPED & CAPPED TIMBER FENCE OR 1800 HIGH COLOURBOND
SIDES & REAR BOUNDARY	NOTE: SIDE FENCES ARE TO BE TAPER FROM THE FRONT BUILDING LINE TO BE NOT MORE THAN 800mm HIGH AT THE FRONT BOUNDARY
FRONT	REFER TO ARCHITECT'S DETAIL
IRRIGATION	PROVIDE DRIP IRRIGATION SYSTEM TO ALL PLANTER BOXES IN ACCORDANCE WITH AS3500 AND SYDNEY WATER CODE. IRRIGATION SHALL BE DESIGNED & INSTALLED BY QUALIFIED IRRIGATION CONTRACTORS.



REV	DESCRIPTION	REVISION DATE
C	AMEND AS PER ARCH & OSD CHG	19.6.19
B	AMEND AS PER ARCH & OSD CHG	27.6.19
A	COUNCIL DA ISSUE	15.17

- NOTE:**
- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
 - Do not scale drawing, if in doubt - ASK
 - This drawing is to be read in conjunction with Architectural, Hydraulic and survey plans
 - All Existing trees to remain shall be protected as per arborist report & council requirements
 - All pruning shall be in accordance with the AS 4373
 - Thoroughly eradicate weeds from all garden areas.
 - No variation to the works to be carried out without prior approval from owner.
 - All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
 - Substitution of plant species or varieties will not be permitted.
 - Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.
 - All storm water outlets & surface run off shall be to Hydraulic Engineers detail.
 - Provide sub-soil drainage to garden beds & lawn areas where required - To be confirmed on site.
 - Refer to survey plan for position of all existing services.
 - Refer to Architectural elevations & Sections for existing and proposed ground lines.
 - All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
 - Irrigation system - If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE: All landscape works are to be maintained for a period of 12 months after final completion. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

PROPOSED HOME UNITS 29-31 CASTLEREAGH ST PENRITH

ARCHITECT:
CAD Plans
DESIGN Solutions

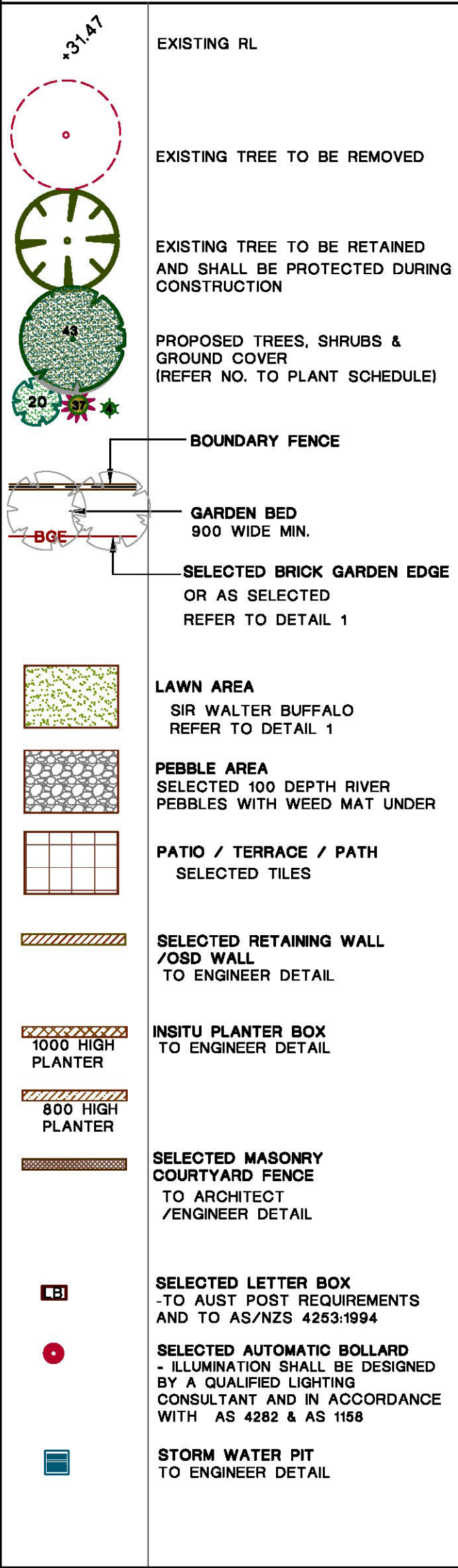
vision dynamics
landscape design
8 Blaxland Road
Killara NSW 2071
Ph:(02) 9499 8888 Fax:(02) 9499 8899
em: visiondynamics@westnet.com.au

DRAWING TITLE
**LANDSCAPE CONCEPT
PLAN**

DRAWN FF SCALE 1:100@A1 OR 1:200@A3 REV.
DRAWING NUMBER **17082 DA 1-2** C

Australian Institute
Landscape Designers & Managers Ltd

LEGEND / FINISHES SCHEDULE



EXISTING RL

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE RETAINED AND SHALL BE PROTECTED DURING CONSTRUCTION

PROPOSED TREES, SHRUBS & GROUND COVER (REFER NO. TO PLANT SCHEDULE)

BOUNDARY FENCE

GARDEN BED 900 WIDE MIN.

SELECTED BRICK GARDEN EDGE OR AS SELECTED REFER TO DETAIL 1

LAWN AREA
SIR WALTER BUFFALO
REFER TO DETAIL 1

PEBBLE AREA
SELECTED 100 DEPTH RIVER PEBBLES WITH WEED MAT UNDER

PATIO / TERRACE / PATH
SELECTED TILES

SELECTED RETAINING WALL / OSD WALL
TO ENGINEER DETAIL

INSITU PLANTER BOX
TO ENGINEER DETAIL

1000 HIGH PLANTER

800 HIGH PLANTER

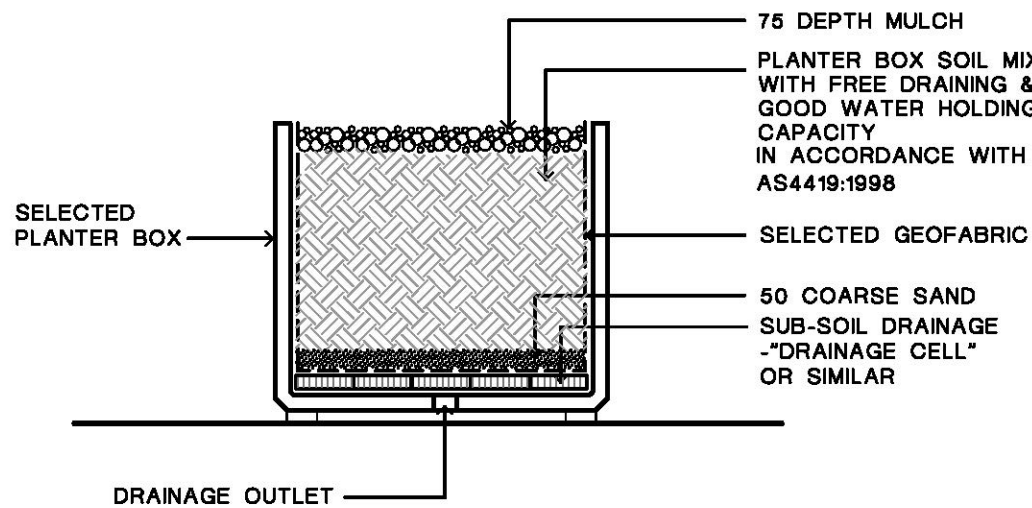
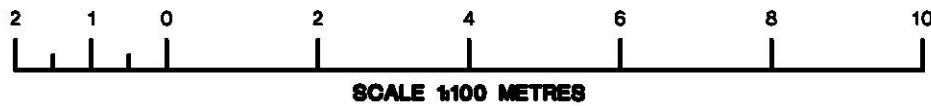
SELECTED MASONRY COURTYARD FENCE
TO ARCHITECT /ENGINEER DETAIL

SELECTED LETTER BOX
-TO AUST POST REQUIREMENTS AND TO AS/NZS 4253:1994

SELECTED AUTOMATIC BOLLARD
- ILLUMINATION SHALL BE DESIGNED BY A QUALIFIED LIGHTING CONSULTANT AND IN ACCORDANCE WITH AS 4282 & AS 1158

STORM WATER PIT
TO ENGINEER DETAIL

ITEM	MATERIAL
SOIL	NOTE: ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT
LAWN AREA	1st QUALITY TOP SOIL
NATIVE GARDEN BED	NATIVE GARDEN MIX
EXOTIC GARDEN BED	ORGANIC GARDEN MIX
PLANTER BOX	PLANTER BOX MIX IN ACCORDANCE WITH AS4419:1998 & AS3743
MULCH	SELECTED HARD WOOD CHIP DECORATIVE GRAVEL TO OSD AREA REFER TO DETAIL 1 & 2
PLANT MATERIAL	AS PER PLANT SCHEDULE REFER TO DETAIL 2
GARDEN EDGE	SELECTED PRESSED BRICK OR AS SELECTED REFER TO DETAIL 1
RETAINING WALL & PLANTER BOX	SELECTED MASONRY RETAINING WALL AND DRAINAGE TO ENG. DETAIL
FENCE	
SIDES & REAR BOUNDARY	1800 HIGH LAPPED & CAPPED TIMBER FENCE OR 1800 HIGH COLOURBOND NOTE: SIDE FENCES ARE TO BE TAPER FROM THE FRONT BUILDING LINE TO BE NOT MORE THAN 800mm HIGH AT THE FRONT BOUNDARY
FRONT	REFER TO ARCHITECT'S DETAIL
IRRIGATION	PROVIDE DRIP IRRIGATION SYSTEM TO ALL PLANTER BOXES IN ACCORDANCE WITH AS3500 AND SYDNEY WATER CODE IRRIGATION SHALL BE DESIGNED & INSTALLED BY QUALIFIED IRRIGATION CONTRACTORS.



4. PLANTER TROUGH DETAIL

NOTE :
INSTALLATION OF SUB-SOIL DRAINAGE SHALL BE AS PER MANUFACTURER'S DETAILS & SPECIFICATION

PROPOSED PLANT SCHEDULE

IN ACCORDANCE WITH AS 2303: 2015

No.	BOTANICAL NAME	COMMON NAME	APPROX MATURED HEIGHT	POT SIZE	QUANTITY
GROUND COVER / BOARDER					
2	Lomandra 'TANKA'	Dwarf Lomandra	0.75	150mm	
4	Liriope muscari 'Just Right'	Just Right Liriope	0.5	150mm	
5	Dianella teamaniae 'Destiny'	Destiny Flax Lily	0.4	150mm	
6	Juncus verticillatus	Common Rush	0.6	150mm	
7	Phormium Chocoomint Mist	Chocoomint Mist	0.5	150mm	
8	Dianella caerulea	Paroo Lily	0.6	150mm	
9	Trachelospermum Tricolour	Tricolour Jasmine	0.3	150mm	
10	Aspidistra elatior	Cast-iron Plant	0.5	150mm	
LOW SHRUBS					
11	Westringia Ozbreed Aussie Box	Aussie Box Westringia	0.5	200mm	
16	Murraya paniculata	Murraya	3	200mm	
18	Dodonaea viscosa 'Purpurea'	Purple-leaved Hop bush	2	200mm	
19	Melaleuca thymifolia	Thyme Honey-myrtle	1	200mm	
20	Westringia fruticosa	Westringia	1.5	200mm	
TALL SHRUBS					
21	Callistemon olivinus	crimson bottlebrush	4	200mm	
26	Leptospermum spectabile	Leptospermum spectabile	3	200mm	
28	Olea europaea 'Garden Harvest'	Dwarf Olive Tree	2	25L	
28	Callistemon olivinus 'Endeavour'	Endeavour Bottlebrush	2.5	200mm	
FEATURE SHRUBS					
31	Cordyline stricta	Slender palm lily	3	200mm	
34	Phormium tenax purpurea	Dianella	1.2	200mm	
37	Strelitzia reginae	Bird of Paradise	1.2	25 L	
39	Thysanotus maxima	Tiger grass	1.5	200mm	
40	Alpinia zerumbet variegata	Variegated Shell Ginger	1.5	200mm	
TREES					
41	Callistemon viminalis	Weeping bottlebrush	7	25 L	
42	Pyrus calleryana	Calleryana pear	13	25 L	
44	Tristania laurina 'luscious'	Water box	7	45 L	
46	Lagerstroemia indica 'Indian Summer'	Crape Myrtle	7	45 L	
48	Magnolia Little Gem	Magnolia	5	45 L	
51	Melaleuca decora	White Feather Honey-myrtle	7	25 L	
53	Lophostemon confertus	Brush box	20	75 L	

NOTE:
HEIGHT AND SPAN ARE INDICATIVE ONLY.
SUBJECT TO ON SITE ENVIRONMENTAL FACTORS.
USE ONLY AS A GUIDE.

REV	DESCRIPTION	REVISION DATE
C	AMEND AS PER ARCH & OSD CHG	19.6.19
B	AMEND AS PER ARCH & OSD CHG	27.6.19
A	COUNCIL DA ISSUE	15.17

NOTE:

- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
- Do not scale drawing, if in doubt - ASK
- This drawing is to be read in conjunction with Architectural, Hydraulic and survey plans
- All Existing trees to remain shall be protected as per arborist report & council requirements
- All pruning shall be in accordance with the AS 4373
- Thoroughly eradicate weeds from all garden areas.
- No variation to the works to be carried out without prior approval from owner.
- All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
- Substitution of plant species or varieties will not be permitted.
- Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.
- All storm water outlets & surface run off shall be to Hydraulic Engineers detail.
- Provide sub-soil drainage to garden beds & lawn areas where required - To be confirmed on site.
- Refer to survey plan for position of all existing services.
- Refer to Architectural elevations & Sections for existing and proposed ground lines.
- All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
- Irrigation system - If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE: All landscape works are to be maintained for a period of 12 months after final completion. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

PROPOSED HOME UNITS

29-31 CASTLEREAGH ST
PENRITH

ARCHITECT:
CAD Plans
DESIGN Solutions

vision dynamics
landscape design
8 Blaxland Road
Killara NSW 2071
m:0412 282 888
an : visiondynamics @ westnet.com.au

DRAWING TITLE
LANDSCAPE CONCEPT PLAN

DRAWN FF SCALE 1:100@A1 OR 1:200@A3 REV.
DRAWING NUMBER **17082 DA 2-2** C

Australian Institute of Landscape Designers & Managers Ltd
NORTH