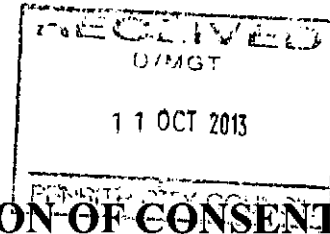


Wednesday 9th September 2013
Our Ref: 1108 S96



SECTION 96 MODIFICATION OF CONSENT

22 Rodley Avenue Penrith

Proposed Dwelling DA12/1352

THE SITE

The site is situated on the Southern side of Rodley Ave. It has dimensions of 15.24 m x 36.57m with an area of 557.4 m². The site to the rear is a paceway facility and residential dwellings are located adjoining each side.

The site is relatively level with a slight fall toward the street on the north.

The development was approved under DA12/1352 and is in the process of beginning construction.

THE PROPOSAL

The proposed development comprises a single storey dwelling with side and rear courtyards. Because during the process of the original DA council determined that the site is affected by an overland flow/flood situation with AHD of 27.5m, with potentially 800mm of water on the site, the approval to the dwelling required raising the ground floor level to approx. 1300 above natural ground level.

Upon consideration of the impact of this imposition on the utility of the dwelling it has been decided that the garage should be located under the dwelling in a basement to maximise the ground floor space for habitable accommodation. Because the dwelling ground floor is required to be substantially raised it means that the depth of excavation for the basement is accordingly reduced.

Thus an access ramp down is located at the front of the site rather than the approved ramp up and the basement is created under the dwelling with a passenger lift and internal and external stairs linking the 2 floors. The basement has been made approximately the same size as the ground floor to enable the owners to provide parking for their vehicles, turning and manoeuvring space and workshop/hobby areas.

The access ramp has high point set at 27.6m AHD which is 100mm above the flood level to prevent flood water entering the basement. Any water entering the basement from the ramp or rear stairs will be pumped to the street system by an approved pump system to council requirements.

There have been some small internal layout and front elevation changes with respect to deletion of the garage at ground floor but the development is effectively the same format both internally and externally.

There will be no change to the overall configuration, roof, stormwater, or overall size of the building and the approved visual appearance will be continued.

We therefore seek council's favourable consideration of these modifications.