

PROPOSED RESIDENTIAL FLAT BUILDING

36-38 Rodley Avenue, Penrith, NSW, 2750



DEVELOPMENT DETAILS		
Site Area	1112m ²	
Gross Floor Area (GFA)	1645m ²	
Zoning	R4 High Density Residential	
	Allowable	Proposed
Floor Space Ratio (FSR)*	n/a	1.48:1
Total Storeys	6	6
Communal Open Space	25%	217m ² 20%
Deep Soil Zones	7%	168m ² 15%

*LEP REQUIREMENT
 *SEPP 65 REQUIREMENT
 REFER SHEET DA02 FOR DETAILS

UNITS TYPES	
Type	Count
1B	1
2B	8
3B	8
TOTAL APARTMENTS: 17	

GROSS FLOOR AREA	
Level	Area
GROUND LEVEL	295.1 m ²
LEVEL 1	378.4 m ²
LEVEL 2	378.4 m ²
LEVEL 3	378.4 m ²
LEVEL 4	206.6 m ²
LEVEL 5	8.3 m ²
Grand total: 6	1645.2 m ²

COMMON OPEN SPACE	
Area	% of Site
217.3 m ²	19.54

DEEP SOIL AREA	
Area	% the Site
167.9 m ²	15.06

CAR SPACES REQUIRED	
1 Bed units: 1	1
2 Bed units Adaptable: 2	2
2 Bed units: 6	6
3 Bed units: 8	16
Visitors (1/5)	4
Service vehicles (1/40)	
Washing bay (1/50)	1
Grand total	30

CAR SPACES - TYPES	
Type	Number
Disabled - 2400w x 5400d	2
Service - 2500w x 5400d	7
STANDARD - 2500w x 5400d	35
Visitor - 2500w x 5400d	28
Grand total: 72	72

<table border="1"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>04-09-2018</td> <td>DA SUBMISSION</td> </tr> <tr> <td>B</td> <td>19-02-2019</td> <td>DA SUBMISSION</td> </tr> <tr> <td>C</td> <td>31-07-2019</td> <td>DA SUBMISSION</td> </tr> <tr> <td>D</td> <td>22-08-2019</td> <td>DA SUBMISSION</td> </tr> </tbody> </table>	ISSUE	DATE	AMENDMENT	A	04-09-2018	DA SUBMISSION	B	19-02-2019	DA SUBMISSION	C	31-07-2019	DA SUBMISSION	D	22-08-2019	DA SUBMISSION	<p>PROJECT PROPOSED RESIDENTIAL FLAT BUILDING</p> <p>ADDRESS 36-38 Rodley Avenue, Penrith, NSW, 2750</p>	<p>CLIENT Inglow Investments Two</p>	<p>MORSON GROUP</p> <p>REGISTERED ARCHITECT - R.A. MORSON REGISTRATION NUMBER 8100 A/CN 129 460 256, AREA 41 139 460 556 www.morsongroup.com 023 9380 4766 PO Box 170, Penrith, NSW 1505</p>	<p>SHEET NAME VIEWS AND SCHEDULES</p> <p>SHEET SIZE: A1 DAT SCALE 1:1</p>	<p>DRAWING NUMBER DA01</p> <p>ISSUE NO. D</p>
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D	22-08-2019	DA SUBMISSION																		

Compliance Schedule (SEPP65-2015 Apartment Design Guide - Design Criteria & Objectives)																	
Design Criteria	Compliance	Proposal															
<p>3D-1</p> <p>1. Communal open space has a minimum area equal to 25% of the site</p> <p>2. Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter)</p>	<p>-</p> <p>Yes</p>	<p>1. The Common Open Space is 217m² comprising 20% of the site. The Common Area is less than the required size for the site area. The units facing the south and those on ground have Terraces and Balconies which are in excess of the ADG minimums which are intended to offset the reduction in common area provided.</p> <p>The location and quality of the common area exceeds the requirements of the ADG and is a better design outcome as opposed to locating a compliant sized Common area at ground level in the rear corner of the site. The location of the Common Area at Level 5 being further setback from the side boundaries will have a lesser impact on the neighbouring properties.</p> <p>2. Sunlight Access Requirements are unable to be met due to the location of the Common area on the roof facing the views instead of the Northern Sunlight.</p>															
<p>3E-1</p> <p>1. Deep soil zones are to meet the following minimum requirements:</p> <table border="1"> <thead> <tr> <th>Site Area</th> <th>Min. Dimension</th> <th>Deep Soil Zone (% of site Area)</th> </tr> </thead> <tbody> <tr> <td><50m²</td> <td>-</td> <td>-</td> </tr> <tr> <td>50m²-1,500m²</td> <td>3m</td> <td>7%</td> </tr> <tr> <td>>1,500m²</td> <td>6m</td> <td>-</td> </tr> </tbody> </table>	Site Area	Min. Dimension	Deep Soil Zone (% of site Area)	<50m ²	-	-	50m ² -1,500m ²	3m	7%	>1,500m ²	6m	-	<p>Yes</p>	<p>1. Deep soil zones provided well exceed the minimum requirements. The site provides for a total area of 168m² of deep soil zone or 15% of total site.</p>			
Site Area	Min. Dimension	Deep Soil Zone (% of site Area)															
<50m ²	-	-															
50m ² -1,500m ²	3m	7%															
>1,500m ²	6m	-															
<p>3F-1</p> <p>Separation between windows and balconies is provided to ensure visual privacy is achieved. Min required separation distances from buildings to the side and rear boundaries are as follows:</p> <table border="1"> <thead> <tr> <th>Building Height</th> <th>Habitable rooms and balconies</th> <th>Non-habitable rooms</th> </tr> </thead> <tbody> <tr> <td>up to 12m (4 storeys)</td> <td>6m</td> <td>3m</td> </tr> <tr> <td>12m to 15m (5-8 storeys)</td> <td>9m</td> <td>4.5m</td> </tr> <tr> <td>15m to 20m (9+ storeys)</td> <td>12m</td> <td>6m</td> </tr> </tbody> </table> <p>Gallery access circulation treated as habitable space when measuring privacy separation distances between neighbouring properties.</p>	Building Height	Habitable rooms and balconies	Non-habitable rooms	up to 12m (4 storeys)	6m	3m	12m to 15m (5-8 storeys)	9m	4.5m	15m to 20m (9+ storeys)	12m	6m	<p>-</p>	<p>Setbacks: Northern Boundary: [NOTE: Street Frontage of Rodley Ave, residential housing across the road] Setback from 4.5m to 5.5m [Ground-Level 4] Setback from 8.0m to 9.1m [Level 5] Southern Boundary: Setback from 6.0m to 9.1m [Ground-Level 3] Setback 9.00m [Levels 4] Setback 16.9m [Levels 5] Western Boundary: Setback from 4.0m to 6.0m [Ground-Level 4] Setback 9.00m [Levels 4] Setback 12m [Levels 5] Eastern Boundary: Setback from 4.0m to 6.0m [Ground-Level 4] Setback 9.00m [Levels 4] Setback 12m [Levels 5]</p>			
Building Height	Habitable rooms and balconies	Non-habitable rooms															
up to 12m (4 storeys)	6m	3m															
12m to 15m (5-8 storeys)	9m	4.5m															
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<p>4A-1</p> <p>1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.</p> <p>3. A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter</p>	<p>Yes</p>	<p>1. 82% [14-17] of apartments receive 2 hours of direct sunlight.</p> <p>3. None of the apartments receive no direct sunlight between 9am & 3pm at mid winter</p>															
<p>4B-3</p> <p>1. At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed</p> <p>3. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line</p>	<p>Yes</p> <p>n/a</p>	<p>1. 94% [16-17] of apartments are cross-ventilated</p>															
<p>4C-1</p> <p>Measured from finished floor level to finished ceiling level, minimum ceiling heights are:</p> <table border="1"> <thead> <tr> <th>Minimum ceiling height for apartment and mixed use buildings</th> </tr> </thead> <tbody> <tr> <td>Habitable rooms</td> </tr> <tr> <td>Non-habitable</td> </tr> <tr> <td>For 2 storey apartments</td> </tr> </tbody> </table> <p>2.4m for second floor, where its area does not exceed 50% of the apt. area</p>	Minimum ceiling height for apartment and mixed use buildings	Habitable rooms	Non-habitable	For 2 storey apartments	<p>Yes</p>	<p>Minimum ceiling heights are in accordance with the design criteria</p>											
Minimum ceiling height for apartment and mixed use buildings																	
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<p>4D-1</p> <p>1. Apartments are required to have the following minimum internal areas:</p> <table border="1"> <thead> <tr> <th>Apartment type</th> <th>Minimum internal area</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>35m²</td> </tr> <tr> <td>1 bedroom</td> <td>50m²</td> </tr> <tr> <td>2 bedroom</td> <td>70m²</td> </tr> <tr> <td>3 bedroom</td> <td>90m²</td> </tr> </tbody> </table> <p>The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each</p> <p>2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.</p>	Apartment type	Minimum internal area	Studio	35m ²	1 bedroom	50m ²	2 bedroom	70m ²	3 bedroom	90m ²	<p>Yes</p>	<p>Minimal internal areas are in accordance with the design criteria</p>					
Apartment type	Minimum internal area																
Studio	35m ²																
1 bedroom	50m ²																
2 bedroom	70m ²																
3 bedroom	90m ²																
<p>4D-2</p> <p>1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height</p> <p>2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window</p>	<p>Yes</p> <p>Yes</p>	<p>Habitable room depths are in accordance with the design criteria</p>															
<p>4D-3</p> <p>1. Master bedrooms have a minimum area of 10m² and other bedrooms to have 9m² (excluding wardrobe space)</p> <p>2. Bedrooms have a minimum dimension of 3m (excl. wardrobe space)</p> <p>3. Living rooms or combined living/dining rooms have a minimum width of:</p> <ul style="list-style-type: none"> • 3.6m for studio and 1 bed apartments • 4m for 2 and 3 bedroom apartments 	<p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>All bedrooms are 9m² & Master bedrooms 10m².</p> <p>All bedrooms have minimum dimension of 3m.</p> <p>All living rooms have minimum dimension of 4m.</p>															
<p>4E-1</p> <p>1. All apartments are required to have primary balconies as follows:</p> <table border="1"> <thead> <tr> <th>Dwelling type</th> <th>Minimum area</th> <th>Minimum depth</th> </tr> </thead> <tbody> <tr> <td>Studio apartments</td> <td>4m²</td> <td>1m</td> </tr> <tr> <td>1 bedroom apartments</td> <td>8m²</td> <td>2m</td> </tr> <tr> <td>2 bedroom apartments</td> <td>10m²</td> <td>2m</td> </tr> <tr> <td>3+ bedroom apartments</td> <td>12m²</td> <td>2.4m</td> </tr> </tbody> </table> <p>The minimum balcony depth to be counted as contributing to the balcony area is 1m.</p> <p>2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m</p>	Dwelling type	Minimum area	Minimum depth	Studio apartments	4m ²	1m	1 bedroom apartments	8m ²	2m	2 bedroom apartments	10m ²	2m	3+ bedroom apartments	12m ²	2.4m	<p>Yes</p> <p>Yes</p>	<p>1. Balconies provided to apartments are in accordance with this design criteria.</p> <p>2. Terraces provided to apartments are in accordance with this design criteria.</p>
Dwelling type	Minimum area	Minimum depth															
Studio apartments	4m ²	1m															
1 bedroom apartments	8m ²	2m															
2 bedroom apartments	10m ²	2m															
3+ bedroom apartments	12m ²	2.4m															
<p>4F-1</p> <p>1. The maximum number of apartments off a circulation core on a single level is eight</p> <p>2. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40</p>	<p>Yes</p> <p>n/a</p>	<p>1. All levels provide 4 or less apartments off a circulation core.</p>															
<p>4G-1</p> <p>1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided:</p> <table border="1"> <thead> <tr> <th>Apartment type</th> <th>Storage size volume</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>4m³</td> </tr> <tr> <td>1 bedroom</td> <td>6m³</td> </tr> <tr> <td>2 bedroom</td> <td>8m³</td> </tr> <tr> <td>3+ bedroom</td> <td>10m³</td> </tr> </tbody> </table> <p>At least 50% of the required storage is to be located within the apartment</p>	Apartment type	Storage size volume	Studio	4m ³	1 bedroom	6m ³	2 bedroom	8m ³	3+ bedroom	10m ³	<p>Yes</p>	<p>All storage requirements are in accordance with this design criteria. Storage Cages are provided in the basement in addition to storage cupboards provided within the apartment.</p>					
Apartment type	Storage size volume																
Studio	4m ³																
1 bedroom	6m ³																
2 bedroom	8m ³																
3+ bedroom	10m ³																

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

- The following specifications take precedence over other plan notations for the construction of this building.
- NOTE:** In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building. This includes New South Wales Part J(A). Specifically:
- Building thermal construction is in accordance with part J1.2
 - loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
 - where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
 - Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
 - Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
 - Any new mechanical ventilation system is installed in accordance with Part J5.3
 - Any new miscellaneous exhaust system is installed in accordance with Part J5.4
 - Any new heated water system is installed in accordance Part J7.2
 - Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)
 U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)
 Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL
 Cavity Panel/Concrete – No Insulation
 Partition walls – No thermal insulation required

EXTERNAL FLOOR
 Concrete Slab on Ground – No insulation
 Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

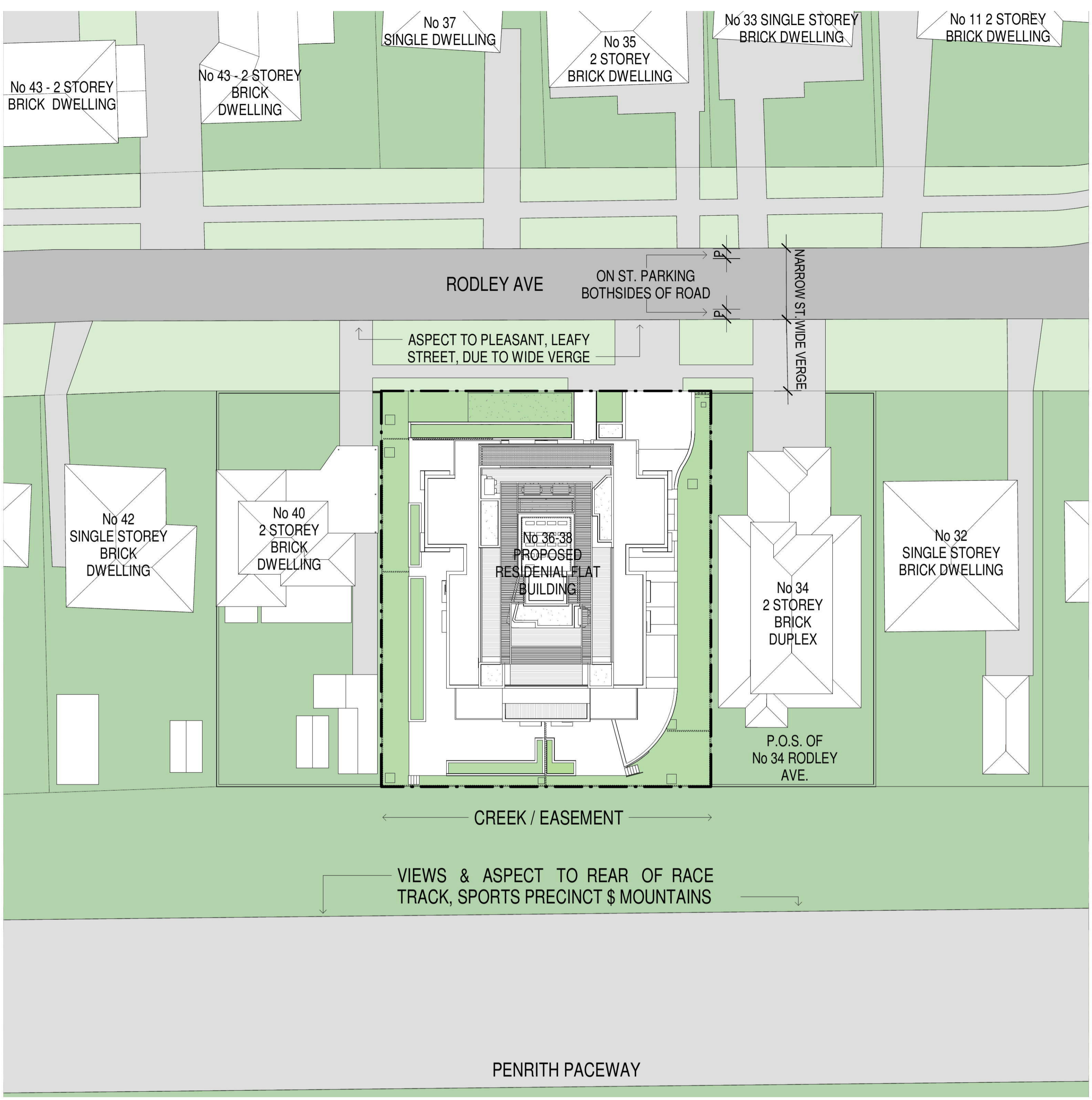
EXTERNAL CEILING/ROOF (Medium colour)
 Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

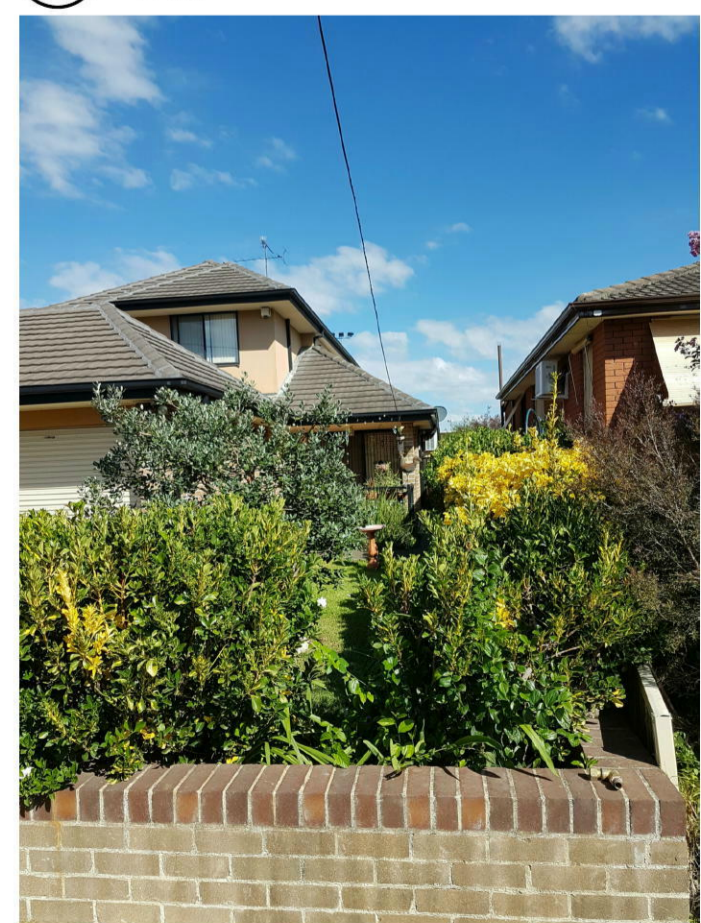
Design Statement (SEPP65-2015 SCHEDULE 1 - Design Quality Principles)				
Principle 1: Context and Neighbourhood Character	Principle 2: Built Form and Scale	Principle 3: Density	Principle 4: Sustainability	
<p>Low-density Residential: The remaining neighbouring properties to the North, along Rodley Ave to the East, and South side of Rodley Ave, predominantly consist of low density single and two storey residential dwellings (houses and townhouses). The majority of these lots contain single low-density housing located on long rectangular lots with the short boundary addressing the street. Scattered throughout the low-density housing are some medium-density villa and townhouse developments which are generally consist of central 'gun-barrel' driveways with terraces on either side.</p> <p>Short term to future growth pattern: We note the urban fabric is changing from a low-density to an urban high-density with recent legislative amendments in the Penrith LGA. To clarify, the change in scale is from a one or two storey single dwelling per lot to a 5-6 storey residential development.</p> <p>Context: Neighbourhood Character and UDRP recommendations have been taken into consideration during the design. It is believed that the design responds and contributes to its context, setting a good example for the future proposed developments in the area.</p>	<p>The design responds to its associated context (identified in Principle 1). The proposal is to construct a single tower addressing Rodley Ave. The facade is well articulated and the footprint sits well within the regular shaped site, mimicking the layout pattern of dwellings along Rodley Ave. Common open space is located on Level 5 at the rear of the property to maximise access to the views. The result is an outcome which allows cross ventilation and natural light to a large number of the units. The cross ventilation meets the minimum requirements as well as the direct sunlight between 9am & 3pm at mid winter.</p> <p>UDRP panel recommended design solutions have been taken on board and integrated into the design. Facade articulation and innovation is successfully achieved through both form and colours reducing bulk and scale. The design achieves a positive outcome for built form, scale, context and neighbouring character.</p> <p>R4 zoning and SEPP65 setbacks and height controls have been generally adopted in the proposal. In order to accommodate the stepping of upper stores and for the building to be well articulated, proposed setbacks and height may vary in parts from the minimum SEPP65 requirements. It is assumed that the proposed setbacks and heights would be found acceptable. The highest height intrusion is the top of lift shaft at nominal 1.88m above the allowable 18m height control and has an RL 46.940. The lift shaft being centrally located within the site presents no adverse impacts on neighbouring properties.</p>	<p>The Penrith LGA has recently seen an upzoning of residential areas to R4 High-Density Residential. The subject site lies within such an area with several Development Applications having already been submitted to Council in the close proximity of Devlins Parade and Vista Streets.</p> <p>As there is no FSR control on the site, the density of the proposed development is controlled by the height limits and setbacks as per the ADG Tower Separation Controls.</p> <p>Moreover, Communal Open Spaces and Deep Soils zones in the proposed development meet the minimum requirements of the ADG, further controlling the allowable density on the site.</p> <p>The proposal consists of a mixture of large 2 and 3 bedroom apartments.</p> <p>It is believed that the proposed development seeks full compliance in this SEPP 65 Principle.</p>	<p>The Apartment Design Guide 2015 aims to deliver improved sustainability through better traffic and transport solutions, greater building adaptability and robustness, improved energy efficiency and water sensitive urban design.</p> <p>The proposed development aims to exceed the minimum standards of the ADG 2015 wherever possible. Consideration has been given to the increased apartment areas throughout the development to facilitate future sustainable growth of Sydney's outer suburbs.</p> <p>Bicycle parking has been located on basement 1 to promote the use of active transport to the Penrith area in lieu of vehicle use. (See Principle 6 for details). The development also features landscape areas in accordance with the requirements of the ADG 2015 design criteria. (See Principle 5 for details).</p> <p>The development also features well designed apartments with cross ventilation and solar access to the vast majority of the apartments, and well exceeds the minimum ADG 2015 requirements. Use of awnings will reduce the energy consumption in summer months by protecting west-facing apartments and controlling the internal conditions of the apartments.</p>	
Principle 5: Landscape	Principle 6: Amenity	Principle 7: Safety	Principle 8: Housing Diversity & Social Interaction	Principle 9: Aesthetics
<p>Deep soil planting has been embellished along all boundaries allowing full height trees to grow and provide privacy between the neighbouring properties and potential future adjacent developments.</p> <p>Due to the easement diversion to the western boundary canopy trees are unable to be provided in the deep soil area in this location. To compensate for this planters on structure have been provided adjacent the easement so that canopy trees can be provided to the western setback.</p> <p>Deep soil pockets were maximized and replacement trees are proposed to accommodate landscaping complementing the design and street frontages.</p> <p>The carparking levels have been designed to minimize the footprint but accommodate all the necessary carparking and services.</p> <p>Landscaping has been maximised through locating planters on the ground level structure and also at level: 5 to provide amenity to the Common Open Space.</p>	<p>Penrith Progression 2015 identifies walking & cycling as a "Shaping Element" to make Penrith an Active City (2.7).</p> <p>The site is located about 1.1km walking distance to the Penrith Train Station and 0.4km to Penrith Westfields. On site Bicycle Parking has been provided to promote active transport in and around the Penrith CBD.</p> <p>This design consideration is intended to improve the amenity of the internal living areas of the apartments by maximizing the amount of daylight access and natural cross ventilation, as per the ADG minimum requirements.</p> <p>The apartment layouts are efficient and meet the minimum ADG requirements. 10% of the units have been provided as accessible per the NCC requirements.</p> <p>Sunshading Devices have been applied to the facade to improve the internal environment of each apartment, exceeding minimum standards with regards to BASIX compliance.</p> <p>The Common Open Space has been provided on Level 5 to achieve the highest degree of amenity. The Common Area has access to the best views of the proposal and features gardens and planting to provide amenity.</p>	<p>Secure pedestrian entry into the site has been logically located through the centre of the building along side the vehicle entry and expressed in the facade to read as such. Intercom access & CCTV at the entry provides security from street. Although the pedestrian and vehicle entries are co-located, each access point is separated with a separate access point.</p> <p>Entry into the basement carpark is via a roller shutter control point with swipe card security to gain access</p> <p>Side Fences at the building line secure the external areas of the development. Gates are provided in the side fences to allow for egress and access to services within the development such as the stormwater easement and biofiltration bed.</p>	<p>Residential areas of Penrith have traditionally included a mix of detached housing (3br+) with a scattering of villa developments closer to the Penrith CBD (2br+). With the recent rezoning to R4 High-Density Residential, the proposed development aligns itself to the existing demographic while providing increase density to respond to the demands of the growing outer suburban ring of Western Sydney.</p> <p>The development features a mix of 2br & 3br apartments which also responds to current market demands in the area. Located in Western Sydney, apartments prices are considerably lower than inner city equivalents which facilitates affordability by default.</p> <p>Social interaction between residents of the development is enriched by the design of the lift lobbies and the Level 5 Common Area. Lift Lobbies are pleasant spaces to interact as they are Open at 2 sides with views to the outside world and direct connection to the lift access point.</p>	<p>The character of the building reflects the context in which it is located (as identified in Principle 1).</p> <p>Rodley Ave frontage is set in a moderately quiet residential context. The composition of facade elements is sympathetic to the scale of the surrounding residential houses and lower scale buildings.</p> <p>The combination of facade articulation and landscaping successfully emphasize the building entry.</p> <p>The facades of the building define a hierarchy for the site. Rodley Ave facade is primary and the facades looking to the side setbacks maintain a secondary role. However, through materials & facade articulation & colour, both facades pursue rationality, clarity, proportion and rhythm which results in a simple elegance (values frequently lost).</p>



1 SITE PLAN - 1500
DA14 1:1500



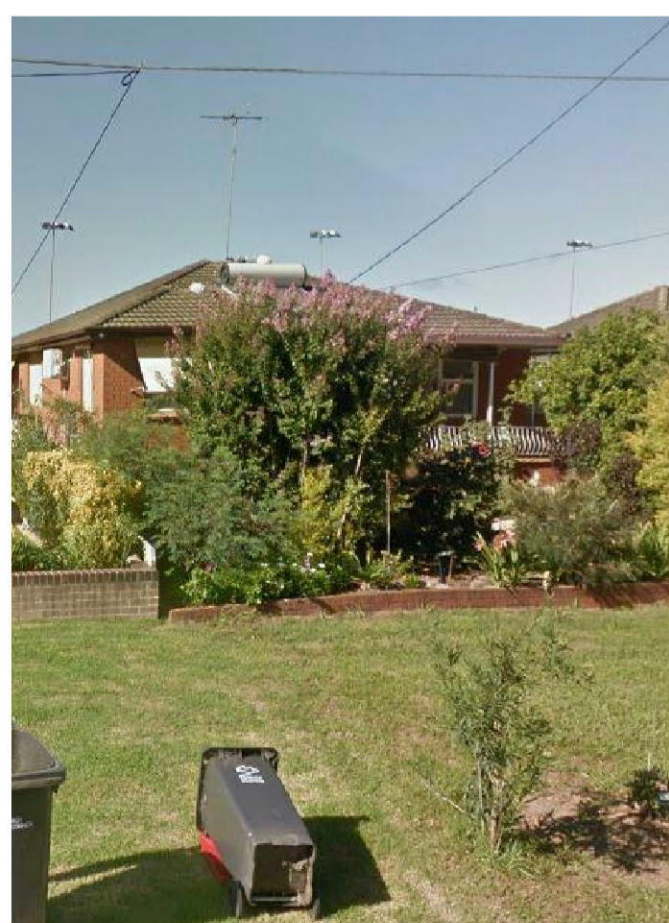
2 SITE PLAN & ANALYSIS - 500
DA14 1:250



No 36 & No 34 BOUNDARY



No 36 EASTERN BOUNDARY



No 36 FROM RODLEY ST



CREEK



No 38 WESTERN BOUNDARY



No 38 & No 40 SIDE BOUNDARY



No 38 & No 40 SIDE BOUNDARY

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	31-07-2019	DA SUBMISSION
C	22-08-2019	DA SUBMISSION

PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING

ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two

SCALE BAR
NORTH POINT

MORSON GROUP

UNREGISTERED ARCHITECTS - P/L
MORSON REGISTRATION NUMBER 8100
ACN 129 460 056, ABN 41 129 460 056
www.morsongroup.com.au
223 SMOKE DRIVE
PO Box 170, Penrith, NSW 1505

SHEET SIZE: A1 DAT
SCALE: As Indicated

SHEET NAME
SITE PLAN

DRAWING NUMBER **DA04**

ISSUE NO. **C**

RODLEY AV

KERB INLET PIT

SEALED PIT
SL 26.87

SEALED PIT

POWER POLE

TELSTRA PIT

COUNCIL DRAINAGE
EASEMENT (1.826 WIDE)

COMPLETLEY
DEMOLISH ALL
PAVING SLABS &
DRIVEWAYS

DP33490
LOT 59

DP33490
LOT 58

COMPLETLEY
DEMOLISH ALL
PAVING SLABS &
DRIVEWAYS

COMPLETLEY DEMOLISH
EXISTING RESIDENCE
DOWN TO FOOTINGS.
CAP OFF ALL SERVICES

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COMPLETLEY
DEMOLISH ALL PAVING
SLABS & DRIVEWAYS

COMPLETLEY
DEMOLISH ALL PAVING
SLABS &
DRIVEWAYS

COMPLETLEY DEMOLISH ALL
EXISTING GARAGES,
CARPORTYS & OUTBUILDINGS
DOWN TO FOOTINGS

SEDIMENT & EROSION CONTROL

NOTE:

1. ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001 (THE DEMOLITION OF STRUCTURES)

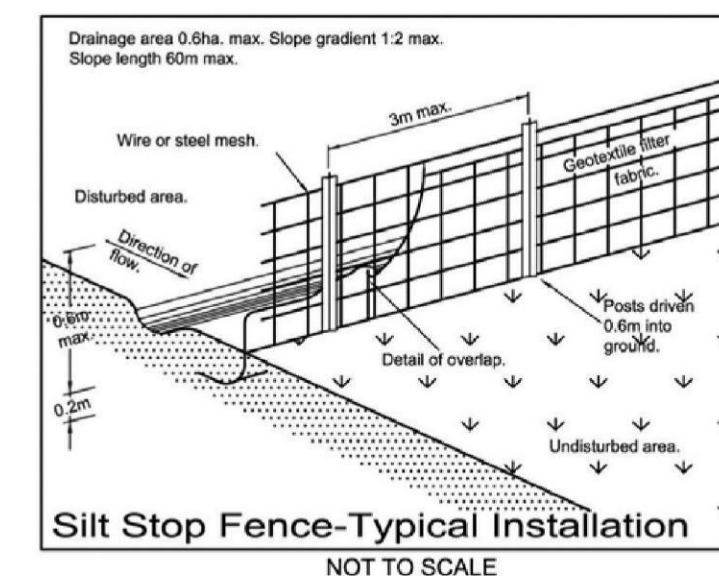
2. THIS DEMOLITION DRAWING GIVES AN INDICATION OF THE SCOPE REQUIRED TO CARRY OUT THE ALTERATIONS & ADDITIONS AS PROPOSED. THE BUILDER IS ASSUMED TO HAVE INSPECTED THE SITE DURING TENDERING & ALLOWED FOR ALL DEMOLITION INCLUDING SUNDRY WORKS NOT INDICATED ON THIS DRAWING THAT ARE REQUIRED IN ORDER TO CONSTRUCT THE WORKS.

1. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES TO THE COUNCIL'S SPECIFICATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION.

2. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN A SATISFACTORY WORKING ORDER DURING THE CONSTRUCTION PERIOD. INSPECTIONS OF THESE DEVICES SHALL BE CARRIED OUT AFTER EACH STORM. REPAIRS AND/OR DE-CLOGGING SHALL BE CARRIED OUT TO ENSURE PROPER OPERATION OF THE DEVICE.

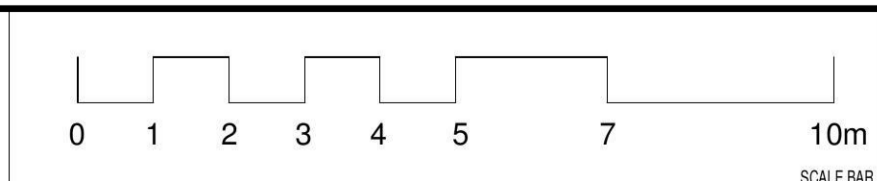
3. STORAGE OF MATERIALS AND EQUIPMENT SHALL BE WITHIN SEDIMENT CONTROLLED AREAS.

4. REMOVE SILT STOP FENCING AND DRAINAGE STRUCTURE SEDIMENT CONTROL TRAPS AFTER VEGETATION IS ESTABLISHED.



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	22-08-2019	DA SUBMISSION

LEGEND	
	NEW WALL WORK
	EXISTING WALL
	DEMOLITION
	TREE TO BE REMOVED
	TREE TO BE RETAINED
	NEW PLANTING
	PROPOSED LEVEL



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



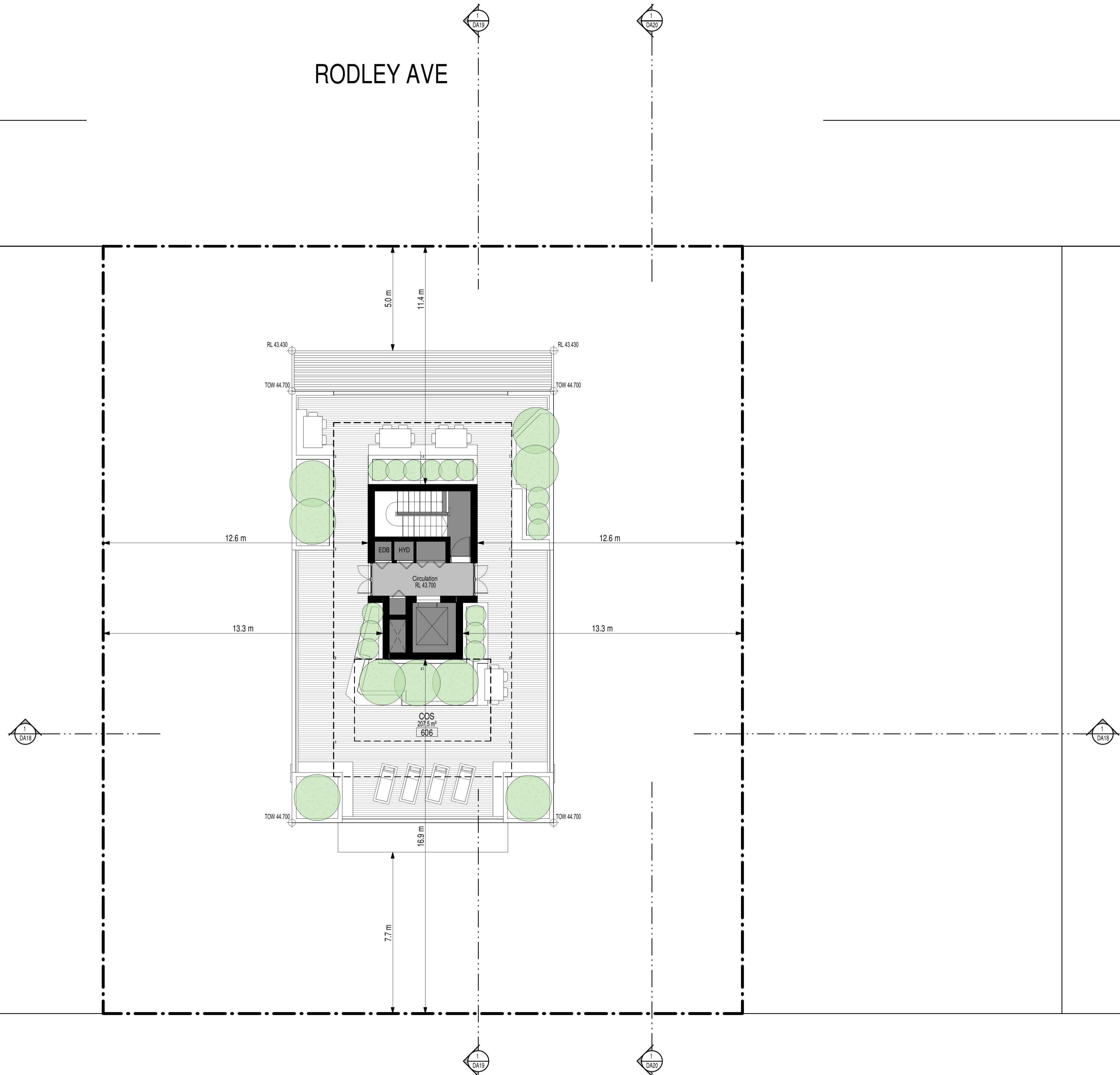
UNREGISTERED ARCHITECTS - P/L
MORSON REGISTRATION NUMBER 8100
ACN 129 480 056, ABN 41 101 463 894
www.morsongroup.com
223 9380 4744
PO Box 170, Penrith, NSW 1505

SHEET SIZE: A1 DAT
SCALE: 1:100

SHEET NAME
DEMOLITION PLAN

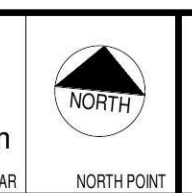
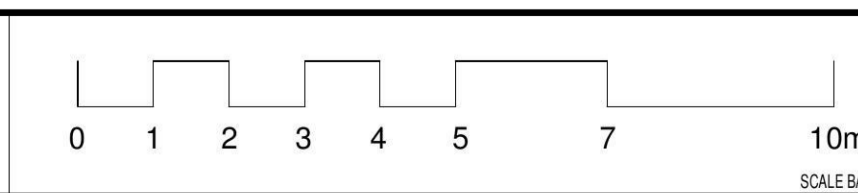
DRAWING NUMBER
DA05
ISSUE NO.
B

RODLEY AVE



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION

LEGEND	
	NEW WALL WORK
	EXISTING WALL
	DEMOLITION
	TREE TO BE REMOVED
	TREE TO BE RETAINED
	NEW PLANTING
RL	PROPOSED LEVEL



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglow Investments Two

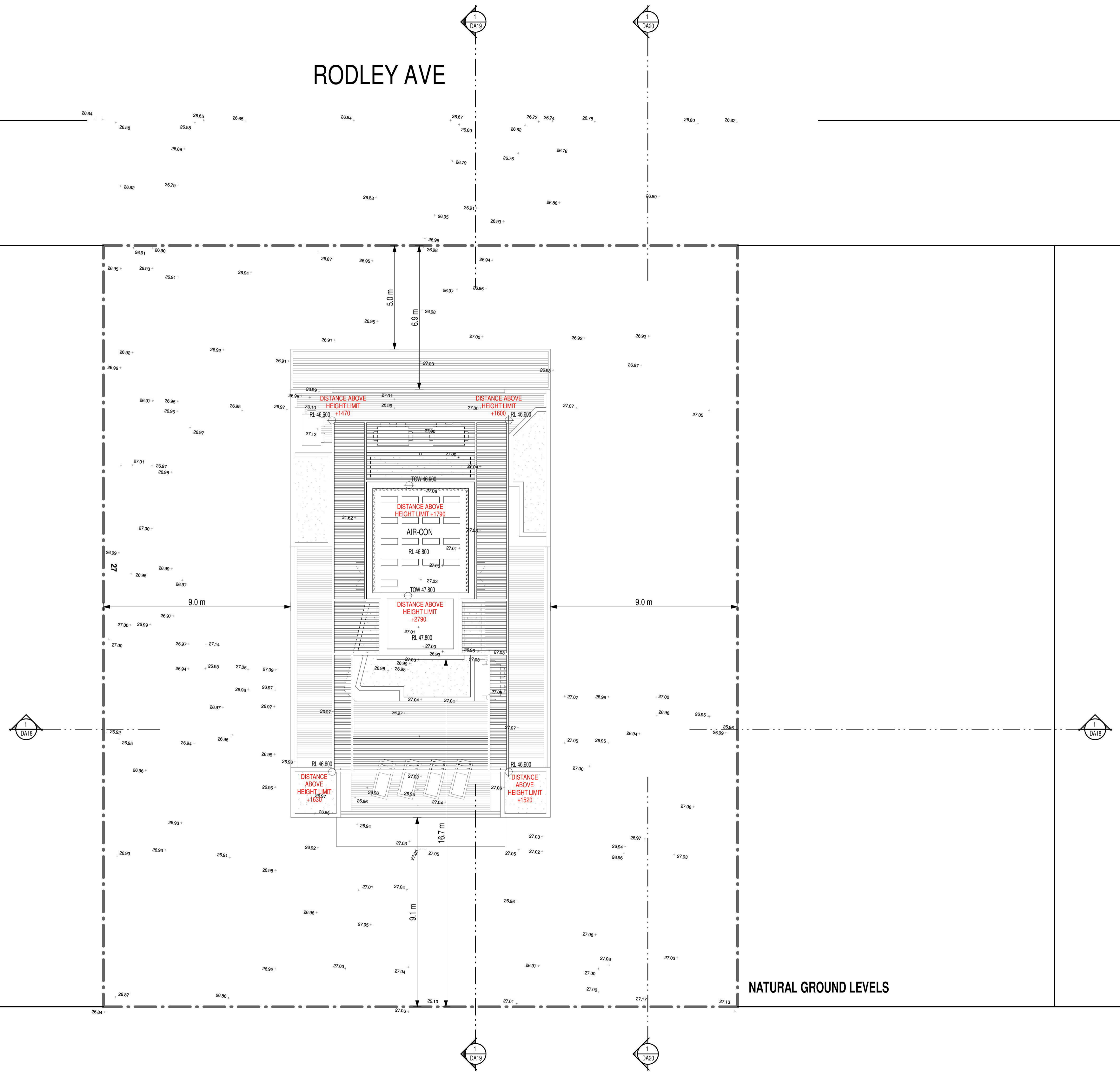


MORSON ARCHITECTS - P/L
 MORSON REGISTRATION NUMBER 8100
 A/CN 121 480 256, AREA 41, 121 480 256
 www.morsongroup.com
 223 7980 4744
 PO Box 170, Penrith, NSW 1505

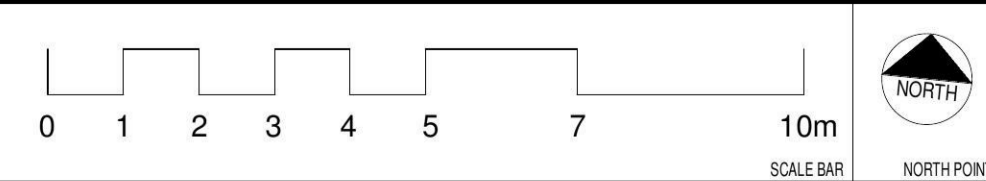
SHEET NAME
LEVEL 5
 SHEET SIZE: A1
 SCALE: E
 1:100

DRAWING NUMBER
DA10
 ISSUE NO.
D

RODLEY AVE



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION

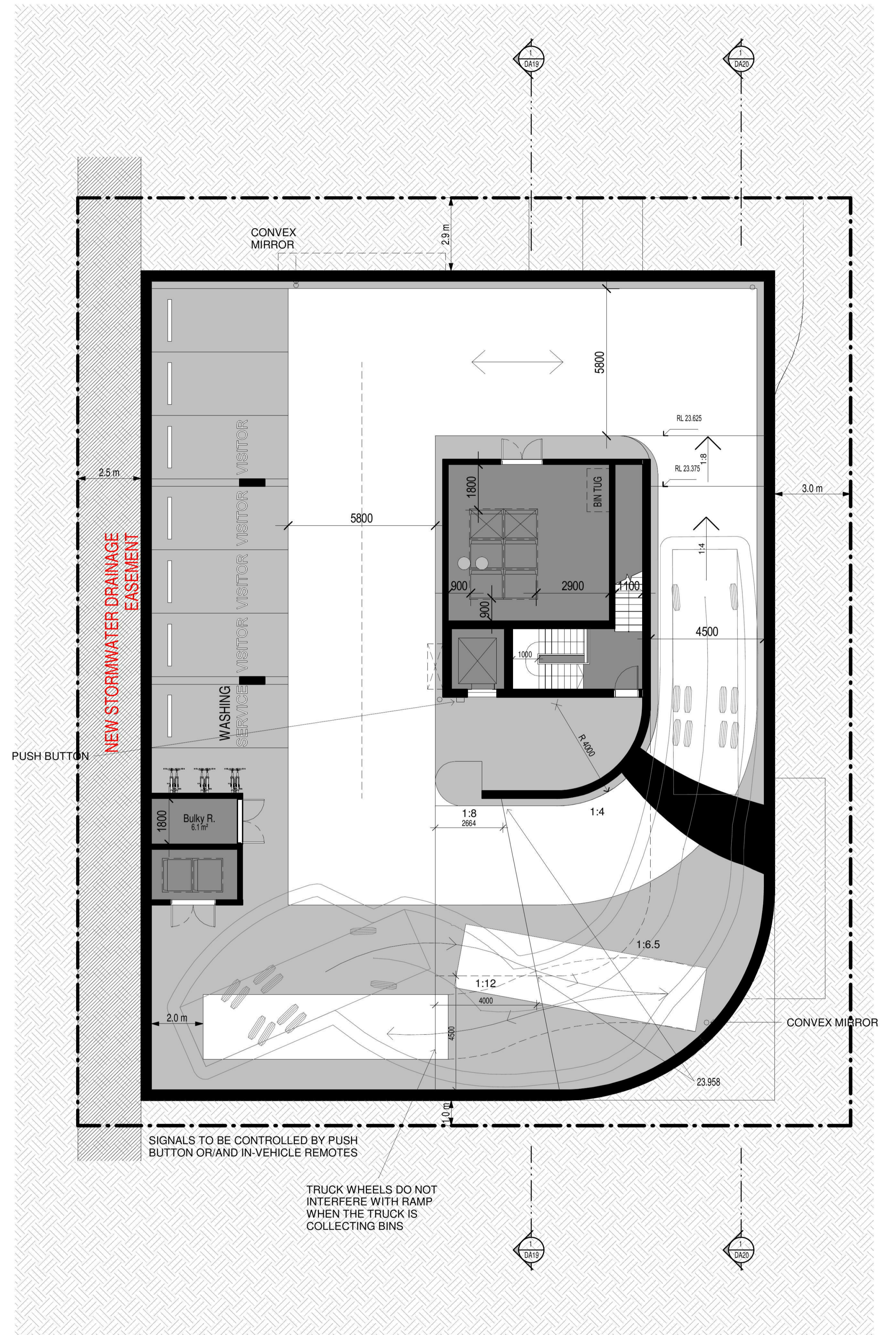
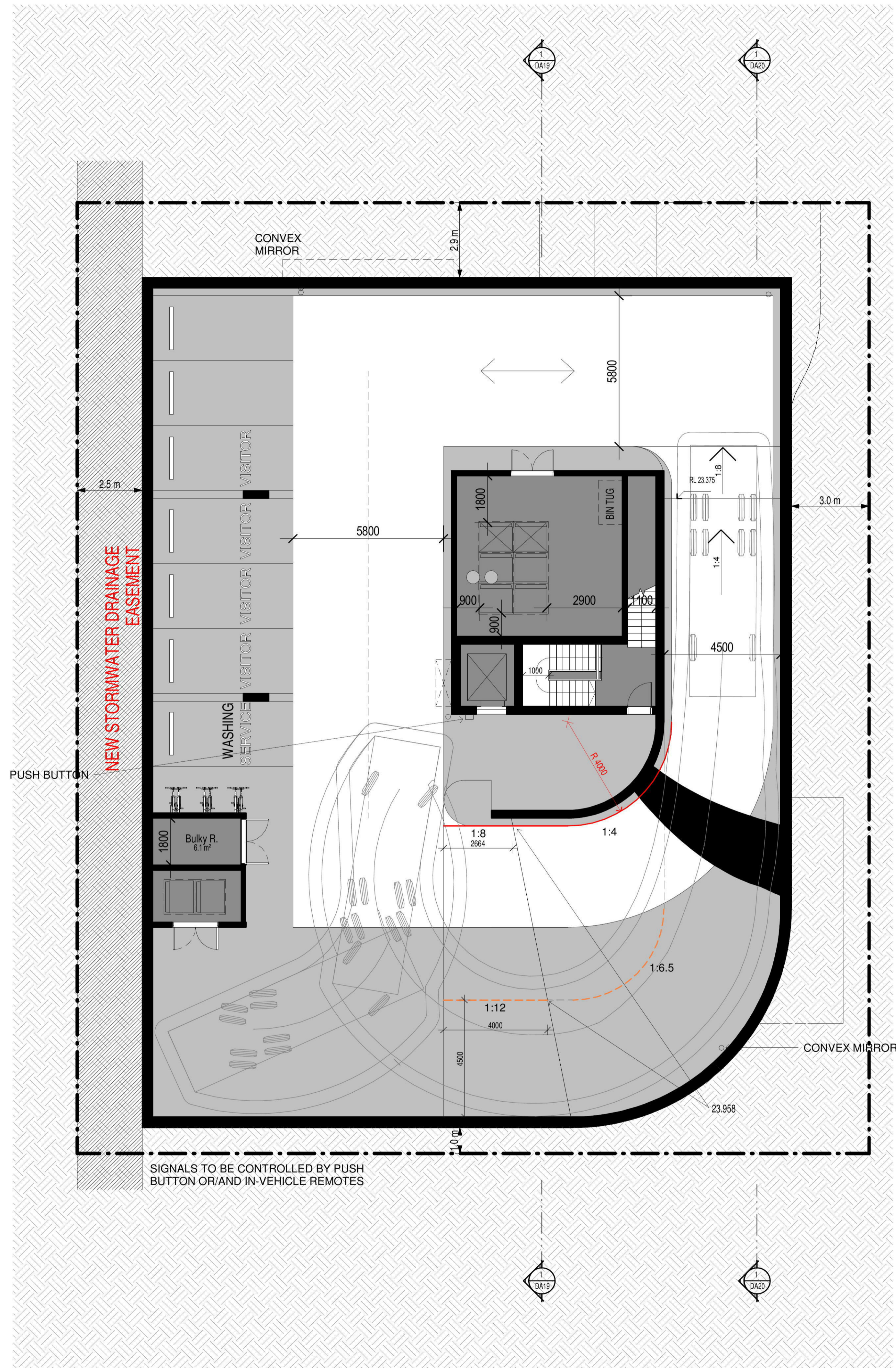


PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglow Investments Two

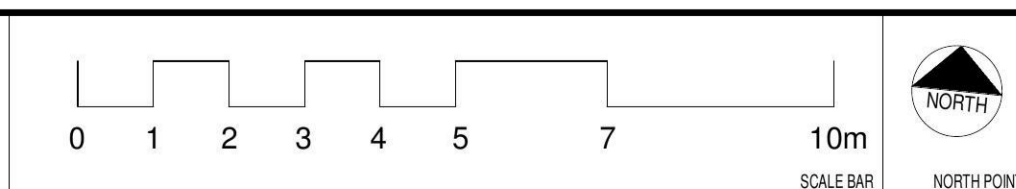


SHEET NAME
ROOF
 SHEET SIZE: A1
 SCALE
 1:100

DRAWING NUMBER
DA11
 ISSUE NO.
D



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION



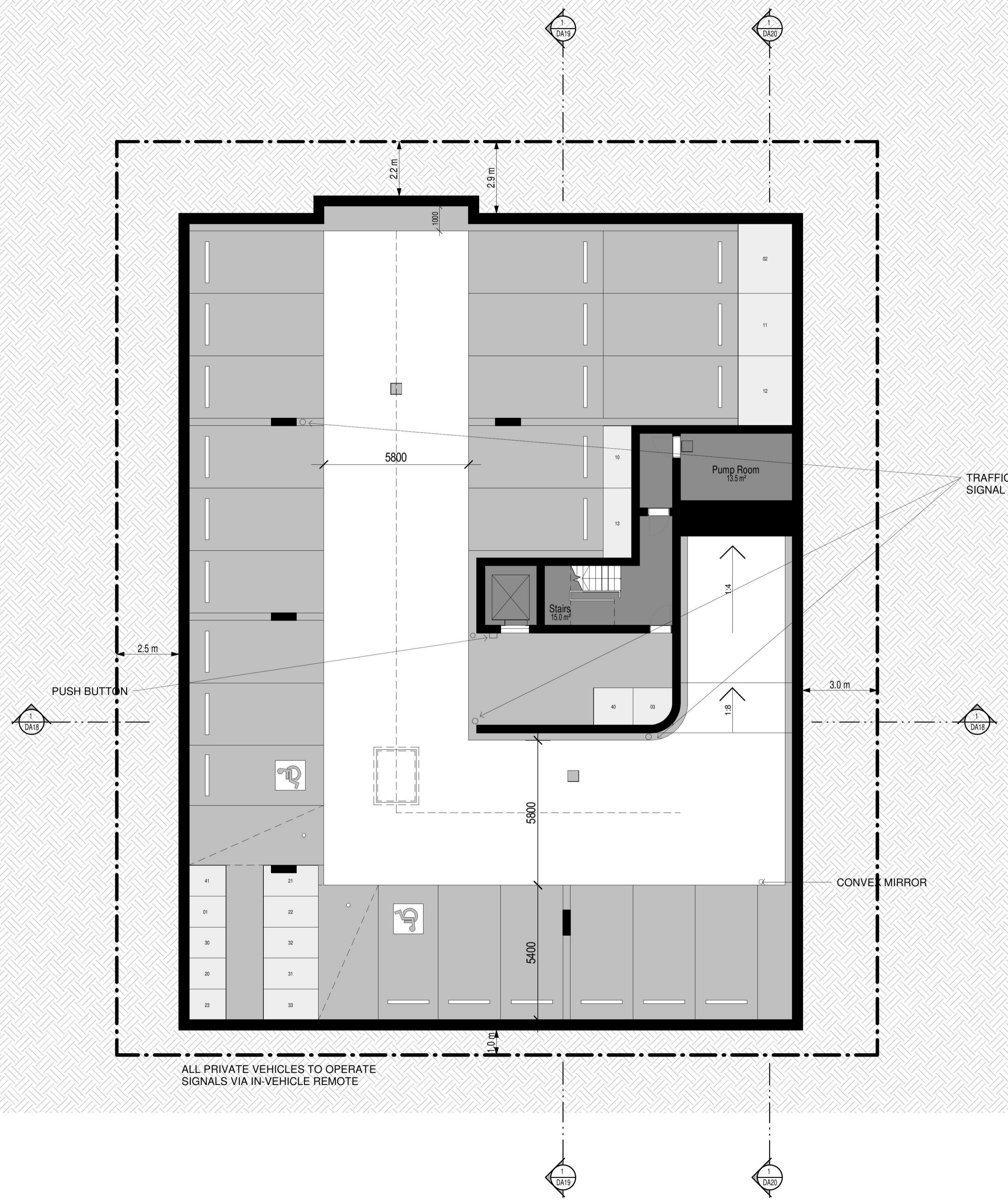
PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglo Investments Two

MORSON GROUP

 MORSON ARCHITECTS - P/L
 MORSON REGISTRATION NUMBER 8100
 A/CN 127 460-256, AREA 41 127 460-256
 www.morsongroup.com
 223 5300 4744
 PO Box 170, Penrith, NSW 1505

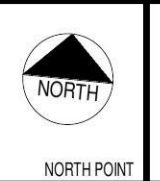
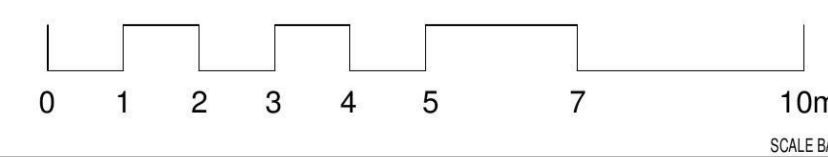
SHEET SIZE: A1
 SCALE: E
 1:100

SHEET NAME **BASEMENT 1**
 DRAWING NUMBER **DA12**
 ISSUE NO. **D**



ALL PRIVATE VEHICLES TO OPERATE SIGNALS VIA IN-VEHICLE REMOTE

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
 Inglow Investments Two



SHEET SIZE: A1
 SCALE: 1:100

SHEET NAME
BASEMENT 2

DRAWING NUMBER
DA13
 ISSUE NO.
D

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

This includes New South Wales Part J(A). Specifically:

- Building thermal construction is in accordance with part J1.2
- loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
- where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation

Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

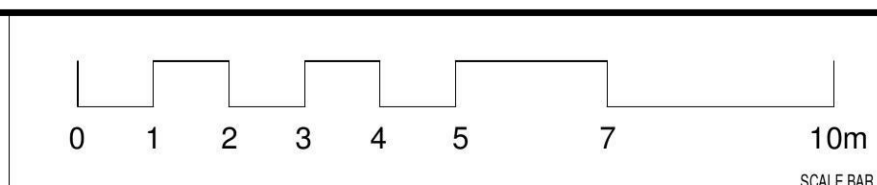
EXTERNAL CEILING/ROOF (Medium colour)

Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-03-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
 Inglow Investments Two



REGISTERED ARCHITECTS - P/L
 MORSON REGISTRATION NUMBER 8100
 A/CN 129 460 256 AREA 41 129 460 256
 www.morsongroup.com
 223 7900 4744
 PO Box 170, Penrith, NSW 1505

SHEET NAME
ELEVATION NORTH

DRAWING NUMBER
DA14
 ISSUE NO.
D

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

- This includes New South Wales Part J(A). Specifically:
- Building thermal construction is in accordance with part J1.2
 - loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
 - where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
 - Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
 - Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
 - Any new mechanical ventilation system is installed in accordance with Part J5.3
 - Any new miscellaneous exhaust system is installed in accordance with Part J5.4
 - Any new heated water system is installed in accordance Part J7.2
 - Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)
U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

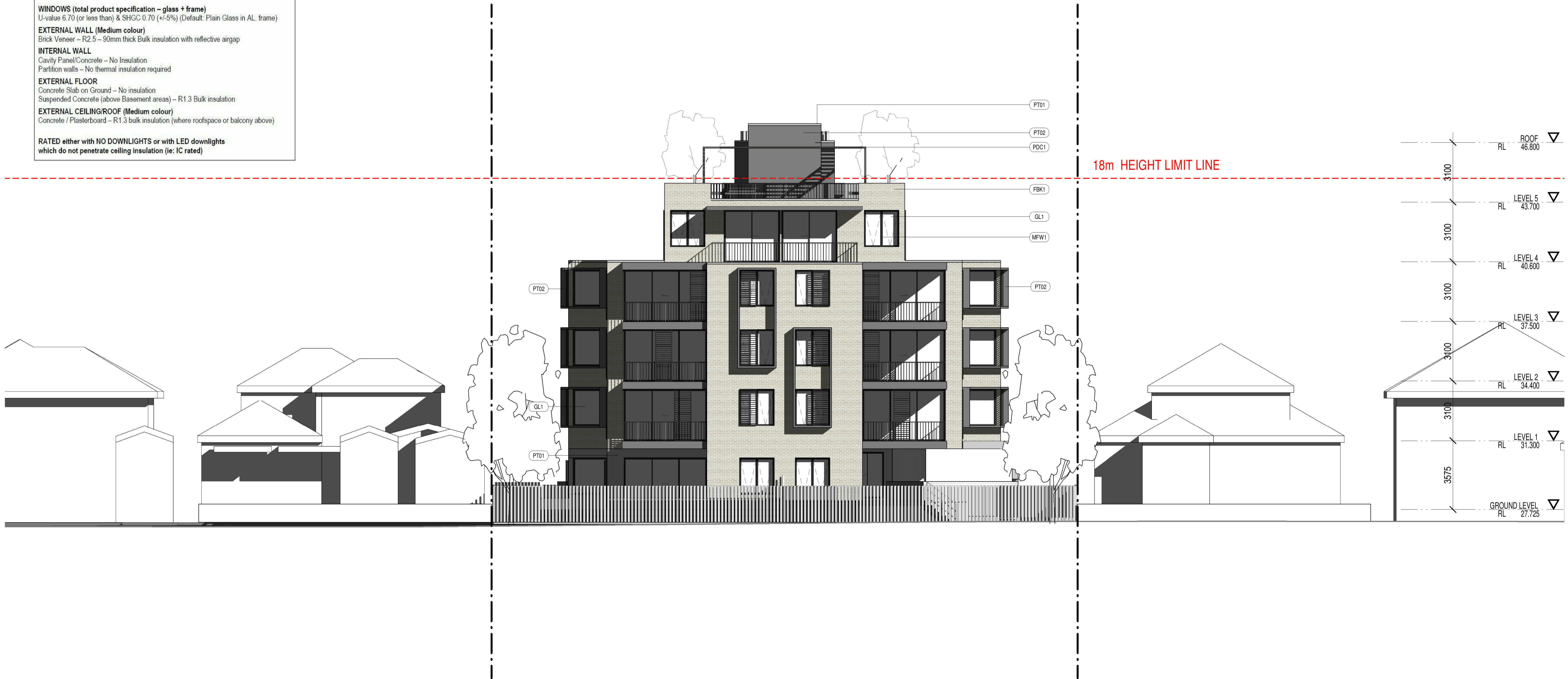
EXTERNAL WALL (Medium colour)
Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL
Cavity Panel/Concrete – No Insulation
Partition walls – No thermal insulation required

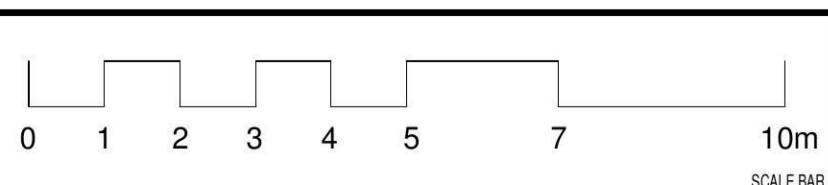
EXTERNAL FLOOR
Concrete Slab on Ground – No insulation
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)
Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-03-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



REGISTERED ARCHITECT - P.A.
MORSON REGISTRATION NUMBER 8100
A/CN 129 480 256 AREA 41 129 480 256
www.morsongroup.com
223 7380 4744
PO Box 170, Penrith, NSW 1505

SHEET NAME
ELEVATION SOUTH

SHEET SIZE: A1 DAT
SCALE: 1:100
DRAWING NUMBER
DA15
ISSUE NO.
D

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

This includes New South Wales Part J(A). Specifically:

- Building thermal construction is in accordance with part J1.2
- loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
- where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation

Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

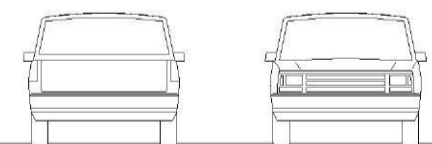
EXTERNAL CEILING/ROOF (Medium colour)

Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

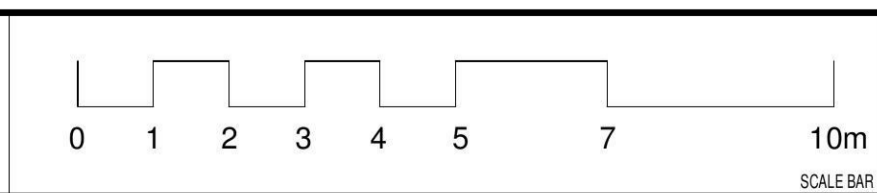
RATED either with NO DOWNLIGHTS or with LED downlights

which do not penetrate ceiling insulation (ie: IC rated)

RODLEY AVE



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-03-2019	DA SUBMISSION
C	21-05-2019	DA SUBMISSION
D	31-07-2019	DA SUBMISSION
E	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
 Inglow Investments Two



REGISTERED ARCHITECT - P.A.
 MORSON REGISTRATION NUMBER 8100
 A/CN 129 460 256 AREA 41 129 460 256
 www.morsongroup.com
 223 7300 4744
 PO Box 170, Penrith, NSW 1505

SHEET NAME
ELEVATION WEST

SHEET SIZE: A1 DAT
 SCALE
 1:100

DRAWING NUMBER
DA16

ISSUE NO.
E

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

This includes New South Wales Part J(A). Specifically:

- Building thermal construction is in accordance with part J1.2
- loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
- where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

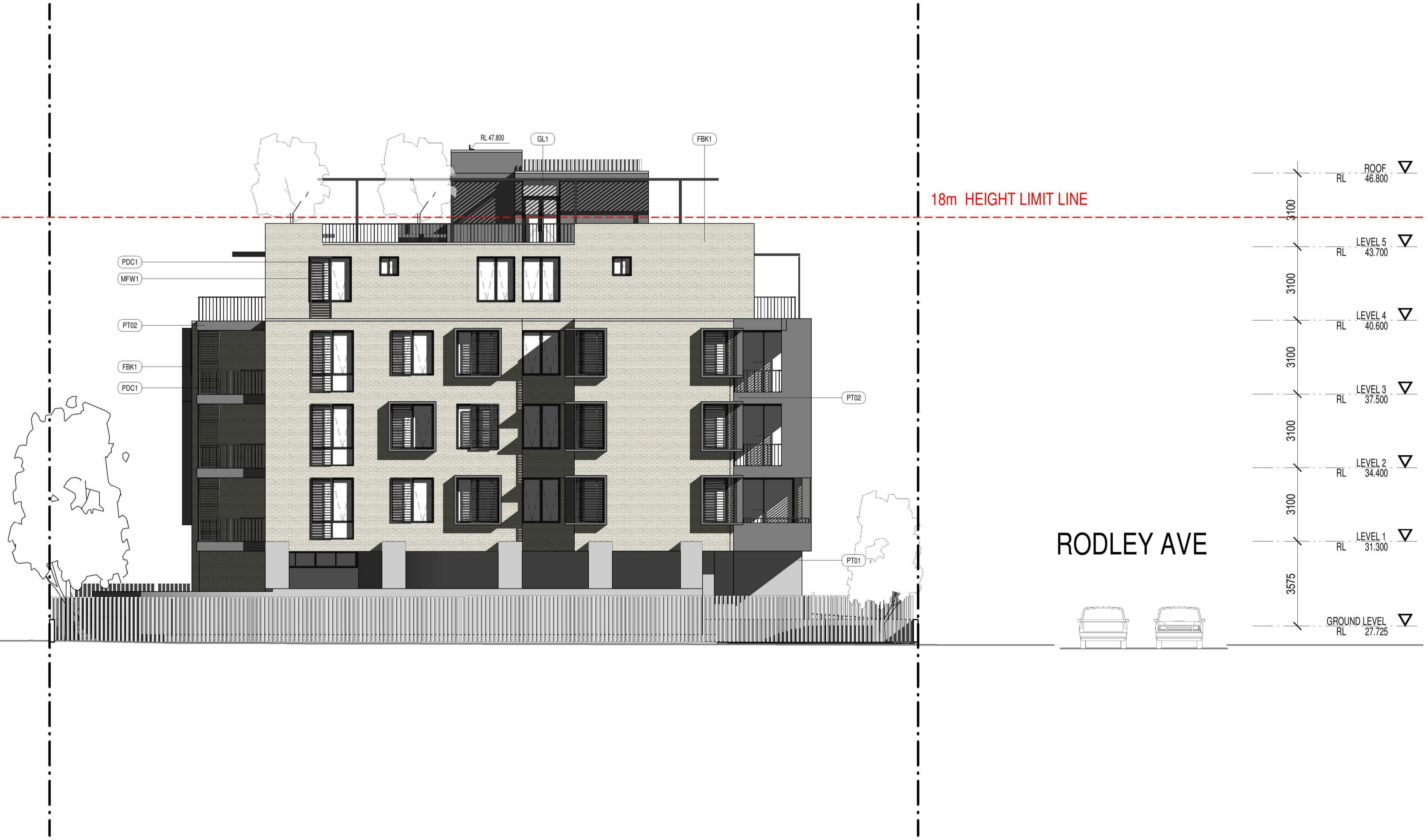
Concrete Slab on Ground – No insulation

Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

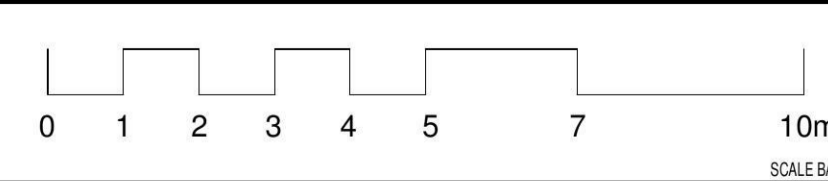
EXTERNAL CEILING/ROOF (Medium colour)

Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-03-2019	DA SUBMISSION
C	21-05-2019	DA SUBMISSION
D	31-07-2019	DA SUBMISSION
E	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglow Investments Two



REGISTERED ARCHITECTS - P/L
 MORSON REGISTRATION NUMBER 8100
 A/CN 129 480 256 488 41 139 461564
 www.morsongroup.com
 025 9385 4744
 PO Box 170, Penrith, NSW 1505

SHEET NAME
ELEVATION EAST
 SHEET SIZE: A1 DAT
 SCALE
 1:100

DRAWING NUMBER
DA17
 ISSUE NO.
E

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

This includes New South Wales Part J(A). Specifically:

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- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
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- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)

Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL

Cavity Panel/Concrete – No Insulation

Partition walls – No thermal insulation required

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation

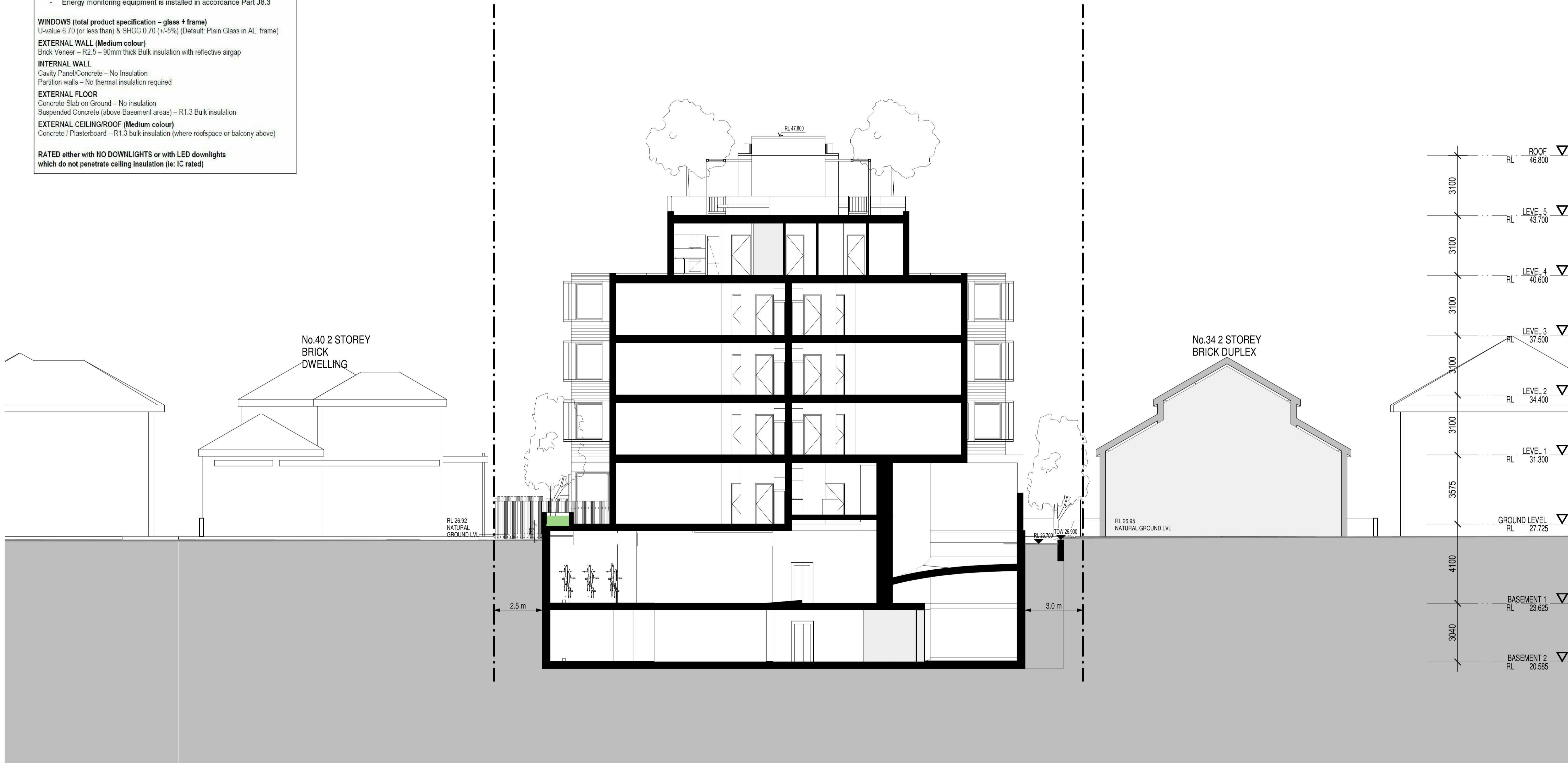
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)

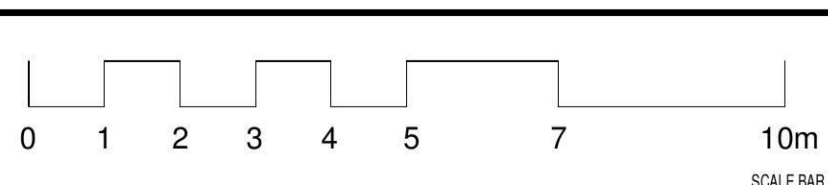
Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights

which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	31-07-2019	DA SUBMISSION
C	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
 Ingloo Investments Two



REGISTERED ARCHITECT - #14
 MORSON REGISTRATION NUMBER 8100
 A/CN 129 460 256, AREA 41 129 460 256
 www.morsongroup.com
 223 7900 4744
 PO Box 170, Penrith, NSW 1505

SHEET SIZE: A1
 SCALE: 1:100

SHEET NAME
SECTION 1

DRAWING NUMBER
DA18
 ISSUE NO.
C

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

- This includes New South Wales Part J(A). Specifically:
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 - loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
 - where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
 - Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
 - Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
 - Any new mechanical ventilation system is installed in accordance with Part J5.3
 - Any new miscellaneous exhaust system is installed in accordance with Part J5.4
 - Any new heated water system is installed in accordance Part J7.2
 - Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)
U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

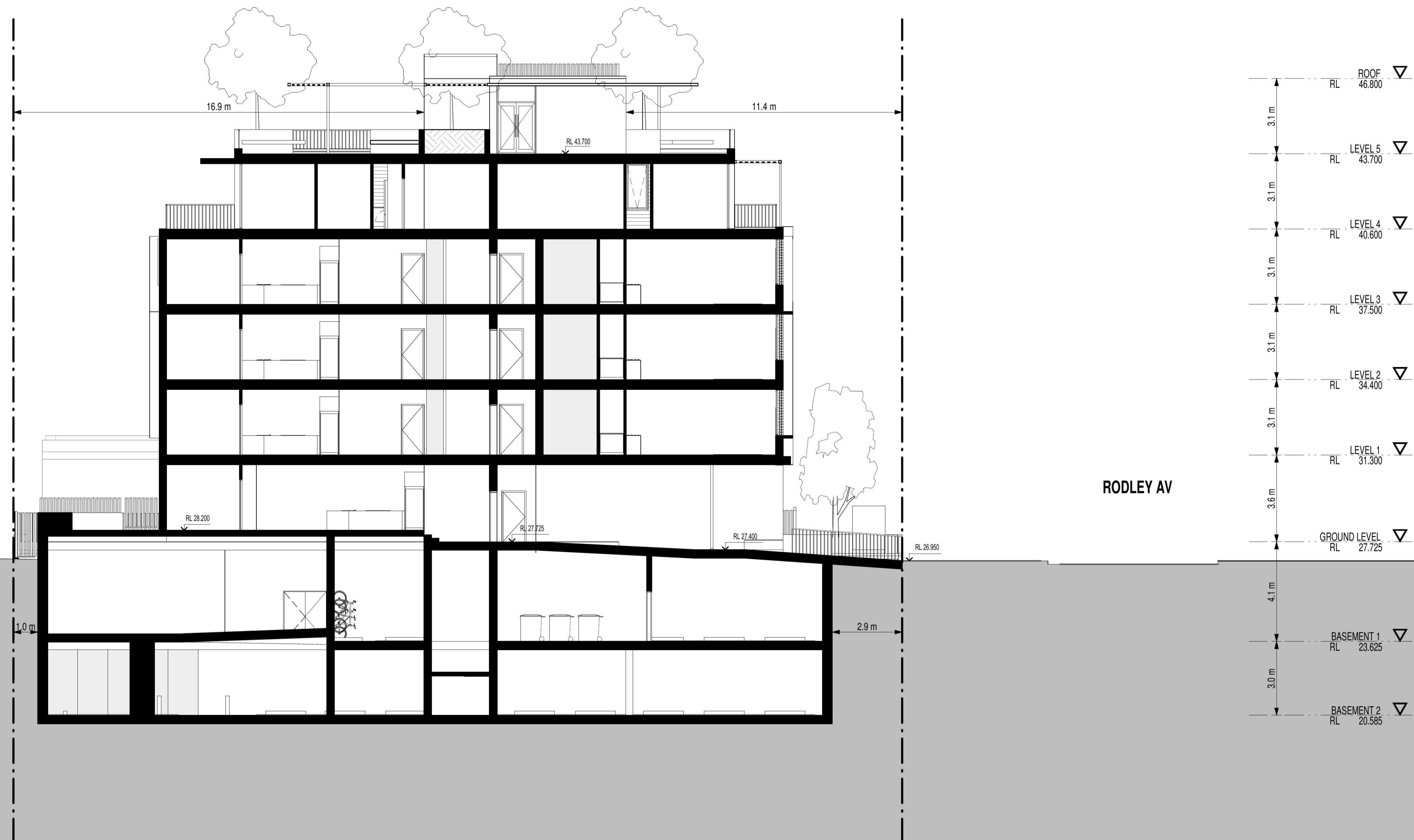
EXTERNAL WALL (Medium colour)
Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL
Cavity Panel/Concrete – No Insulation
Partition walls – No thermal insulation required

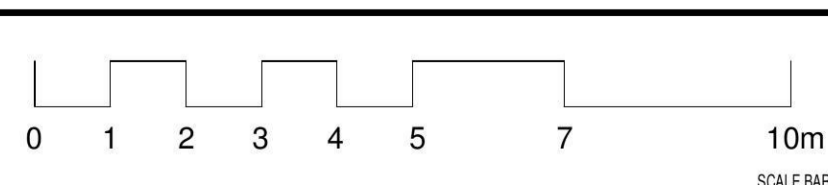
EXTERNAL FLOOR
Concrete Slab on Ground – No insulation
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)
Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglo Investments Two



REGISTERED ARCHITECTS - P/L
MORSON REGISTRATION NUMBER 8100
A/CN 129 460 256, A/BA 41 139 460 256
www.morsongroup.com
223 7900 4744
PO Box 170, Penrith, NSW 1505

SHEET SIZE: A1
SCALE: 1:100

SHEET NAME
SECTION 2

DRAWING NUMBER
DA19
ISSUE NO.
D

THERMAL PERFORMANCE SPECIFICATIONS: (20331 – 36 Rodley Ave)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.

- This includes New South Wales Part J(A). Specifically:
- Building thermal construction is in accordance with part J1.2
 - loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
 - where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
 - Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
 - Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
 - Any new mechanical ventilation system is installed in accordance with Part J5.3
 - Any new miscellaneous exhaust system is installed in accordance with Part J5.4
 - Any new heated water system is installed in accordance Part J7.2
 - Energy monitoring equipment is installed in accordance Part J8.3

WINDOWS (total product specification – glass + frame)
U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain Glass in AL frame)

EXTERNAL WALL (Medium colour)
Brick Veneer – R2.5 – 90mm thick Bulk insulation with reflective airgap

INTERNAL WALL
Cavity Panel/Concrete – No Insulation
Partition walls – No thermal insulation required

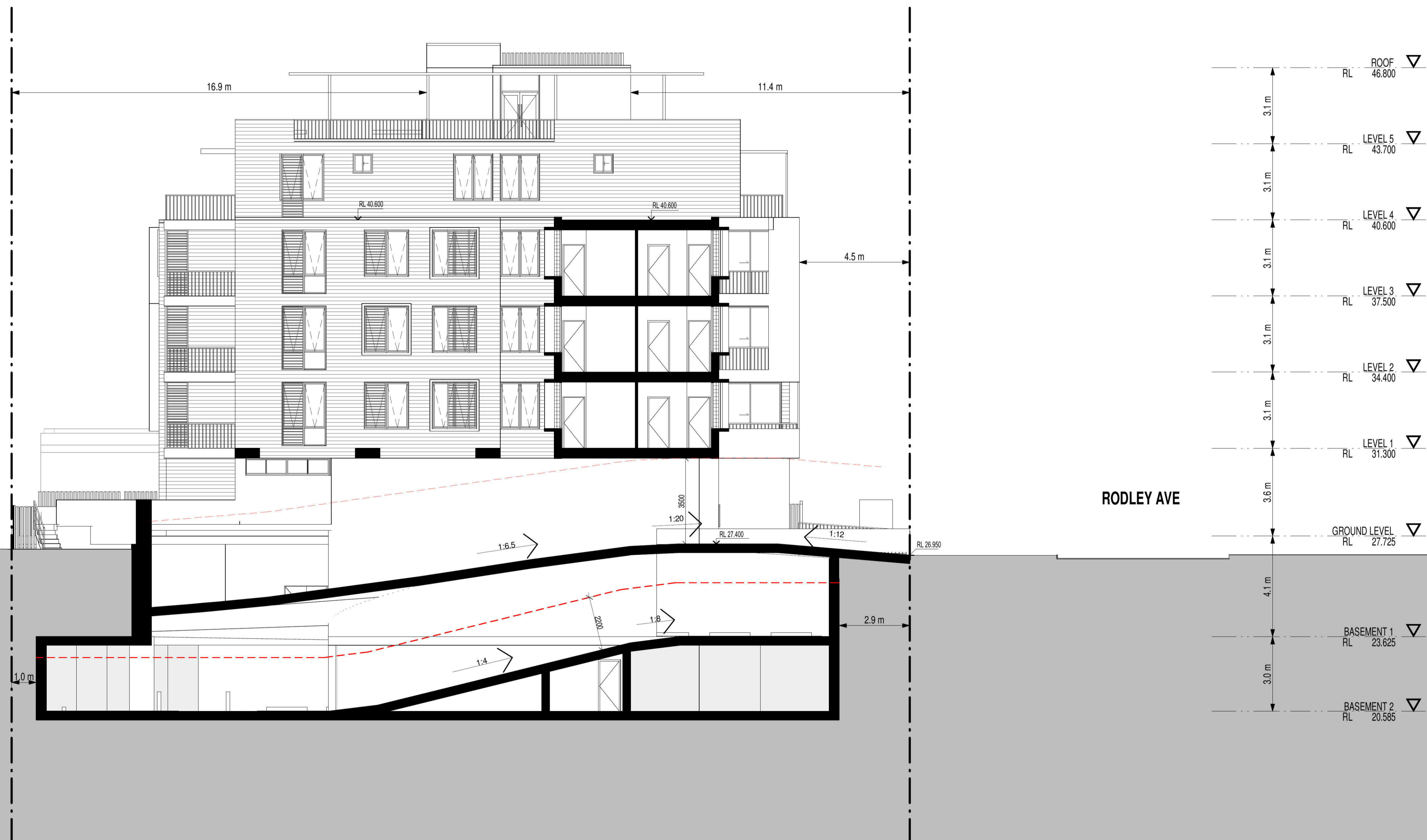
EXTERNAL FLOOR
Concrete Slab on Ground – No insulation
Suspended Concrete (above Basement areas) – R1.3 Bulk insulation

EXTERNAL CEILING/ROOF (Medium colour)
Concrete / Plasterboard – R1.3 bulk insulation (where roofspace or balcony above)

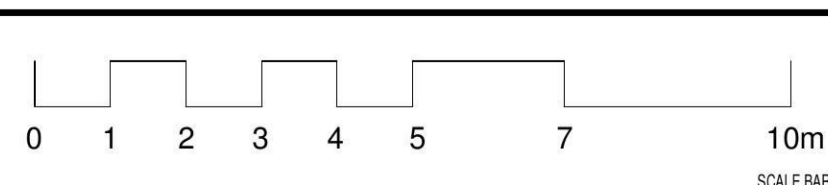
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

CREEK

RODLEY AVE



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	31-07-2019	DA SUBMISSION
C	22-08-2019	DA SUBMISSION



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglo Investments Two

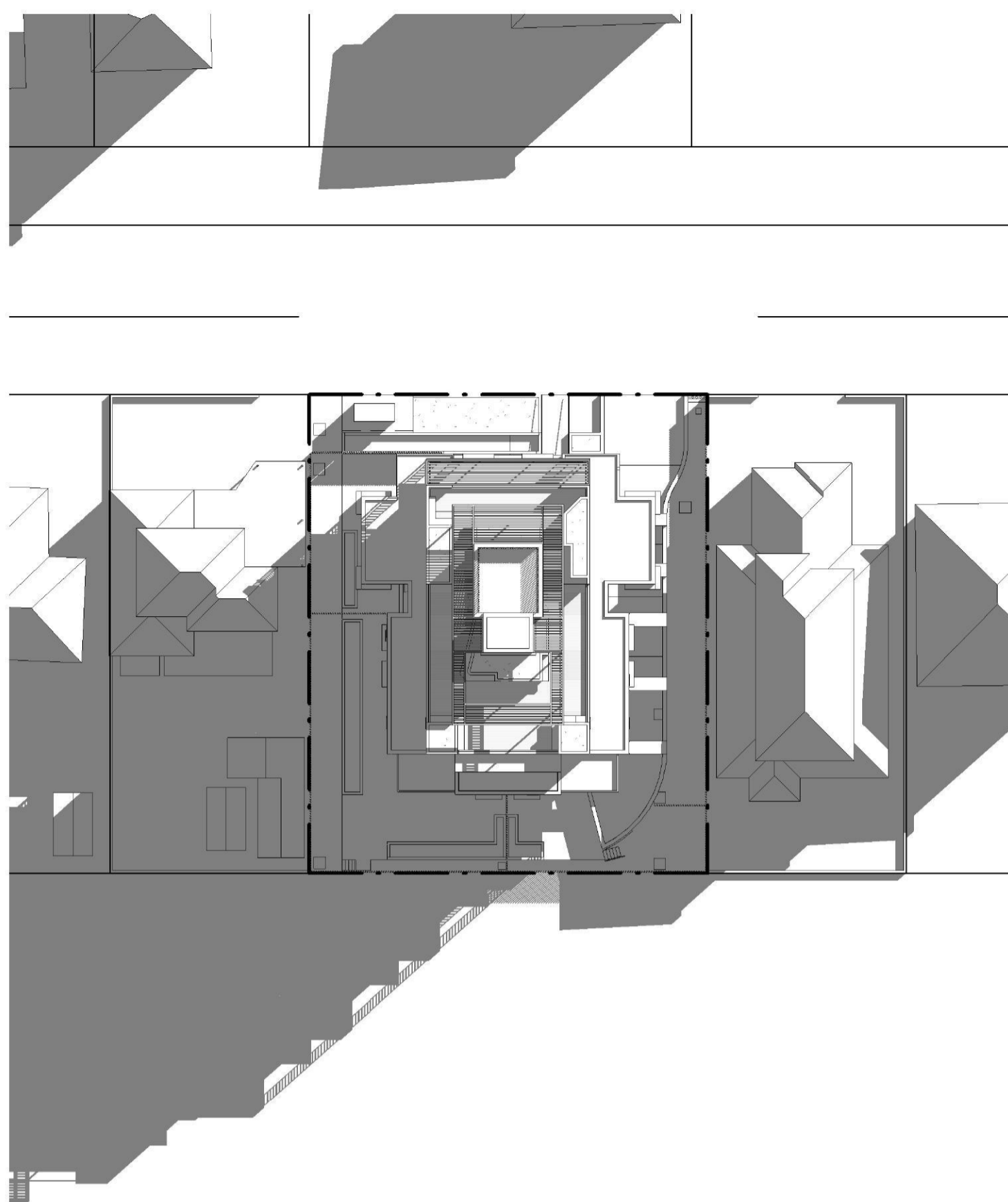
MORSON GROUP

REGISTERED ARCHITECT - P.F.
MORSON REGISTRATION NUMBER 8100
ARCHITECTURE
225 SYDNEY AVENUE
PO BOX 170, PENRITH, NSW 1505

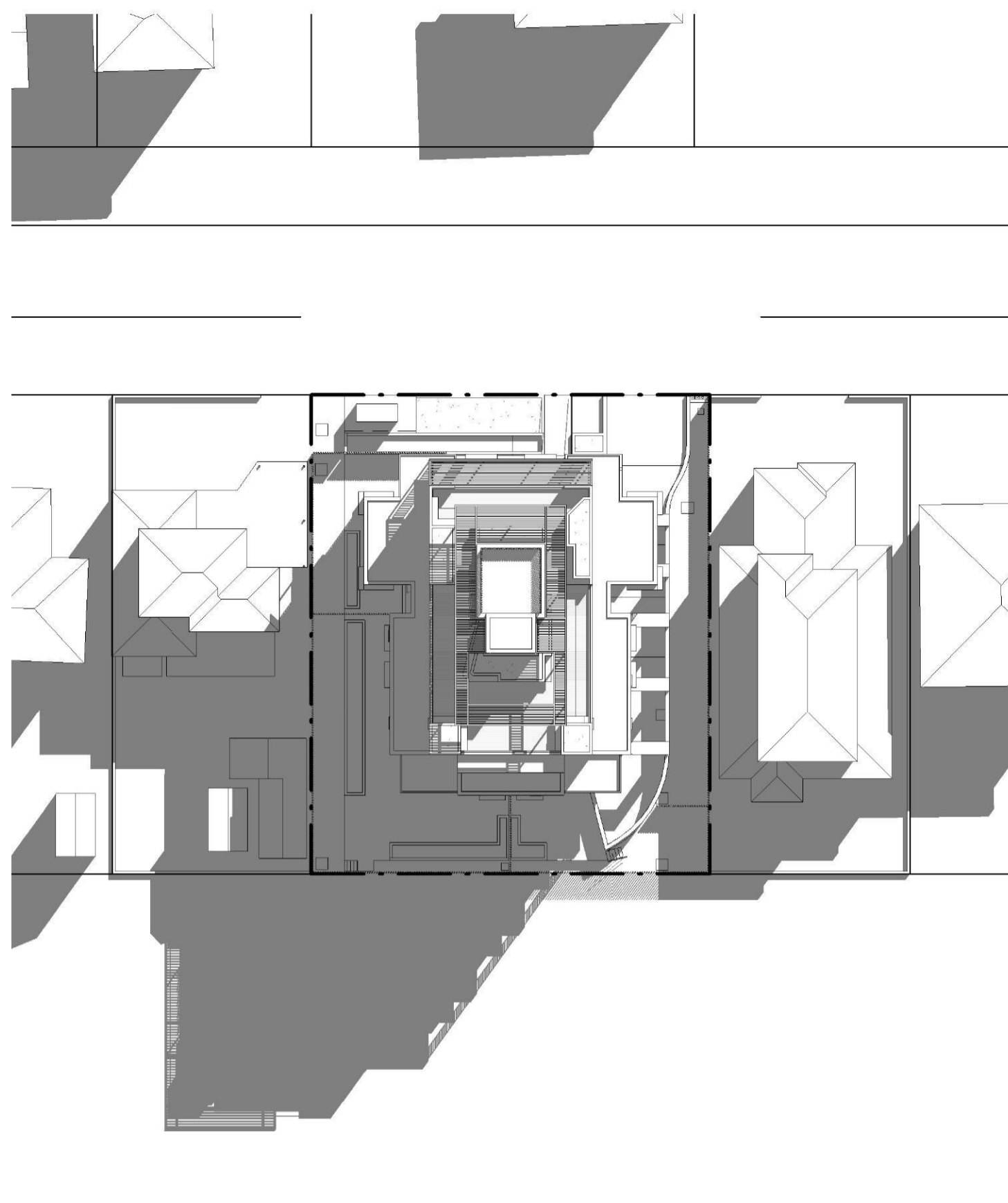
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SCALE: 1:100

SHEET NAME
SECTION 3

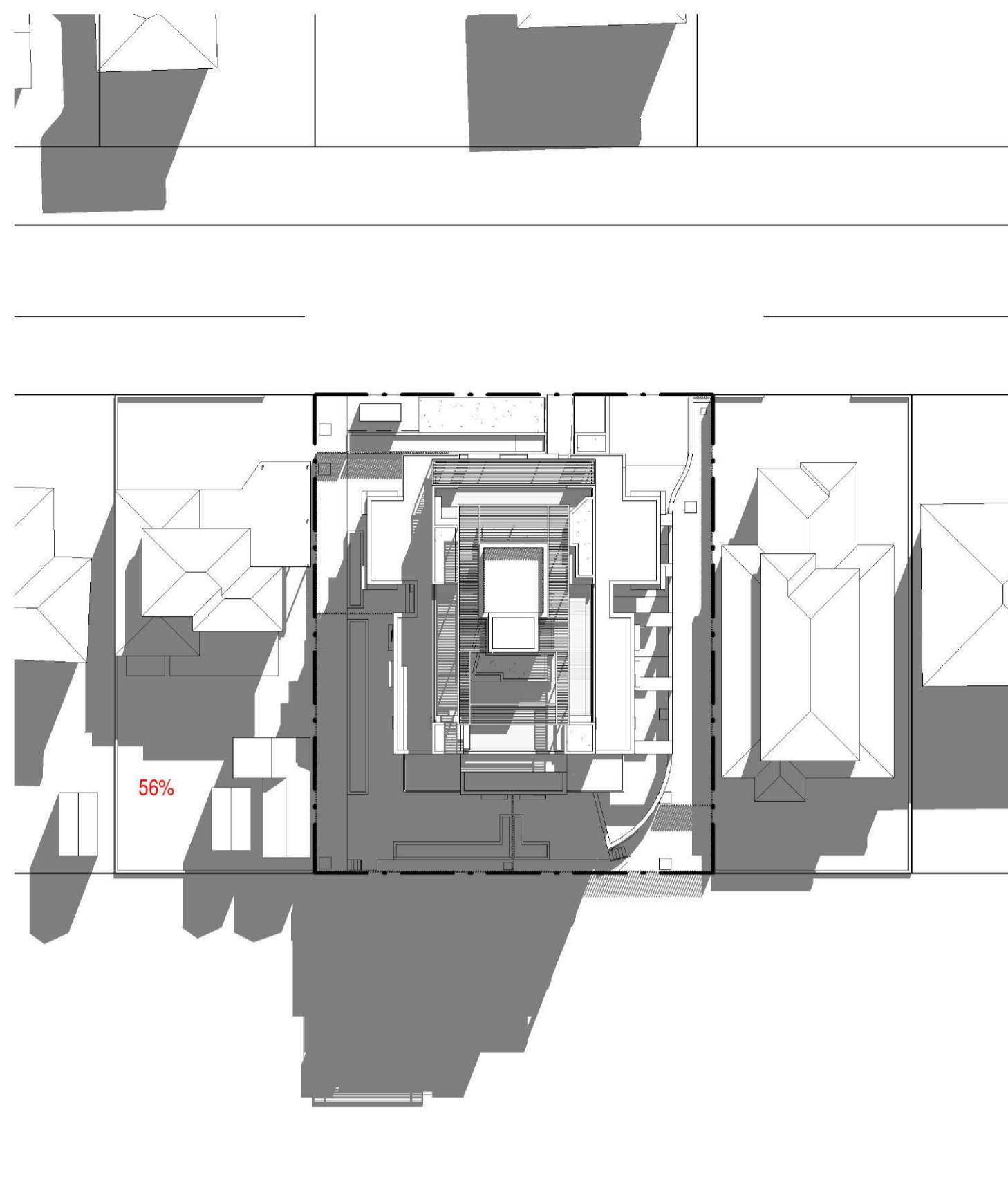
DRAWING NUMBER
DA20
ISSUE NO.
C



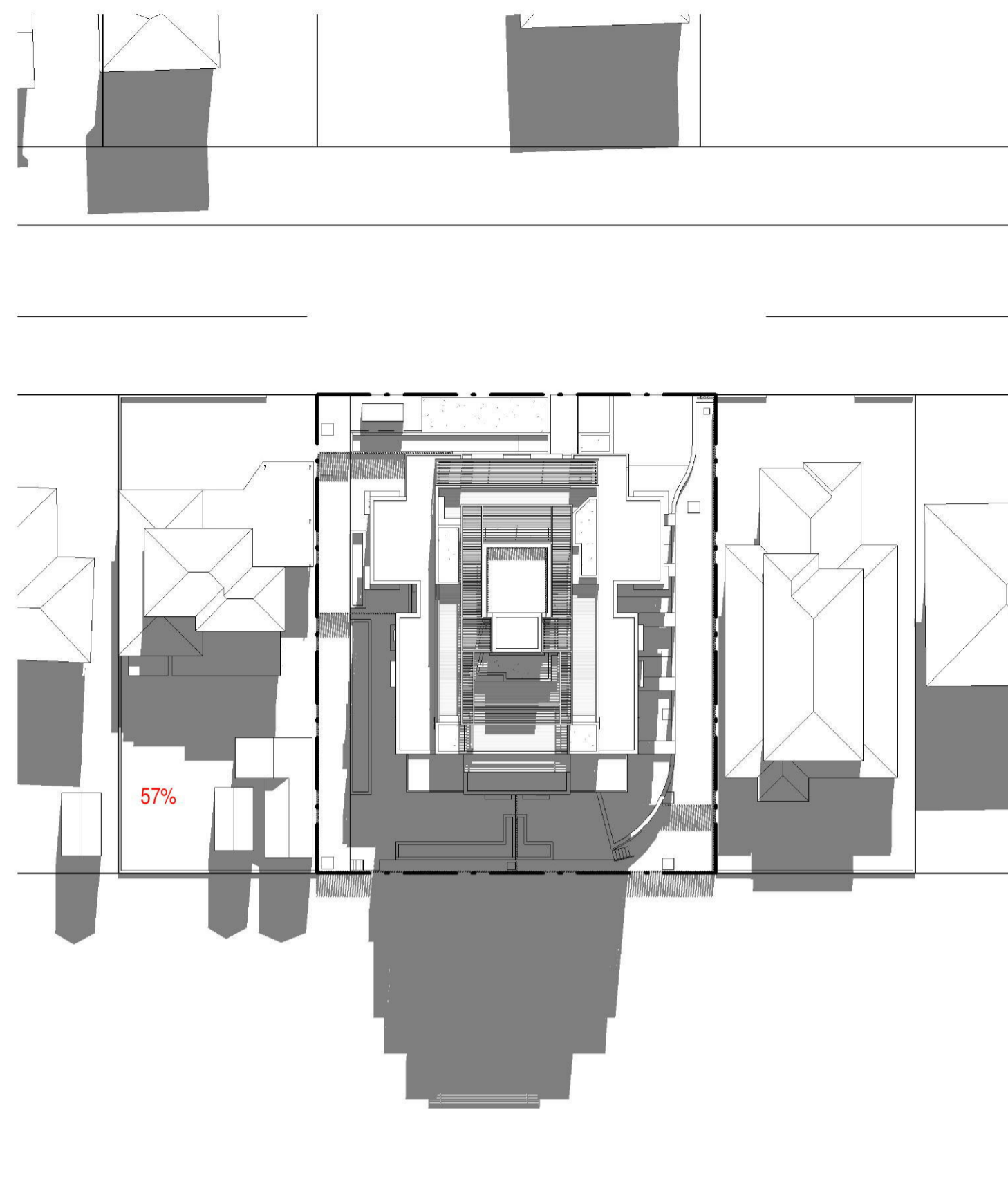
1 SHADOWS - JUNE 21st 9AM
DA14 1:400



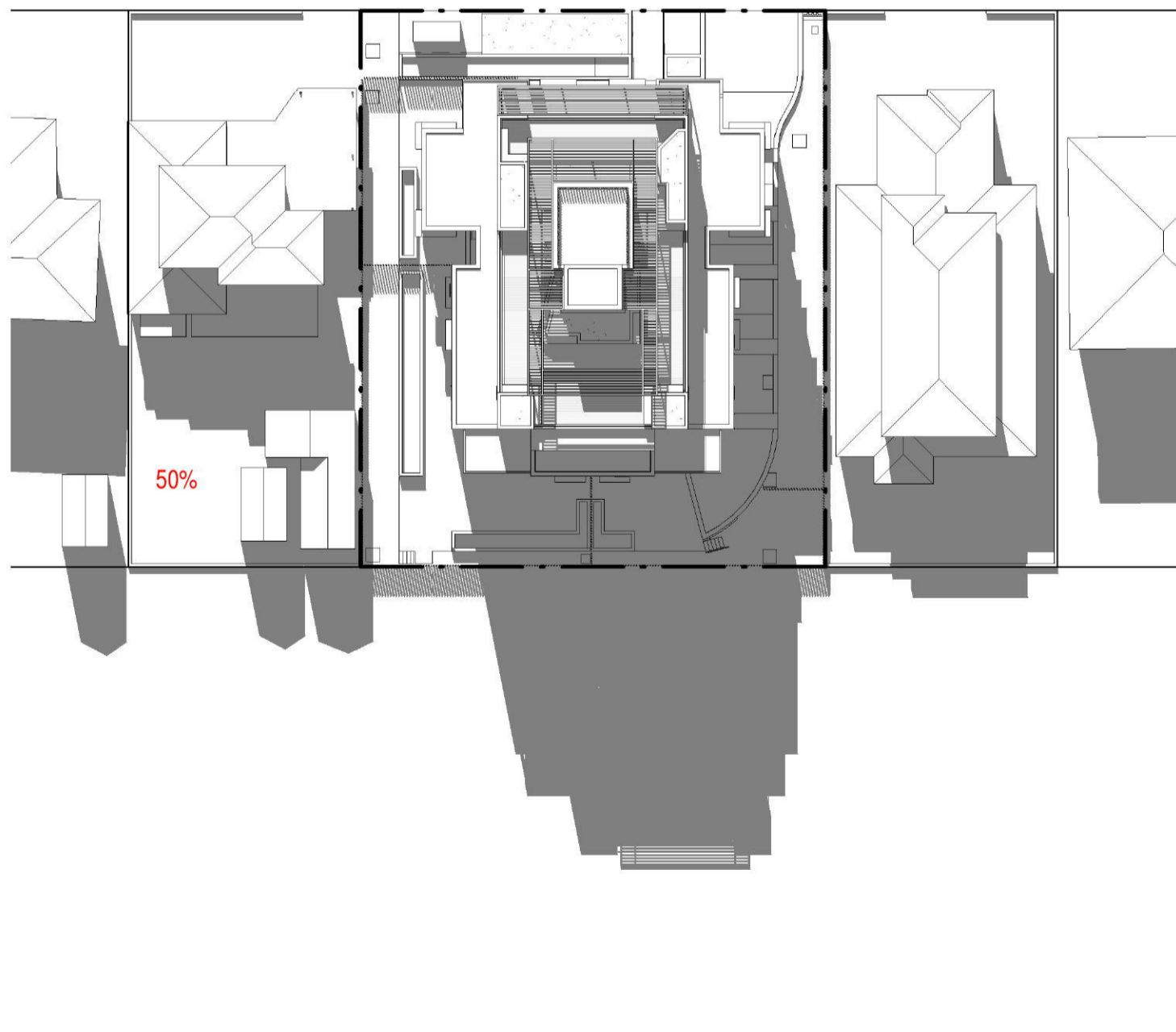
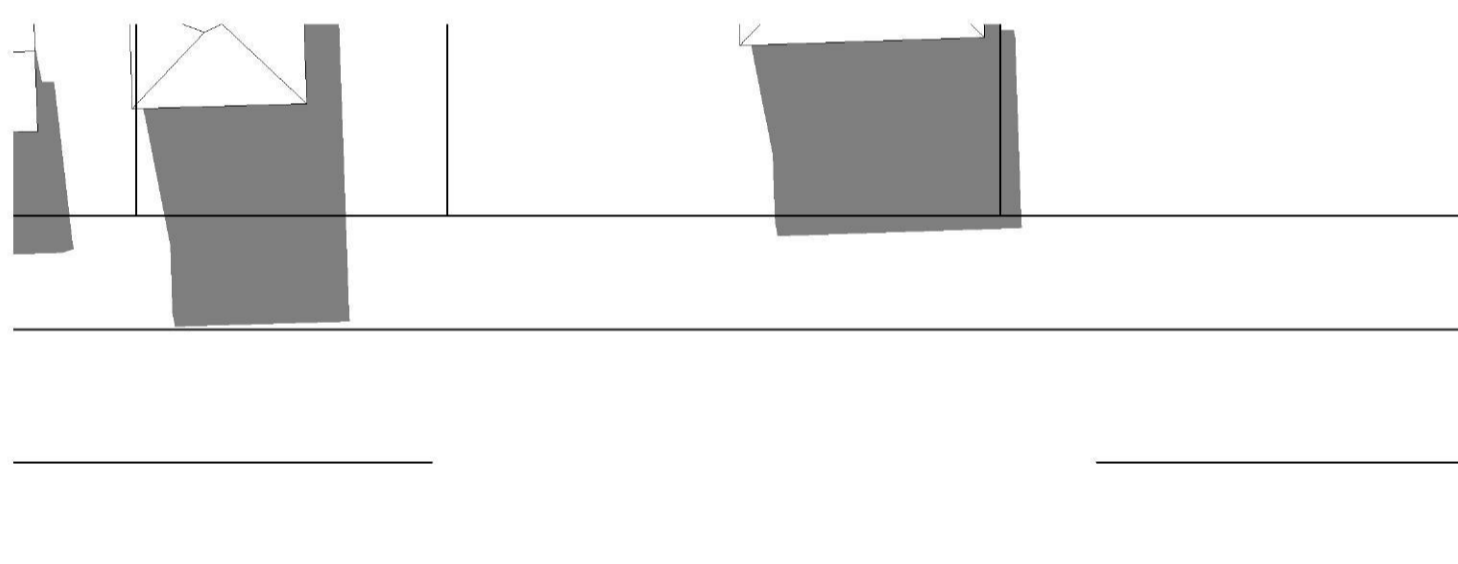
2 SHADOWS - JUNE 21st 10AM
DA14 1:400



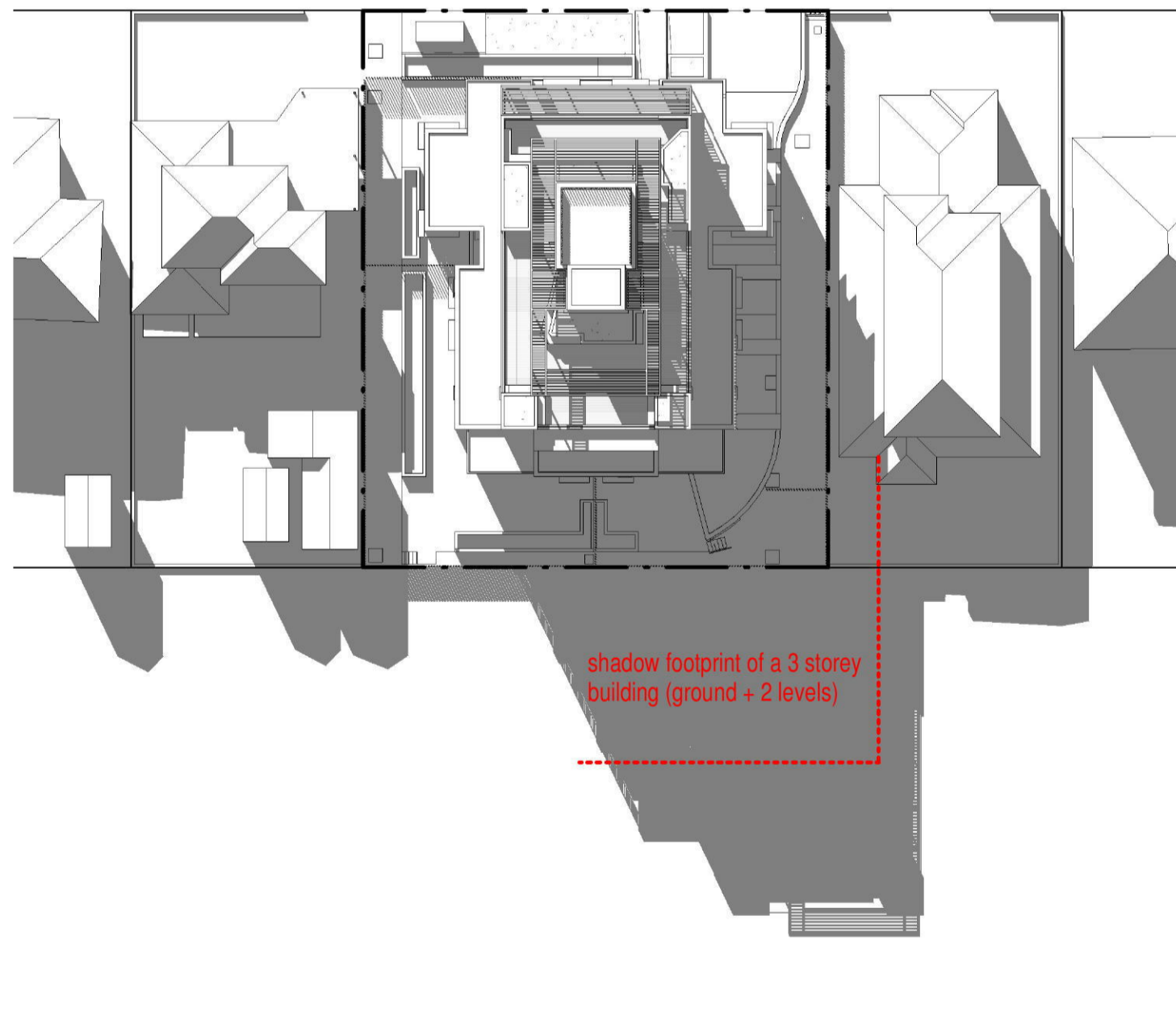
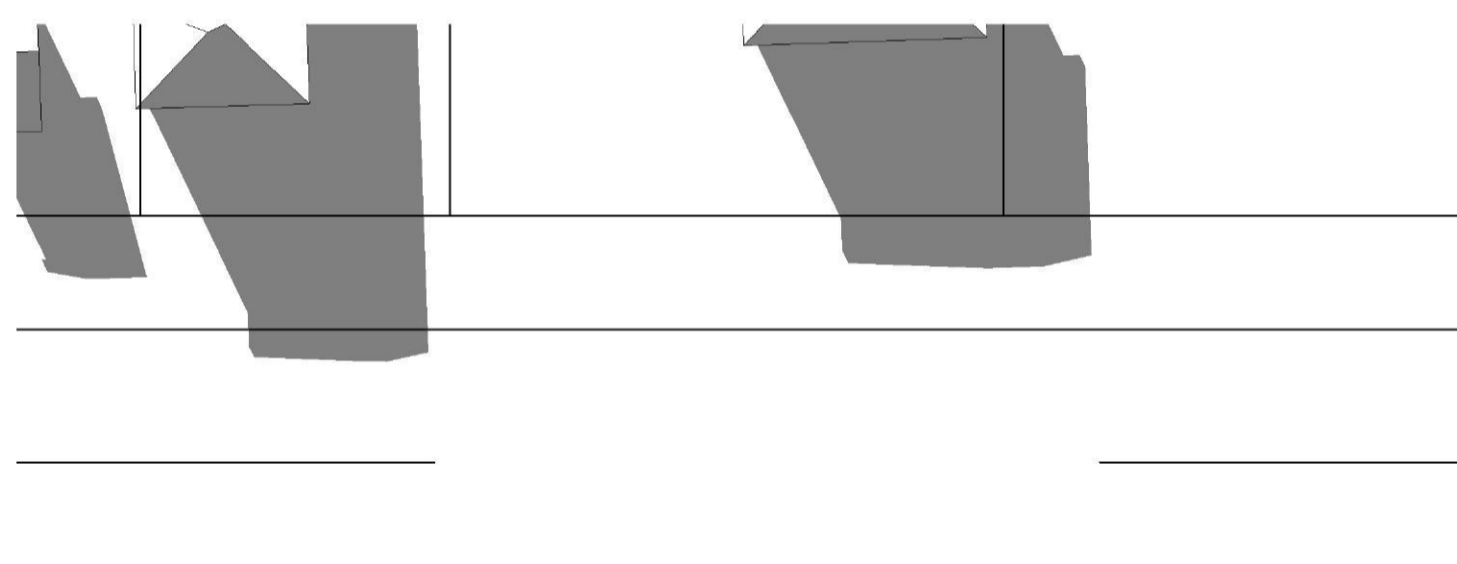
3 SHADOWS - JUNE 21st 11AM
DA14 1:400



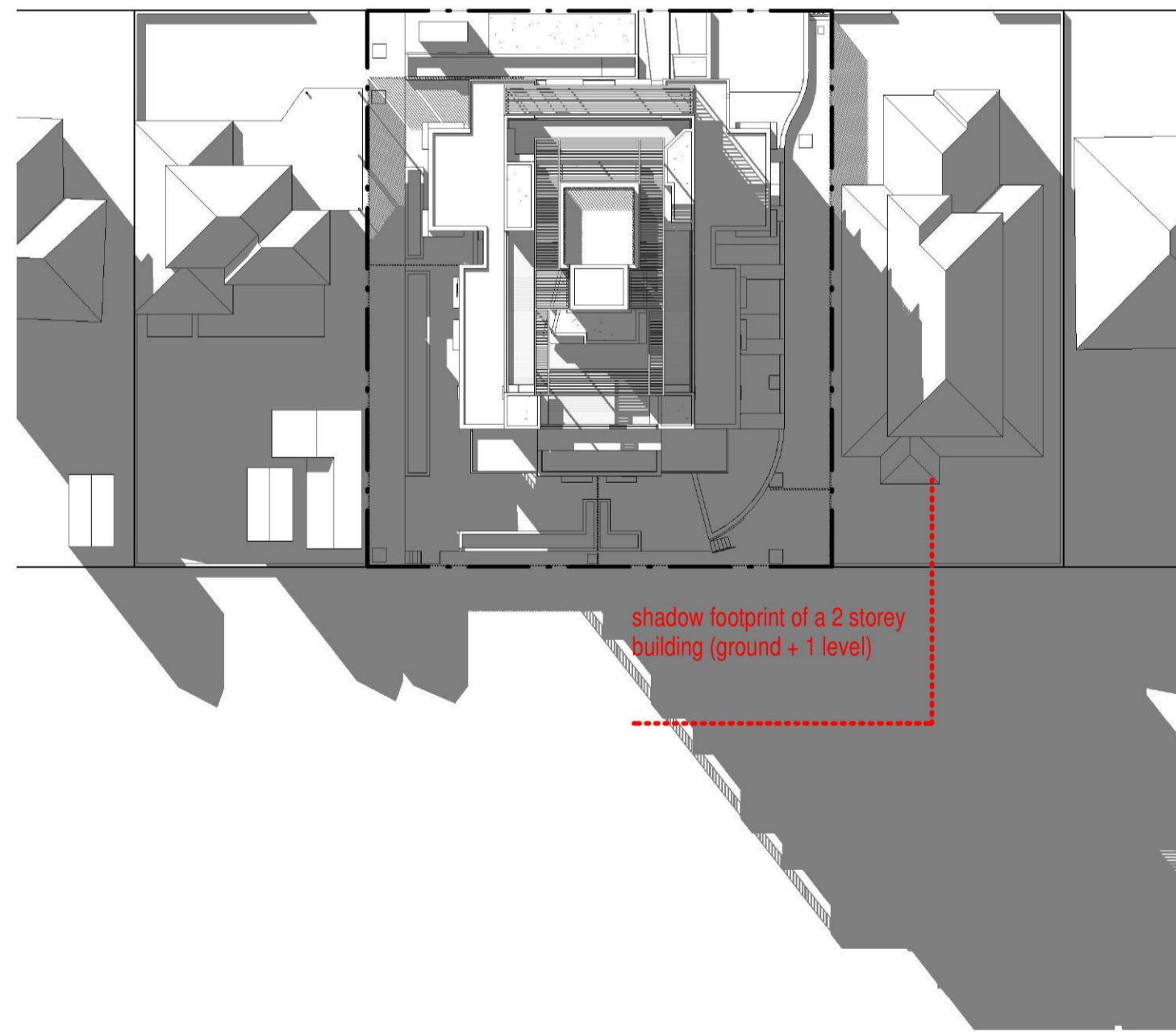
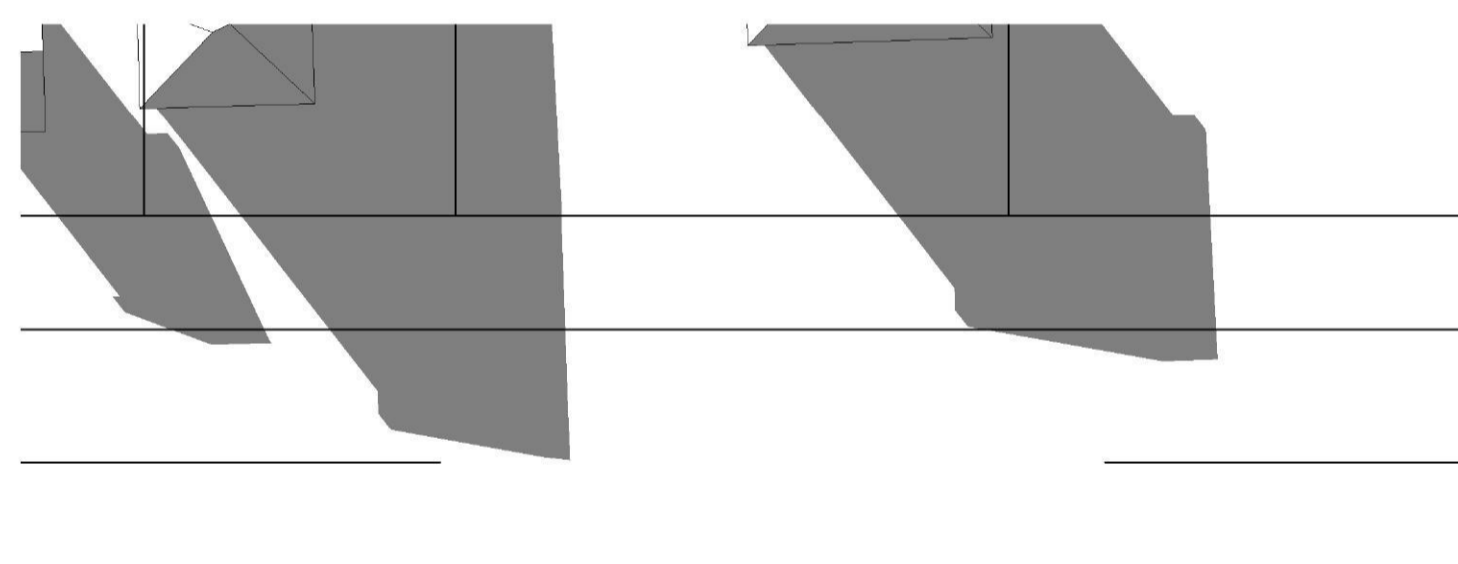
4 SHADOWS - JUNE 21st 12PM
DA14 1:400



5 SHADOWS - JUNE 21st 13PM
DA14 1:400



6 SHADOWS - JUNE 21st 14PM
DA14 1:400



7 SHADOWS - JUNE 21st 15PM
DA14 1:400



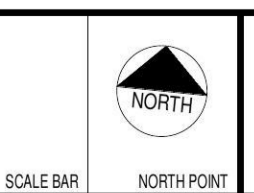
8 SHADOWS - JUNE 21st 14PM Existing
DA14 1:400



9 SHADOWS - JUNE 21st 15PM Existing
DA14 1:400

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	21-05-2019	DA SUBMISSION
D	31-07-2019	DA SUBMISSION
E	22-08-2019	DA SUBMISSION

PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750



CLIENT
Inglow Investments Two

MORSON GROUP
MORSON ARCHITECTS - P/L
MORSON REGISTRATION NUMBER 8100
ACN 129 480 256, ABN 41 129 480 256
www.morsongroup.com
223 2300 4744
PO Box 120, Penrith, NSW 1505

SHEET SIZE: A1
SCALE
E
1:400

SHEET NAME
SHADOW DIAGRAMS

DRAWING NUMBER
DA21
ISSUE NO.
E



ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	31-07-2019	DA SUBMISSION
D	22-08-2019	DA SUBMISSION

SCALE BAR	NORTH POINT
-----------	-------------

PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglow Investments Two

MORSON GROUP

 NOMINATED ARCHITECT - R.F.
 MORSON REGISTRATION NUMBER 8100
 A/CN 121 480 256, A/B/L 121 480 256
 www.morsongroup.com
 222 5300 4744
 PO Box 170, Penrith, NSW 1505

SHEET SIZE: A1 DAT
 SCALE: E

SHEET NAME **VIEWS**
 DRAWING NUMBER **DA22**
 ISSUE NO. **D**



AB-Bricks-Whitsunday Brampton
230x76-110-240-NAT

Level 1-4



Dulux Eternity Titanium Pearl Satin 90087728

Louvres and Window Frames



Render Painted Finish
Dulux Chanson Grey

Ground level and level 5



Render Painted Finish
Dulux Charcoal Essence 88590

Balconies and Awnings

ISSUE	DATE	AMENDMENT
A	19-02-2019	DA SUBMISSION
B	31-07-2019	DA SUBMISSION

PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING

ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
Inglow Investments Two



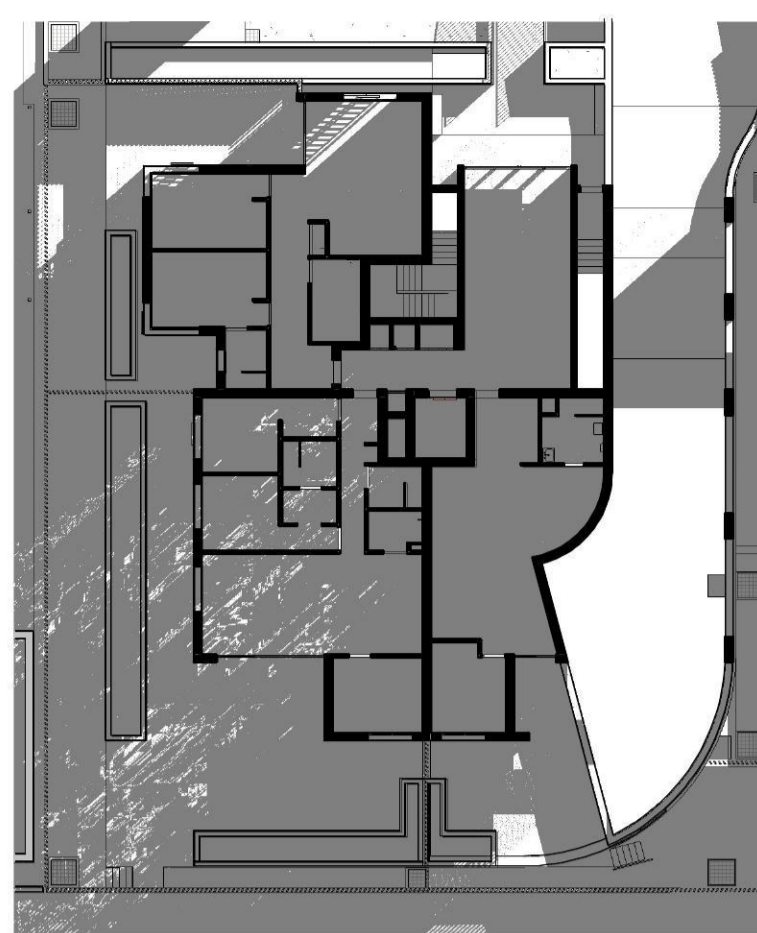
REGISTERED ARCHITECT - P.A.
MORSON REGISTRATION NUMBER 8100
A/CN 129 480 256, ABA/41 131 461564
www.morsongroup.com
223 7380 4744
PO Box 170, Potts Point, NSW 1585

SHEET SIZE: A1 DAT
SCALE: E

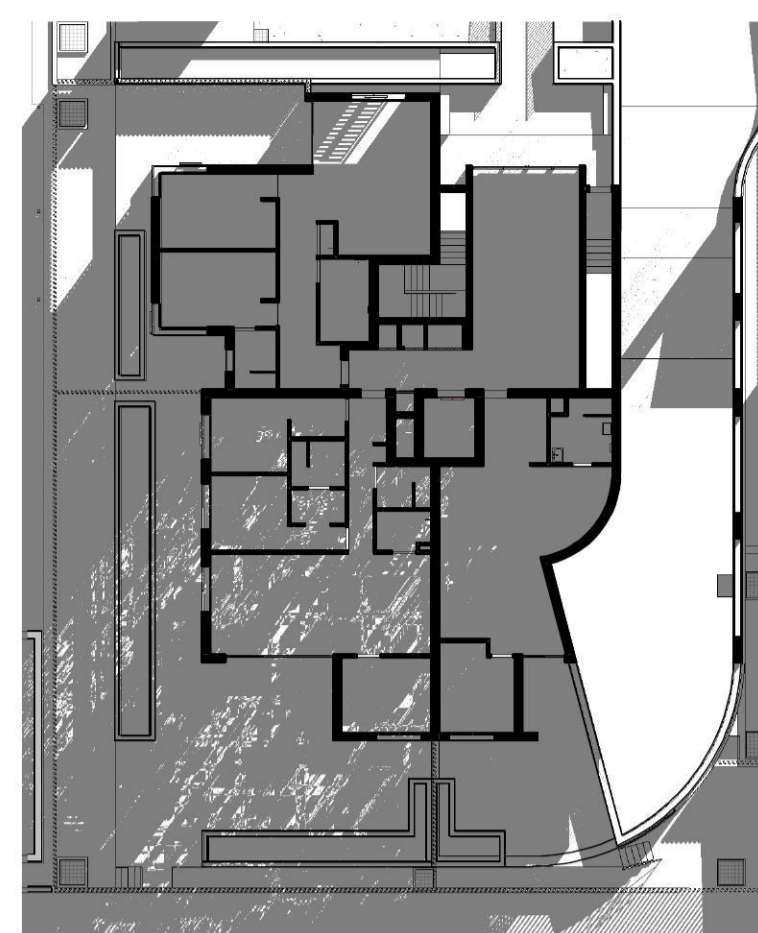
SHEET NAME
MATERIAL SCHEDULE

DRAWING NUMBER
DA23

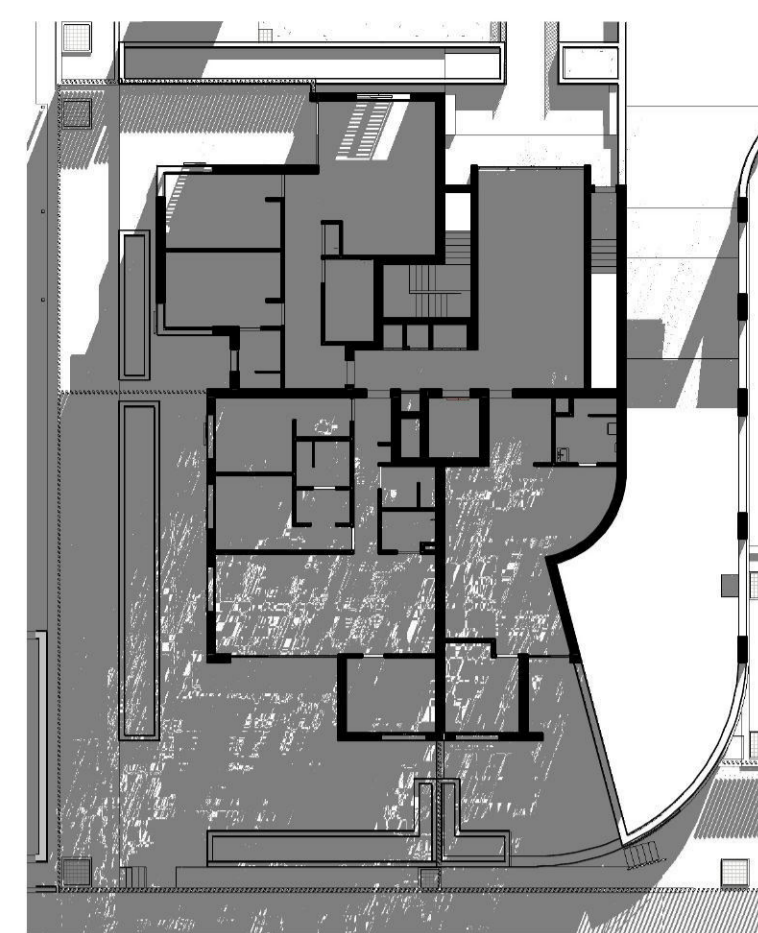
ISSUE NO.
B



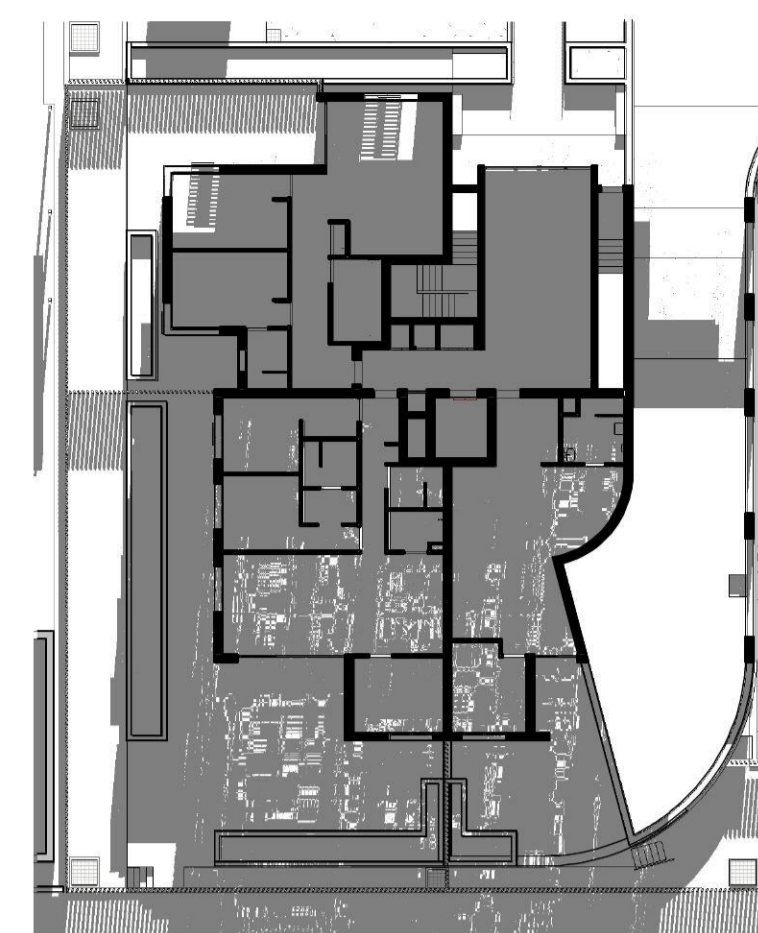
Shadow Plan - GF - 9am



Shadow Plan - GF - 10am



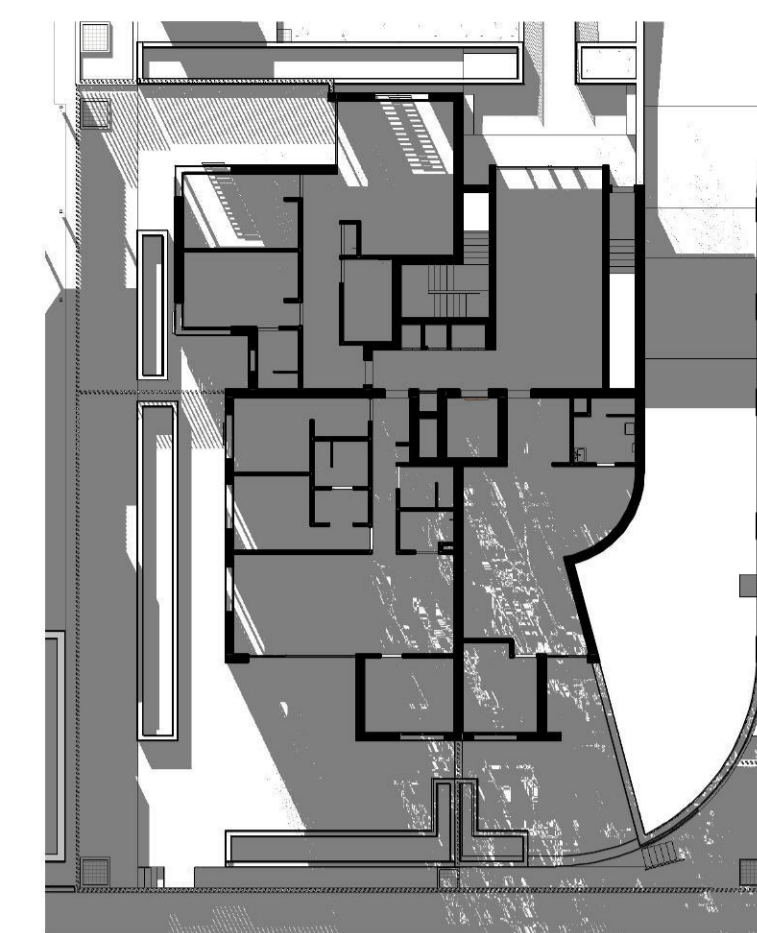
Shadow Plan - GF - 11am



Shadow Plan - GF - 12pm



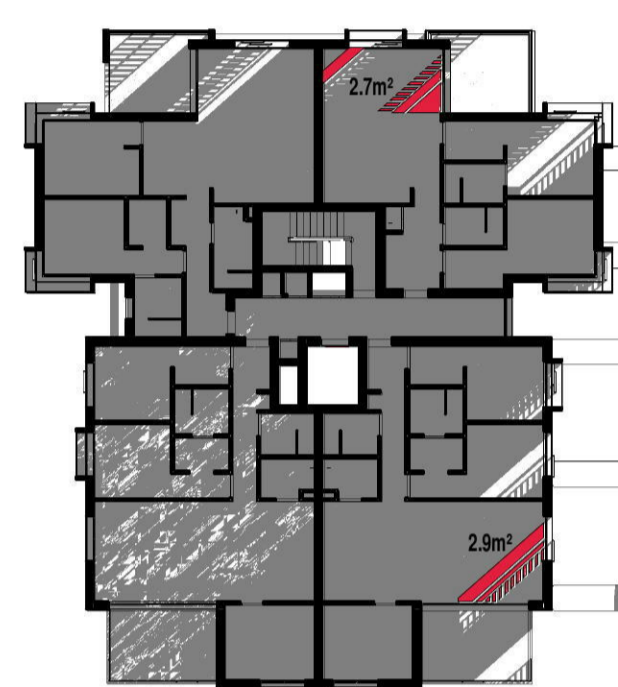
Shadow Plan - GF - 1pm



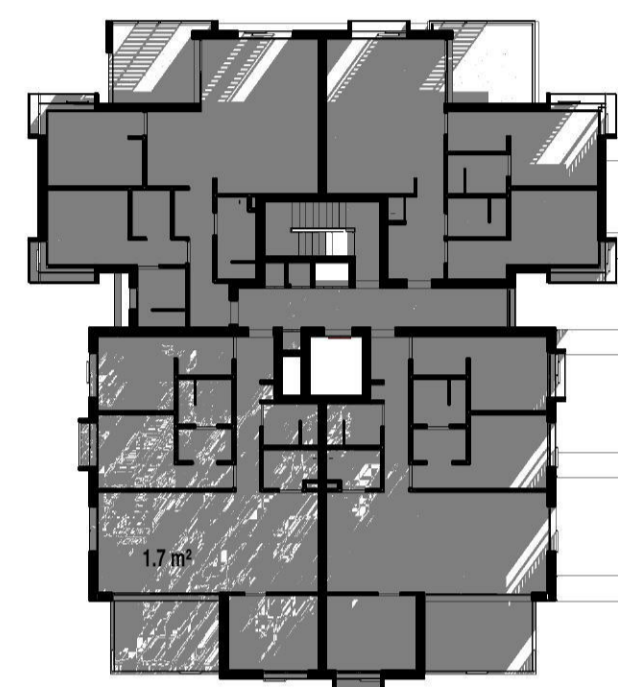
Shadow Plan - GF - 2pm



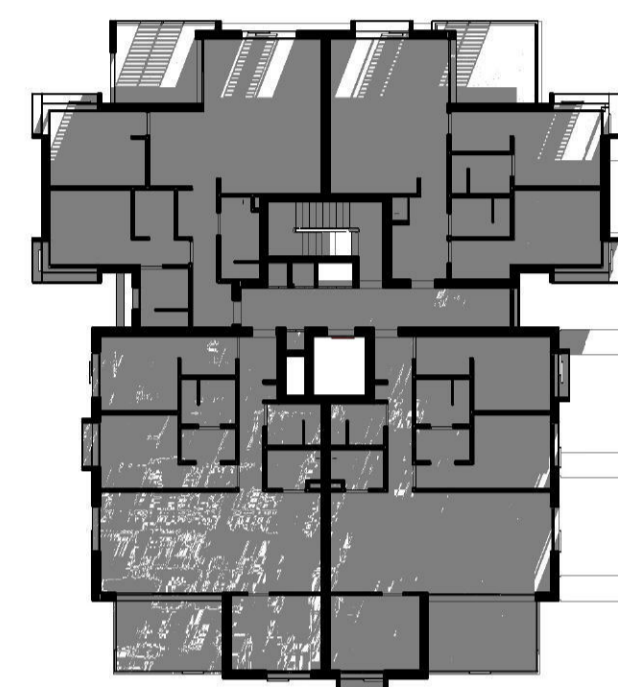
Shadow Plan - GF - 3pm



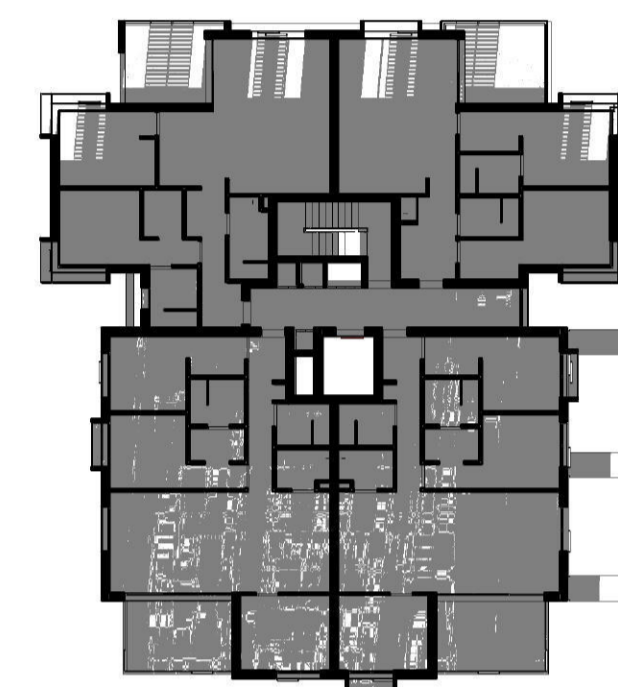
Shadow Plan - L1 - 9am



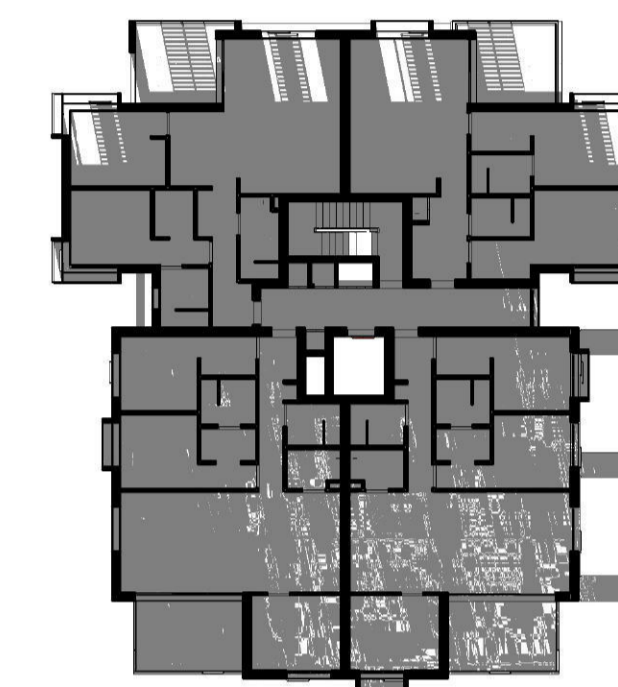
Shadow Plan - L1 - 10am



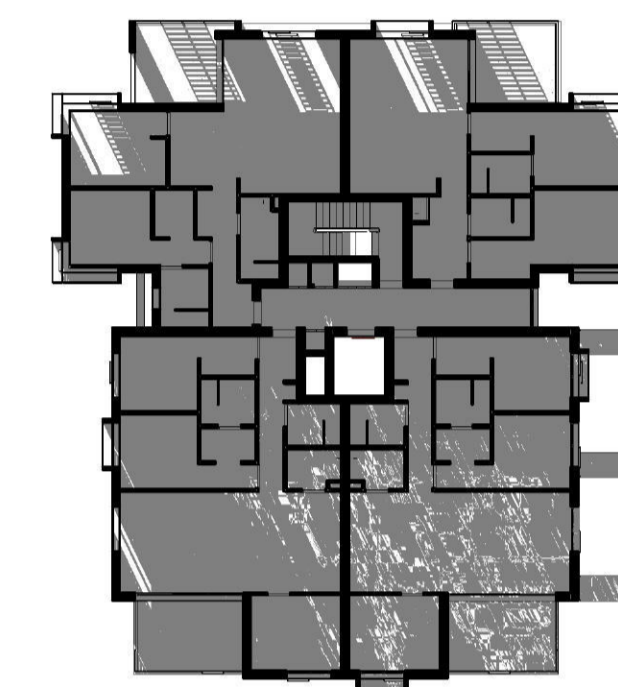
Shadow Plan - L1 - 11am



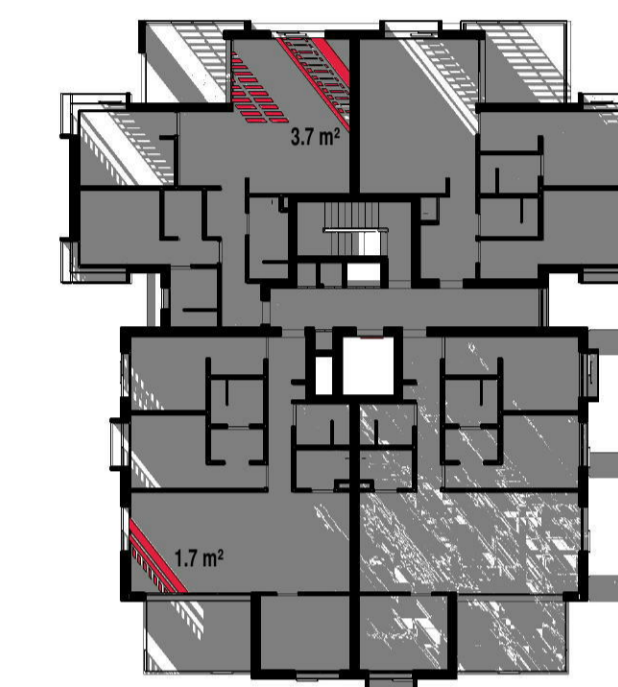
Shadow Plan - L1 - 12pm



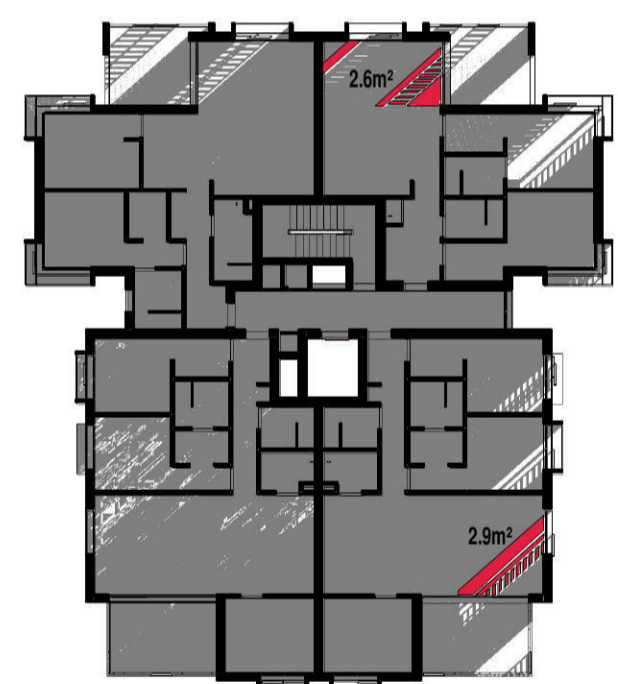
Shadow Plan - L1 - 1pm



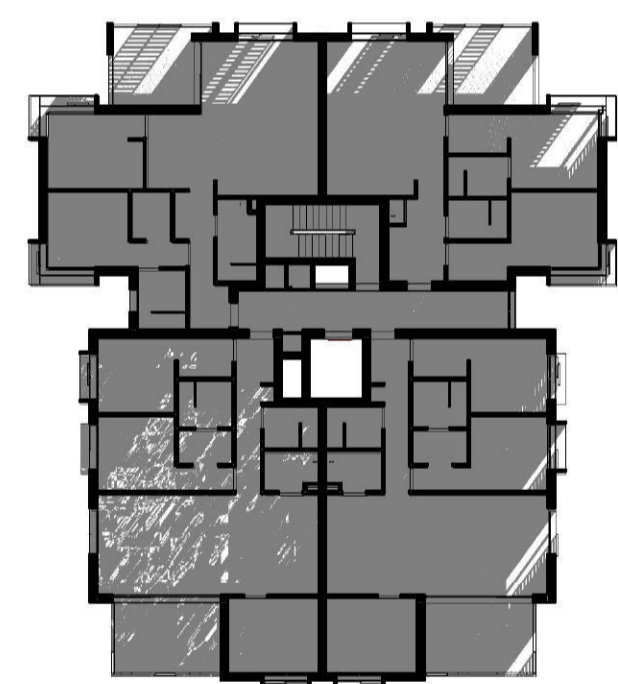
Shadow Plan - L1 - 2pm



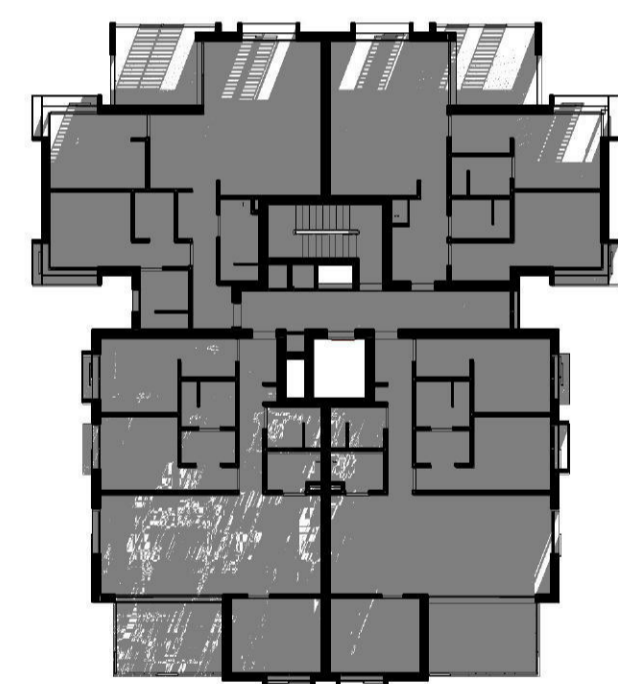
Shadow Plan - L1 - 3pm



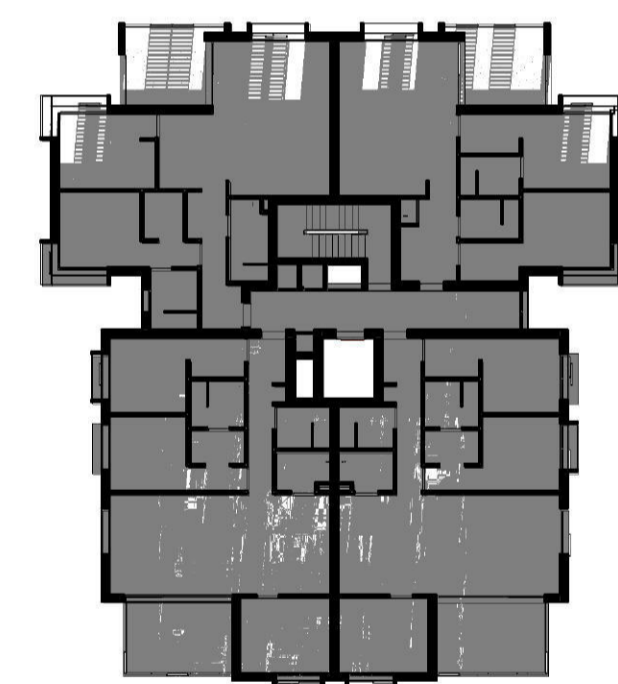
Shadow Plan - L2 - 9am



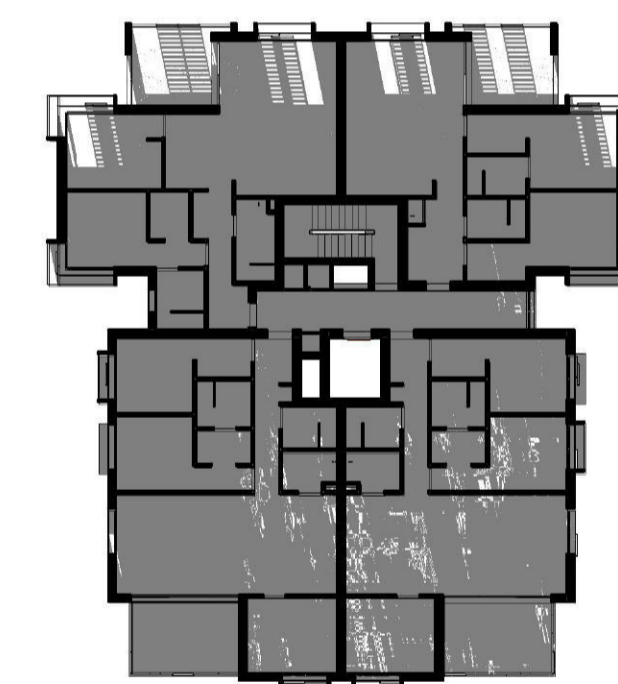
Shadow Plan - L2 - 10am



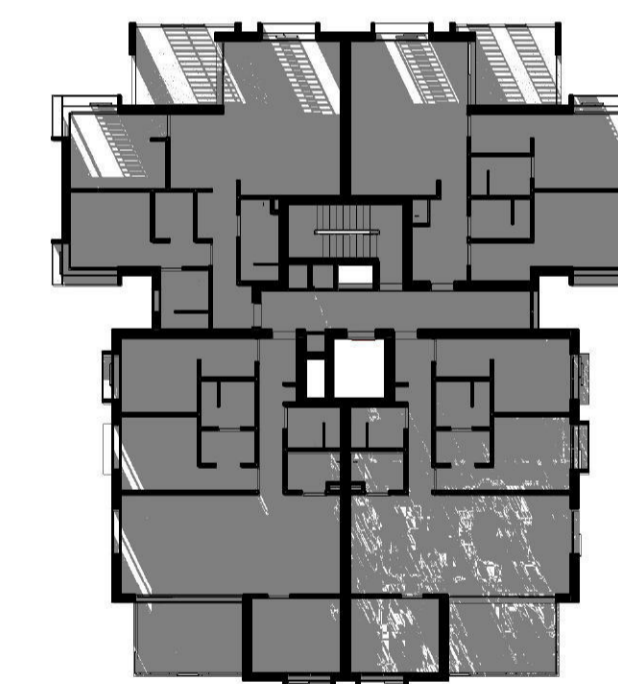
Shadow Plan - L2 - 11am



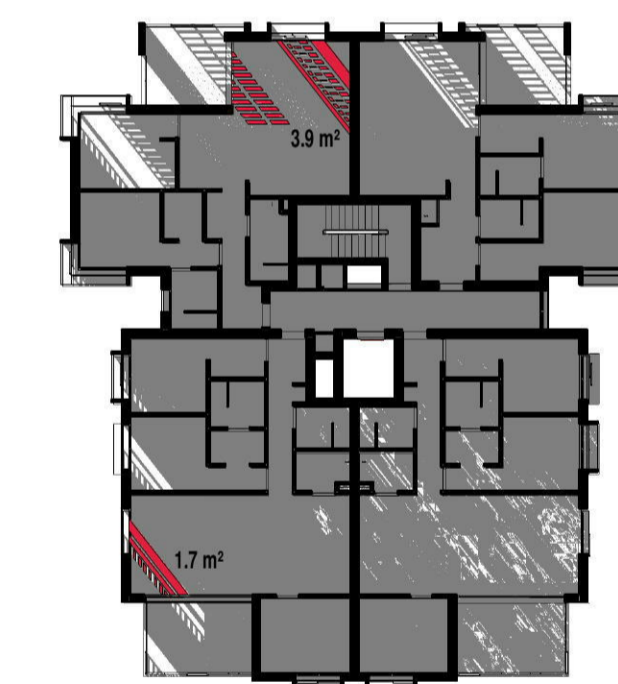
Shadow Plan - L2 - 12pm



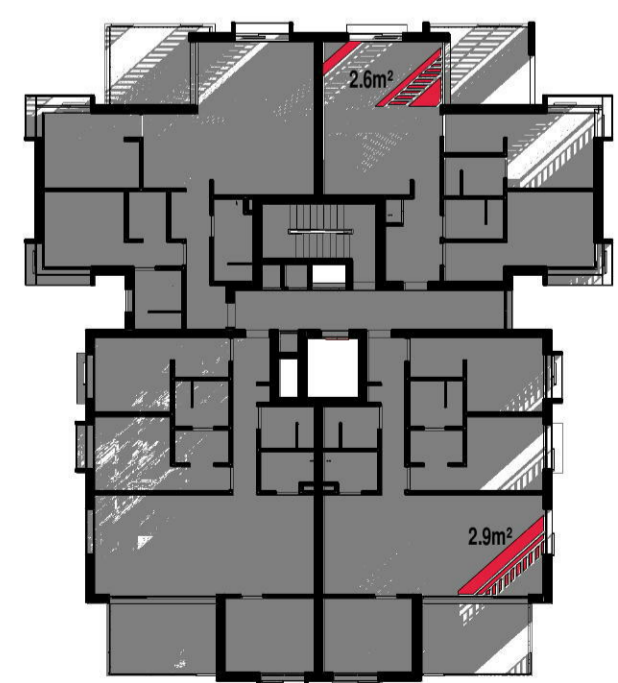
Shadow Plan - L2 - 1pm



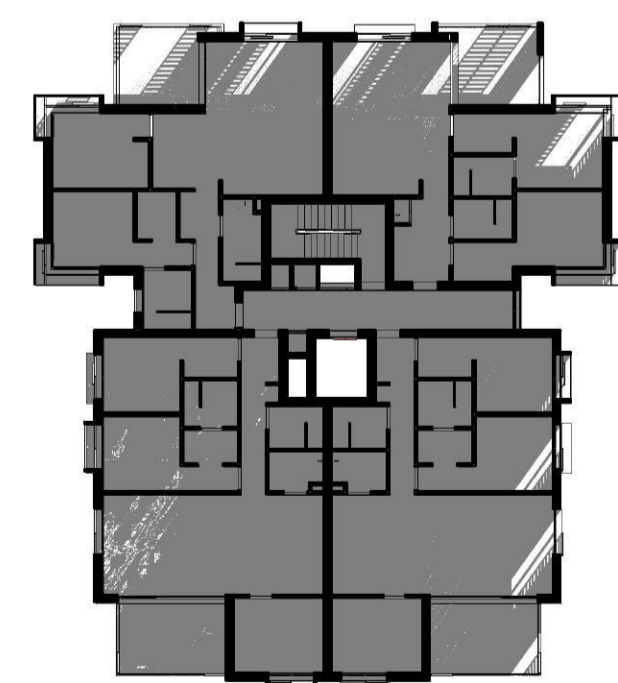
Shadow Plan - L2 - 2pm



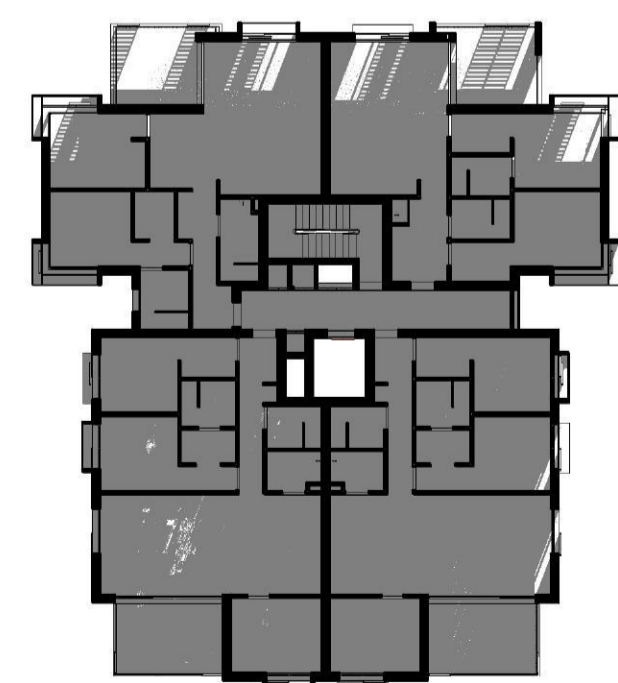
Shadow Plan - L2 - 3pm



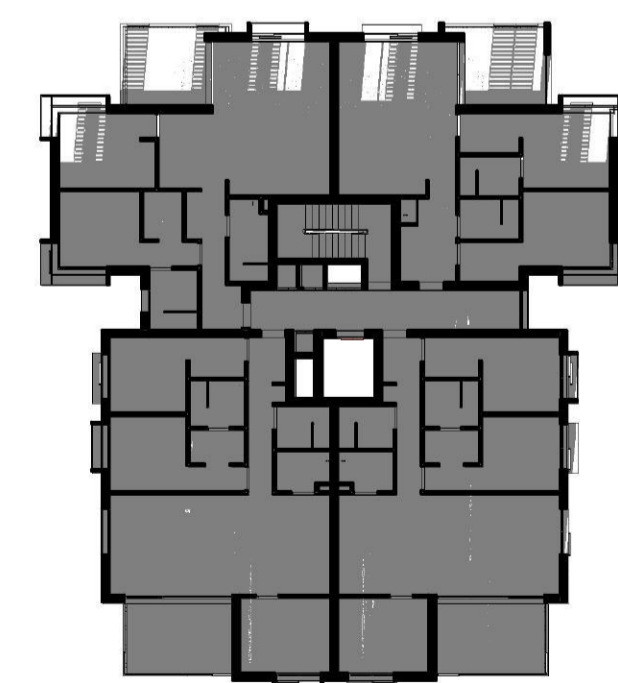
Shadow Plan - L3 - 9am



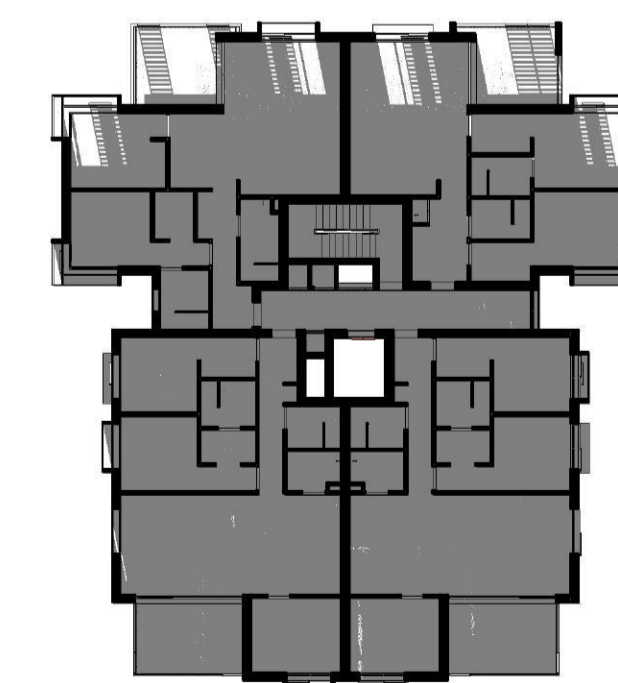
Shadow Plan - L3 - 10am



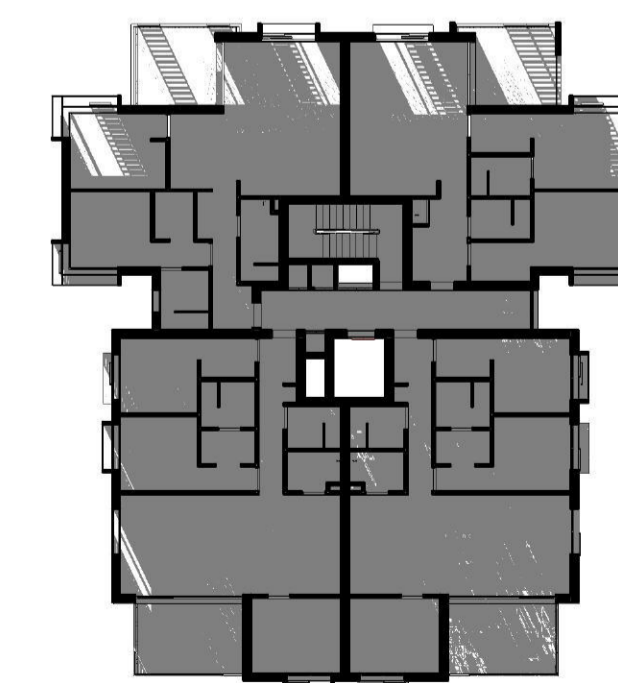
Shadow Plan - L3 - 11am



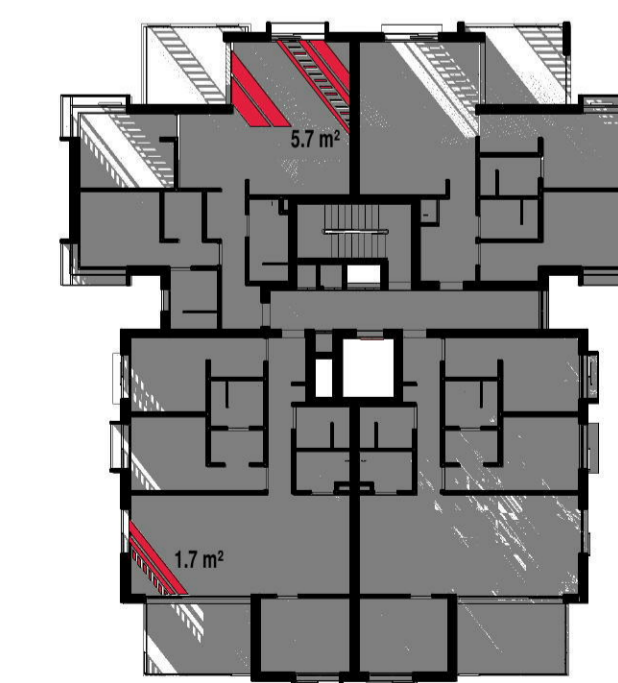
Shadow Plan - L3 - 12pm



Shadow Plan - L3 - 1pm



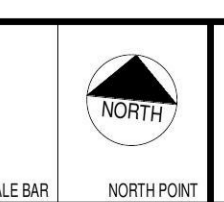
Shadow Plan - L3 - 2pm



Shadow Plan - L3 - 3pm

ISSUE	DATE	AMENDMENT
A	21-05-2019	DA SUBMISSION
B	31-07-2019	DA SUBMISSION
C	22-08-2019	DA SUBMISSION

NOTE TO COUNCIL:
 1) Shadows projected at 1m above floor.
 2) Red Filled Regions: Represent direct sunlight striking the living room and the balcony area. 1m² (Minimum) for 15 minutes (minimum) during the 2 hours of direct sunlight.

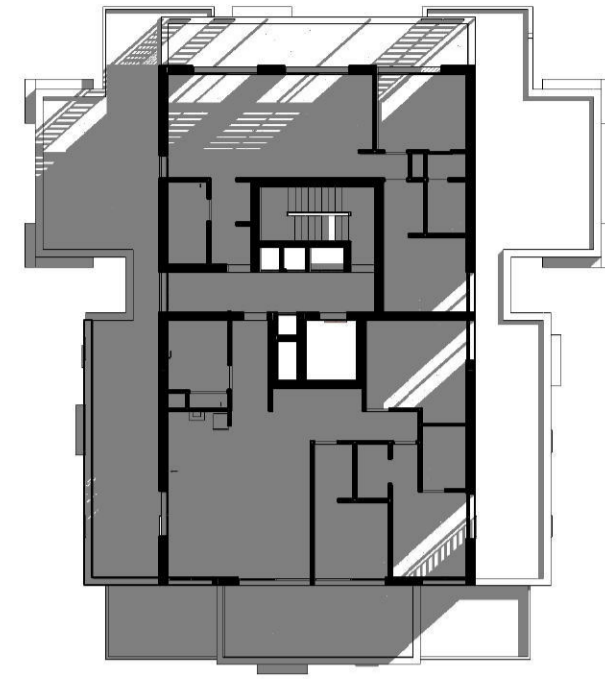


PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750
 CLIENT
 Inglov Investments Two

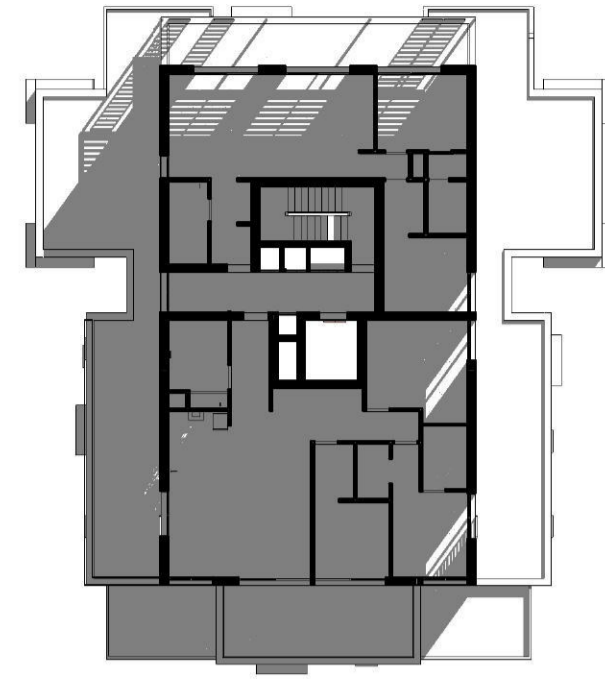


UNNAMED ARCHITECTS - P/L
 MORSON REGISTRATION NUMBER 8100
 A/CN 129 480 056, ABA/41 129 480 056
 www.morsongroup.com
 223 5202 4744
 PO Box 120, Penrith, NSW 1505

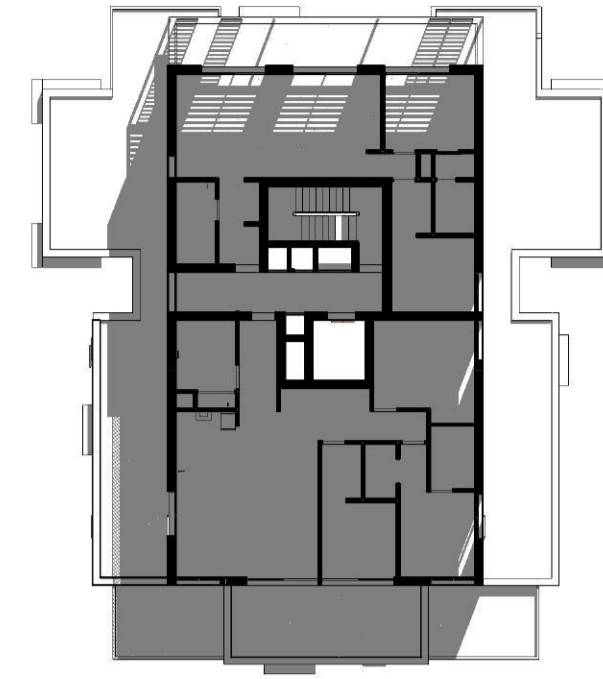
SHEET NAME
SHADOW PLANS 1
 SHEET SIZE: A1
 DATE
 SCALE
 1:300
 DRAWING NUMBER
DA27
 ISSUE NO.
C



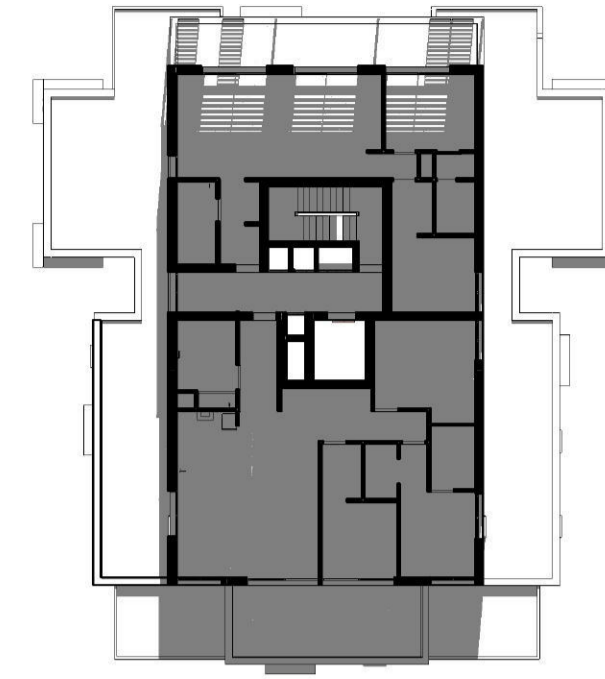
Shadow Plan - L4 - 9am



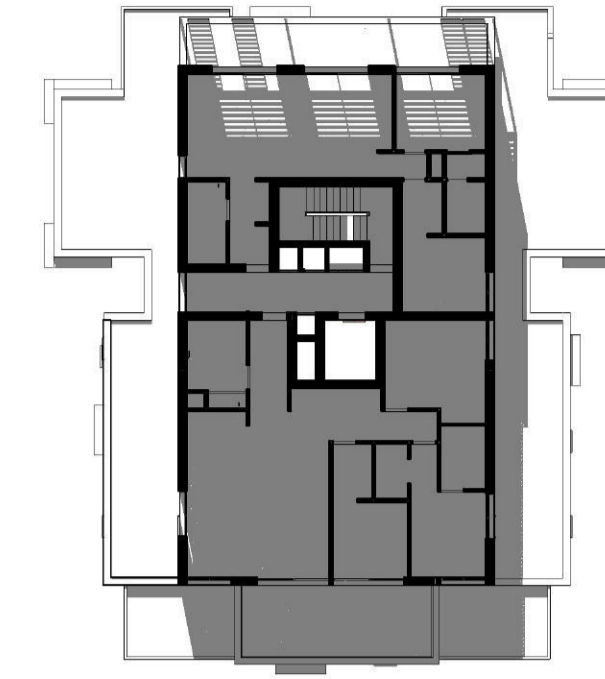
Shadow Plan - L4 - 10am



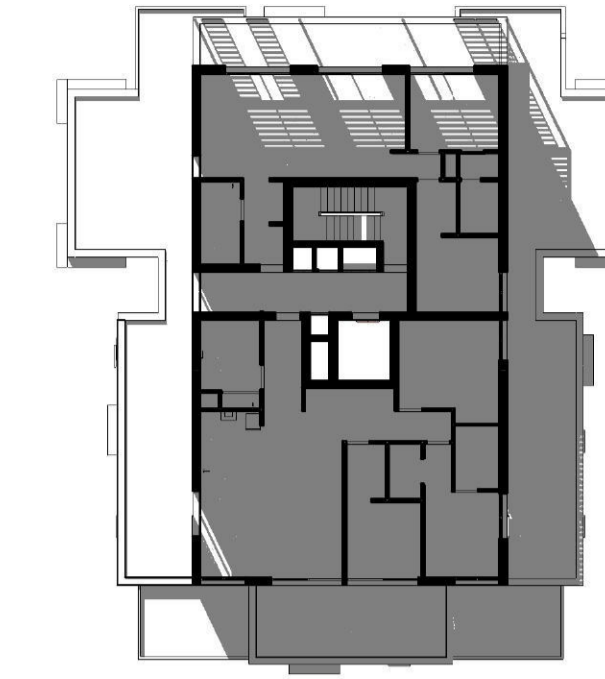
Shadow Plan - L4 - 11am



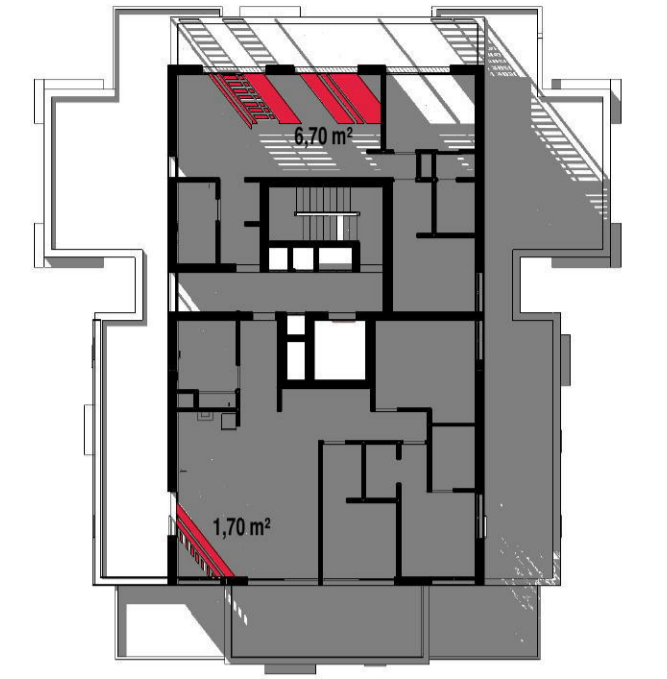
Shadow Plan - L4 - 12pm



Shadow Plan - L4 - 1pm



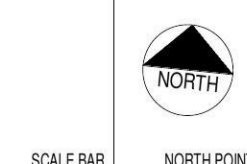
Shadow Plan - L4 - 2pm



Shadow Plan - L4 - 3pm

ISSUE	DATE	AMENDMENT
A	21-05-2019	DA SUBMISSION
B	31-07-2019	DA SUBMISSION
C	22-08-2019	DA SUBMISSION

NOTE TO COUNCIL:
 1) Shadows projected at 1m above floor.
 2) Red Filled Regions: Represent direct sunlight striking the living room and the balcony area. 1m² (Minimum) for 15 minutes (minimum) during the 2 hours of direct sunlight.



PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS
 36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT
 Inglow Investments Two



REGISTERED ARCHITECT - P.A.
 MORSON REGISTRATION NUMBER 8100
 A/CN 121 480 256 AREA 41 131 461564
 www.morsongroup.com
 223 7380 4744
 PO Box 170, Potts Point, NSW 1535

SHEET NAME
SHADOW PLANS 2
 SHEET SIZE: A1 DAT
 SCALE
 1:300

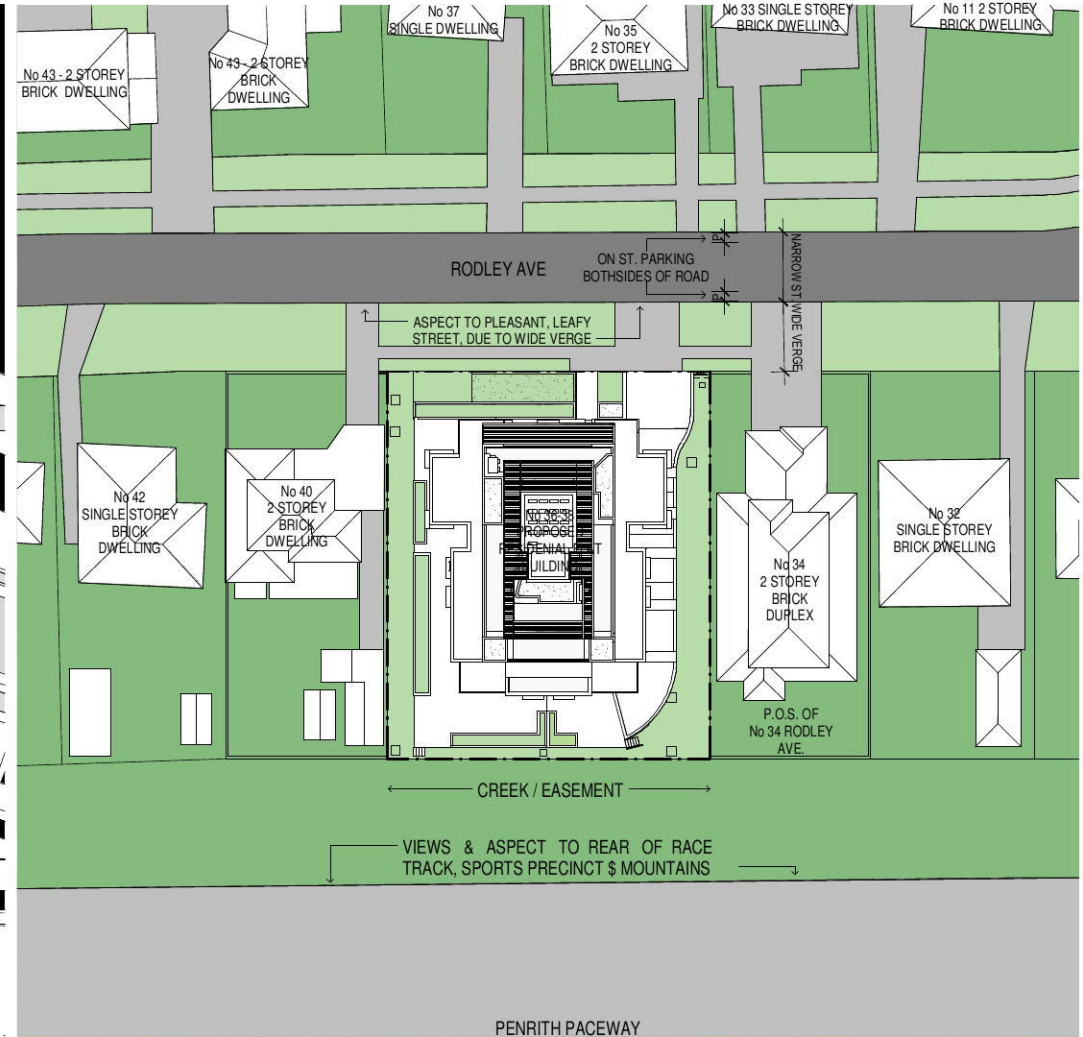
DRAWING NUMBER
DA28
 ISSUE NO.
C

PROPOSED RESIDENTIAL FLAT BUILDING

36-38 Rodley Avenue, Penrith, NSW, 2750



NOTIFICATION PLAN - SITE PLAN - 1500



NOTIFICATION PLAN - SITE PLAN & ANALYSIS - 500

ISSUE	DATE	AMENDMENT
A	22/09/2019	DA SUBMISSION

PROJECT	ADDRESS
PROPOSED RESIDENTIAL FLAT BUILDING	36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT	SCALE
Engle Investments Two	As Indicated

MORSON GROUP

PROJECT NO: 191
 ARCHITECT: MORSON GROUP ARCHITECTS
 22/09/2019 10:00 AM
 100% (Final)
 100% (Final)

ISSUE	DATE	AMENDMENT
A	22/09/2019	DA SUBMISSION

CLIENT	SCALE
Engle Investments Two	As Indicated

PROJECT	ADDRESS
PROPOSED RESIDENTIAL FLAT BUILDING	36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT	SCALE
Engle Investments Two	As Indicated

PROJECT	ADDRESS
PROPOSED RESIDENTIAL FLAT BUILDING	36-38 Rodley Avenue, Penrith, NSW, 2750

CLIENT	SCALE
Engle Investments Two	As Indicated



ISSUE	DATE	AMENDMENT
A	22-09-2019	DA SUBMISSION

PROJECT:
PROPOSED RESIDENTIAL FLAT BUILDING
 ADDRESS:
 56-58 Rodley Avenue, Parrish, NSW, 2750
 CLIENT:
 Ingle Investments Two



SHEET SIZE: A1
 SCALE: 1:100

SHEET NAME: **NOTIFICATION PLAN - NORTH ELEVATION**
 DRAWING NUMBER: **DA31**
 ISSUE NO: **A**



ISSUE	DATE	AMENDMENT
A	22/09/2019	DA SUBMISSION

PROJECT	PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS	35-38 Rodley Avenue, Parrith, NSW, 2730

CLIENT	Inghe Investments Two
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MORSON GROUP

ARCHITECTS

11/11-13/13 WARRINGTON STREET, SYDNEY NSW 2000

02 9231 1111

www.morsongroup.com.au

SHEET SIZE	A1
SCALE	1:100

SHEET NAME	NOTIFICATION PLAN - SOUTH ELEVATION	DRAWING NUMBER	DA32
ISSUE NO	A		



ISSUE	DATE	AMENDMENT
A	22-09-2019	DA SUBMISSION

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PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING

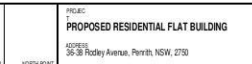
ADDRESS
 56-58 Rodley Avenue, Parrish, NSW, 2750

SCALE: 80% NORTH POINT

CLIENT
 Ingle Investments Two

PROJECT NO: 1910

DATE: 22-09-2019



PROJECT NO: 1910

DATE: 22-09-2019

SHEET NAME
NOTIFICATION PLAN - EAST ELEVATION

SHEET SIZE: A1

SCALE: 1:100

DRAWING NUMBER
DA33

ISSUE NO
A



RODLEY AVE

18m HEIGHT LIMIT LINE

3100	ROOF	RL 46.800
3100	LEVEL 5	RL 43.700
3100	LEVEL 4	RL 40.600
3100	LEVEL 3	RL 37.500
3100	LEVEL 2	RL 34.400
3100	LEVEL 1	RL 31.300
357.5	GROUND LEVEL	RL 27.725

ISSUE	DATE	AMENDMENT
A	22-09-2019	DA SUBMISSION

PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING

ADDRESS
 55-58 Rodley Avenue, Parrith, NSW, 2730

SCALE 80%
 NORTH POINT

CLIENT
 Inghis Investments Two



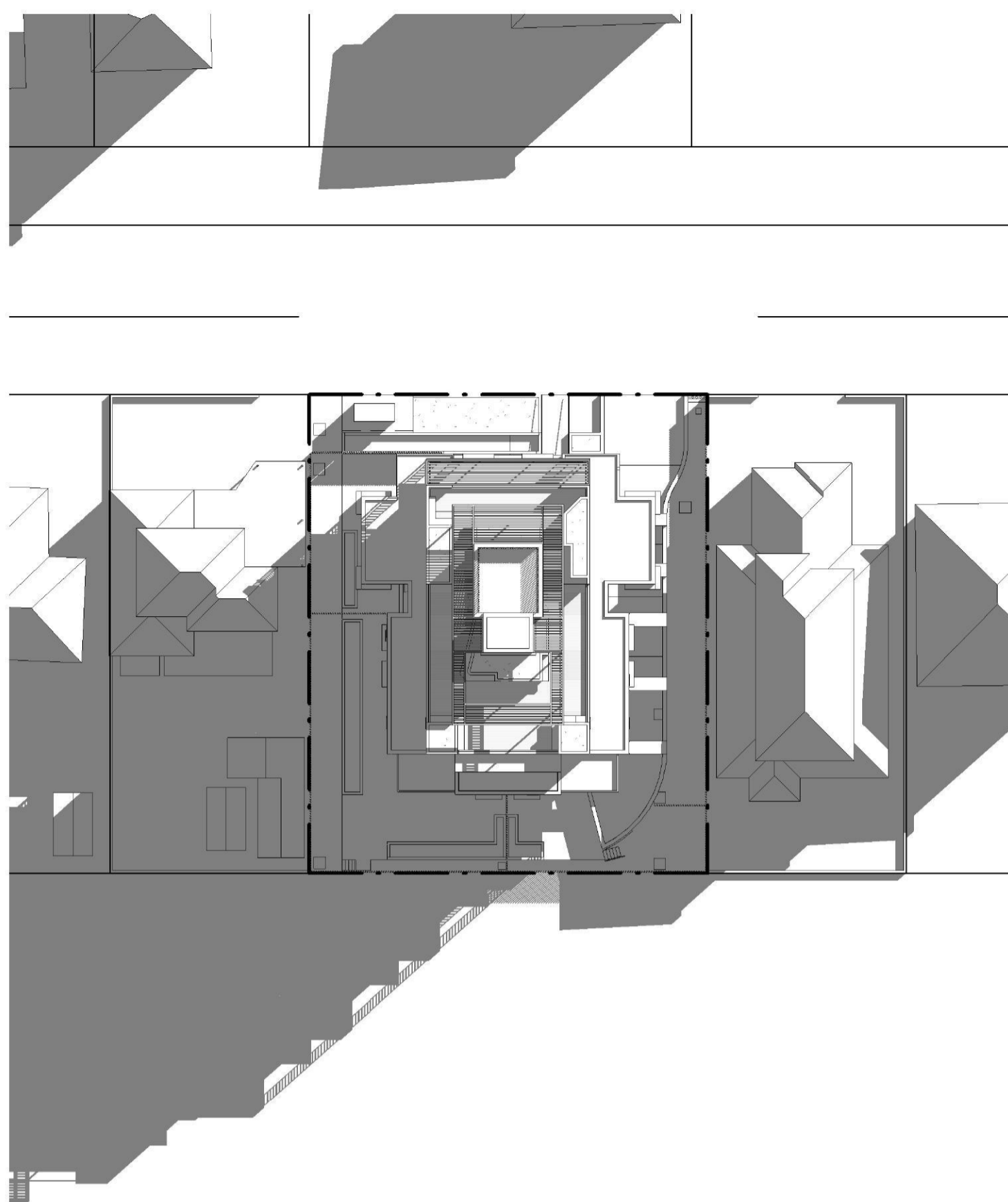
PROJANNO 18050001 - 01
 ARCHITECTURE, ENGINEERING AND
 PLANNING
 100 Macquarie Street, Sydney
 NSW 2000
 PHONE: 02 9250 1000
 WWW.MORSONGROUP.COM.AU

SHEET SIZE A1
 SCALE 1:100
 DATE

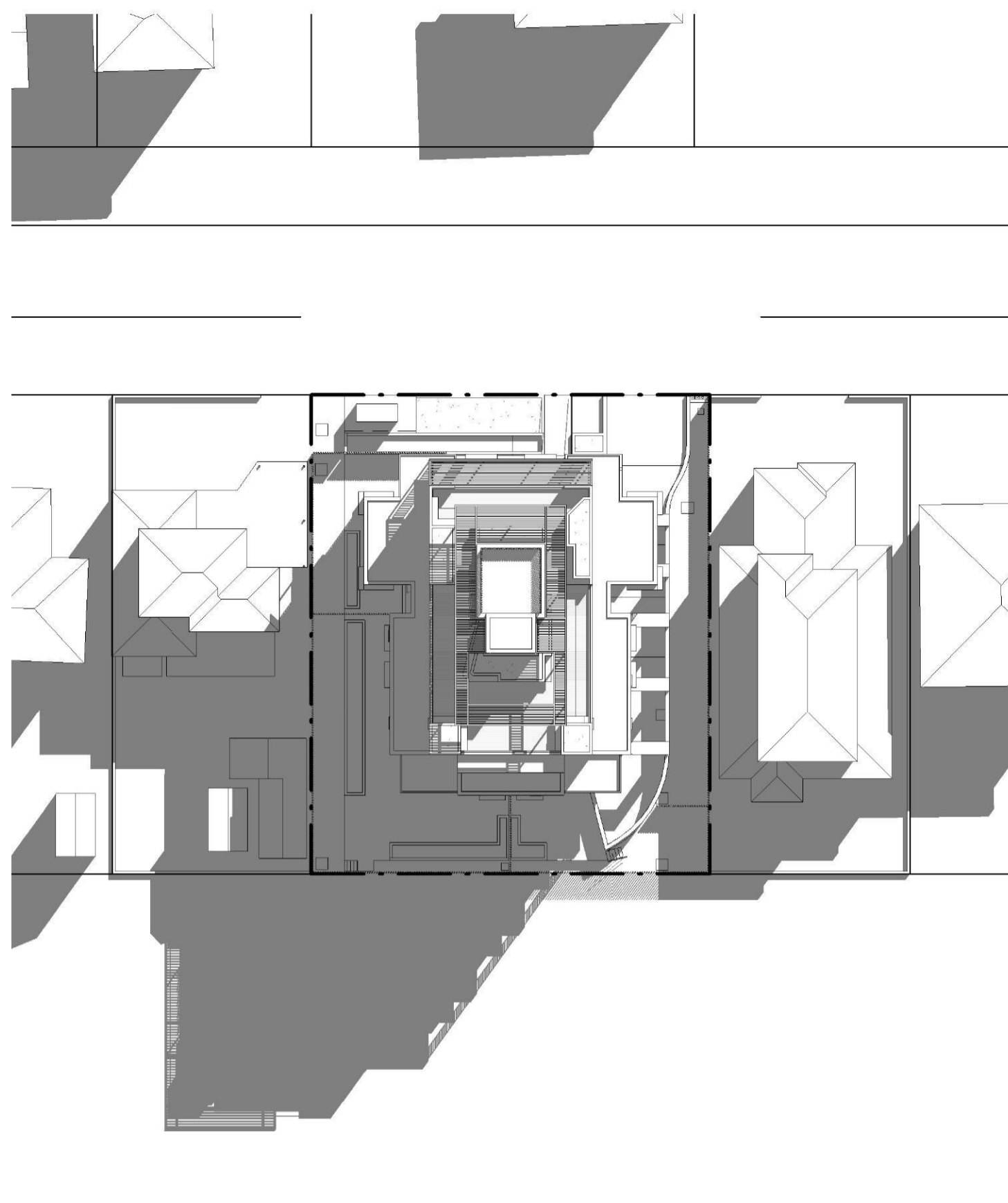
SHEET NAME
NOTIFICATION PLAN - WEST ELEVATION

DRAWING NUMBER
DA34

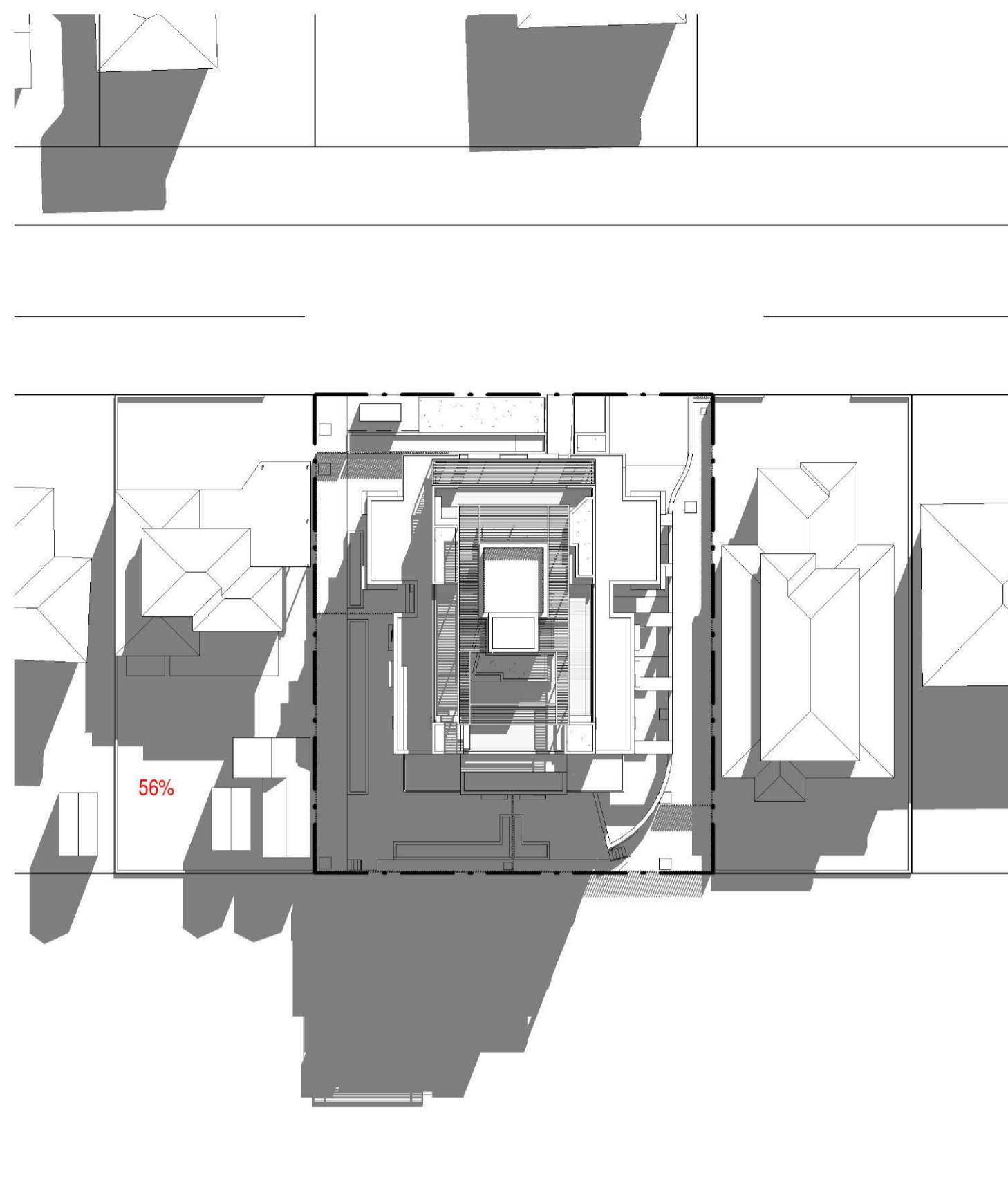
ISSUE NO
A



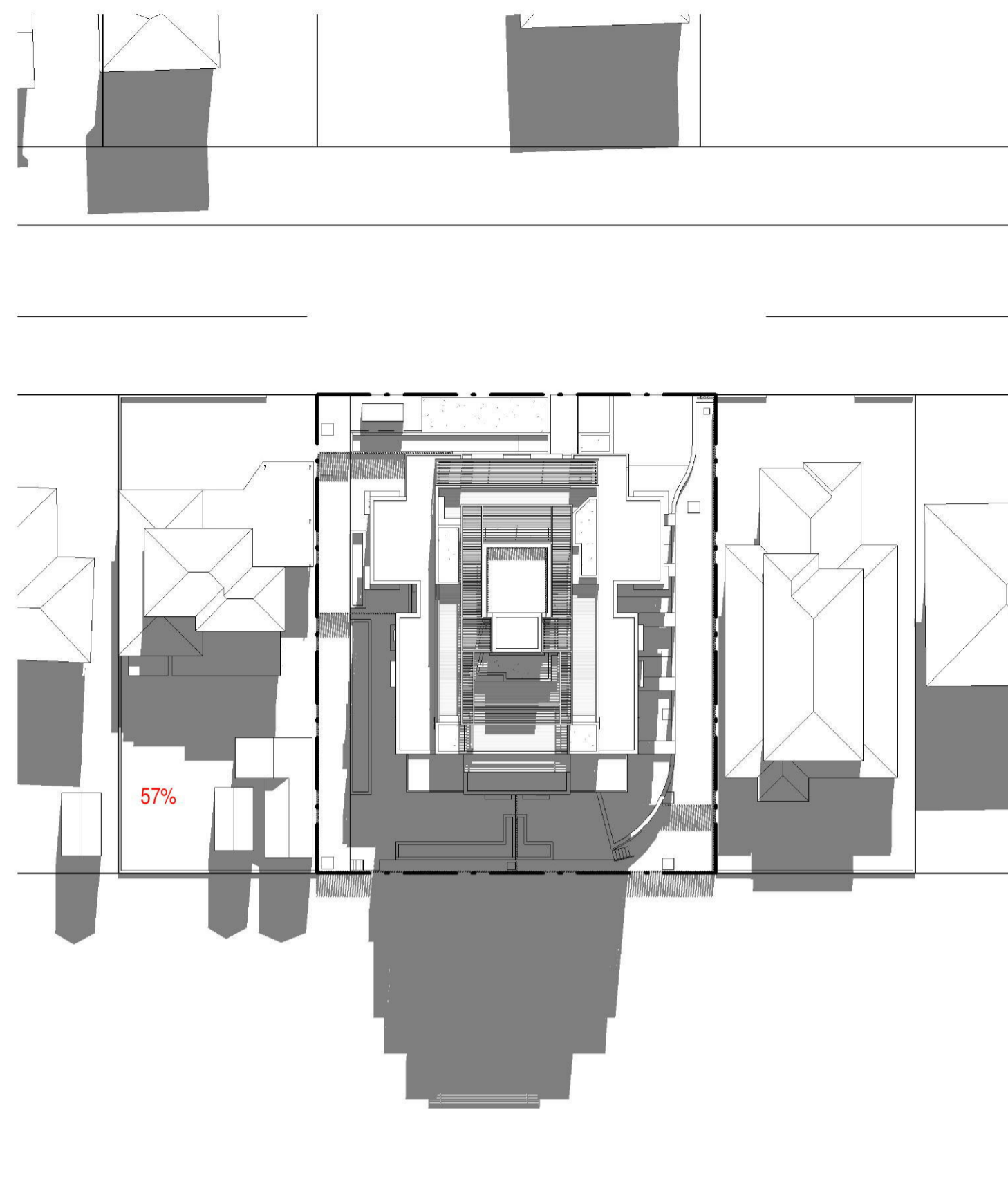
1 SHADOWS - JUNE 21st 9AM
DA14 1:400



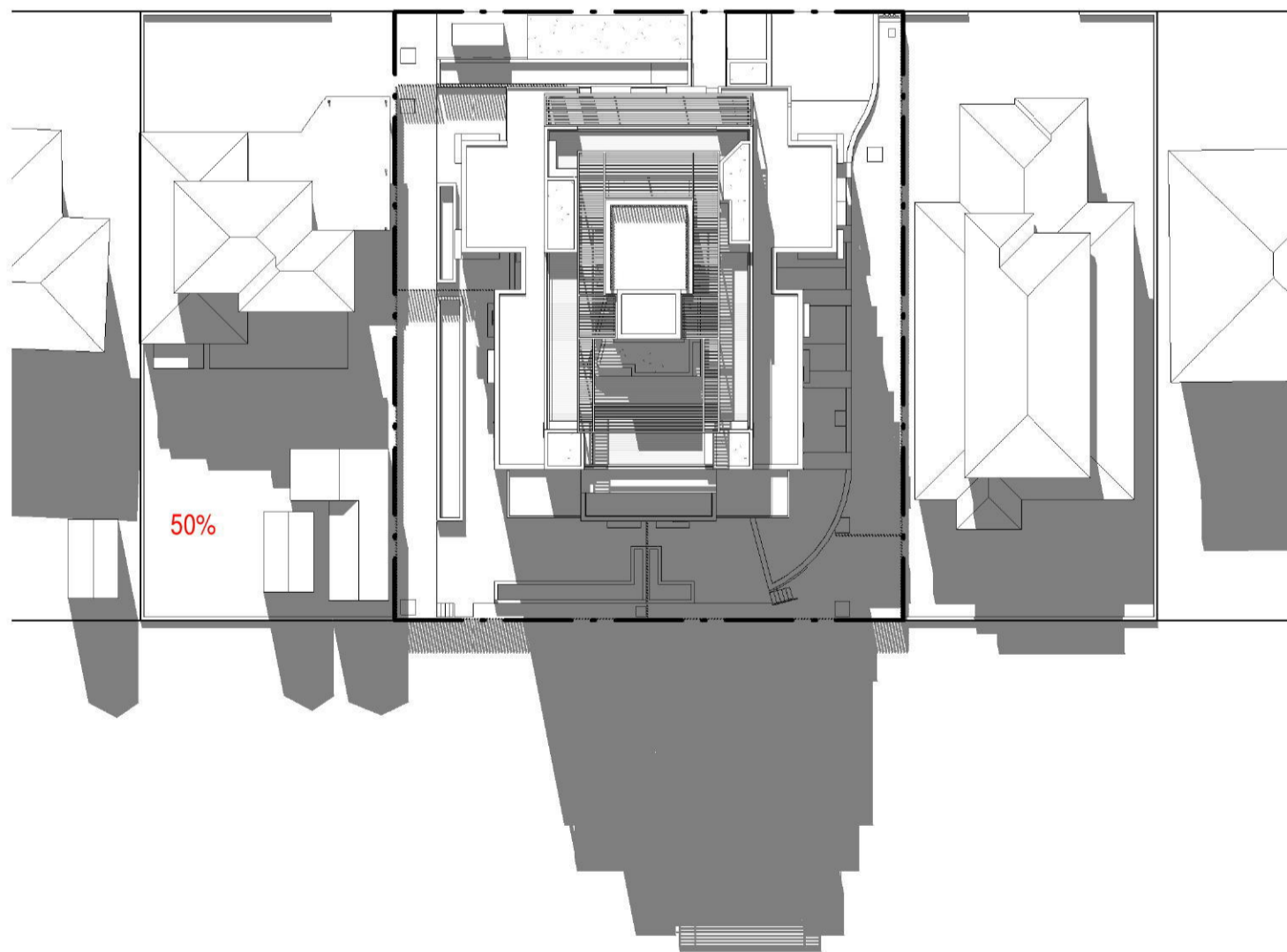
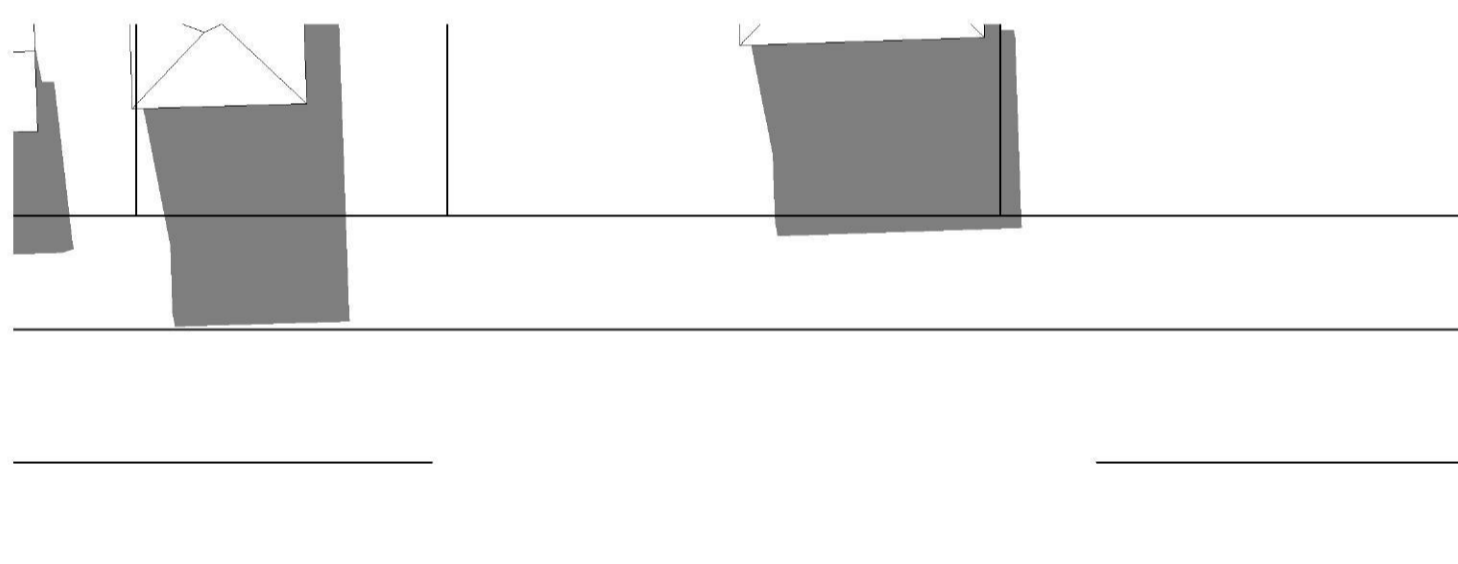
2 SHADOWS - JUNE 21st 10AM
DA14 1:400



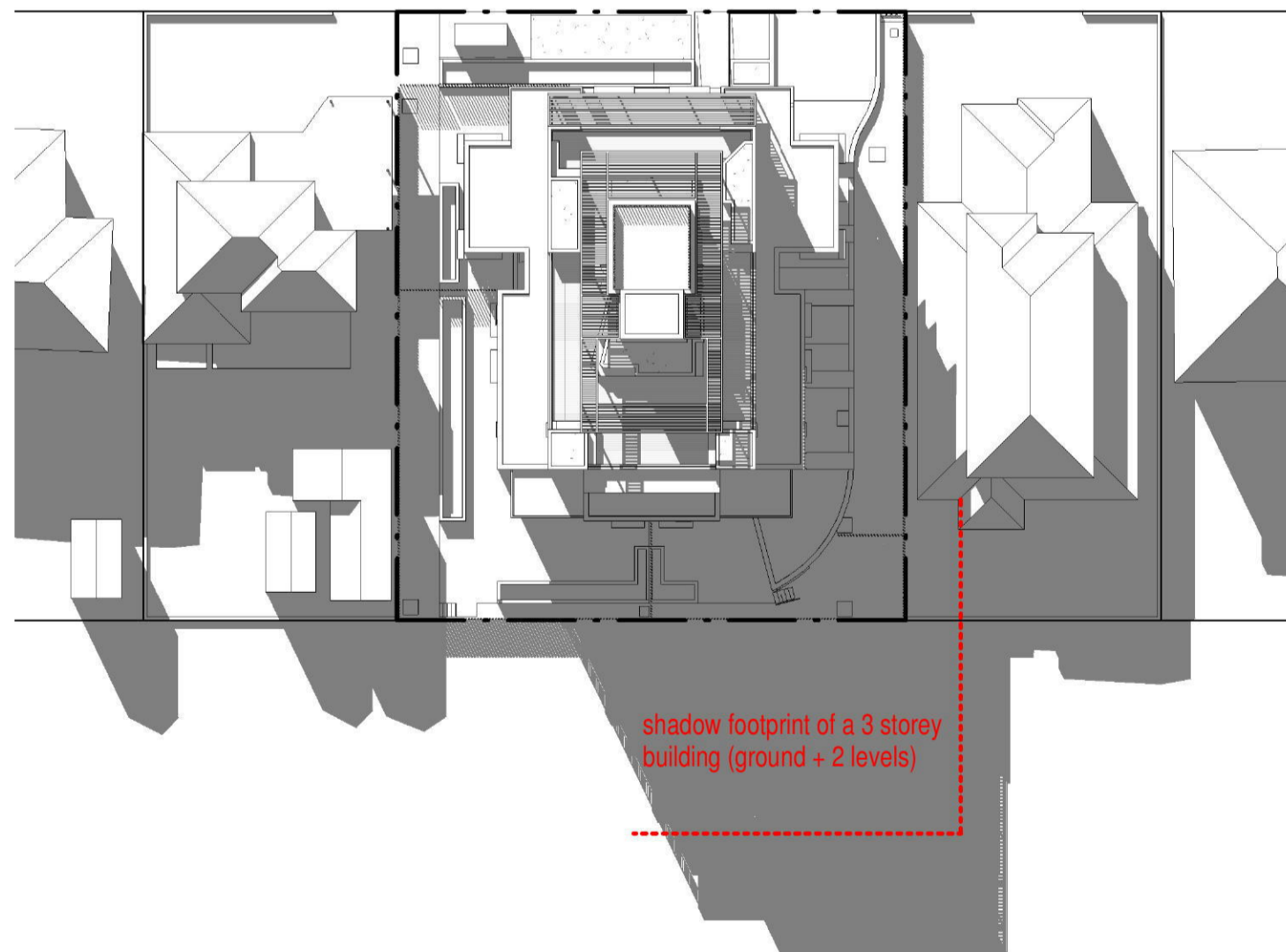
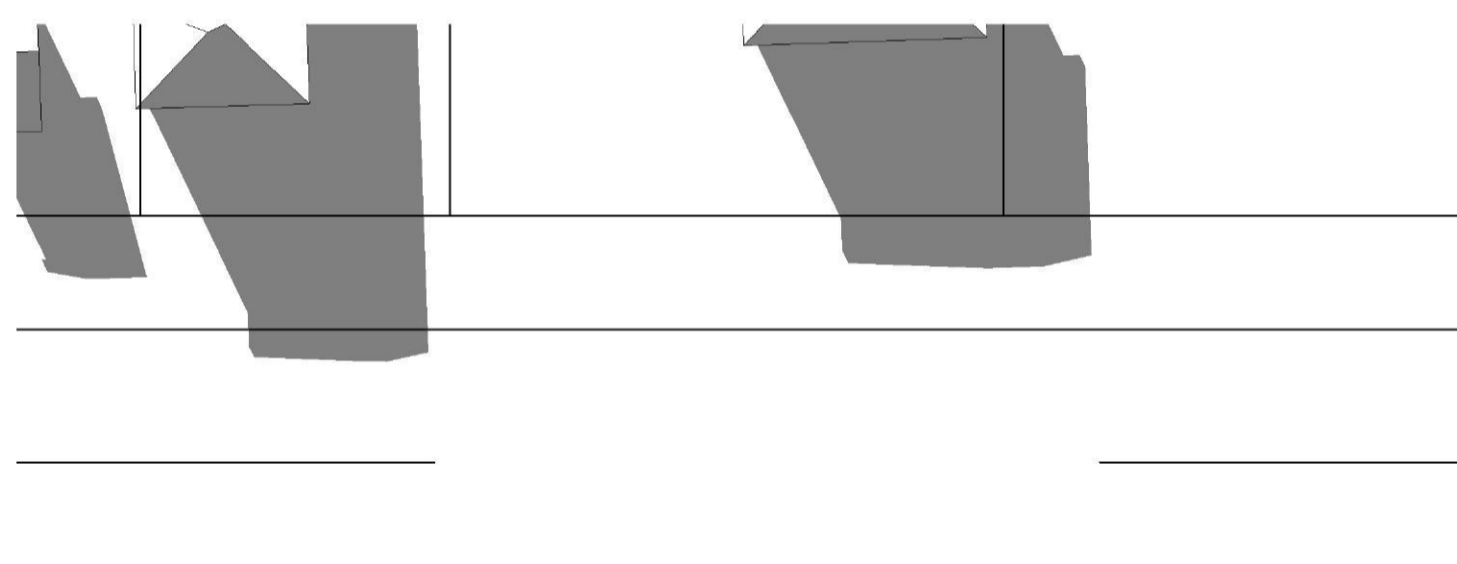
3 SHADOWS - JUNE 21st 11AM
DA14 1:400



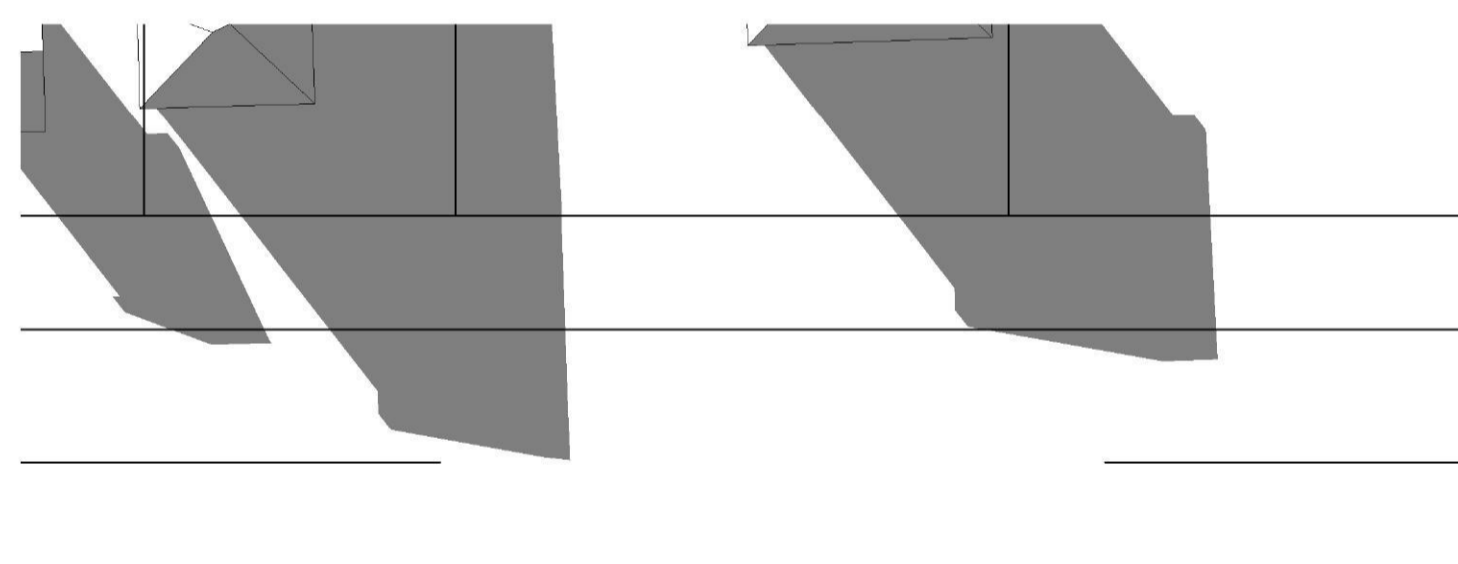
4 SHADOWS - JUNE 21st 12PM
DA14 1:400



5 SHADOWS - JUNE 21st 13PM
DA14 1:400



6 SHADOWS - JUNE 21st 14PM
DA14 1:400



7 SHADOWS - JUNE 21st 15PM
DA14 1:400



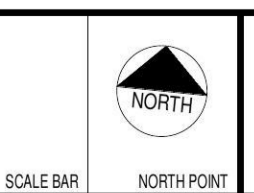
8 SHADOWS - JUNE 21st 14PM Existing
DA14 1:400



9 SHADOWS - JUNE 21st 15PM Existing
DA14 1:400

ISSUE	DATE	AMENDMENT
A	04-09-2018	DA SUBMISSION
B	19-02-2019	DA SUBMISSION
C	21-05-2019	DA SUBMISSION
D	31-07-2019	DA SUBMISSION
E	22-08-2019	DA SUBMISSION

PROJECT
PROPOSED RESIDENTIAL FLAT BUILDING
ADDRESS
36-38 Rodley Avenue, Penrith, NSW, 2750



CLIENT
Inglow Investments Two

MORSON GROUP
MORSON ARCHITECTS - P/L
MORSON REGISTRATION NUMBER 8100
ACN 129 480 256, ABN 41 129 480 256
www.morsongroup.com
223 2300 4744
PO Box 120, Penrith, NSW 1505

SHEET SIZE: A1
SCALE
E
1:400

SHEET NAME
SHADOW DIAGRAMS

DRAWING NUMBER
DA21
ISSUE NO.
E



RESIDENTIAL DEVELOPMENT 36-38 RODLEY AVENUE, PENRITH STORMWATER CONCEPT DESIGN



DRAWINGS LIST			
SHEET No.	DWG No.	TITLE	REV
1	SW100	COVER SHEET	C
2	SW200	STORMWATER CONCEPT DESIGN - BASEMENT PLAN	C
3	SW201	STORMWATER CONCEPT DESIGN - GROUND FLOOR PLAN	C
4	SW202	STORMWATER CONCEPT DESIGN - ROOF PLAN	C
5	SW300	STORMWATER CONCEPT DESIGN - DETAILS SHEET - SHEET 1 OF 2	C
6	SW301	STORMWATER CONCEPT DESIGN - DETAILS SHEET - SHEET 2 OF 2	C
7	SW400	EROSION AND SEDIMENT CONTROL - PLAN AND DETAILS	C
8	SW500	STORMWATER CONCEPT DESIGN - MUSIC CATCHMENT PLAN	C

LOCALITY PLAN
NOT TO SCALE
COPYRIGHT OF SIX MAPS



PREPARED BY:
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Email: office@sgce.com.au
Web: www.sgce.com.au

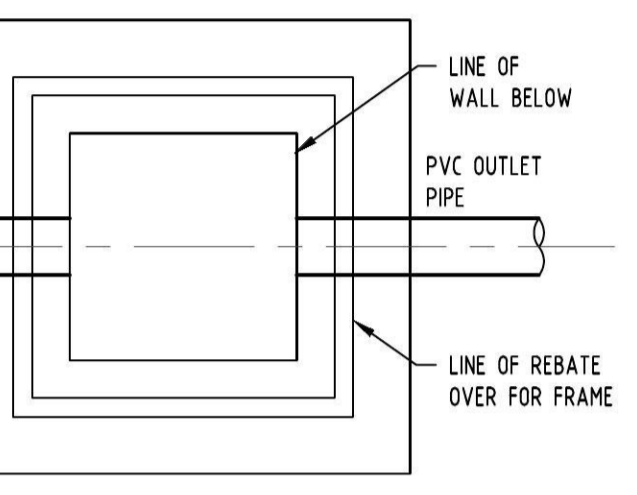
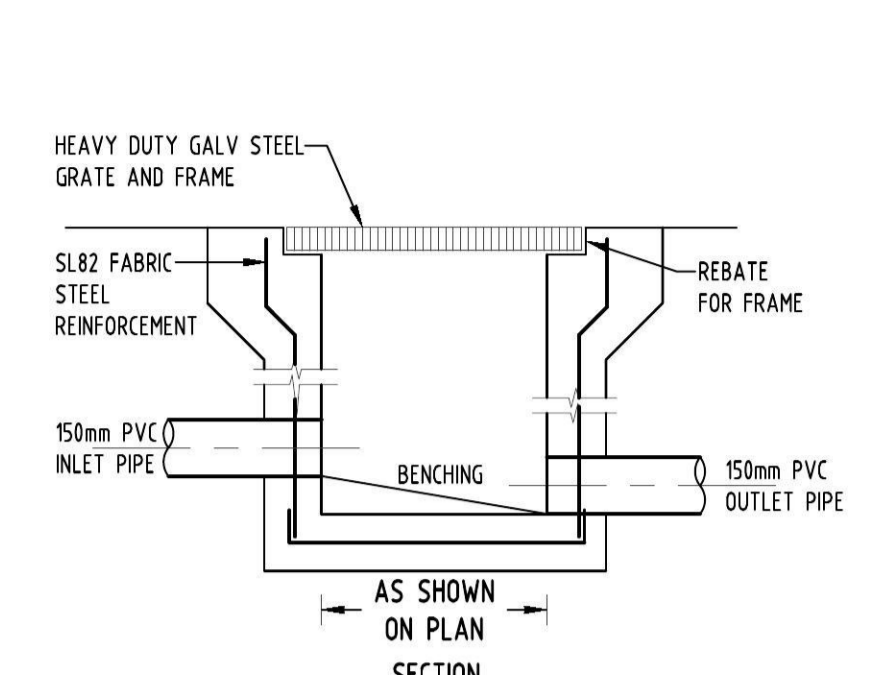
ARCHITECT:



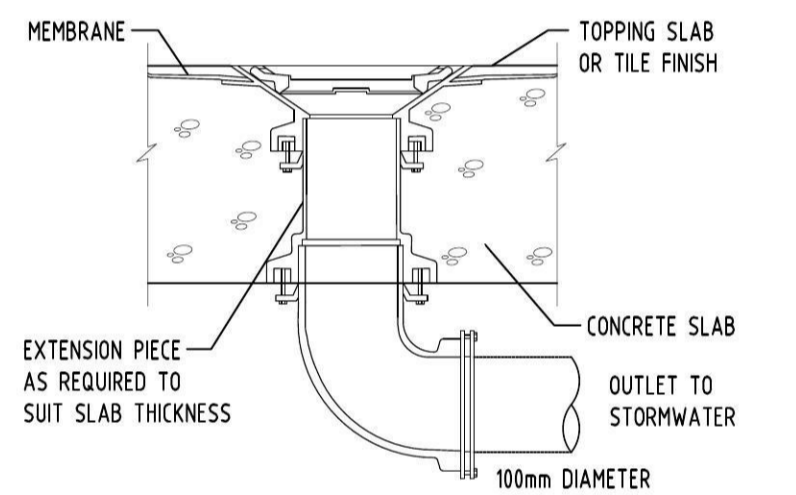
NOMINATED ARCHITECT - P.F MORSON
REGISTRATION NUMBER: 8100
A/CN: 159 480 056, ABN: 41 159 480 056
www.morsongroup.com
(02) 9380 4946
PO Box 170, Potts Point, NSW 1535

CLIENT:

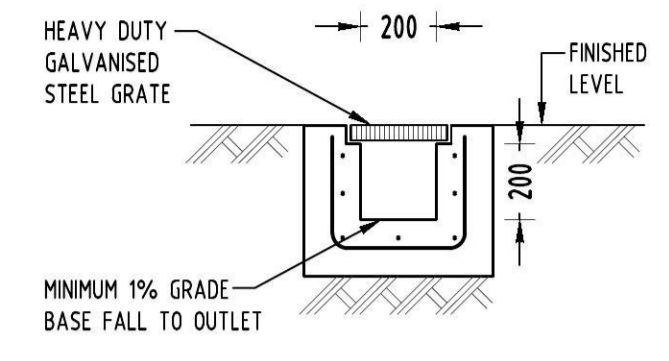
INGLOW INVESTMENT
TWO PTY LTD



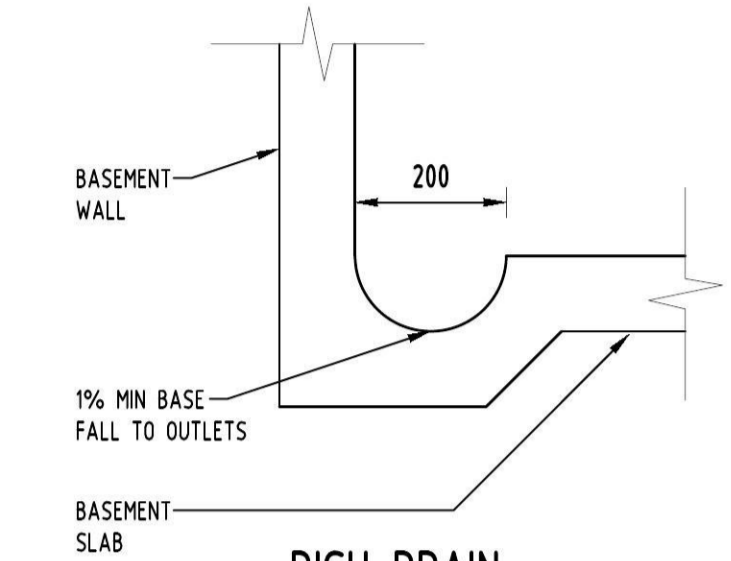
PLAN WITHOUT GRATE
STORMWATER PIT
NOT TO SCALE



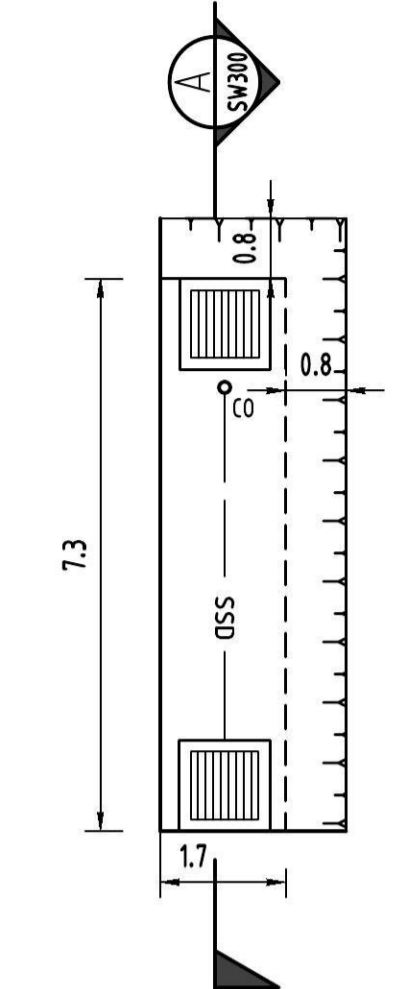
RAINWATER OUTLET
NOT TO SCALE



GRATED TRENCH DRAIN
NOT TO SCALE

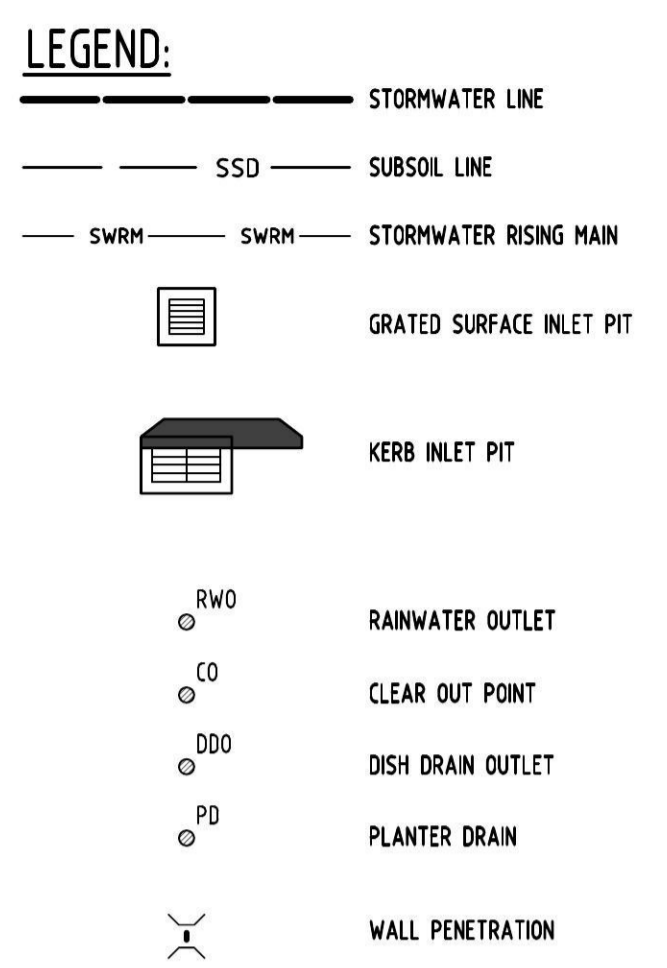
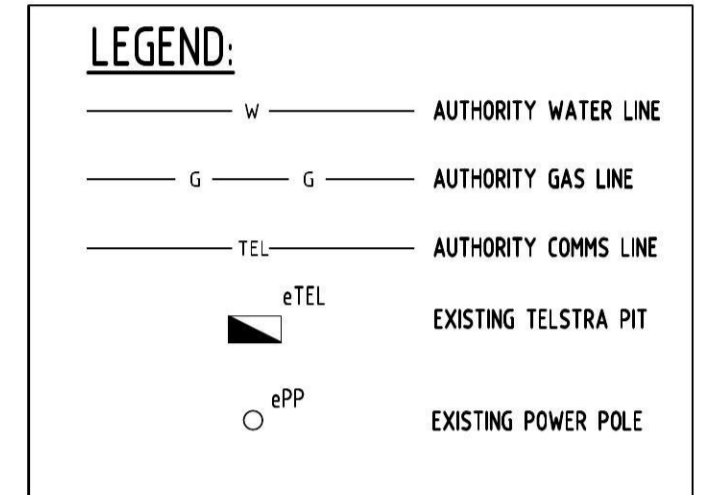


DISH DRAIN
NOT TO SCALE

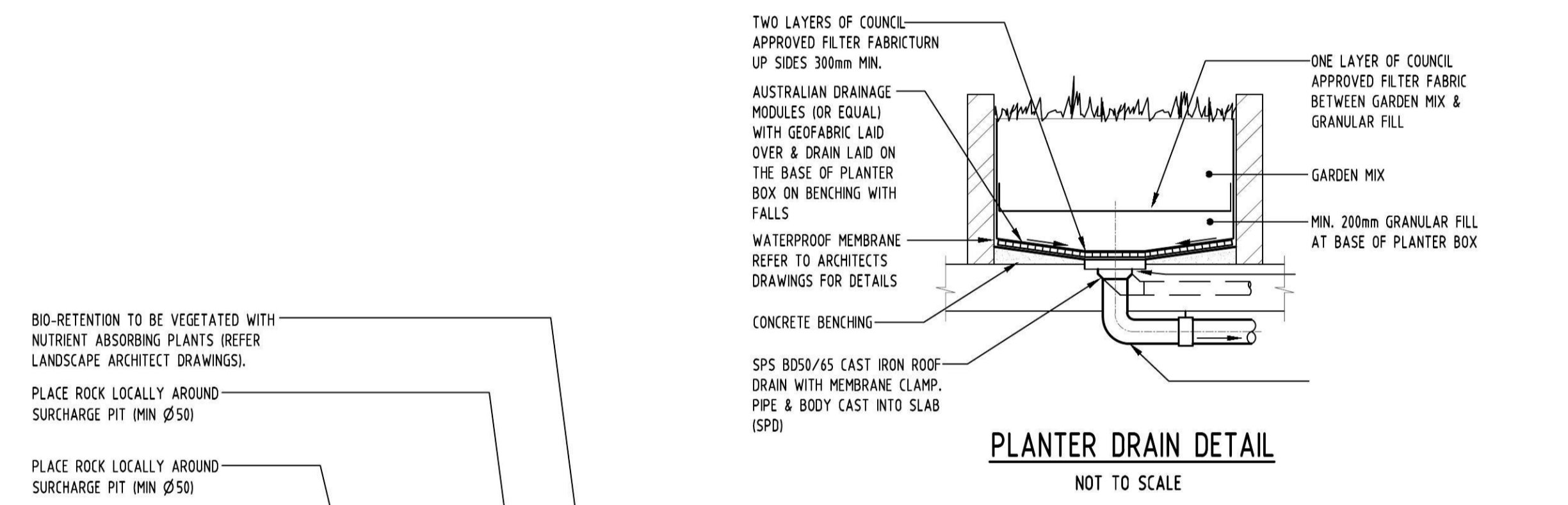


BIO-RETENTION PLAN
NOT TO SCALE

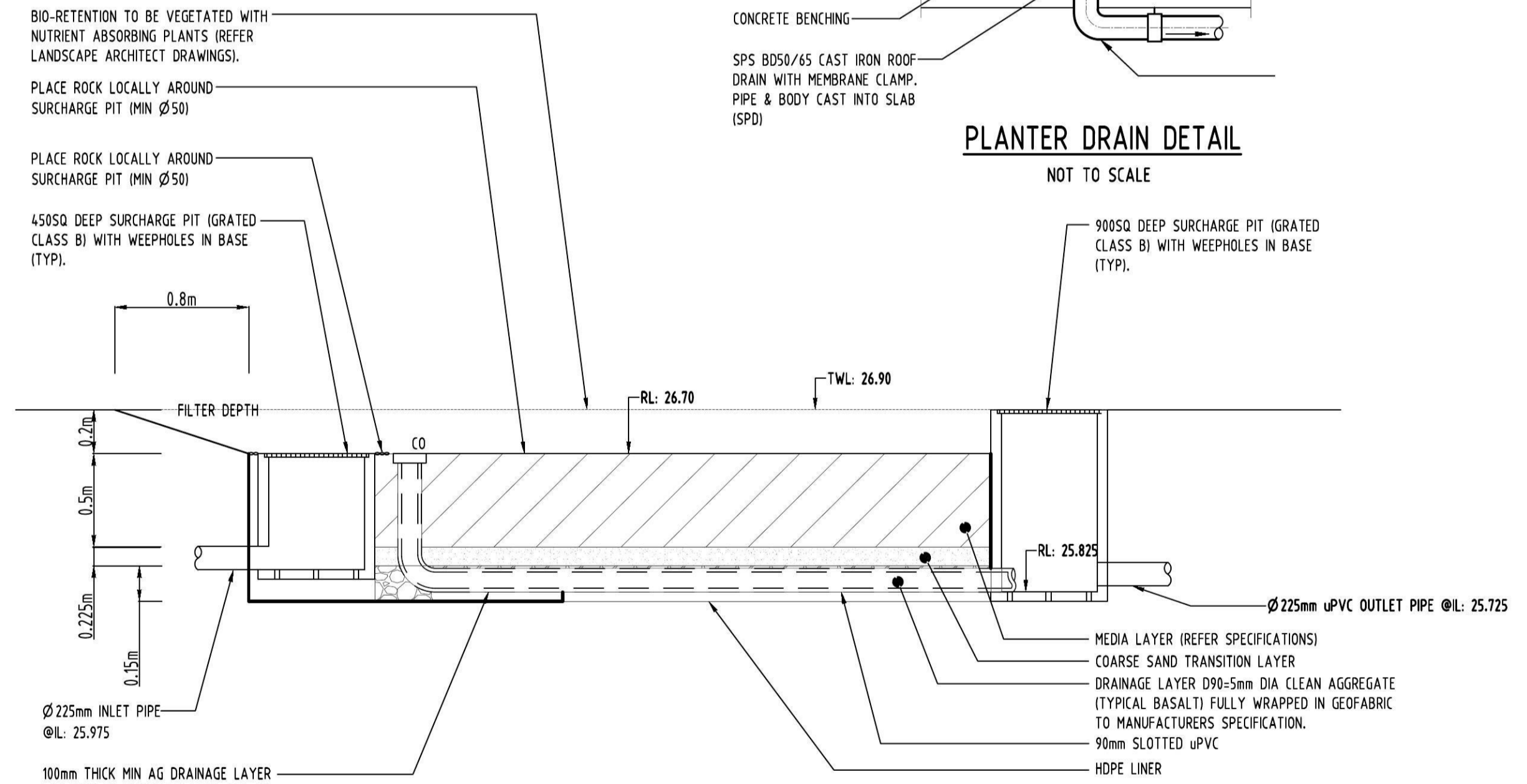
DESIGN NOTES:
THE SITE IS LOCATED IN PENRITH COUNCIL.
SITE AREA = 1115m²
OSD IS NOT REQUIRED BECAUSE THE SITE IS NOT IN A OSD MANDATORY AREA.
MUSIC MODELLING IS REQUIRED BY COUNCIL. REQUIRED TARGETS ARE AS FOLLOWING:
TSS: 85%
TP: 60%
TN: 45%
THE SITE IS FLOOD AFFECTED. A FLOOD STORAGE AREA AND A NEW EASEMENT ARE PROPOSED.



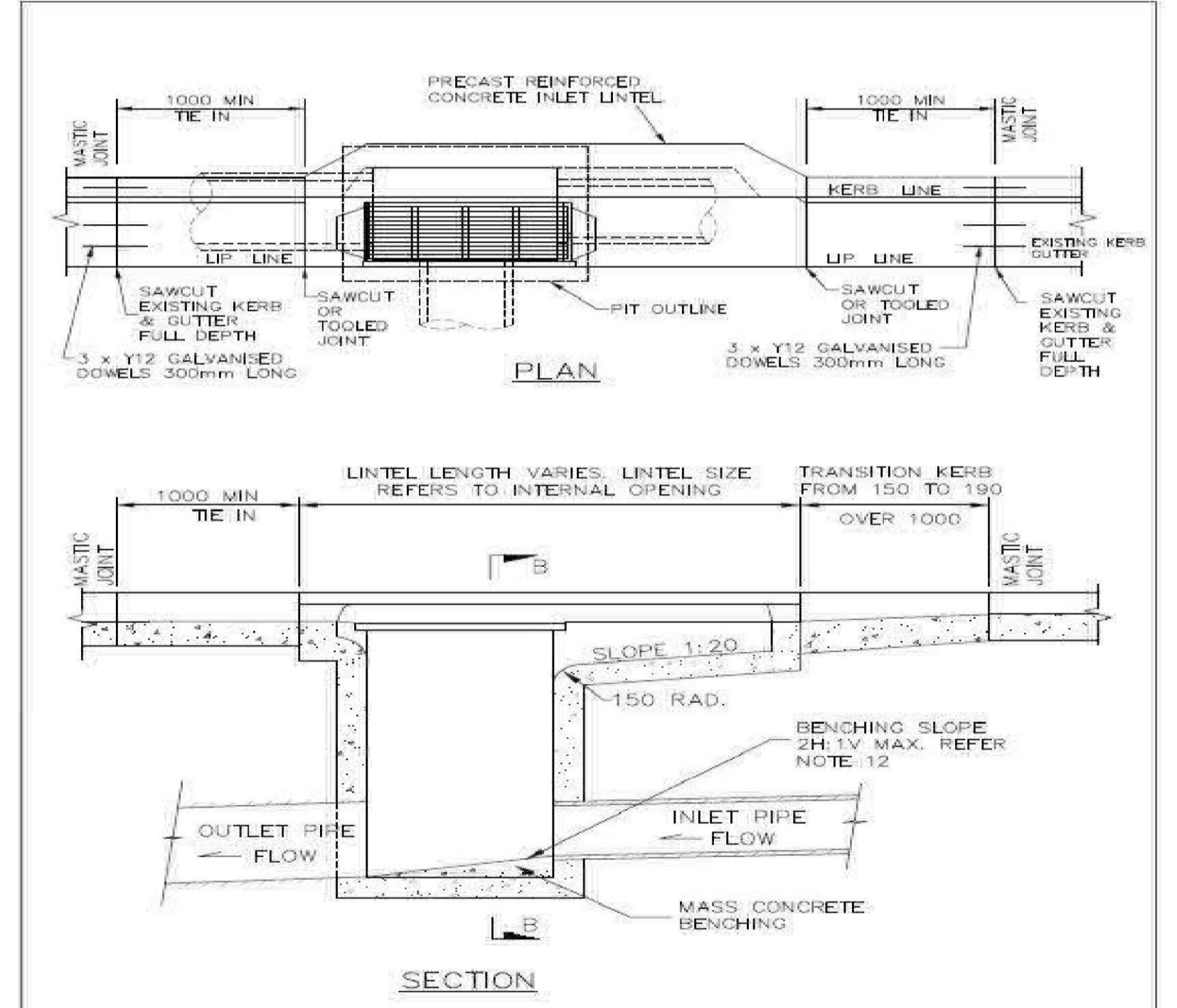
SERVICES SHOWN ON PLAN ARE INDICATIVE, EXACT DEPTH AND LOCATION TO BE CONFIRMED ONSITE. CONTRACTOR TO CARRY OUT DIAL BEFORE YOU DIG APPLICATION AND ENGAGE A REGISTERED SURVEYOR TO PEG OUT ALL EXISTING SERVICES PRIOR TO ANY WORK COMMENCING ONSITE.



PLANTER DRAIN DETAIL
NOT TO SCALE



SECTION A-A
NOT TO SCALE



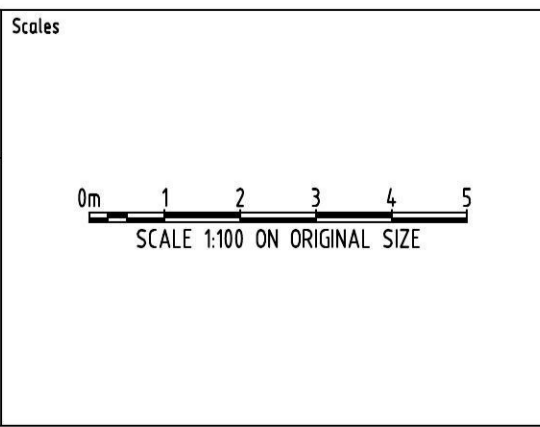
KERB INLET PIT SHEET 1 OF 3
DRAWN: M. WARD
APPROVED: SD2001/1

KERB INLET PIT DETAILS
NOT TO SCALE

Reference Coordination Drawing				
Discipline	Drawing Title and Number	Date	Rev.	
C	FOR DA RESUBMISSION	FZ 30.07.2019	2	ARCH
P3	AMENDED TO SUIT ARCHITECTURAL PLAN	FZ 12.07.2019	1	STRUCT
P2	AMENDED TO SUIT ARCHITECTURAL PLAN	FZ 12.07.2019	1	MECH
B	FOR DA SUBMISSION	FZ 01.02.2019	2	ELEC
A	FINAL ISSUE	LN 24.08.2018	2	HYD
Issue	Last revision title	by	Date	Status
Issuer internal sequence and revision history 1-preliminary 2-development application 3-construction certificate 4-tender 5-construction 6-other SURVEY				

QUALITY CONTROL	
DRAWN	DATE
CHECKED	DATE
DESIGNED	DATE
VERIFIED	DATE
APPROVED	DATE

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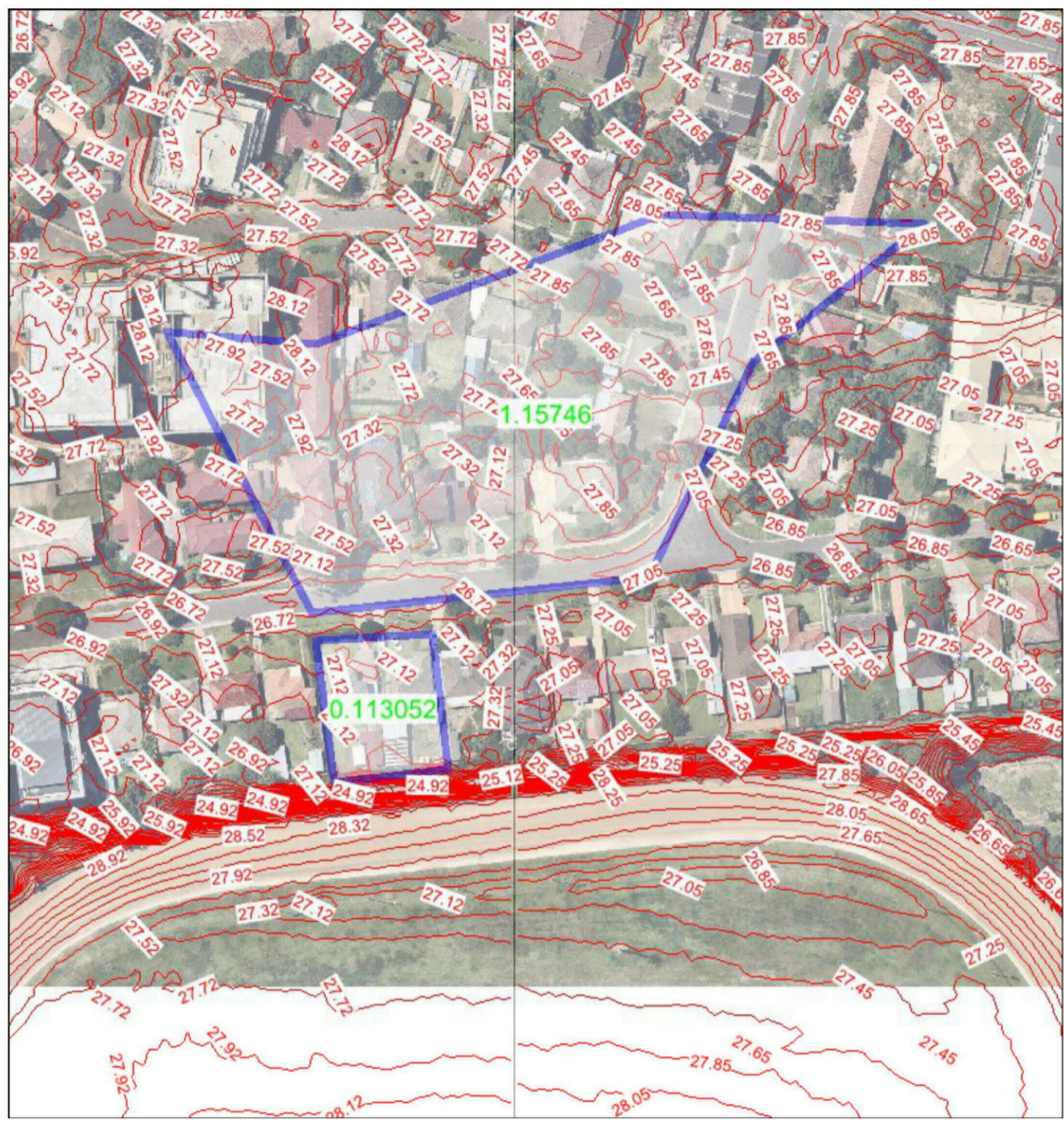
ARCHITECT
MORSON GROUP

SGC
Engineering Value
Suite 5.03, Level 5,
156 PACIFIC HIGHWAY,
ST. LEONARDS, NSW 2065
T: +61 2 8883 4239
Email: office@sgce.com.au
Web: www.sgce.com.au

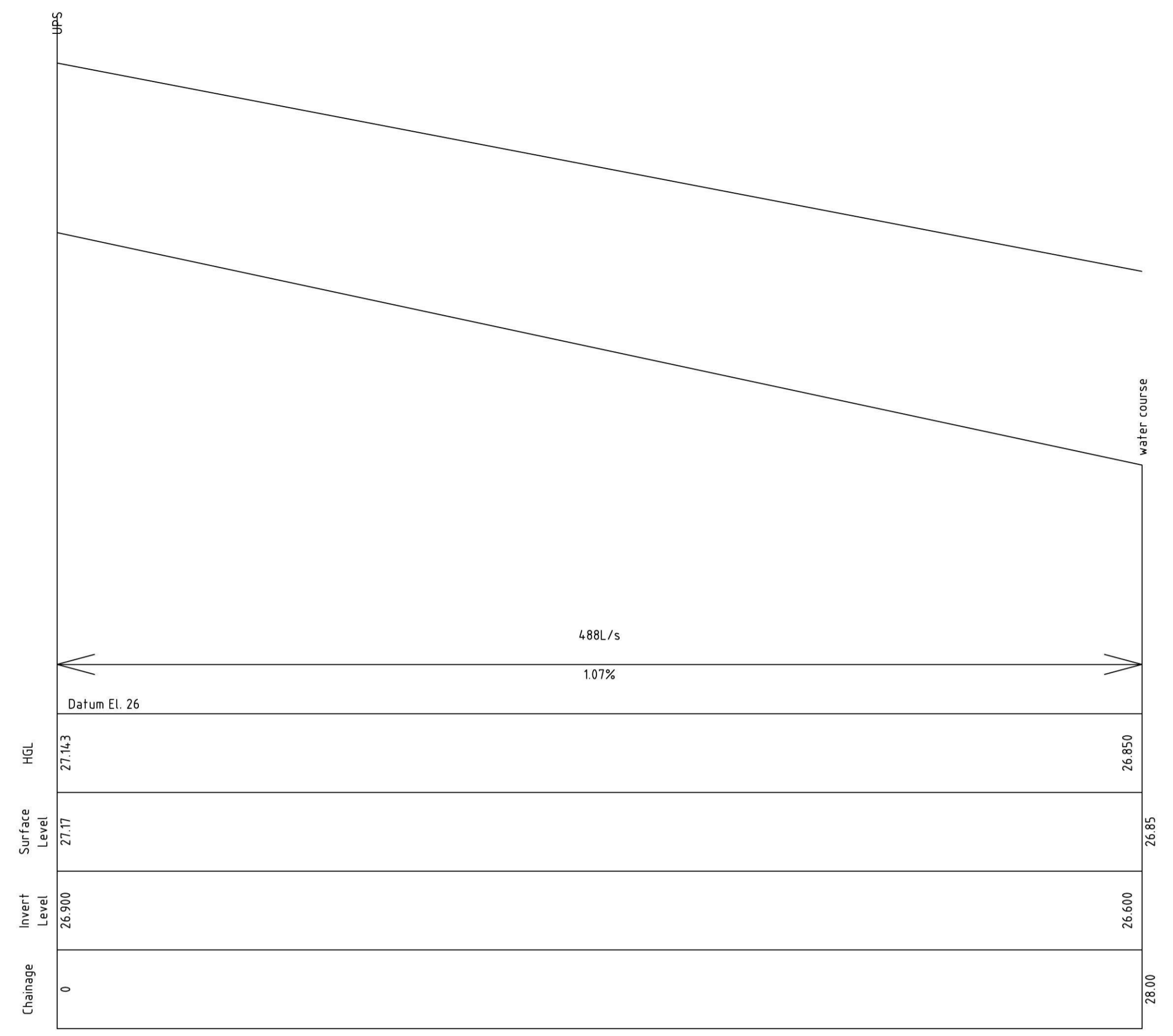
PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
36-38 RODLEY AVENUE
PENRITH

Grid	Datum	Sheet	Scale (at original size)
-	A.H.D.	5 OF 8	1:100 @ A1
Project No	Drawing No	Revision No	
20180061	SW300	C	

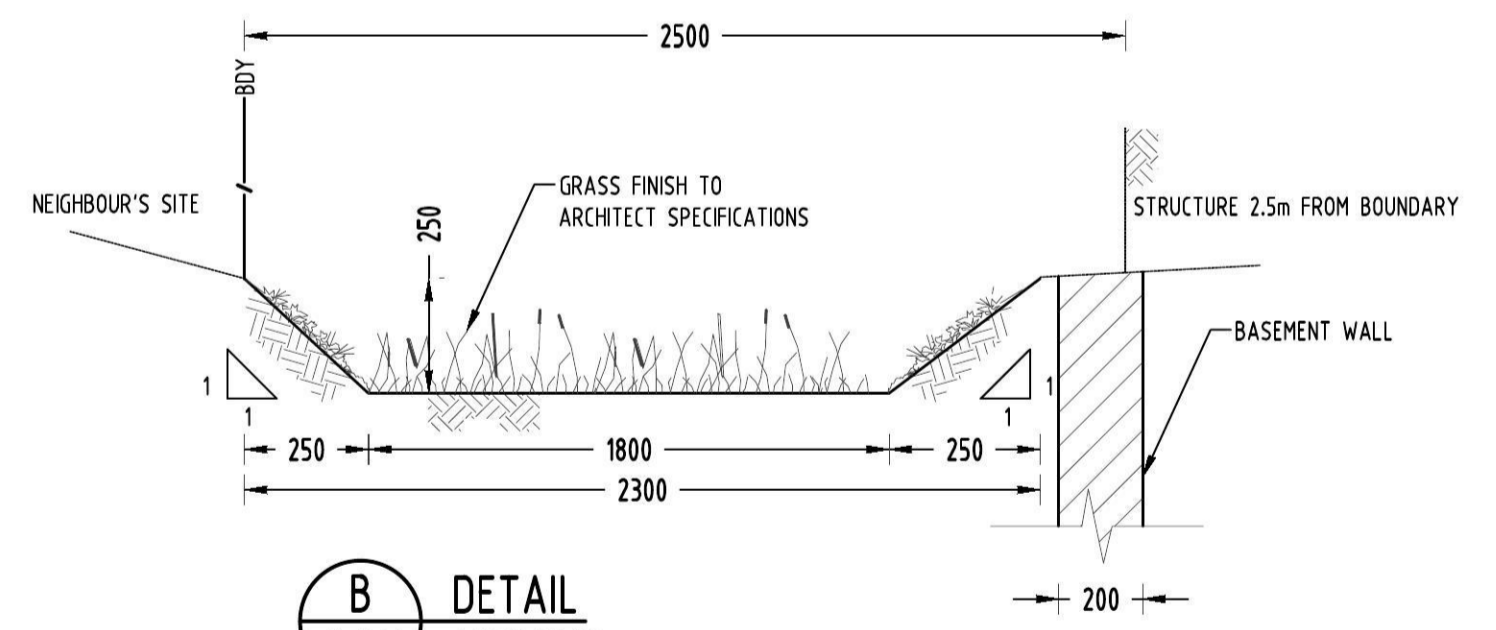




UPSTREAM CATCHMENT PLAN
NOT TO SCALE



HYDRAULIC GRADE LINE ALONG PROPOSED EASEMENT
SCALE 20 (H): 1V1



B DETAIL
SW201 CATCH DRAIN
NOT TO SCALE

CATCHMENTS RUNOFF CALCULATIONS

UPSTREAM CATCHMENT AREA = 1.15746ha
 SLOPE = 0.0089m/m
 n = 0.08 (NORMAL RESIDENTIAL)
 L = 150m (LONGEST DISTANCE OF TRAVEL)
 Tc = 15mins
 $q_{100} = 164 \text{ mm/hr}$
 f = 0.72 (72% IMPERVIOUS - OLDER RESIDENTIAL LOT ONLY)
 $C_{10} = 0.74$
 $C_{100} = 0.89$
 $q_{100} = 0.89 \times 197 \times 19557 / 3600 = 0.469 \text{ m}^3/\text{s}$

Trapezoidal Section				
Formula $Q = (1/n) AR^{2/3} S^{1/2}$				
Q: Flow (m ³ /s)				
A: Area of Flow (m ²)				
S: Longitudinal Slope (m/m)				
R: Hydraulic Radius (m) = A / P (where P is the perimeter of the flow)				
n: Surface Roughness				
Trapezoidal Section				
w =	1.80	1.80	1.80 m	base width
y =	0.25	0.25	0.25 m	depth
slope ₁ =	1.00	1.00	1.0	left edge slope
slope ₂ =	1.00	1.00	1.0	right edge slope
Flow Calculation				
	1:1 year ARI	1:20 year ARI	1:100 year ARI	units
A =	0.51	0.51	0.51	m ²
P =	2.51	2.51	2.51	m
R =	0.20	0.20	0.20	m
n =	0.030	0.030	0.030	
S =	0.0100	0.0100	0.0100	m/m
Q =	0.5928	0.5928	0.5928	m ³ /s (>0.469m ³ /s, OK)
Width of flow =	2.30	2.30	2.30	m

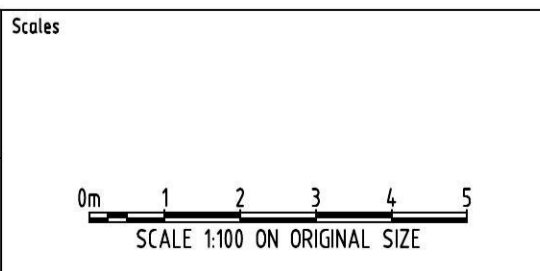
CATCH DRAIN CAPACITY CALCULATION
NOT TO SCALE



Reference Coordination Drawing				
Discipline	Drawing Title and Number	Date	Rev.	
C	FOR DA RESUBMISSION	FZ 30.07.2019	2	ARCH
P3	AMENDED TO SUIT ARCHITECTURAL PLAN	FZ 12.07.2019	1	STRUCT
P2	AMENDED TO SUIT ARCHITECTURAL PLAN	FZ 12.07.2019	1	MECH
B	FOR DA SUBMISSION	FZ 01.02.2019	2	ELEC
A	FINAL ISSUE	LN 24.08.2018	2	HYD
Issue	Last revision title	by	Date	Status
Issuer internal sequence and revision history 1-preliminary 2-development application 3-construction certificate 4-tender 5-construction 6-other				

QUALITY CONTROL	
DRAWN	DATE
CHECKED	DATE
DESIGNED	DATE
VERIFIED	DATE
APPROVED	DATE

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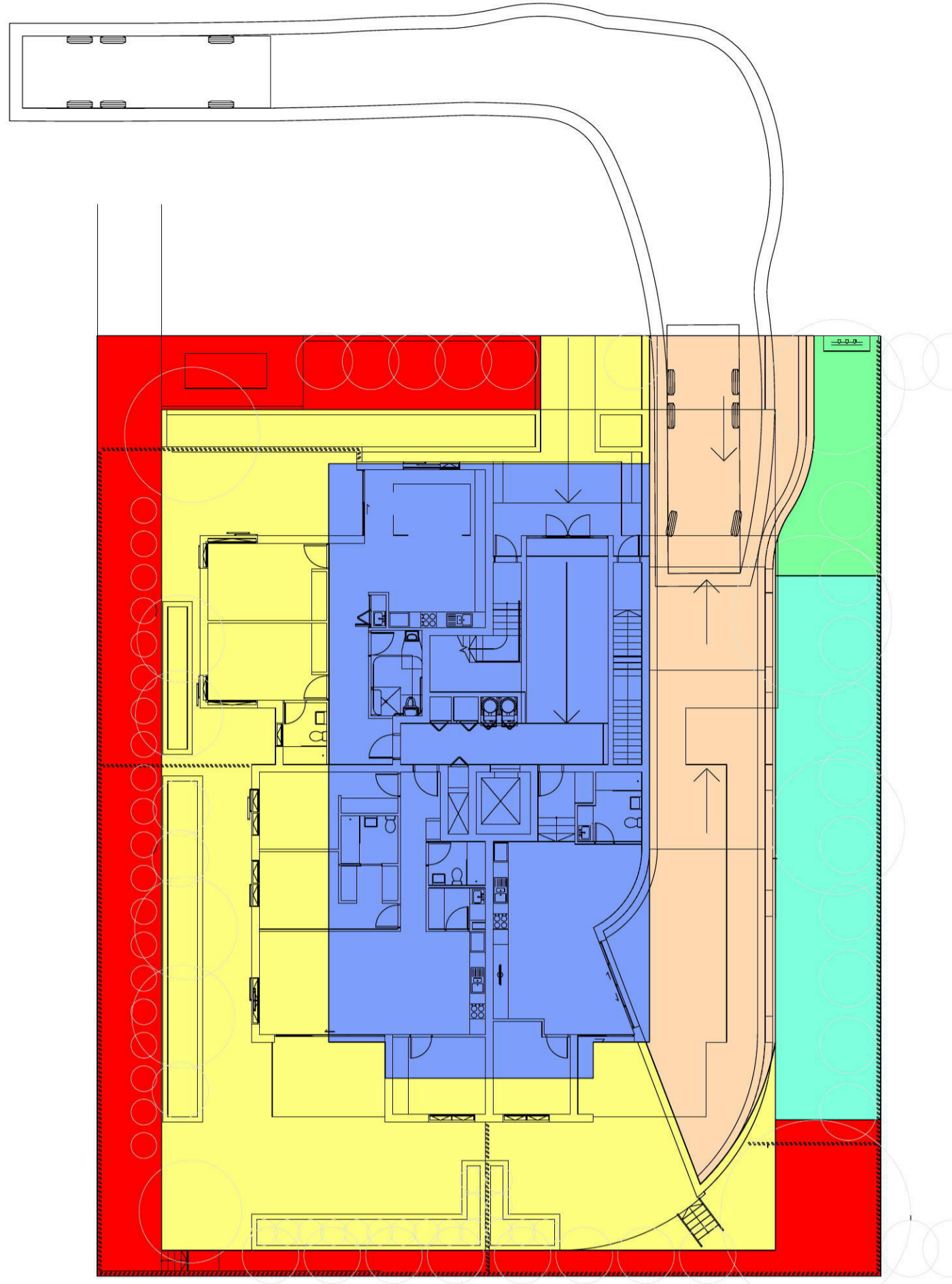
SGC
Engineering Value

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Email: office@sgce.com.au
Web: www.sgce.com.au

A.B.N. 21.118.222.530

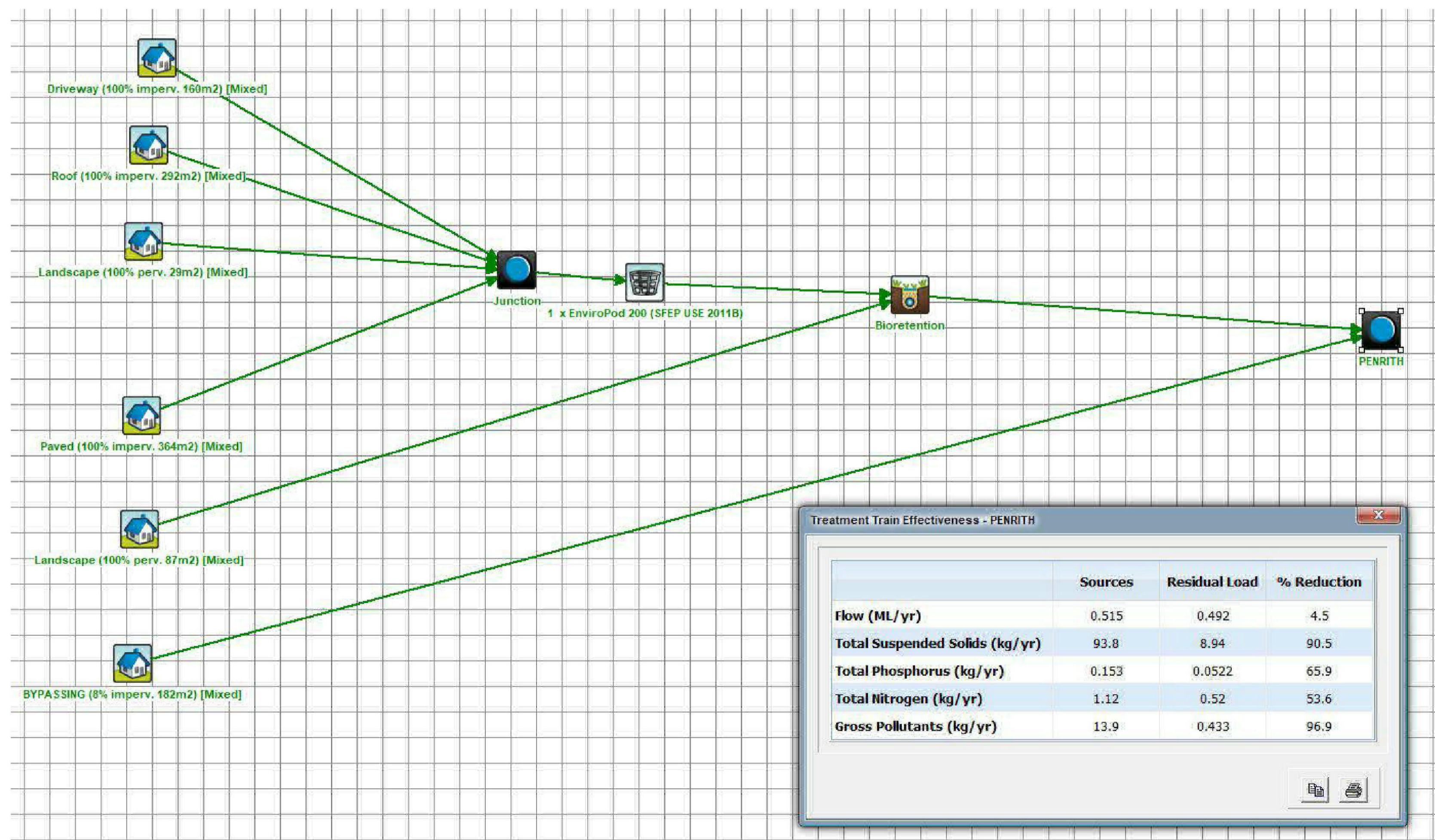
PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
36-38 RODLEY AVENUE
PENRITH

Drawing Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES	
Drawing Title	STORMWATER CONCEPT DESIGN DETAILS SHEET SHEET 2 OF 2
Project No	20180061
Drawing No	SW301
Revision No	C
Grid	-
Datum	A.H.D.
Sheet	6 OF 8
Scale (at original size)	1:100 @ A1



MUSIC CATCHMENT PLAN
SCALE 1:200

- LANDSCAPING AREA TO ENVIROPOD AND BIO-RETENTION (29m², 0% IMPERVIOUS)
- LANDSCAPING AREA TO BIO-RETENTION ONLY (87m², 0% IMPERVIOUS)
- PAVED AREA TO ENVIROPOD AND BIO-RETENTION (364m², 100% IMPERVIOUS)
- ROOF AREA TO ENVIROPOD AND BIO-RETENTION (292m², 100% IMPERVIOUS)
- DRIVEWAY TO ENVIROPOD AND BIO-RETENTION (160m², 100% IMPERVIOUS)
- BYPASSING AREA (182m², 8.0% IMPERVIOUS)

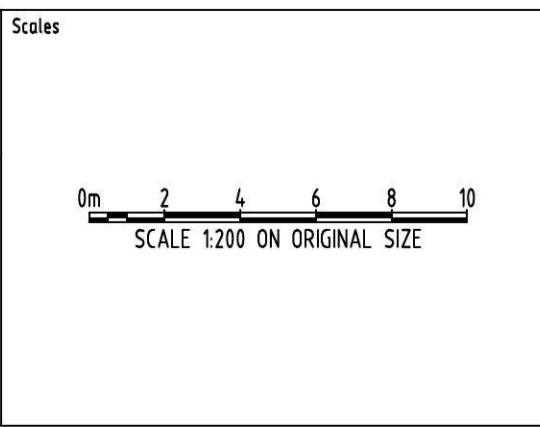


	Sources	Residual Load	% Reduction
Flow (ML/yr)	0.515	0.492	4.5
Total Suspended Solids (kg/yr)	93.8	8.94	90.5
Total Phosphorus (kg/yr)	0.153	0.0522	65.9
Total Nitrogen (kg/yr)	1.12	0.52	53.6
Gross Pollutants (kg/yr)	13.9	0.433	96.9

Discipline	Drawing Title and Number	Date	Rev.
ARCH			
STRUC			
MECH			
ELEC			
HYD			
PIPE			
LANDS			
SURVEY			

Discipline	Drawn	Checked	Designed	Verified	Approved
ARCH					
STRUC					
MECH					
ELEC					
HYD					
PIPE					
LANDS					
SURVEY					

ENGINEERS AUSTRALIA
Chartered Professional Engineer
MEMBER



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ARCHITECT
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Web: www.sgce.com.au

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
36-38 RODLEY AVENUE
PENRITH

Project No	20180061
Drawing No	SW500
Revision No	C