

A3

(DP 1240048)



MGA



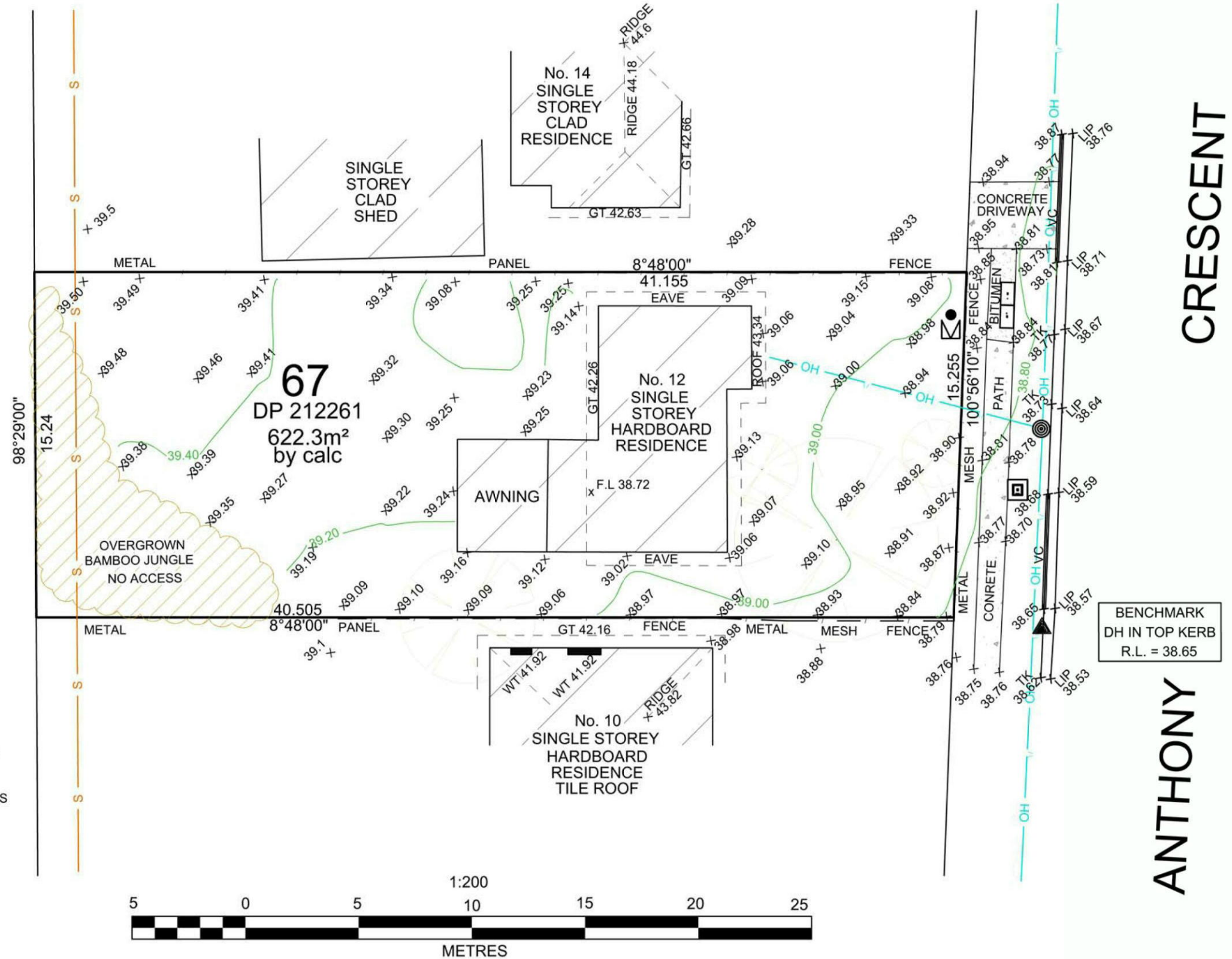
- GT DENOTES LEVEL AT TOP OF GUTTER
- WT DENOTES LEVEL AT TOP OF WINDOW
- VC DENOTES VEHICULAR CROSSING
- TK DENOTES LEVEL AT TOP OF KERB
- LIP DENOTES LEVEL AT LIP OF KERB
- WATER      □ HYDRANT
- ⊞ WATER METER      □ COMMS. PIT
- ⊙ POWER POLE

OH DENOTES LINE OF OVERHEAD POWER LINES

CAUTION NO SEWER SEARCH IS AVAILABLE  
S DENOTES LINE OF APPROX. SEWER LINE

NOTES:

1. THIS DETAIL SURVEY IS NOT A 'SURVEY' AS DEFINED BY THE SURVEYING & SPATIAL INFORMATION ACT, 2002.
2. DATUM OF LEVELS : AUSTRALIAN HEIGHT DATUM
3. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY.
4. NO SEARCH MADE OF LOCATION AND NATURE OF TELEPHONE, ELECTRICITY, SEWER, WATER, GAS AND DRAINAGE RECORDS AT THE RELEVANT AUTHORITY. PRIOR TO ANY CONSTRUCTION THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF SERVICES.
5. THE POSITION OF IMPROVEMENTS IN RELATION TO BOUNDARIES IS DIAGRAMMATIC ONLY.
6. VISIBLE, ACCESSIBLE SERVICES LOCATED ONLY
7. SIGNIFICANT TREES LOCATED ONLY.
8. NEIGHBOURING HOUSES, RIDGE AND ROOF POSITIONS ARE APPROXIMATE ONLY.
9. THIS TITLE BLOCK AND NOTES IS AN INTEGRAL PART OF THIS DRAWING WHICH IS NOT TO BE REMOVED.
10. CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.



CRESCENT

ANTHONY

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**RHCO** RICHARD HOGAN & CO.  
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P.O. BOX 4365, Penrith Plaza, W 2750.  
PHONE: (02) 4732 6599  
Web: www.rhco.com.au Email: admin@hoganco.com.au

SURVEYOR: HN  
DRAWN: HN  
REDUCTION RATIO: 1:200  
CONTOUR INTERVAL: 0.2m  
SHEET 1 OF 1

ORIGIN OF LEVELS:  
SSM13702 (GNSS)  
R.L.=41.812 (SCIMS)  
DATUM: AUSTRALIAN HEIGHT DATUM  
DATE: 25.05.2018  
VERSION No.: A

PLAN OF DETAIL AND LEVELS OVER  
LOT 67 IN DP 212261 AT  
12 ANTHONY CRESCENT, KINGSWOOD

CLIENT: ZAC HOMES - REF:218064

L.G.A.: PENRITH

JOB REF: 18374

CAD FILENAME: X:\2018 - RHCO\18374 - 12 Anthony Cres Penrith\ACAD\18374 - 12 Anthony Crescent Kingswood - DETAIL SURVEY.dwg



# BOARDING HOUSE DEVELOPMENT

LOT 67, 12 ANTHONY CRESCENT, KINGSWOOD, DP 212261



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04.02.2019



# BOARDING HOUSE DEVELOPMENT

LOT 67, 12 ANTHONY CRESCENT, KINGSWOOD, DP 212261

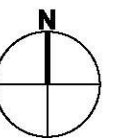


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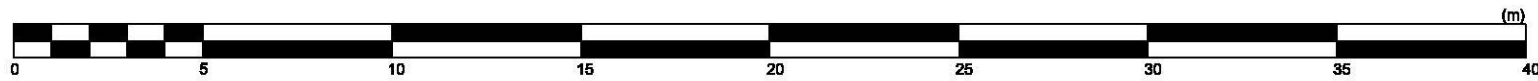
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LOCALITY MAP







**GENERAL NOTES**

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

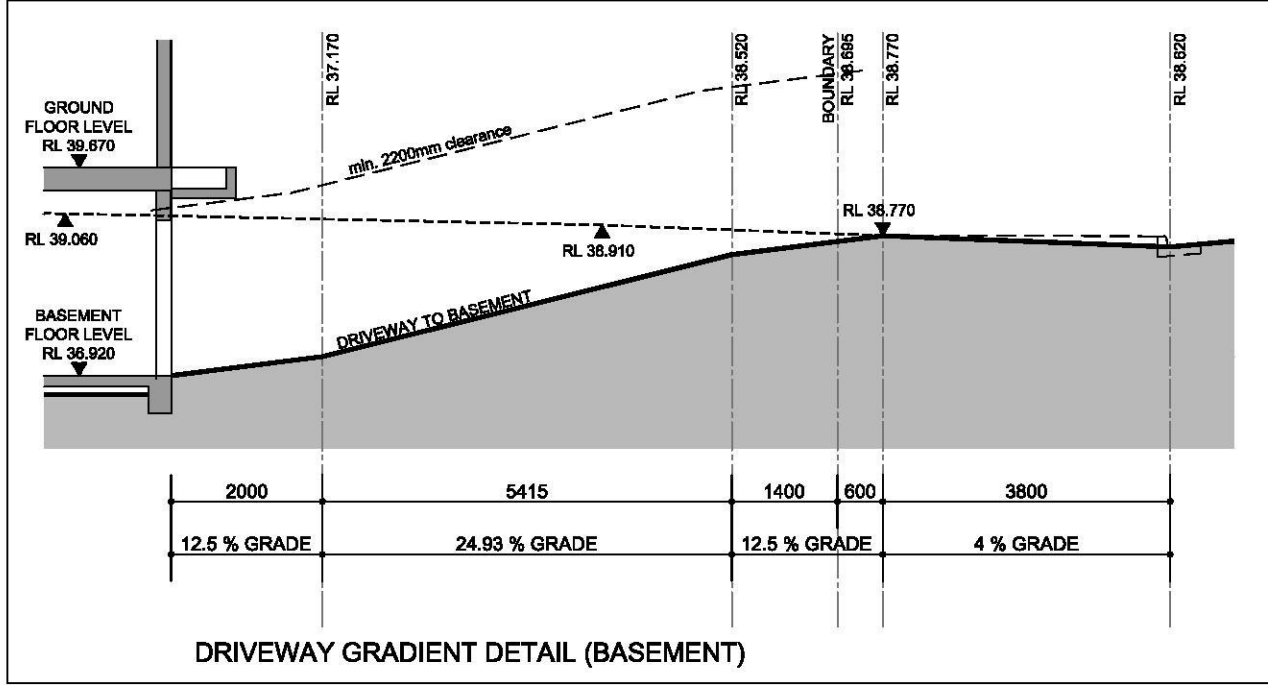
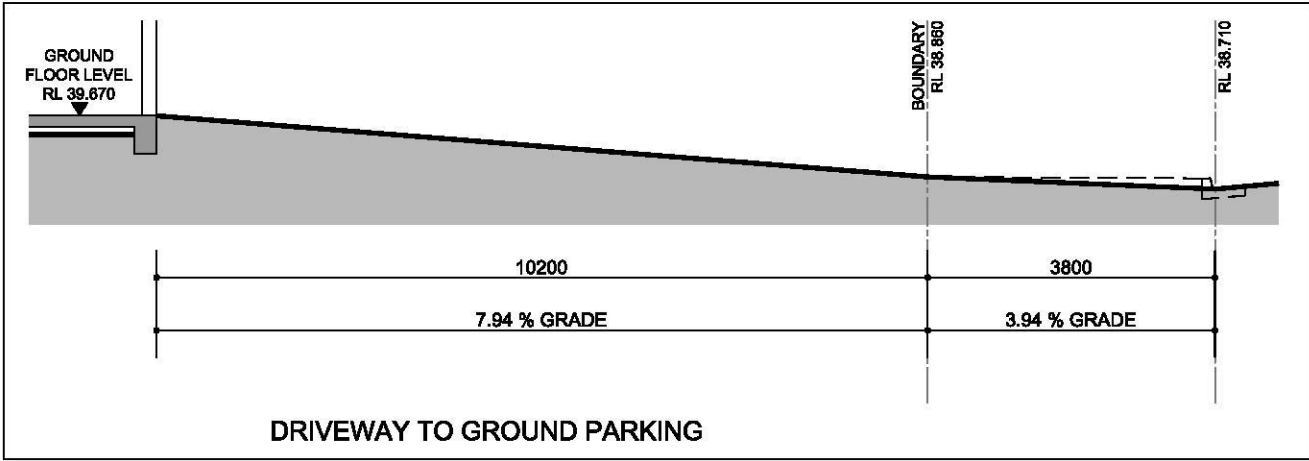
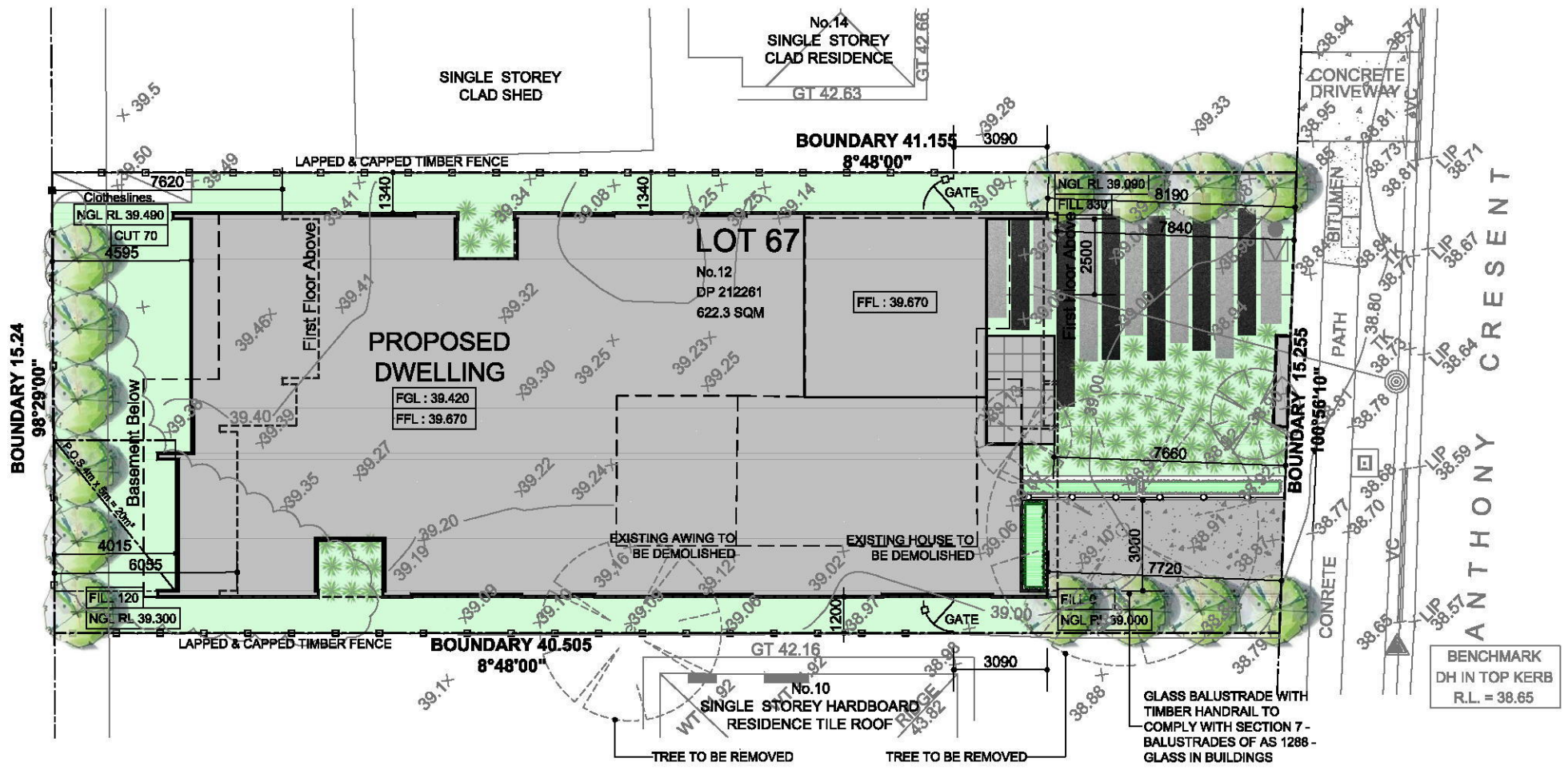
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

**PROJECT SUMMARY :**

LAND ZONING :	R3 - MEDIUM DENSITY RESIDENTIAL
PRECINCT :	PENRITH CITY COUNCIL
SITE AREA :	622.3 SQM
MAX BUILDING HEIGHT :	8.5M TO TOP OF ROOF
MAX BUILDING HEIGHT PROVIDED :	8.445M TO TOP OF ROOF
LANDSCAPE AREA REQUIRED :	40% x SITE AREA = 248.92 SQM
LANDSCAPE AREA PROVIDED :	251.29 SQM
P.O.S. REQUIRED :	Min 20 SQM (4M X 5M)
P.O.S. PROVIDED :	20 SQM (4M X 5M)
CARPARKING REQUIRED :	1 SPACE PER 2 BOARDING ROOMS = 10 SPACES
CARPARKING PROVIDED :	9 SPACES + 1 DISABLED SPACE
MOTORBIKE PARKING :	4 BICYCLE SPACES & 4 MOTORBIKE



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Date	Revision	Issue
04.02.19	D	Reduce R1 to 15.9sqm
31.01.19	C	Revised DA submission
16.11.18	B	Revised DA submission
05.11.18	A	DA submission

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Project:  
**Boarding House Development**  
Lot 67, 12 Anthony Crescent, Kingswood  
Dp 212261

Drawing Sheet:  
**Site Plan**  
Scale: 1-200@A3

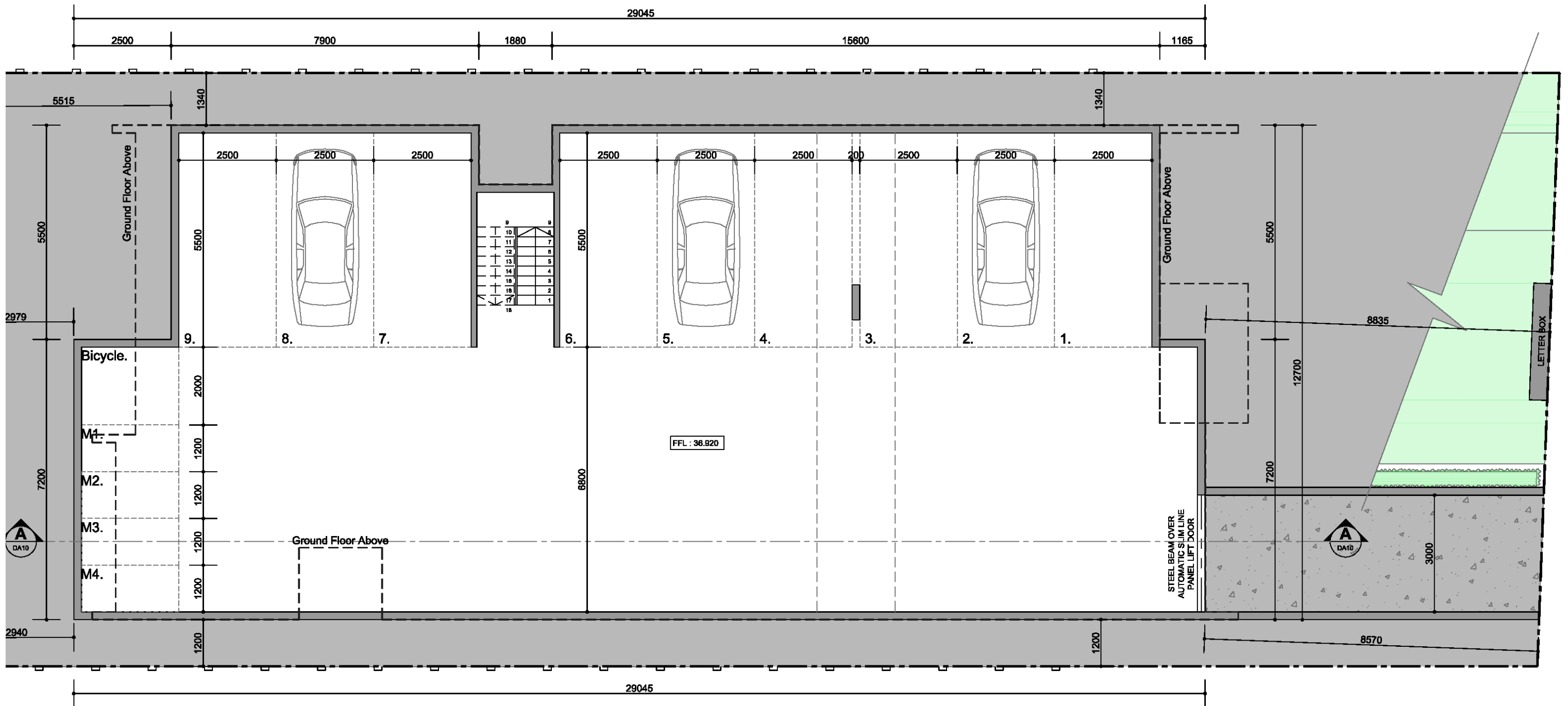
Date: 31.01.19

North:

Drawing No:  
**DA1**

Revision:  
**D**





AREA	
Basement	346.39 sqm
Living Area (GF)	329.55 sqm
Living Area (FF)	316.00 sqm
Front Porch	8.36 sqm
<b>Total</b>	<b>1000.30 sqm</b>
	107.67 sq

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Project:  
**Boarding House Development**  
Lot 67, 12 Anthony Crescent, Kingswood  
Dp 212261

Drawing Sheet:  
**Basement Plan**  
Scale: 1-100@A3

Date: 31.01.19

North:

Drawing No:  
**DA2**

Revision:  
**D**









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04.02.19	D	Reduce R1 to 15.9sqm
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05.11.18	A	DA submission

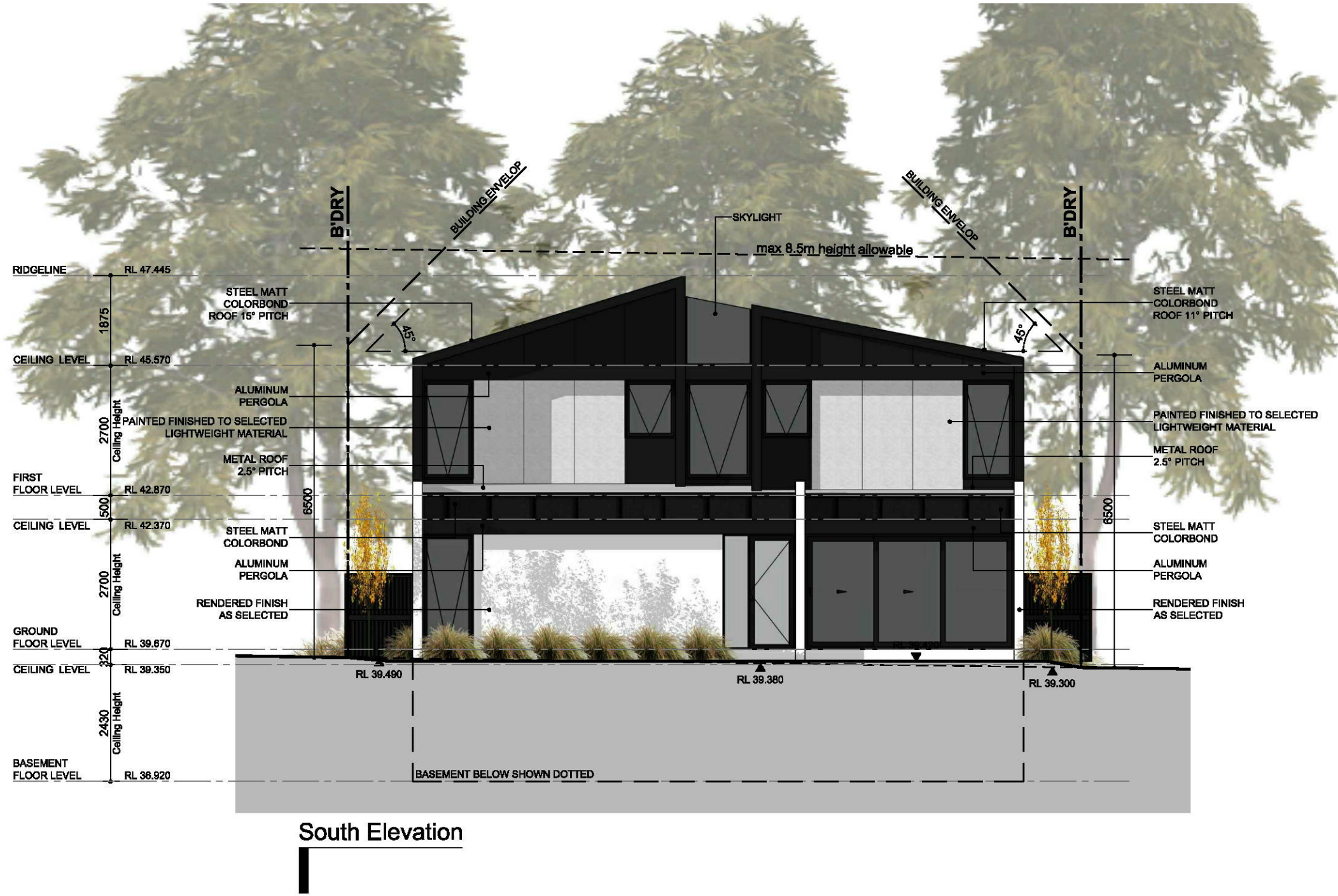
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Project: <b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North:
Drawing Sheet: <b>North Elevation</b> Scale: 1-100@A3	Drawing No: <b>DA6</b>
Date: 31.01.19	Revision: <b>D</b>





South Elevation

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Date	Revision	Issue
04.02.19	D	Reduce R1 to 15.9sqm
31.01.19	C	Revised DA submission
16.11.18	B	Revised DA submission
05.11.18	A	DA submission

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Project:	<b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North:
Drawing Sheet:	<b>South Elevation</b> Scale: 1-100@A3	Drawing No: <b>DA7</b>
Date: 31.01.19		Revision: <b>D</b>





West Elevation

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Date	Revision	Issue
04.02.19	D	Reduce R1 to 15.9sqm
31.01.19	C	Revised DA submission
16.11.18	B	Revised DA submission
05.11.18	A	DA submission

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Project:	<b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North:	
Drawing Sheet:	<b>West Elevation</b> Scale: 1-100@A3	Drawing No:	<b>DA8</b>
Date:	31.01.19	Revision:	<b>D</b>





East Elevation

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05.11.18	A	DA submission

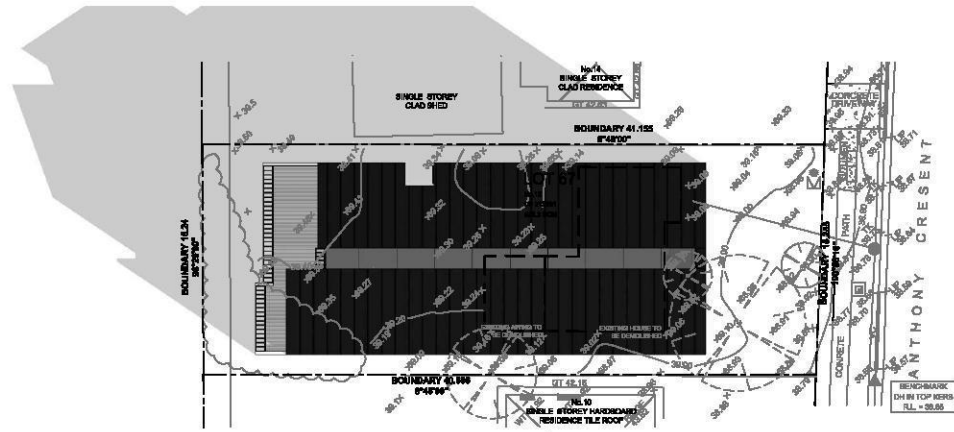
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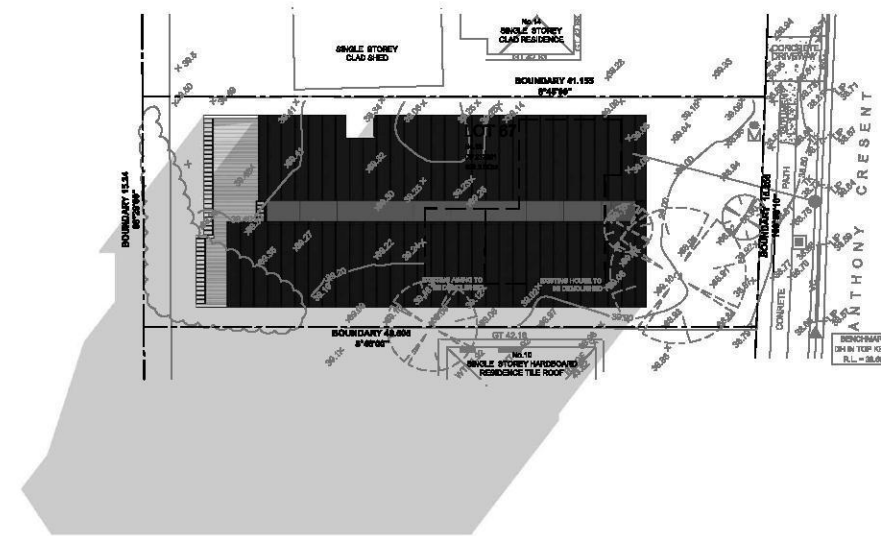
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Project: <b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North:
Drawing Sheet: <b>East Elevation</b> Scale: 1-100@A3	Drawing No: <b>DA9</b>
Date: 31.01.19	Revision: <b>D</b>

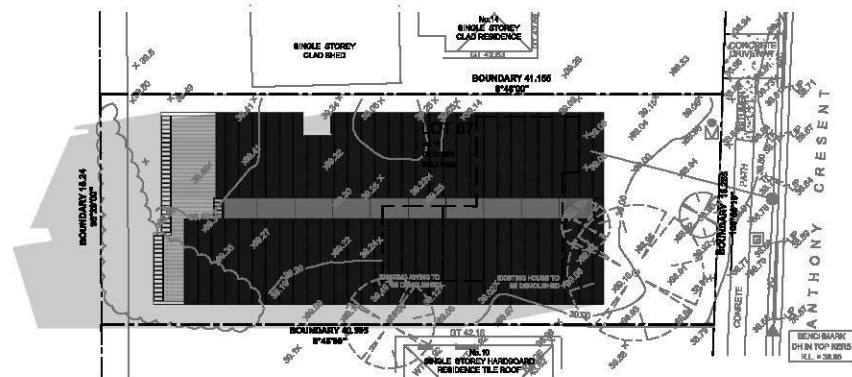




**SHADOW CAST AT 09:00 ON JUNE 21st**



**SHADOW CAST AT 15:00 ON JUNE 21st**



**SHADOW CAST AT 12:00 ON JUNE 21st**

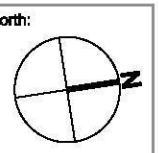
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05.11.18	A	DA submission

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**Project:**  
**Boarding House Development**  
Lot 67, 12 Anthony Crescent, Kingswood  
Dp 212261



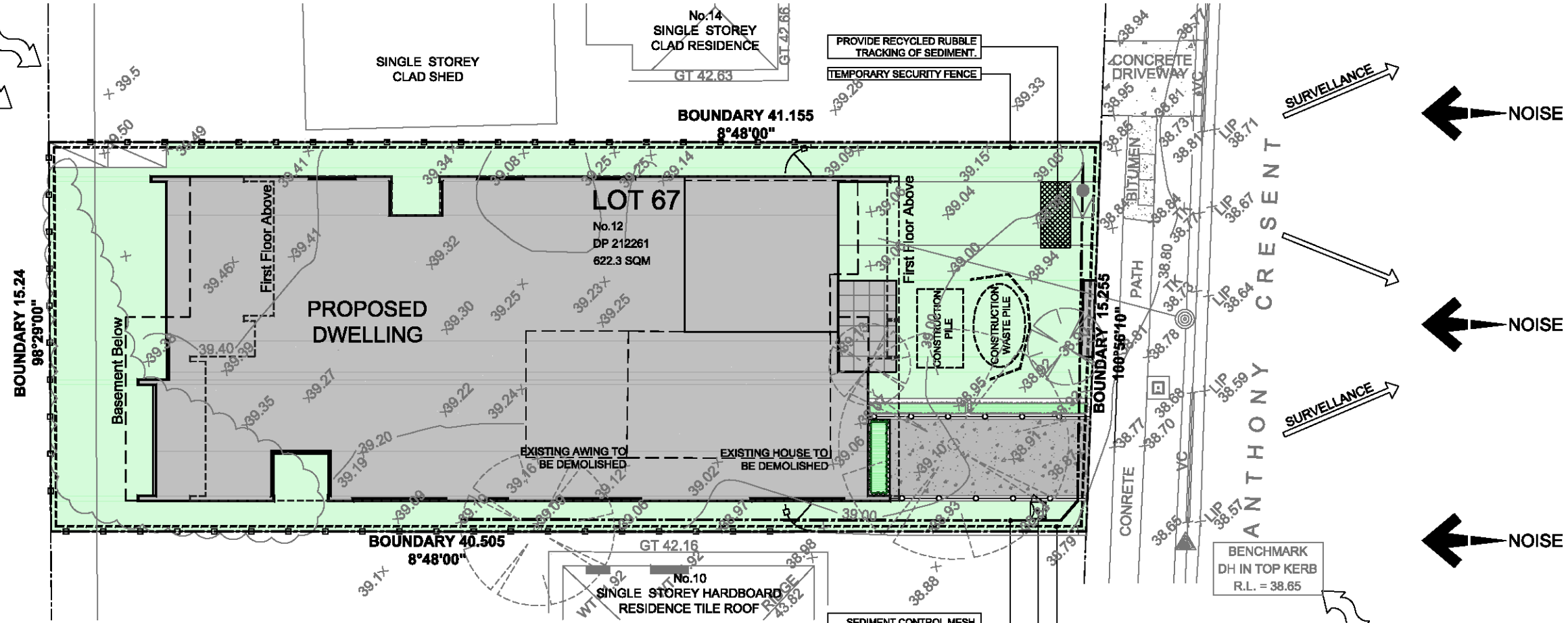
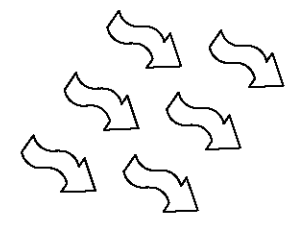
**Drawing Sheet:**  
**Shadows Plan**  
Scale: 1-500@A3

**Drawing No:**  
**DA11**  
**Revision:**  
**D**

Date: 31.01.19



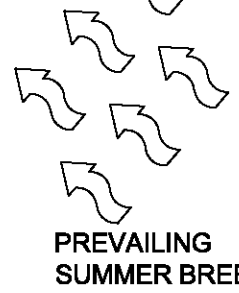
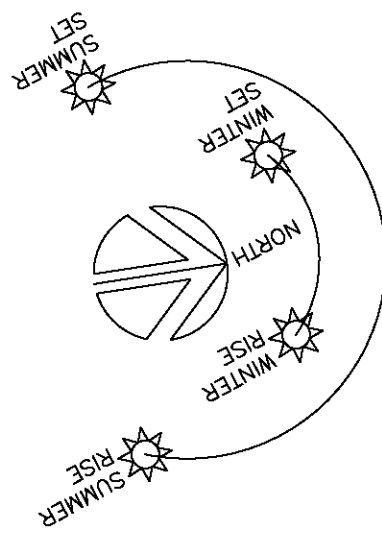
PREVAILING WINTER BREEZE



NOISE

NOISE

NOISE

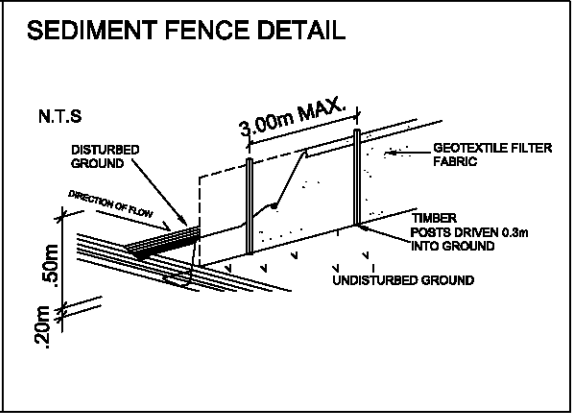


**Legend:**

- Existing Tree To Be Removed
- Temporary Security Fence
- Contour Lines
- Sediment Control
- Prevailing Breeze
- Noise Impact From Road
- Ongoing Waste Management
- Surveillance
- Relocatable Toilet
- Construction Pile
- Construction Waste Pile

**SEDIMENT CONTROL NOTES**

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



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Date	Revision	Issue
04.02.19	D	Reduce R1 to 15.9sqm
31.01.19	C	Revised DA submission
16.11.18	B	Revised DA submission
05.11.18	A	DA submission

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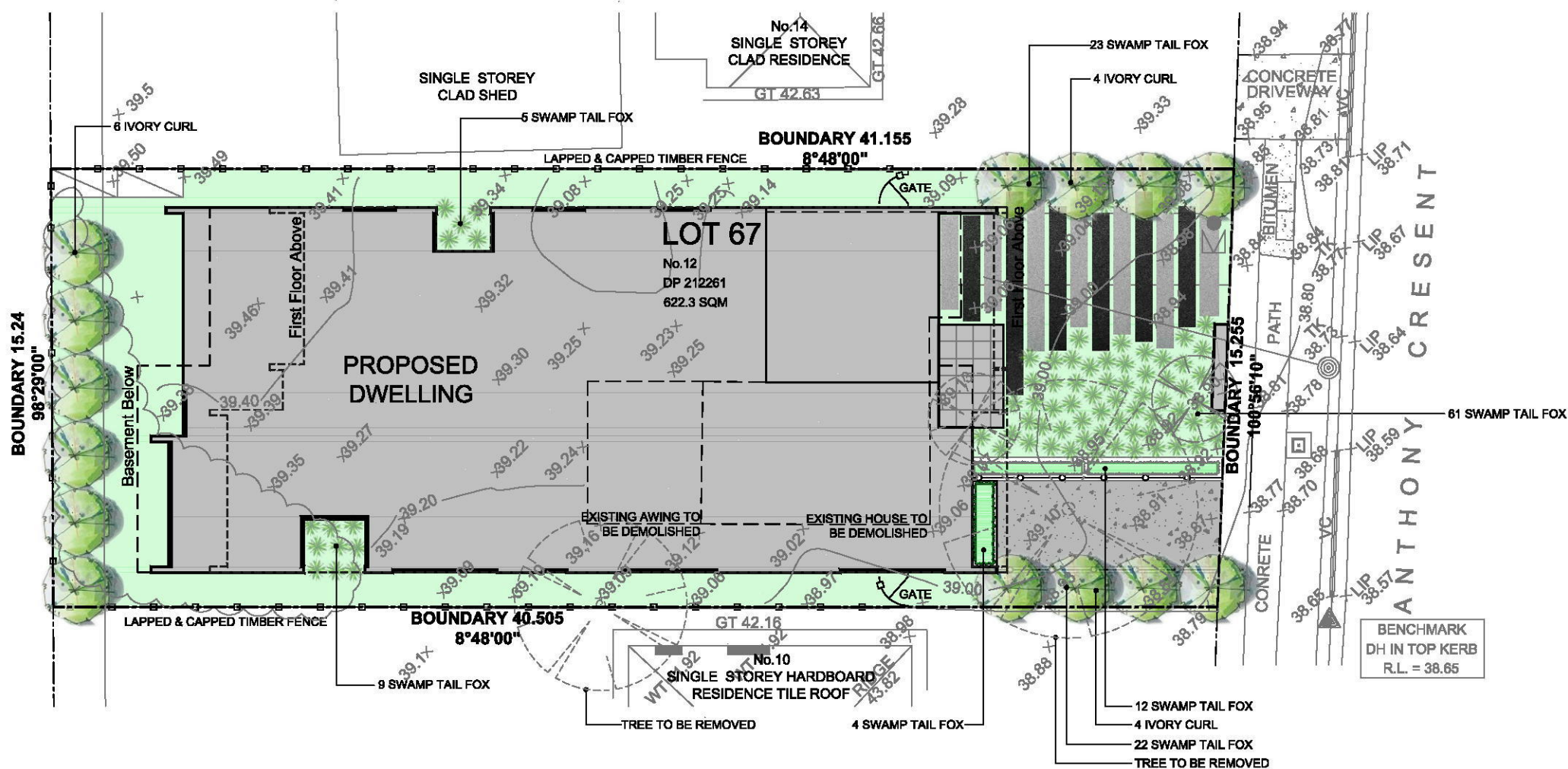
Project: **Boarding House Development**  
Lot 67, 12 Anthony Crescent, Kingswood  
Dp 212261

Drawing Sheet: **Construction, Waste Mngmnt, Site Analysis**  
Scale: 1-200@A3  
Date: 31.01.19

Drawing No: **DA12**  
Revision: **D**

North:





### PLANT SCHEDULE

Botanical name	Common name	Supply Size	Mature Height	Quantity
Buckinghamia Celsissima	Ivory Curl	100L	8m	13
Pennisetum	Swamp Tail Fox	30mm	1m	136

- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS AND SITE SURVEY PLAN.
- IT IS RECOMMENDED THAT DRIP IRRIGATION BE PROVIDED TO ASSIST IN FIRE RETARDANCE OF LANDSCAPED AREAS.
- DO NOT SCALE DRAWING.
- ALL MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT.
- ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND APPLICABLE DEVELOPMENT APPROVAL AUTHORITIES.

**NOTE:**

PLANT QUANTITIES SHOWN ON PLANTING PLAN TO BE USED AS A GUIDE ONLY. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT CORRECT QUANTITIES ARE INSTALLED AS PER PLANTING PLAN.

**PLANTING INSTRUCTIONS & SPECIFICATION :**

REMOVE ALL BUILDING RUBBLE AND WEEDS FROM GARDEN BEDS.

FILL GARDEN BEDS WITH 300MM ORGANIC GARDEN MIX.

STAND PLANT THE POTS IN THEIR POSITION ACCORDING TO THE PLANTING PLAN.

DIG HOLE SAME SIZE AS THE POT. REMOVE THE PLANT FROM THE POT. PLANT SO THAT THE TOP OF THE ROOT BALL IS LEVEL WITH THE SOIL.

SPRINKLE GRANULAR WETTING AGENT AND FERTILIZER ACCORDING TO DIRECTIONS ON THE PACK. WATER IN WELL.

RUN IRRIGATION TUBING OVER THE SOIL.

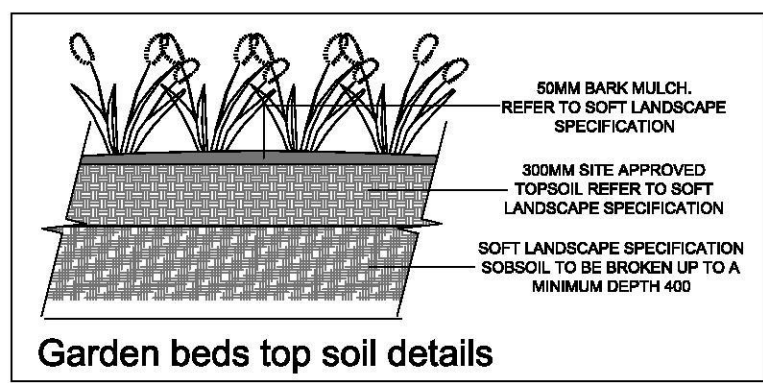
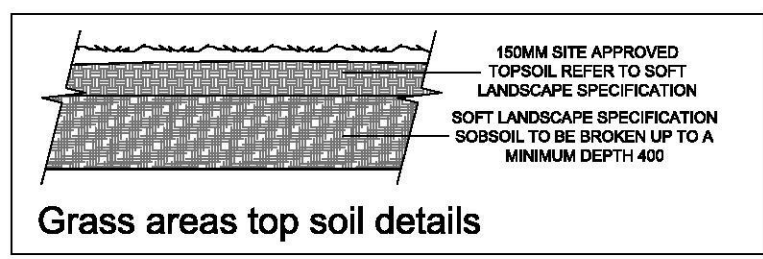
COVER THE ENTIRE SOIL SURFACE WITH 75MM MULCH.

NEW TURF: EXCAVATE/GRADE AREAS TO BE TURFED TO 120MM BELOW REQUIRED FINISHED LEVEL. ENSURE ALL SURFACE WATER RUN-OFF IS DIRECTED TOWARDS INLET PIT, KERBS ETC AND AWAY FROM BUILDING. FURTHER RIP THE SUBGRADE TO 150MM. INSTALL 100MM DEPTH OF TURF

UNDERLAY, LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED. FILL ANY SMALL GAPS WITH TOPSOIL. WATER THOROUGHLY.

### LEGEND:

	SITE BOUNDARY
	TURF ("SIR WALTER" SOFT LEAF BUFFALO)
	PAVER / TILE (SELECTED BY OWNERS)
	COLOURED CONCRETE PAVING (COLOUR SELECTED BY OWNERS)
	PLAIN CONCRETE PAVING (PLAIN GREY CONCRETE - BROOM FINISH)
	PAVER TILES SET IN PEBBLES / GRAVELS (500 X 500 PRECAST CONCRETE)
	DECORATIVE GRAVELS



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Date	Revision	Issue
04.02.19	D	Reduce R1 to 15.9sqm
31.01.19	C	Revised DA submission
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05.11.18	A	DA submission

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Project: <b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North: 
Drawing Sheet: <b>Landscape Plan</b> Scale: 1-200@A3	Drawing No: <b>DA10</b>
Date: 31.01.19	Revision: <b>D</b>





FRONT VIEW FROM THE STREET



FRONT VIEW FROM THE STREET



FRONT VIEW FROM THE STREET



RIGHT VIEW



LEFT VIEW



REAR VIEW

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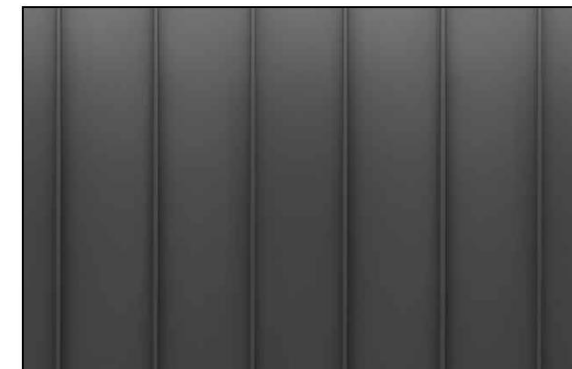
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Project: <b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North:
Drawing Sheet: <b>Images</b>	Drawing No: <b>DA14</b>
Date: 31.01.19	Revision: <b>D</b>





GARAGE DOOR/ CEDAR CLADDING  
COLOUR : STAINED



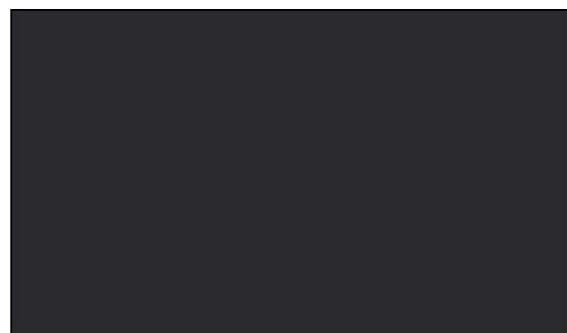
STANDING SEAM CLADDING  
MATT FINISH BLACK COLORBOND



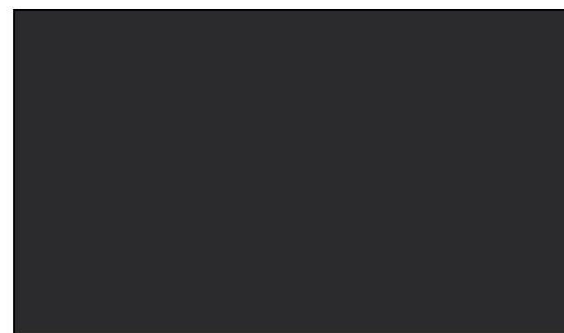
WINDOW/DOOR  
COLOUR : BLACK



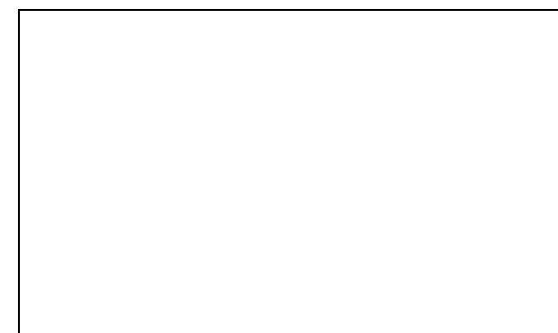
METAL ROOF - STANDING SEAM CLADDING  
MATT FINISH BLACK COLORBOND



GUTTER & FASCIA  
COLOUR: MONUMENT



RENDER FINISH  
COLOUR: MONUMENT



RENDER FINISH  
COLOUR: WHITE

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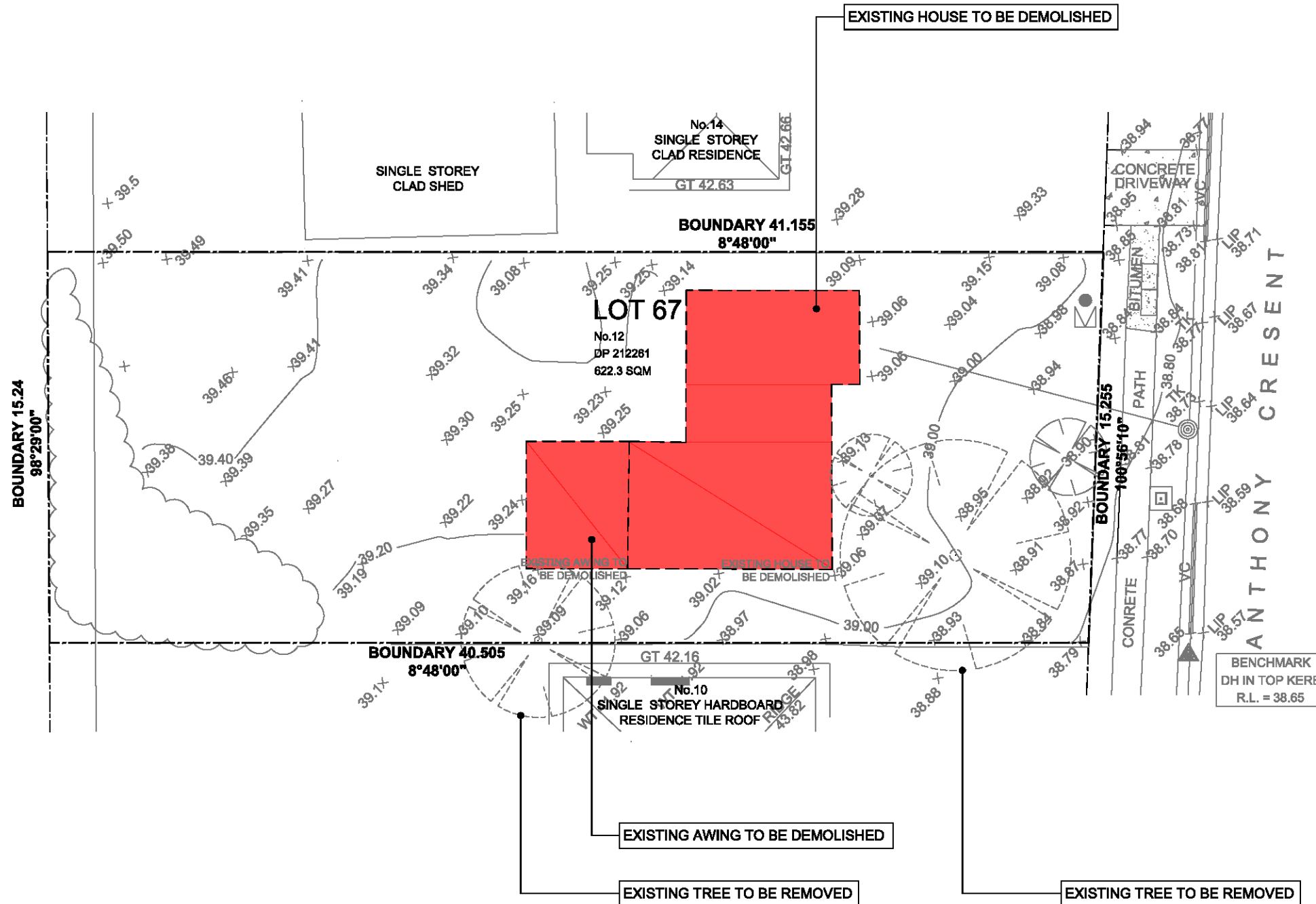
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Project: <b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North:
Drawing Sheet: <b>Colour + Material Schedule</b> Date: 31.01.19	Drawing No: <b>DA15</b> Revision: <b>D</b>





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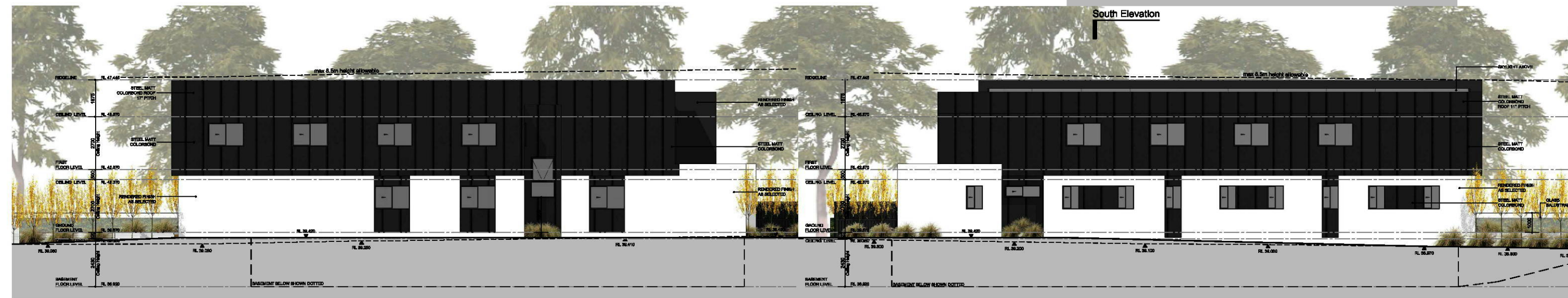
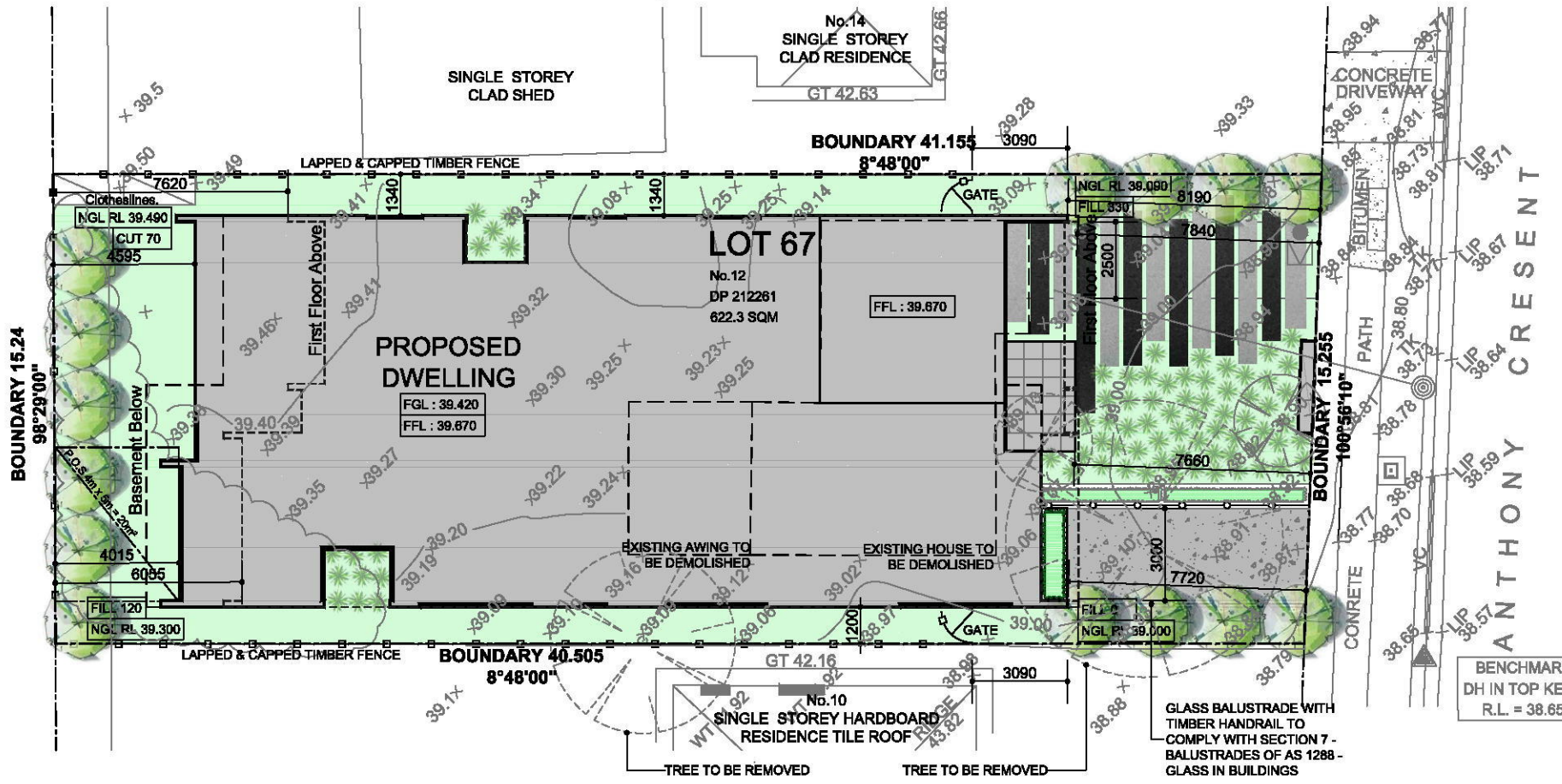
Date	Revision	Issue
04.02.19	D	Reduce R1 to 15.9sqm
31.01.19	C	Revised DA submission
16.11.18	B	Revised DA submission
05.11.18	A	DA submission

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**LEGEND:**  
[Red Box] DEMOLISHED

Project: <b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212281	North: 
Drawing Sheet: <b>Demolition Plan</b> Scale: 1-200@A3	Drawing No: <b>DA16</b>
Date: 31.01.19	Revision: <b>D</b>





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Project:  
**Boarding House Development**  
Lot 67, 12 Anthony Crescent, Kingswood  
Dp 212261

Drawing Sheet:  
**Notification**

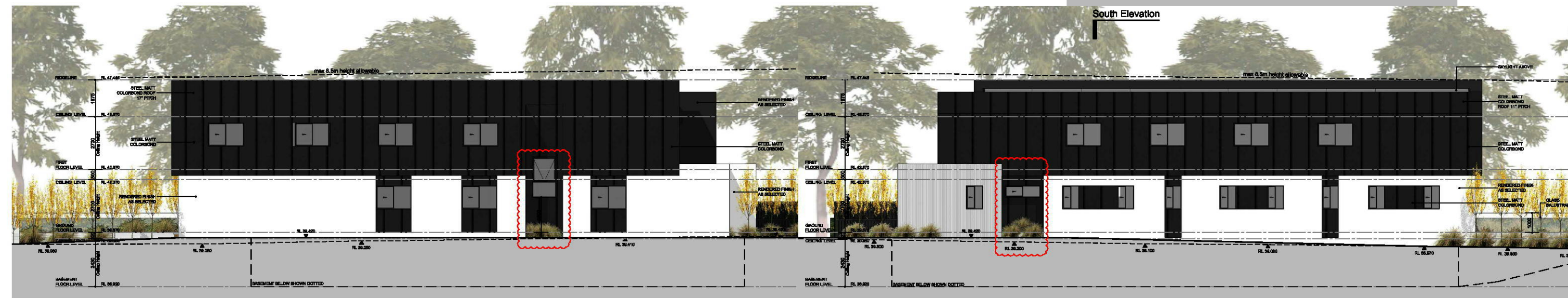
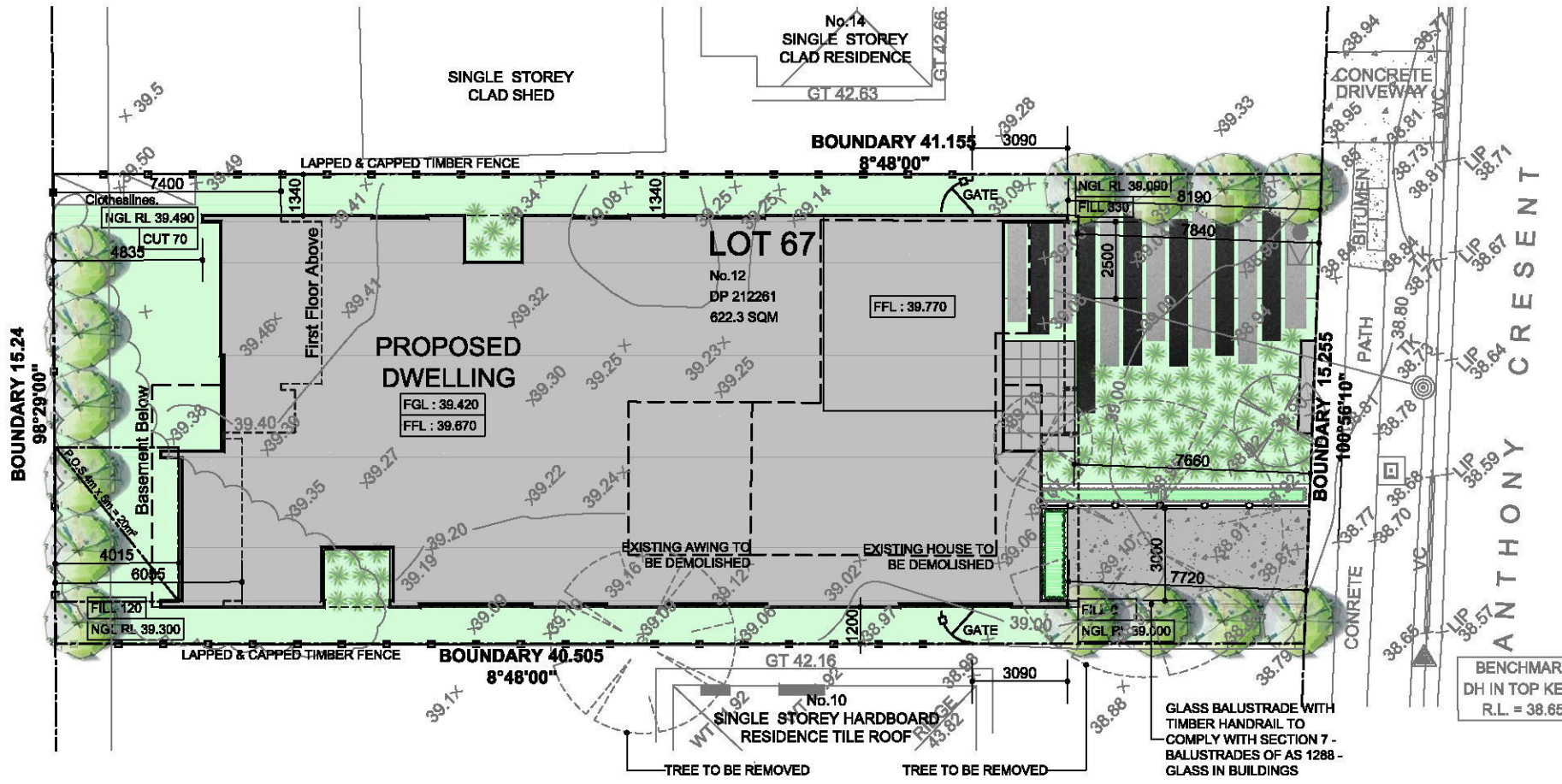
Date: 31.01.19

North:

Drawing No:  
**DA**

Revision:  
**D**





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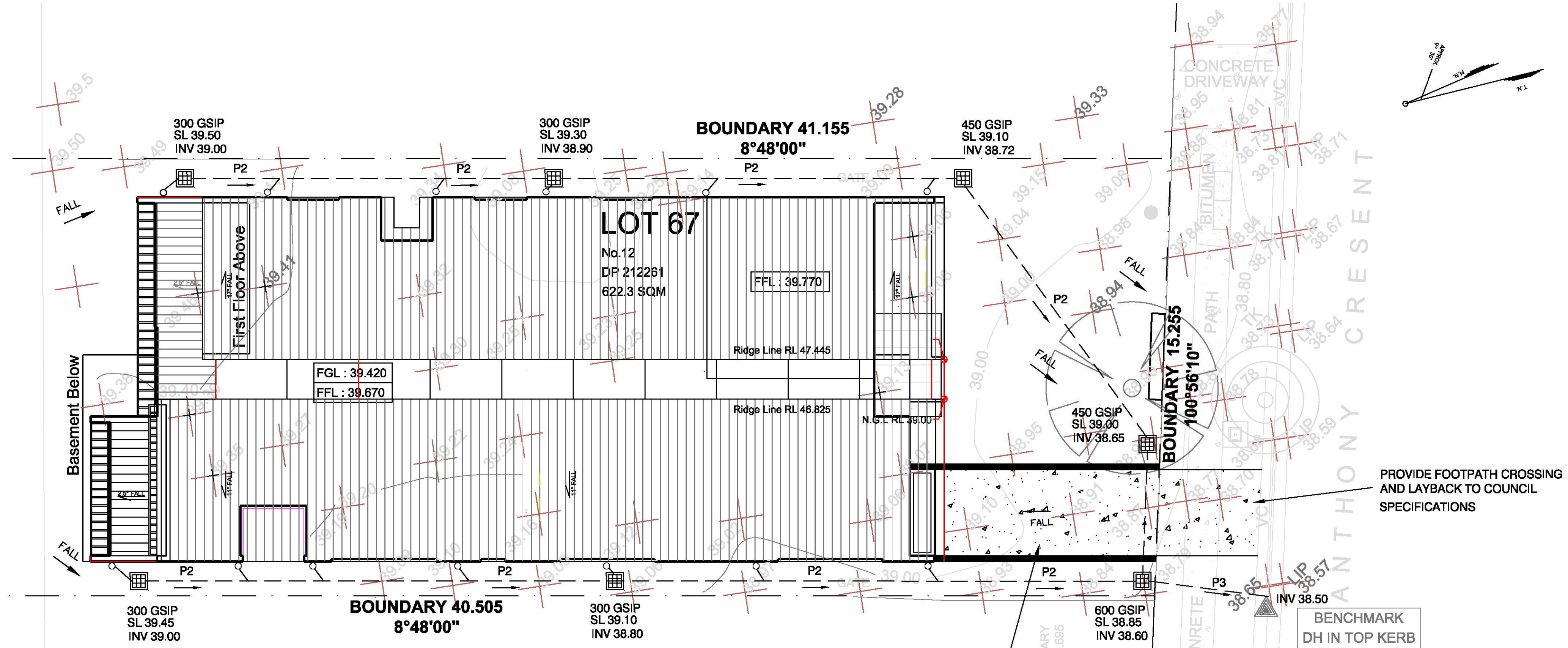
Date	Revision	Issue
16.11.18	B	Revised DA submission
05.11.18	A	DA submission

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Project: <b>Boarding House Development</b> Lot 67, 12 Anthony Crescent, Kingswood Dp 212261	North: 
Drawing Sheet: <b>Notification</b>	Drawing No: <b>DA</b>
Date: 16.11.18	Revision: <b>B</b>



- DRAINAGE NOTES:**
1. ANY DISCREPANCY OR CONFUSION ON THESE DRAWINGS MUST BE NOTIFIED TO THE ENGINEER BEFORE PROCEEDING FURTHER ON THE WORKS.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH COUNCIL SPECIFICATIONS
  3. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE RELEVANT SAA CODES.
  4. CONTRACTOR SHALL VERIFY THE VALUE OF THE BM PRIOR TO COMMENCEMENT OF WORK
  5. MAKE SMOOTH JUNCTION WITH EXISTING WORKS
  6. ALL STORMWATER PIPES AND PITS SHALL BE INSTALLED IN ACCORDANCE WITH AS3500.3
  7. ALL STORMWATER PIPES UNDER TRAFFICABLE AREAS SHALL BE SEWER GRADE UPVC
  8. MINIMUM 100MM COVER TO NATURAL SURFACE OR UNDERSIDE OF PAVEMENT.
  9. ALL STORMWATER PIPES FROM DOWNPIPES SHALL BE 100MM DIA UPVC AT 1% MIN UNO
  10. ALL STORMWATER PIPES FROM PITS SHALL BE 150MM DIA UPVC LAID AT 1% MIN UNO
  11. ALL PITS SHALL BE PRE-CAST OR CAST-IN-SITU CONCRETE OR APPROVED EQUIVALENT
  12. DRAINAGE CALCULATIONS AND CAPACITIES HAVE BEEN ASSESSED AS FOLLOWS:
    - (A) 10 YR ARI FOR PITS AND PIPES
    - (B) 20 YR ARI FOR EAVES AND GUTTERS
    - (C) 100 YR ARI FOR BOX GUTTERS - UNO
  13. ALL EXISTING SERVICES IN THE ROAD RESERVE SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND RELOCATED AS REQUIRED AT OWNERS EXPENSE.
  14. ALL CONTROL MEASURES USED SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT PUBLICATION DATED 1992 TITLED "URBAN EROSION AND SEDIMENT CONTROL"
  15. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE SET IN PLACE PRIOR TO ANY WORKS COMMENCING
  16. ALL CONTROL MEASURES SHALL ALSO BE INSTALLED TO THE SATISFACTION OF COUNCIL'S ENGINEER
  17. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. NO SILT SHALL BE REPLACED OUTSIDE THE LIMIT OF WORKS
  18. ALL DISTURBED AREAS SHALL BE STABILISED BY MEANS OF LANDSCAPING, TURF OR RE-VEGETATED AS SOON AS POSSIBLE.
  19. THIS DRAWING OUTLINES THE MINIMUM MEASURES TO BE TAKEN TO CONTROL EROSION AND TO ARREST THE TRANSPORT OF SEDIMENT. ADDITIONAL MEASURES MAY BE REQUIRED TO SUIT STAGING OF WORKS OR AS DIRECTED BY THE SUPERINTENDENT OR COUNCIL'S ENGINEER.
  20. HYDRAULIC DRAWINGS SHOULD BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL WORKS DRAWINGS AND SPECIFICATIONS
  21. THE LOCATIONS OF EXISTING SERVICES ARE APPROXIMATE ONLY. EXACT LOCATION OF SERVICES SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORK
  22. THE FOLLOWING POINTS SHALL BE HOLD POINTS DURING CONSTRUCTION:
    - TRENCH AND BEDDING PRIOR TO LAYING OF PIPES.
    - PIPES, PRIOR TO BACKFILLING
    - PITS, PRIOR TO BACKFILLING
    - FINAL INSPECTION
  23. AT LEAST 24HRS NOTICE SHALL BE GIVEN TO COUNCIL FOR AN INSPECTION



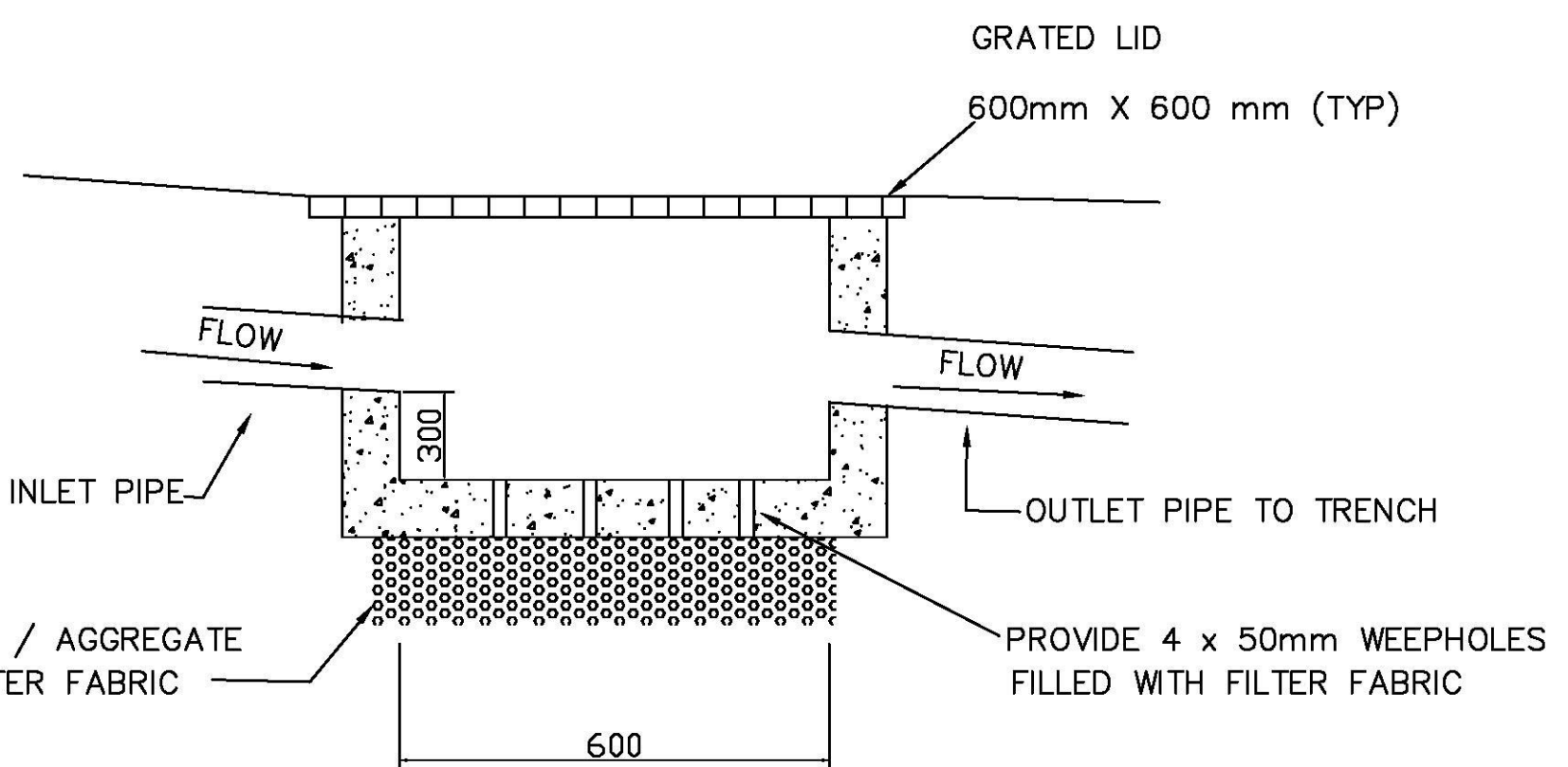
**STORMWATER PLAN**  
 SCALE 1:100 @ A1  
 SCALE 1:200 @ A3

**LEGEND**

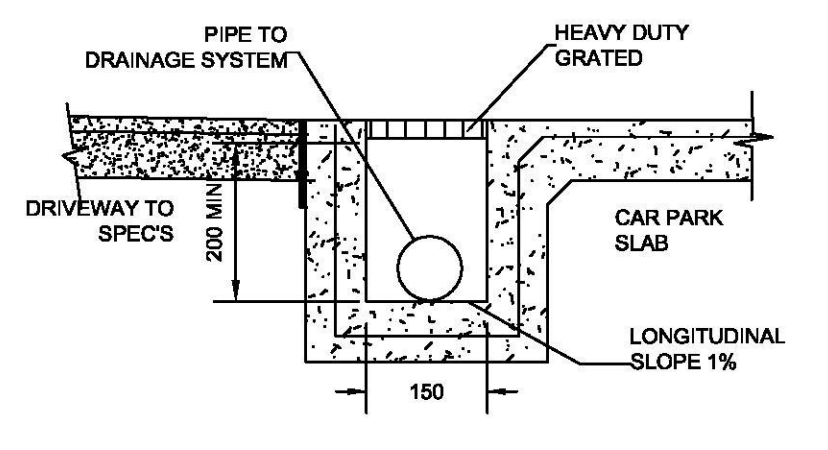
	PROPOSED SURFACE LEVEL
	EXISTING SURFACE LEVEL
	EXISTING SEWER LINE
	GRATED SURFACE INLET PIT MIN 600mm X 600mm
	PROPOSED CONCRETE DRIVEWAY
	CLEANING EYE
	CATCH DRAIN TO DETAIL

**PIPE SCHEDULE**

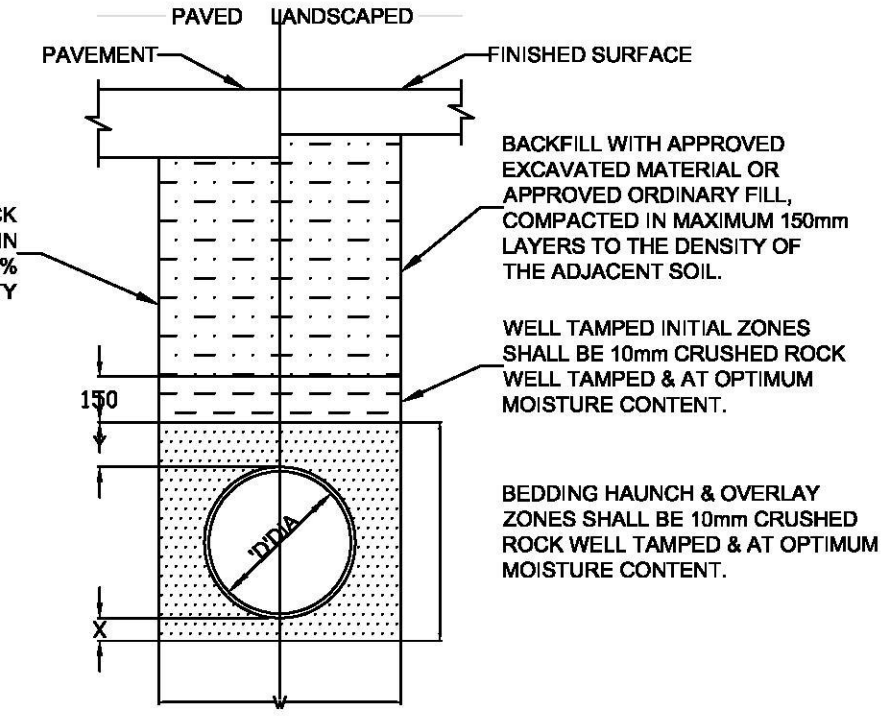
TAG	PIT SIZE	COMMENT
P1	90 mm UPVC SEWER GRADE	DP'S TO RAIN TANK FULLY SEALED
P2	100 mm UPVC SEWER GRADE	TO DRAIN AT MIN 1%
P3	150 x 75 RHS	TO DRAIN AT MIN 1% TO KERB
P4	100 MM UPVC	CONNECTION TO PIT FULLY SEALED
P5	90 MM UPVC	TO DRAIN AT MIN 1%



**SILT ARRESTOR PIT**  
 SCALE 1:20 @ A1  
 SCALE 1:40 @ A3



**GRATED STRIP-DRIVEWAY**  
 NOT TO SCALE

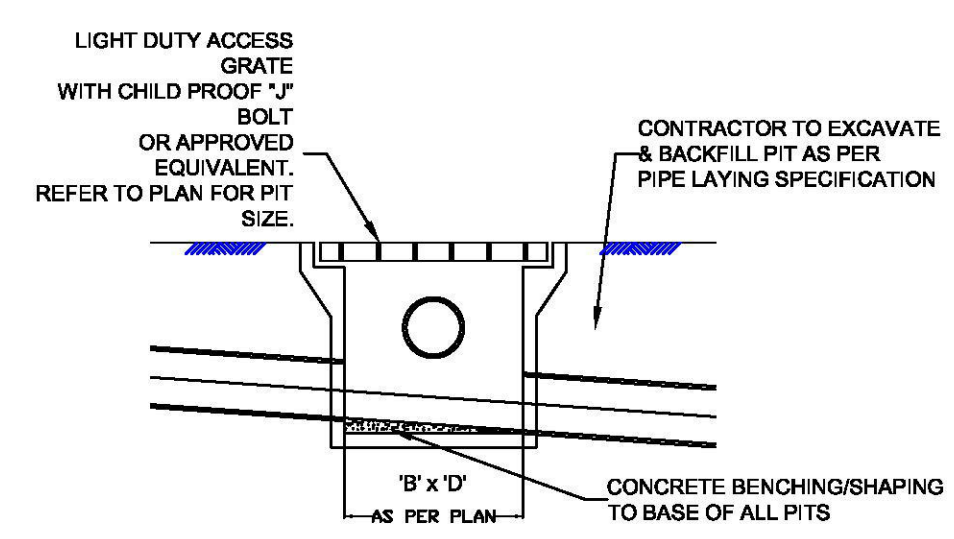


**TYPICAL PIPE LAYING**  
 DETAIL 1:20

PIPE DIA	W	X	Y
100-150	300	75	75
225-300	600	75	75

NOTE:  
 1 REFER TO PIPE LAYING SPECIFICATIONS FOR DETAILS.

NOTE: EXACT LOCATION OF DOWNPIPES TO BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION



**TYPICAL SURFACE INLET PIT**  
 DETAIL 1:20  
 TYPICAL FOR ALL PITS IN NON TRAFFIC AREAS.



ISSUE	DATE	ISSUE	REVISIONS
A	26-10-18	A	ISSUED FOR APPROVAL

**NASTASI & ASSOCIATES**  
 CONSULTING CIVIL & STRUCTURAL ENGINEERS  
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 ABN 45 533 226 008  
 UNIT 5, 1-3 WHYALLA PLACE, PRESTONS NSW 2170  
 PH: (02) 9607 2864 OR (02) 8798 5617 FAX: (02) 9731 2081  
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LGA  
**PENRITH CITY COUNCIL**

CHECKED: S. NASTASI  
 APPROVED: S. NASTASI  
  
 S. NASTASI  
 B.E., M.I.E. AUST, CPENG

CLIENT  
 ZAC HOMES  
 PROJECT  
 STORMWATER DESIGN AT  
 LOT 67 DP 212261 No. 12  
 ANTHONY CRESCENT, KINGSWOOD

TITLE  
 DRAINAGE PLAN  
 PIPE SCHEDULE  
 PIT DETAIL  
 LEGENDS

DRAWN: SN  
 DATE: 26/10/2018  
 SCALE: AS NOTED  
**ISSUED FOR APPROVAL**  
 JOB No: 15755 SHEET 1 OF 3





**PUMP STORAGE VOLUME CALCULATION**

I 100,90min = 60.8mm/HOUR

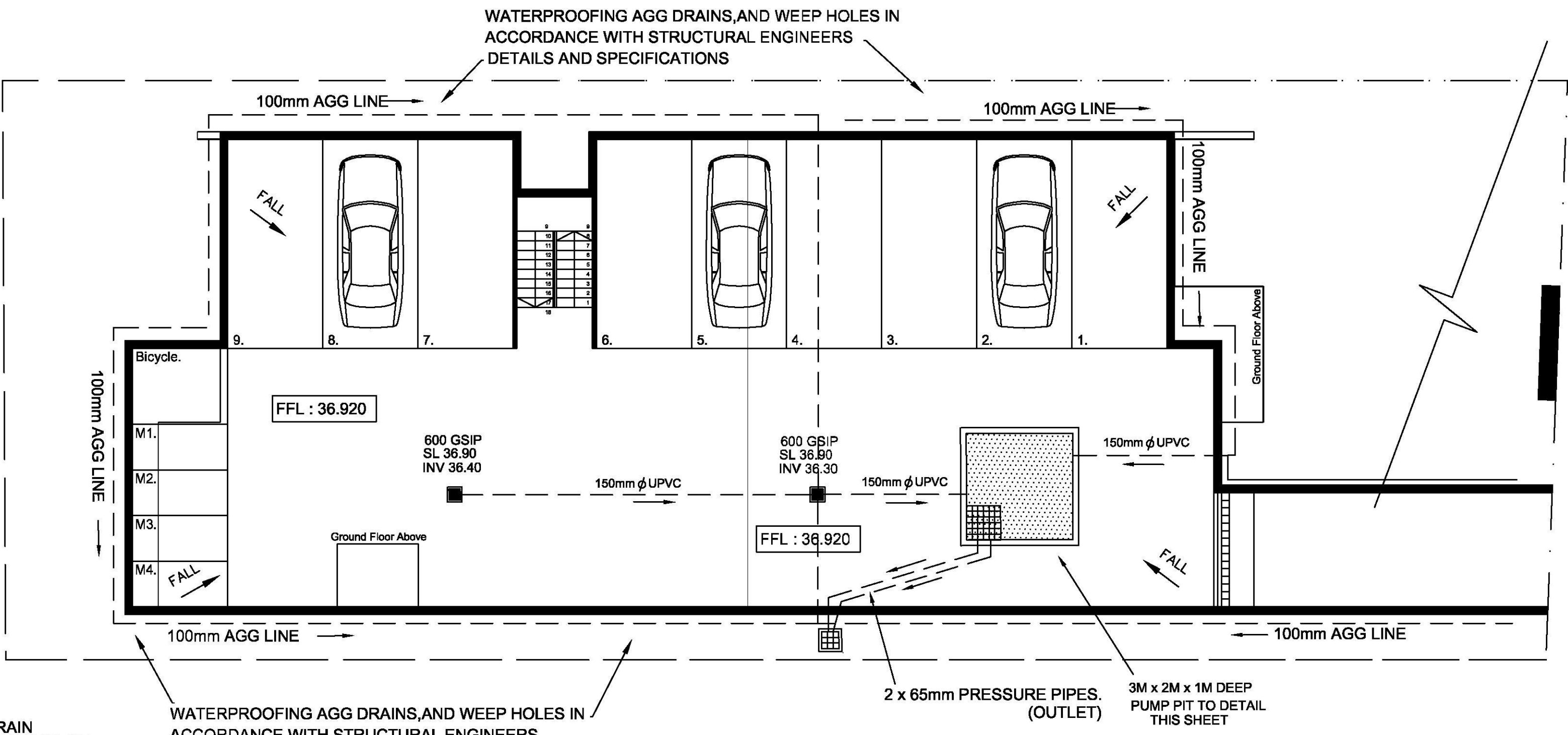
CATCHMENT AREA = 57m<sup>2</sup> = 0.0057ha

Q= C X I X A / 360 WHERE C=1  
 = 1.0 X 60.8 X 0.057 / 360  
 = 0.0096 m<sup>3</sup>/s  
 = 09.66L/s

THEREFORE TANK VOLUME IS:

V = 0.96 X 1.5 X 3600  
 = 5.29m<sup>3</sup>

PROVIDE 100mm AGG DRAIN TO FULL PERIMETER OF BASEMENT AND DRIVEWAY AND CONNECT TO PUMP PIT AS SHOWN



PROVIDE 100mm AGG DRAIN TO FULL PERIMETER OF BASEMENT AND DRIVEWAY AND CONNECT TO PUMP PIT AS SHOWN

WATERPROOFING AGG DRAINS, AND WEEP HOLES IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS

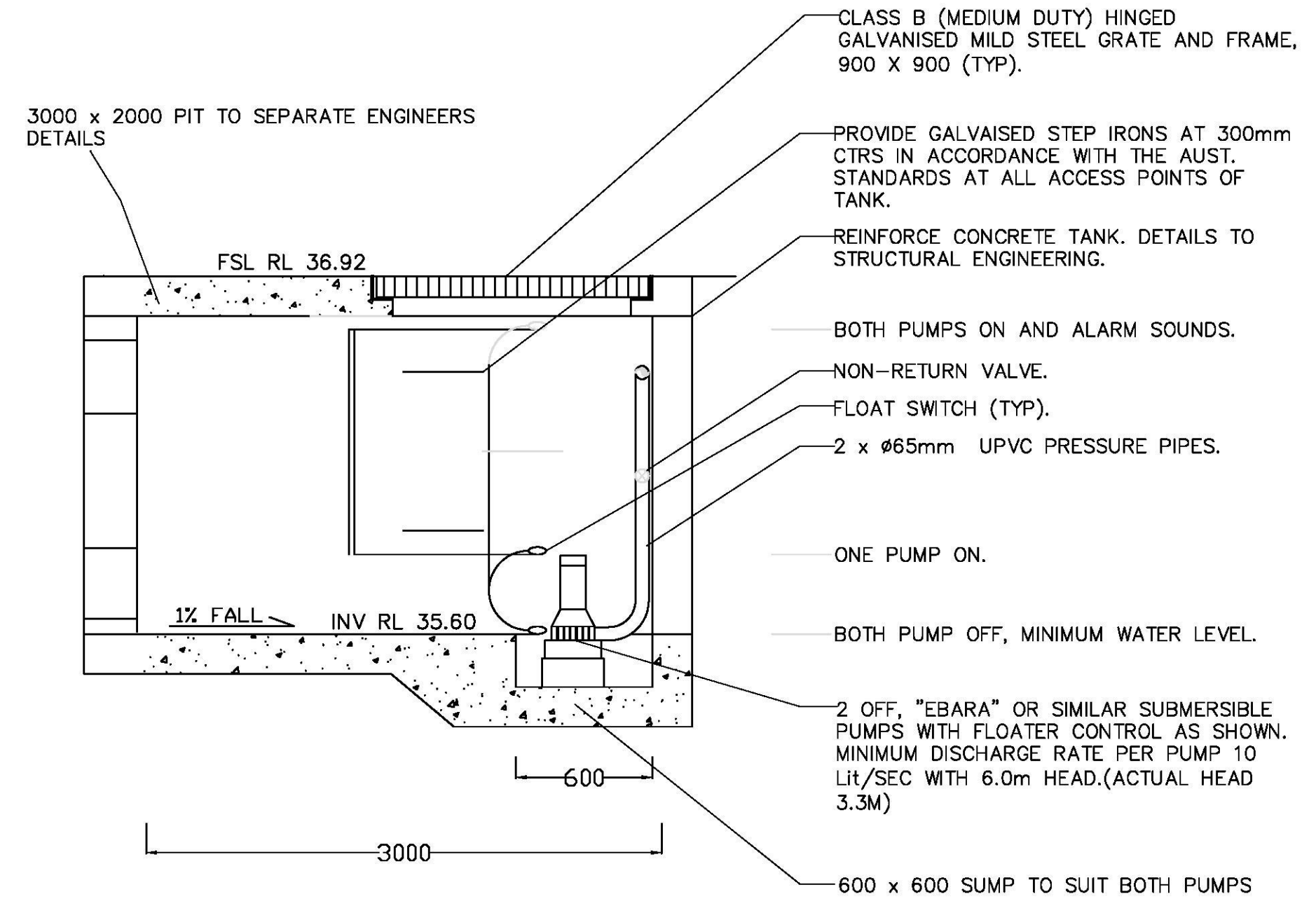
**STANDARD PUMP OUT DESIGN NOTE:**

THE PUMP OUT SYSTEM SHALL BE DESIGNED TO BE OPERATED IN THE FOLLOWING MANNER:

1. THE PUMPS SHALL BE PROGRAMMED TO WORK ALTERNATELY TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
2. A FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS AT THE MINIMUM WATER LEVEL. THE SAME FLOAT SHALL BE SET TO TURN ONE OF THE PUMPS ON UPON THE WATER LEVEL IN THE TANK RISING TO APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL. THE PUMP SHALL OPERATE UNTIL THE TANK IS DRAINED TO THE MINIMUM WATER LEVEL.
3. A SECOND FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHALL START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
4. AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AND PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK UP IN CASE OF POWER FAILURE
5. A CONFINED SPACE DANGER SIGN SHALL BE PROVIDED AT ALL ACCESS POINTS TO THE PUMP OUT STORAGE TANK.

**BASEMENT STORMWATER PLAN**

SCALE 1:100 @ A1  
 SCALE 1:200 @ A3



PUMP PIT SECTION DETAIL NTS

ANTHONY A.DWG

NOTE: REFER TO SEPARATE PLAN FOR STEEL REINFORCEMENT DETAILS, CONCRETE STRENGTHS AND DIMENSIONS BY ENGINEER



ISSUE		REVISIONS	
A	26-10-18	A	ISSUED FOR APPROVAL
	DATE	ISSUE	REVISIONS

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CLIENT  
**ZAC HOMES**

PROJECT  
**STORMWATER DESIGN AT LOT 67 DP 212261 No. 12 ANTHONY CRESCENT, KINGSWOOD**

TITLE  
**BASEMENT STORMWATER PLAN LEGENDS**

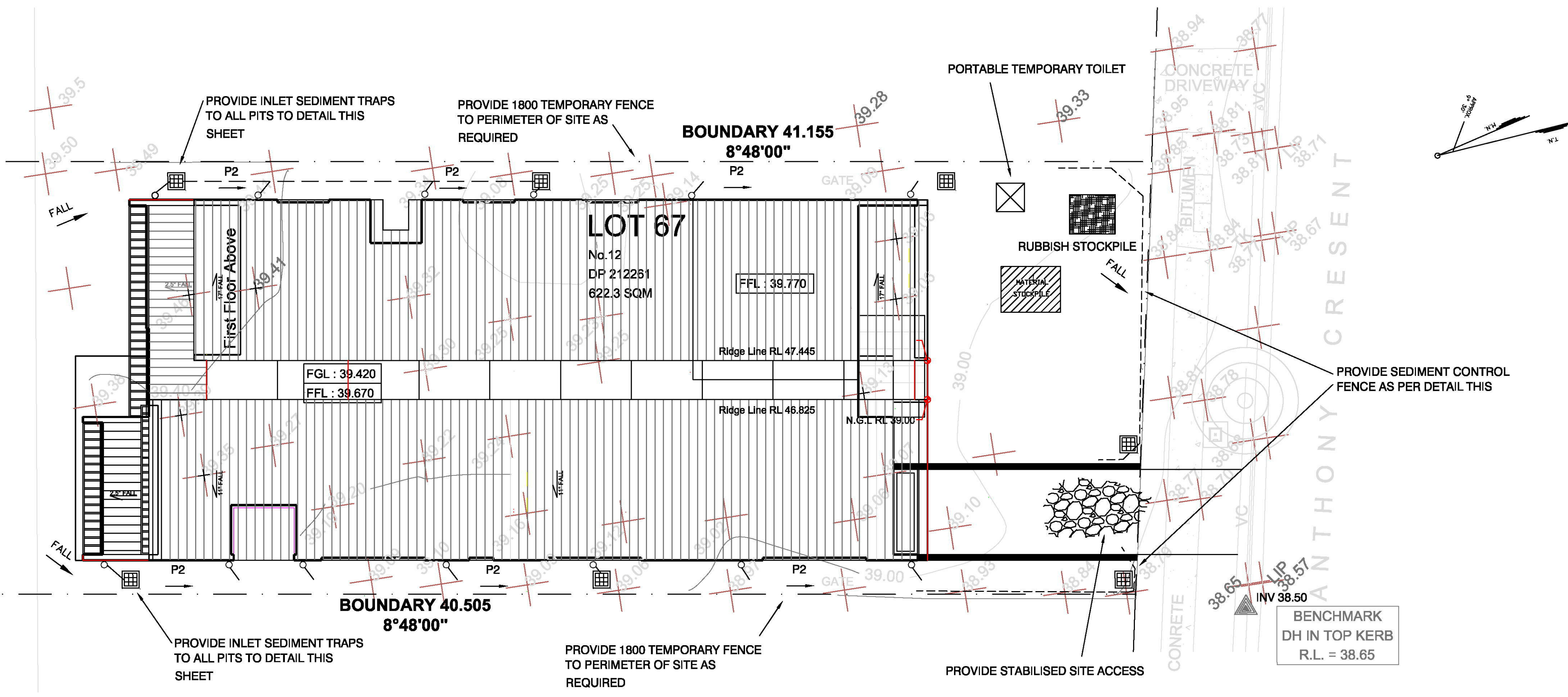
DRAWN: SN  
 DATE: 26/10/2018  
 SCALE: AS NOTED

**ISSUED FOR APPROVAL**

JOB No: 15755 SHEET 2 OF 3



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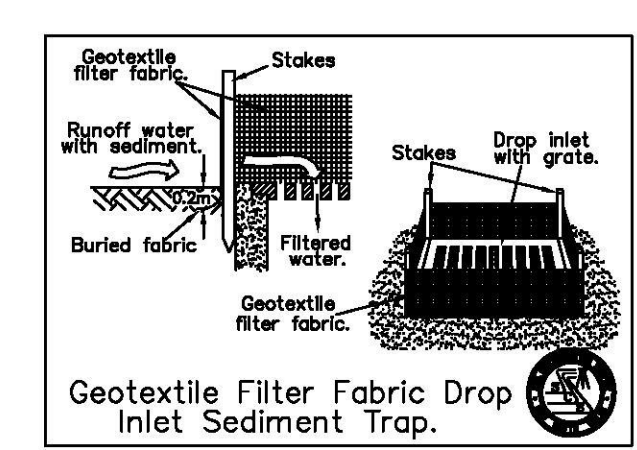
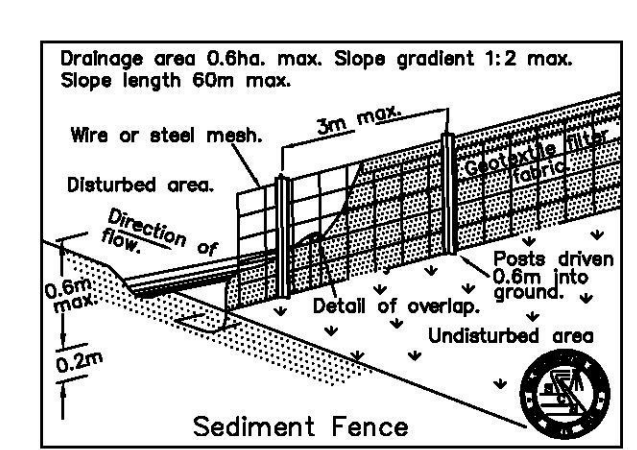
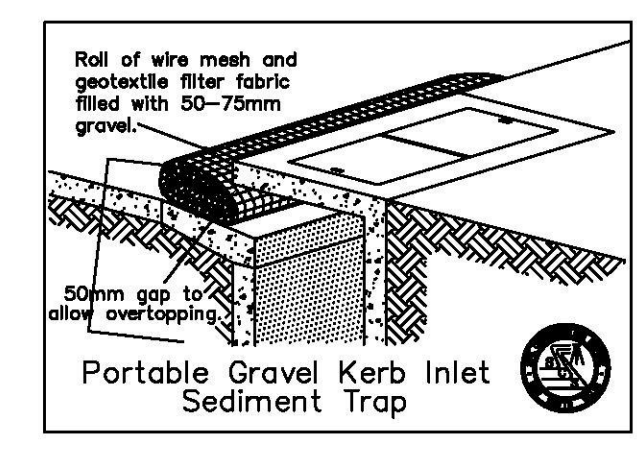
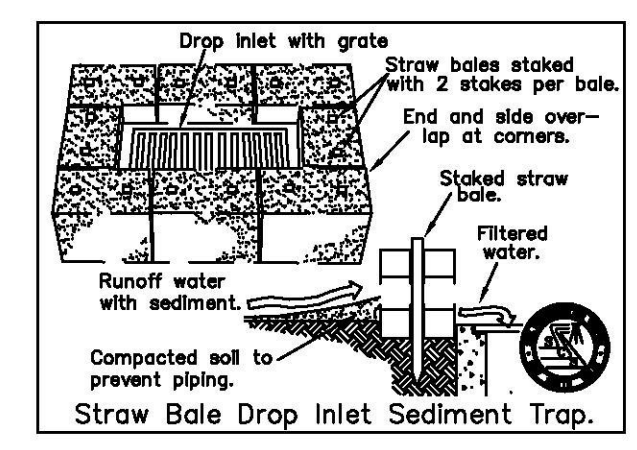


**SOIL EROSION & SEDIMENT CONTROL PLAN**

SCALE 1:100 @ A1  
SCALE 1:200 @ A3



REFER TO SHEET NO 1 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES



ANTHONY A.DWG

ISSUE	DATE	ISSUE	REVISIONS
A	26-10-18	A	ISSUED FOR APPROVAL

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**ZAC HOMES**  
PROJECT  
**STORMWATER DESIGN AT LOT 67 DP 212261 No. 12 ANTHONY CRESCENT, KINGSWOOD**

TITLE  
**SOIL EROSION & SEDIMENT CONTROL PLAN DETAILS PIT DETAIL**  
DRAWN: SN  
DATE: 26/10/2018  
SCALE: AS NOTED  
**ISSUED FOR APPROVAL**  
JOB No: 15755 SHEET 3 OF 3