

DRAWING SET

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COMPLIANCE SCHEDULE
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686
Zone R3 Med. Density Residential
Max. Bldg Height - 8.5m
Heritage Listing - No
Flood Zone - No
Bushfire Zone - Part Vegetation Buffer
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	LANDSCAPED AREA	30% MIN (697m ²) (SEPP 2009)	>2m - 808m ² (34.80%) 349.8m ² (15%)	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	2 BEDS 1 SPACE (SEPP 2009) (22, inclusive 4 Visitor spaces)	YES		POS 25m MIN	25m MIN	YES
DRIVE WIDTH	3.0m	3.5m MIN	YES	BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES				

FINISHES SCHEDULE

	A ROOF CLADDING TYPE - COLORBOND STEEL COLOUR - MONUMENT
	B FASCIA TYPE - COLORBOND STEEL COLOUR - WHITE
	C GUTTERS TYPE - STEEL COLOUR - MONUMENT
	D DOWNPipes TYPE - PVC ROUND COLOUR - WHITE
	E MASONRY TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
	F CLADDING TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
	G GARAGE DOORS TYPE - B&D STEEL COLOUR - SURFMIST
	H WINDOW FRAMES TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
	I COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - WHITE
	J COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - MONUMENT

DWELLING SCHEDULE

	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m ² 2 BED - 70m ²	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 2	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 3	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 4	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 5	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 6	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
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UNIT 14	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³

SITWORKS LEGEND

	LANDSCAPE AREA >2m
	LANDSCAPE AREA <2m
	DRIVEWAY - IMPERVIOUS AREA
	COURTYARD AREAS - 4m min (20m ²)
	CONCRETE RETAINING WALLS
	1500L RAINWATER TANK TO BASIX REQUIREMENTS - CONNECTED TO 41m ² ROOF AREA.
	RWT



ALL DEMOLITION TO COMPLY WITH AS 2601-1991 "THE DEMOLITION OF STRUCTURES"
ALL CAR SPACES COMPLY WITH AS 2890.1-2004
WINDOW SCHEDULE - REFER FLOOR PLANS
FINISHES SCHEDULE - REFER A.01 COVER SHEET
BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS
PLEASE REFER TO THE SGC ENGINEERING
DRAWING SET

FOR BASIX COMMITMENTS
PLEASE REFER TO BASIX DOCUMENTATION

NOTES
BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONSIDERATE THE BOUNDARY. WHERE BOUNDARY DIMENSIONS ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.12 OF THE BCA AND AS3500.3.2. INSTALL LAGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

EXCAVATIONS
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2
UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2
OR PERFORMANCE REQUIREMENTS P2.1, P2.3 AND CLAUSE 1.0.10.

CONCRETE
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNDUE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPAKED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600

STORMWATER
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

EXTERNAL CLADDING
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

TIMBER FRAMING
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1664. ALTERNATIVE STRUCTURAL ARRANGEMENTS BE TO THE STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADEPERSON LIKE MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

MASONRY
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.1. CLAY BRICKS ARE A NATURAL KILN FIRED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY.
MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.
MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.
MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

**BUILDER TO CONFIRM THE LOCATION
OF ALL SERVICES PRIOR TO CONSTRUCTION**
**ALL TERMITE TREATMENT TO BE
CARRIED OUT IN ACCORDANCE
WITH AS 3660**
**SMOKE DETECTORS TO BE INSTALLED
AND CONNECTED TO AS 3786**



DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 2	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 3	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
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UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

COMPLIANCE SCHEDULE

(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686

Zone R3 Med. Density Residential

Max. Bldg Height - 8.5m

Heritage Listing - No

Flood Zone - No

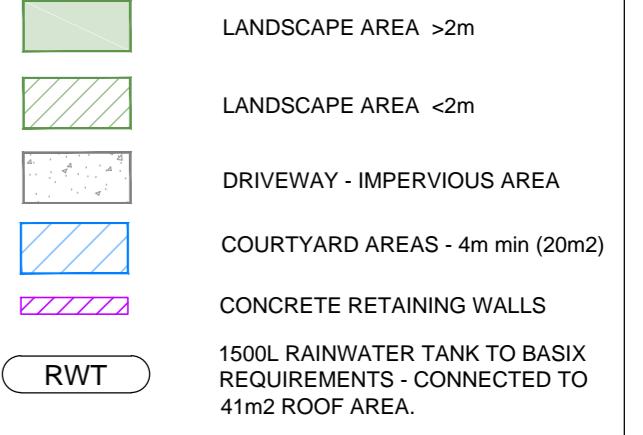
Bushfire Zone - Part Vegetation Buffer

Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009)	>2m - 808m2 (34.80%)	YES
	DEEP SOIL - 15% (349m2)	349.8m2 (15%)	
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES



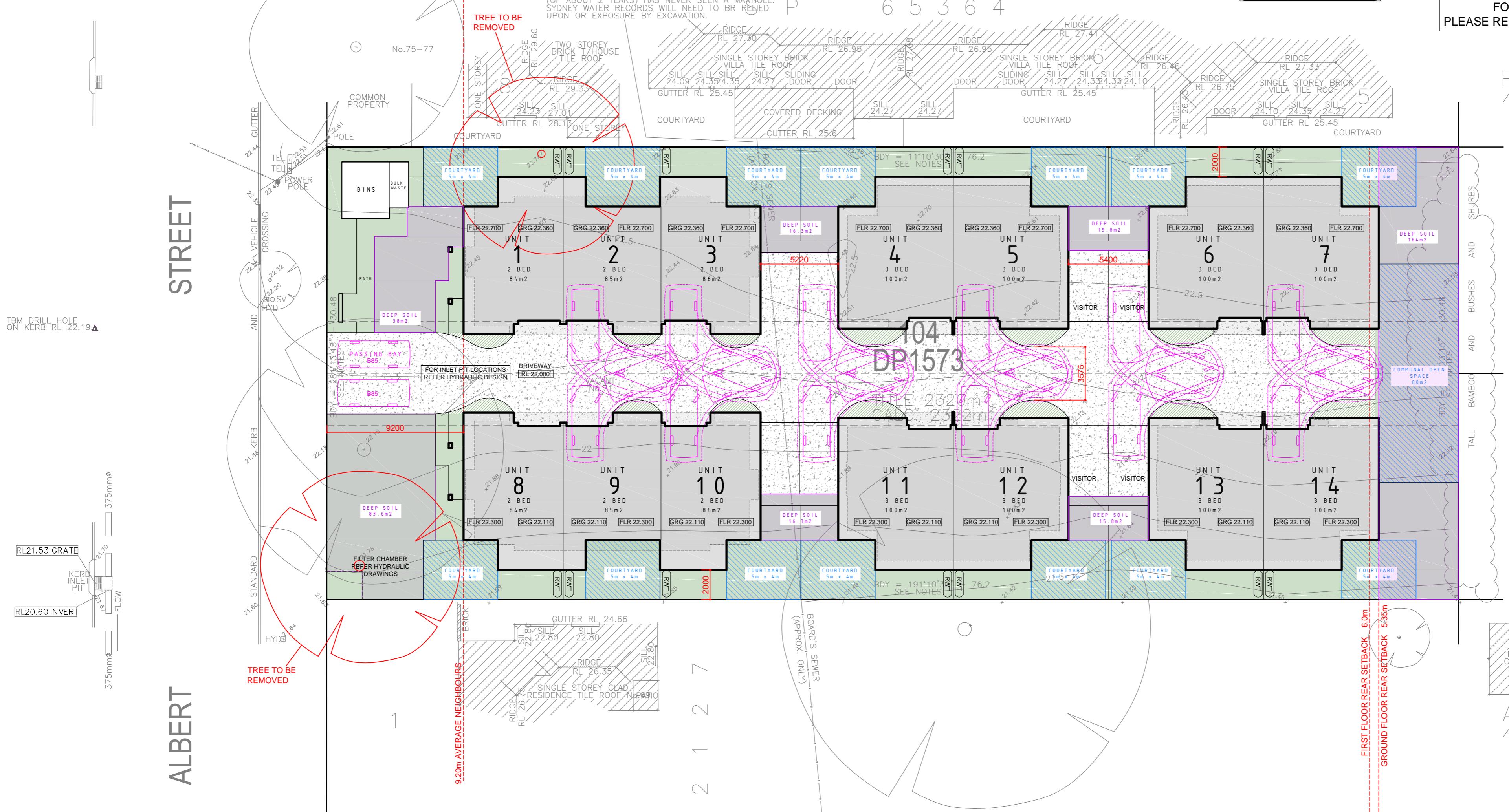
SITEWORKS LEGEND



FOR HYDRAULIC DESIGN DETAILS
PLEASE REFER TO THE SGC ENGINEERING
DRAWING SET

FOR BASIX COMMITMENTS
PLEASE REFER TO BASIX DOCUMENTATION

B DP
411793



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CLIENT	Cazbuild
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 15

CLIENT	Cazbuild		Concept	Quote	Production	DATE	19.08.21	
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573		All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing		DRN BY	AO'B		
DRG TITLE	SITE PLAN		© All content remains the property obrien design+drafting.		SIZE	A2		
			SCALE	1 : 200	AMENDMENT	DESCRIPTION		
			DRG NO	71_AW_A.02	ISSUE	B		

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m ² 2 BED - 70m ²	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
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COMPLIANCE SCHEDULE
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686
Zone R3 Med. Density Residential
Max. Bldg Height - 8.5m
Heritage Listing - No
Flood Zone - No
Bushfire Zone - Part Vegetation Buffer
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES				
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
DRIVEWAYS & PARKING	3 BEDS 2 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (16 REQUIRED FOR DWELLINGS +4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 4 Visitor spaces	YES	LANDSCAPED AREA	30% MIN (697m ²) (SEPP 2009) DEEP SOIL - 15% (349m ²)	>2m - 808m ² (34.80%) 349.8m ² (15%)	YES
DRIVE WIDTH	3.0m	3.5m MIN	YES	POS	25m2 MIN	25m2 MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES	BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

FENCING LEGEND

	SEE-THROUGH FENCE - 1200mm HIGH
	COLORBOND STEEL - 2100mm HIGH
	COLORBOND STEEL - 1800mm HIGH



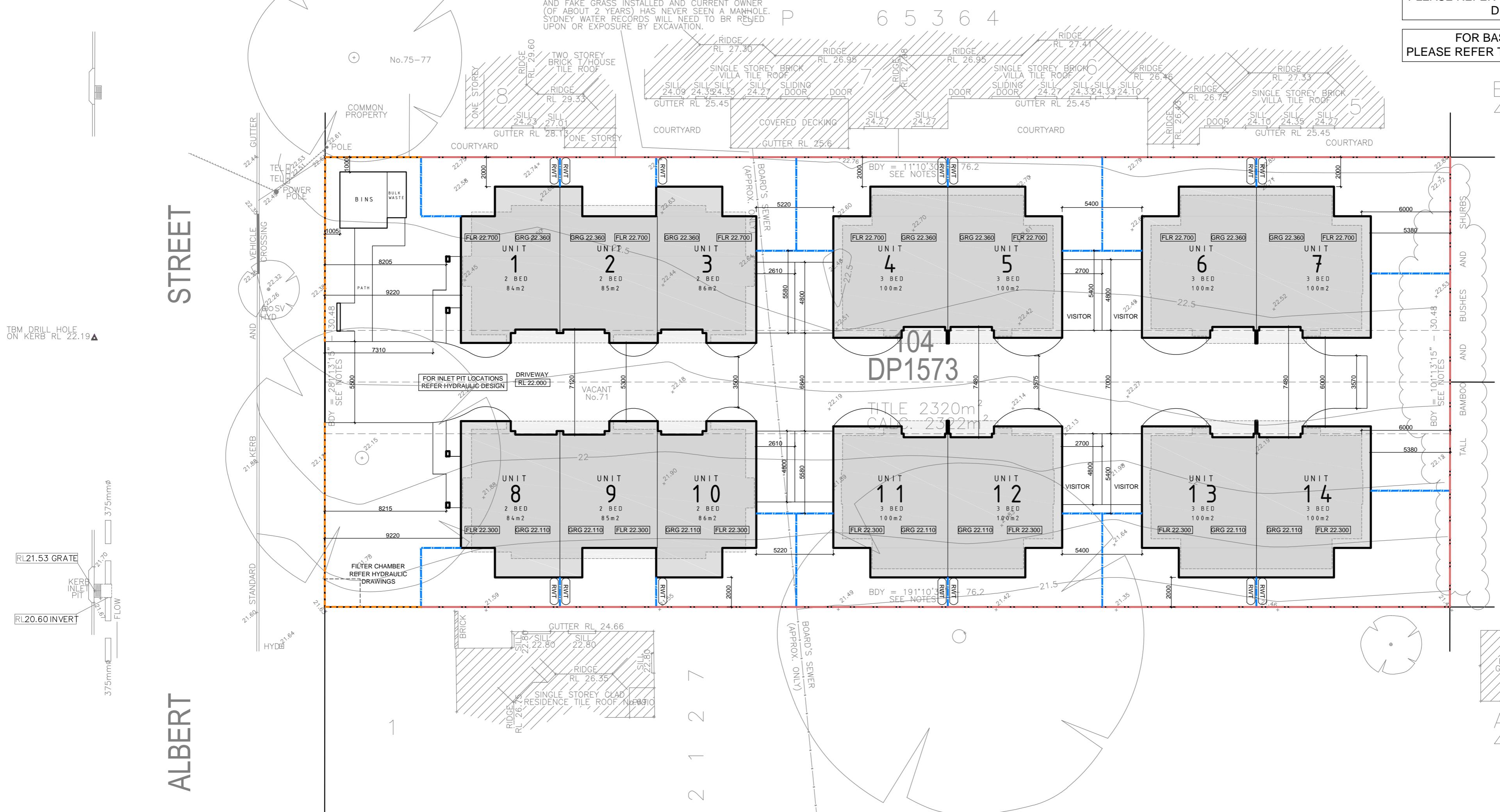
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B DP
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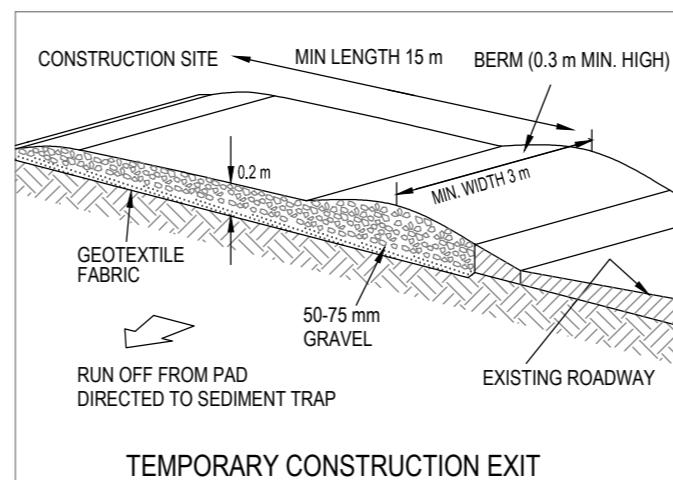
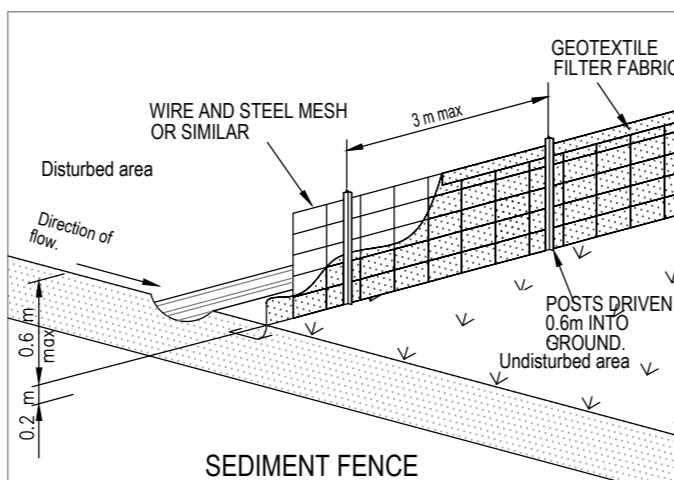
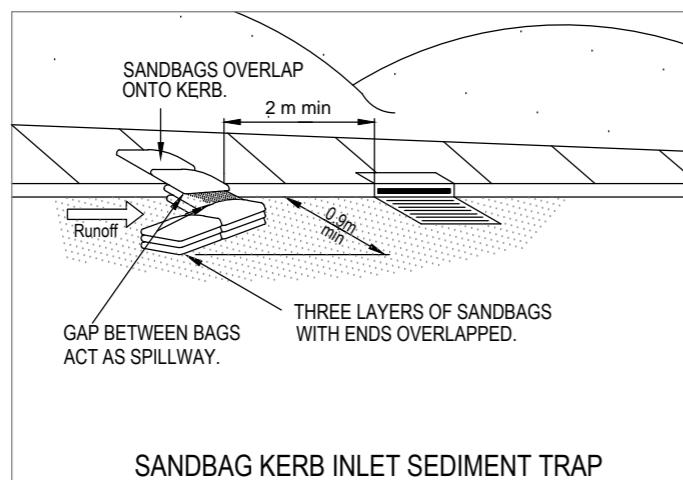
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EROSION AND SEDIMENT CONTROL

1. BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE BOUNDARIES. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL STANDING 300mm MIN. ABOVE GROUND AND EXTENDING 200mm BELOW GROUND.
2. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.

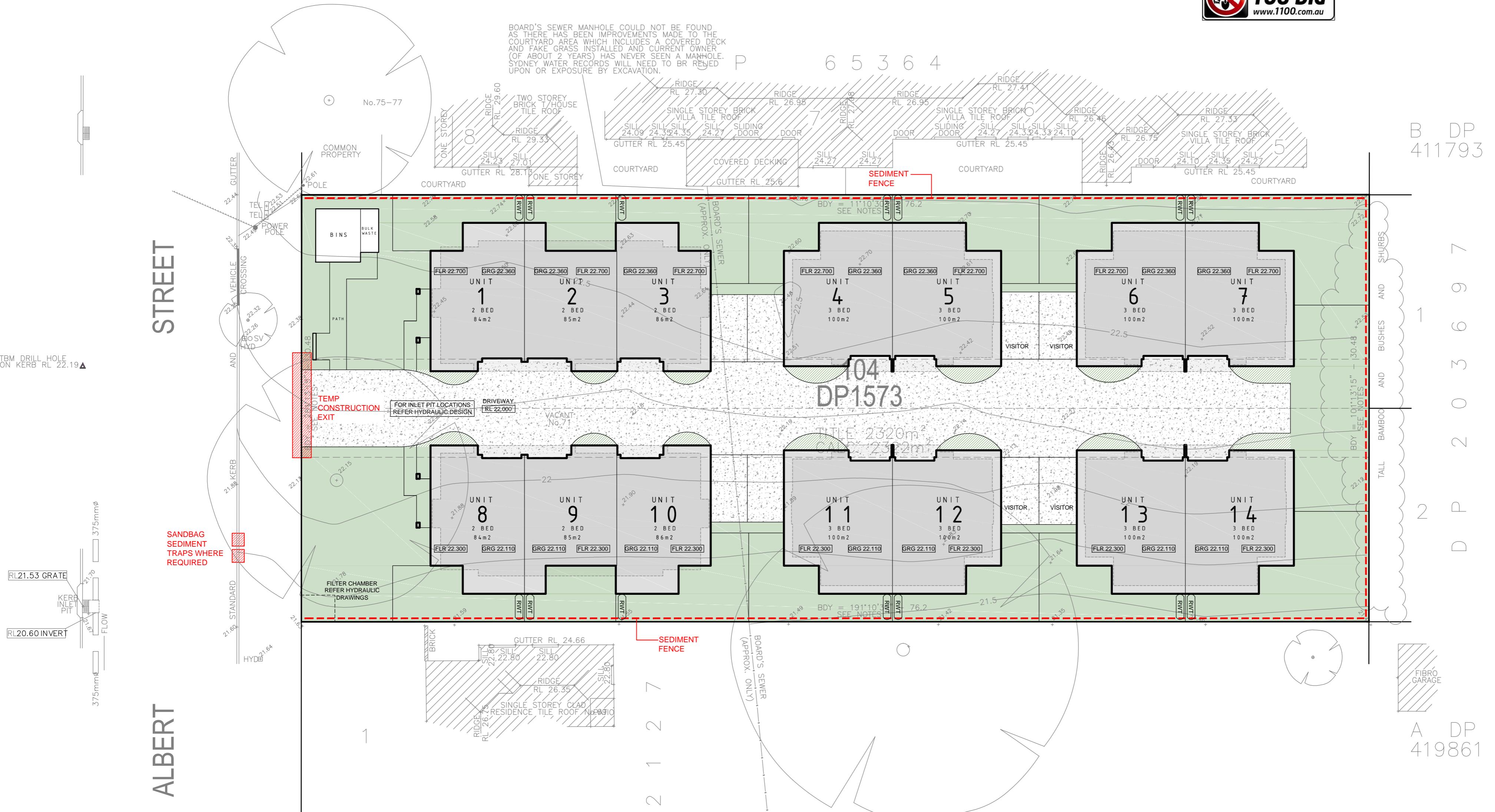
BUILDERS ACCESS

3. NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
4. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.
5. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

SITEWORKS LEGEND

-  LANDSCAPE AREA >2m
-  LANDSCAPE AREA <2m
-  DRIVEWAY - IMPERVIOUS AREA
-  COURTYARD AREAS - 4m min (20m²)
-  CONCRETE RETAINING WALLS
-  RWT

1% AEP - RL 21.70 (FLR 22.20)



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ABN 75949053186 T : 0413 604 092 https://obriendesigndrafting.com.au/ info@obriendesign.com.au	<table border="1"><tr><td>CLIENT</td><td>Cazbuild</td></tr><tr><td>PROJECT</td><td>Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573</td></tr></table>	CLIENT	Cazbuild	PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573
CLIENT	Cazbuild				
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573				

CLIENT	Cazbuild
PROJECT	Proposed Multi-Dwelling Development 71 Albert Street Werrington NSW 2747
DRG TITLE	EROSION & SEDIMENT CONTROL PLAN

<p>nt at ' Lot 104 DP 1573</p> <p>N</p>	<p><input type="checkbox"/> Concept <input type="checkbox"/> Quote</p> <p>All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale.</p> <p>Do not scale from drawing</p>
	<p> All content remains the property obrien design+draw</p>

	Production	DATE	19.08.21			
ted. e		DRN BY	AO'B			
		B	DA ISSUE			19.08.21
		A	CONCEPT			28.07.21
fting.		SIZE	A2			DATE
		AMENDMENT	DESCRIPTION			
		SCALE	1 : 200	DRG NO	88_PW_A.04	ISSUE
						B

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m ² 2 BED - 70m ²	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
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ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5

ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5

ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

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FOR BASIX COMMITMENTS
PLEASE REFER TO BASIX DOCUMENTATION

COMPLIANCE SCHEDULE (REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686
Zone R3 Med. Density Residential
Max. Bldg Height - 8.5m
Heritage Listing - No
Flood Zone - No
Bushfire Zone - Part Vegetation Buffer
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	DRIVeways & PARKING	3 BEDS 2 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS +4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
				DRIVE WIDTH	3.0m	3.5m MIN	YES
				BUILDING SEPARATION	4M MIN	6M MIN	YES
						BUILDING LENGTH	20m MAX. LENGTH
							20.0M MAX.
							YES

WALL LEGEND

	NEW SINGLE-SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 10mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE: 13mm SOUND RESISTANT PLASTERBOARD SCREW
	FIXED TO RESILIENT MOUNTING FURRING CHANNEL WITH 9KG/M ³ POLYESTER INSULATION OTHER SIDE: 217mm WALL THICKNESS. R _w 60 (-2.8)

WINDOW SCHEDULE - UNIT 1

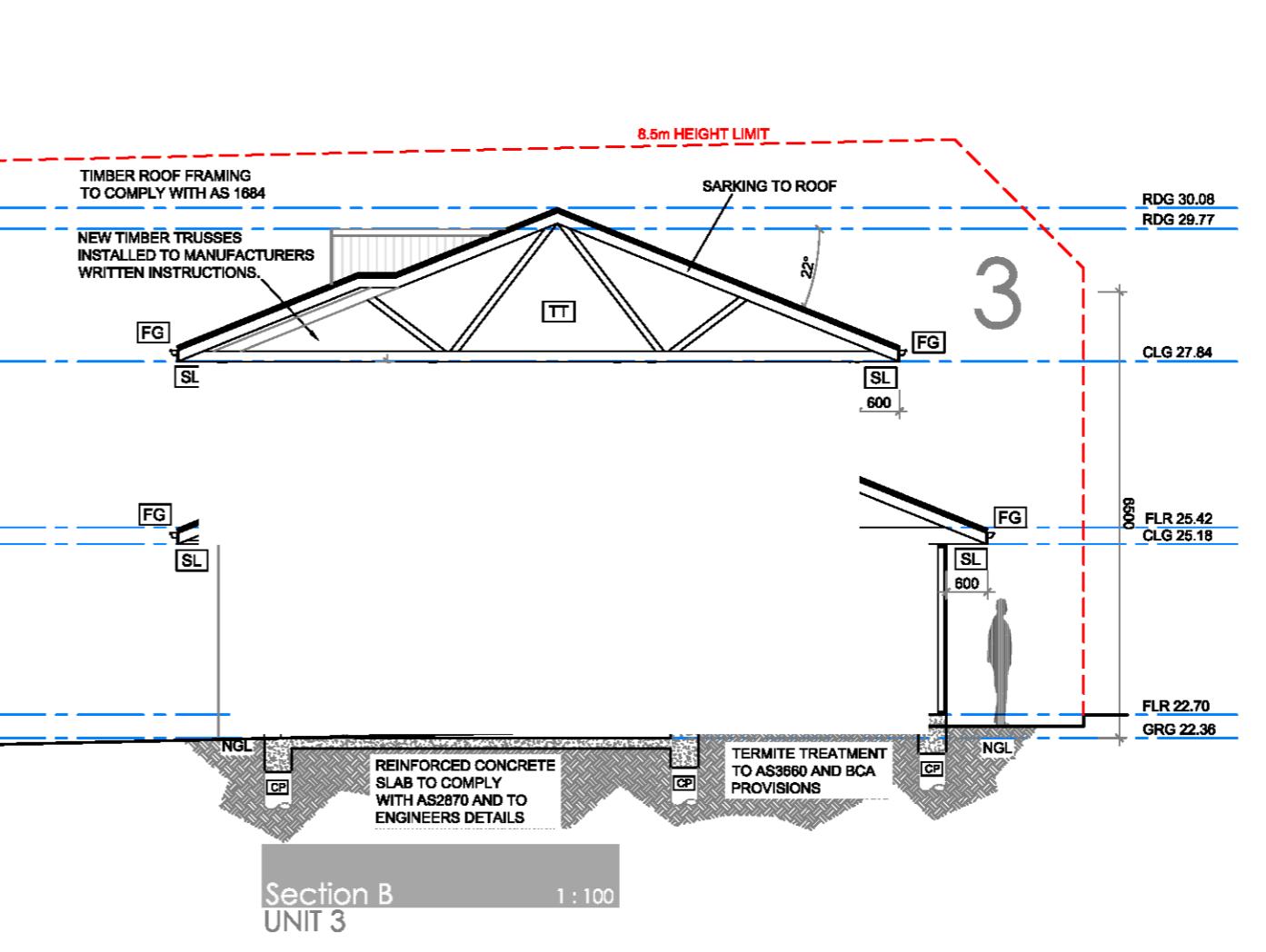
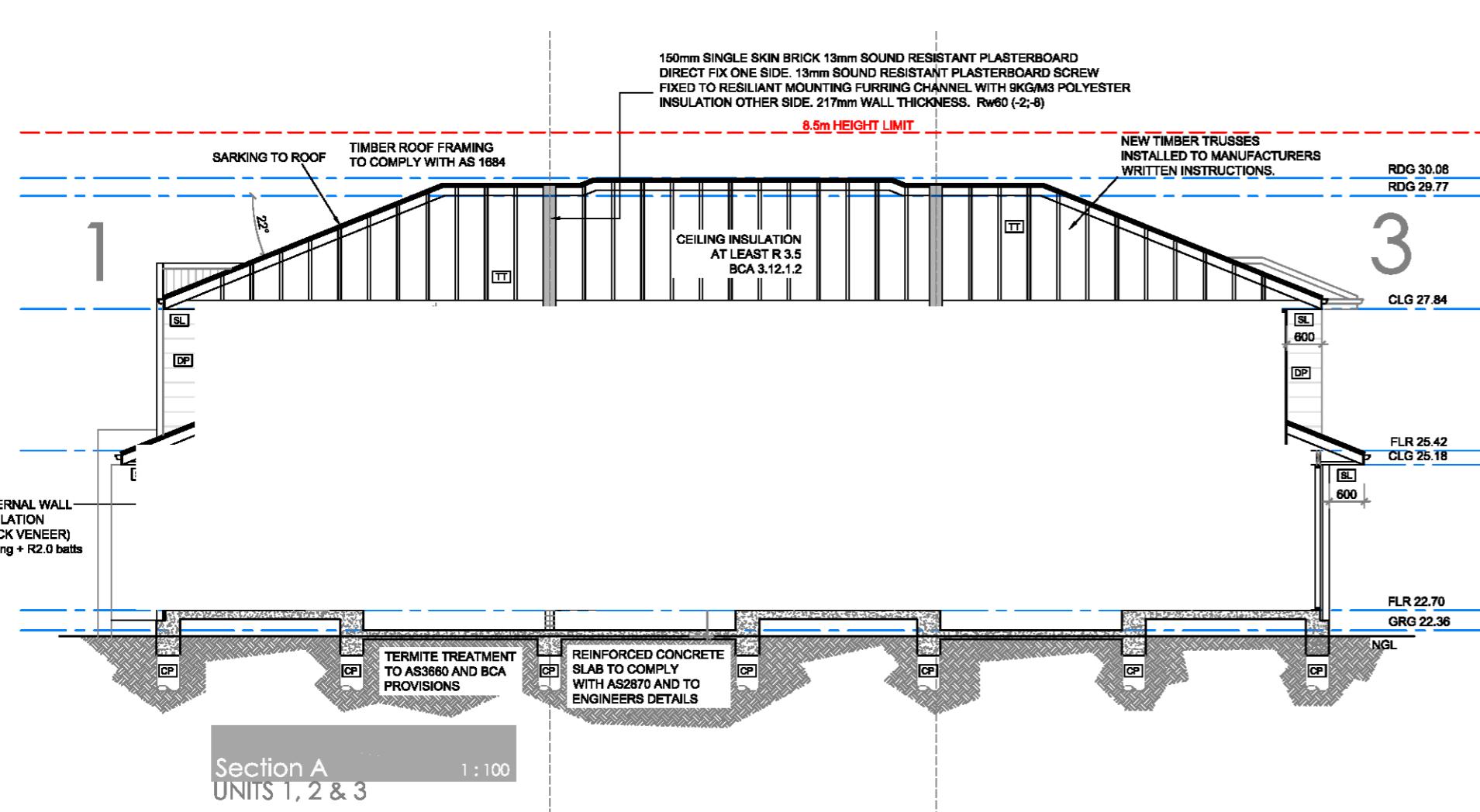
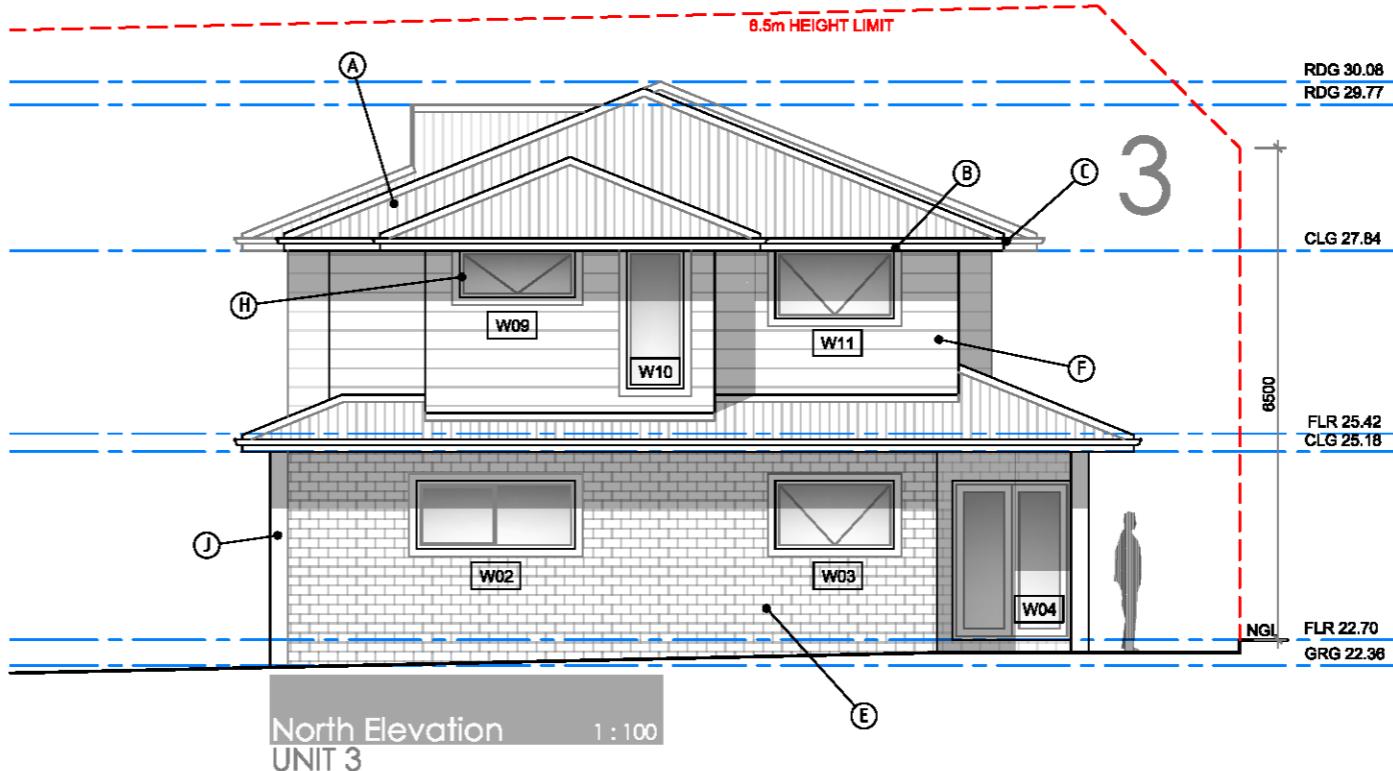
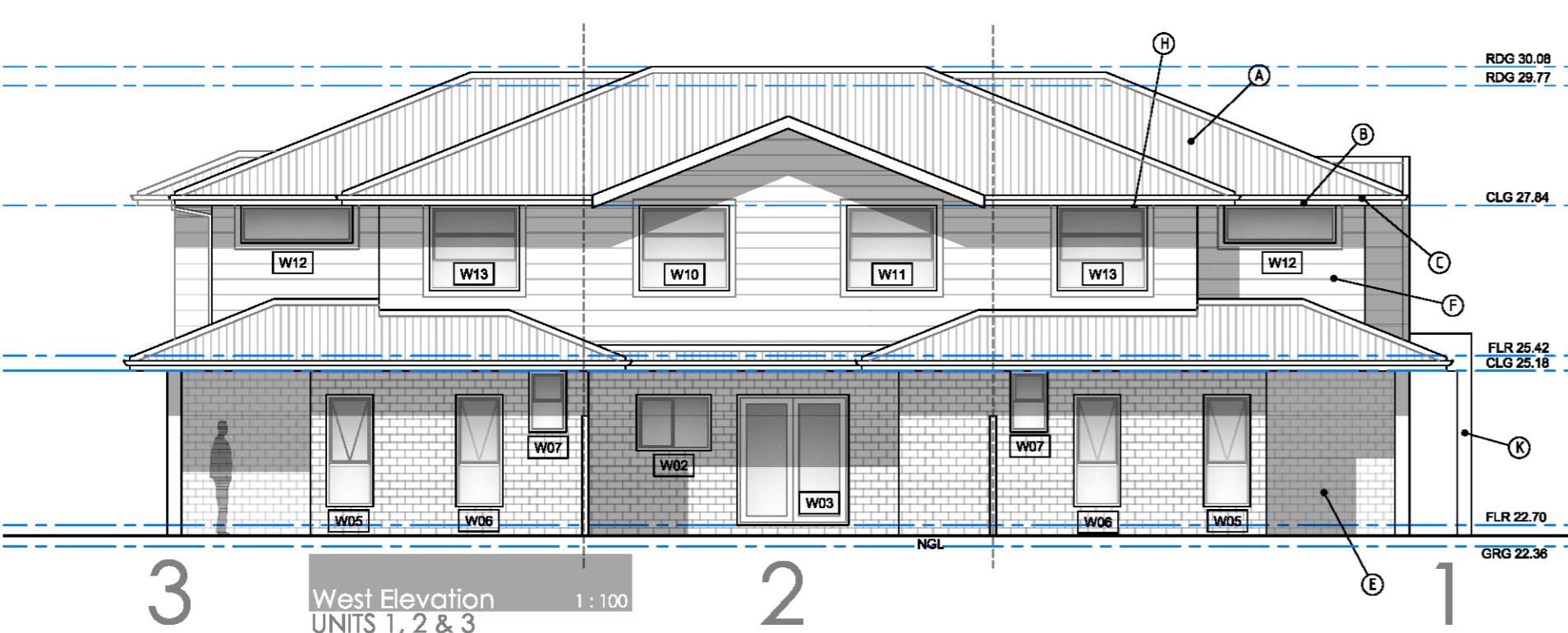
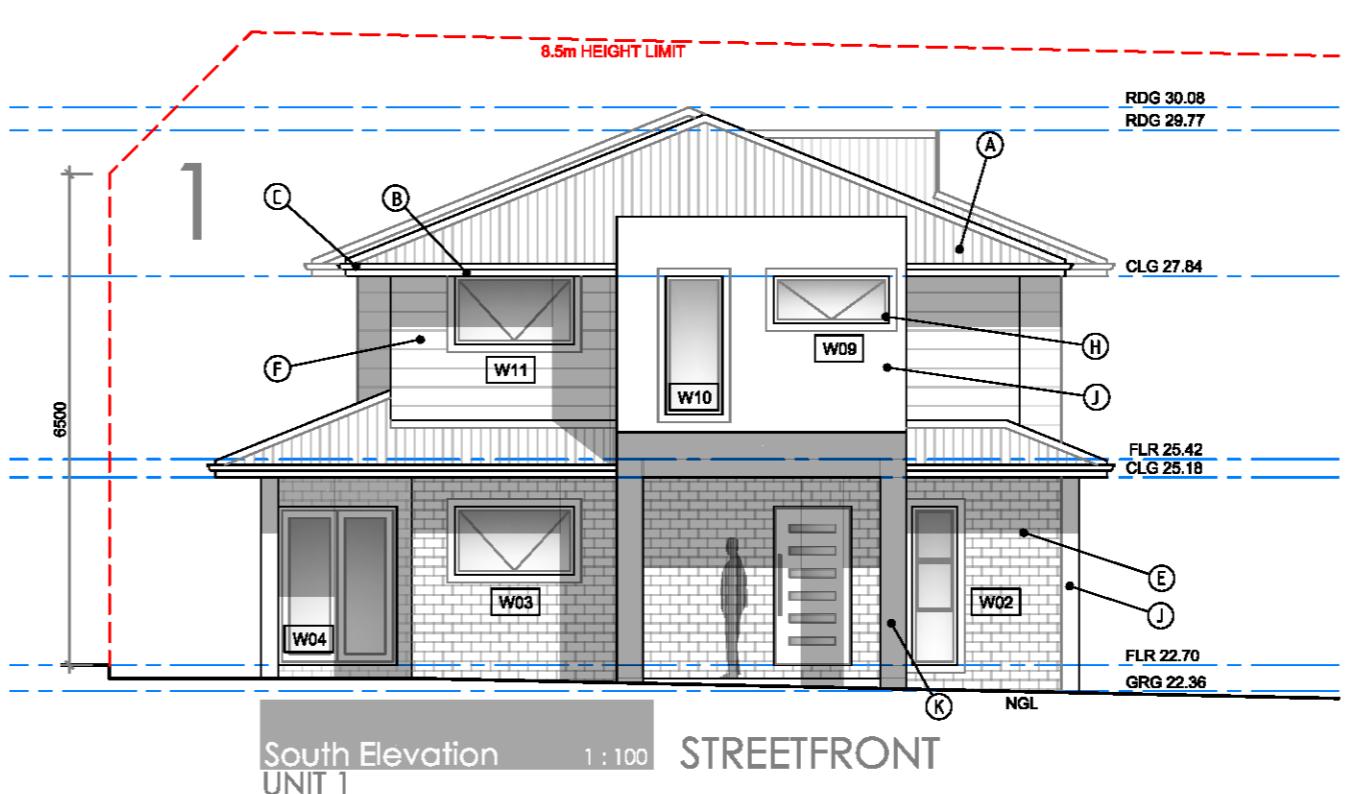
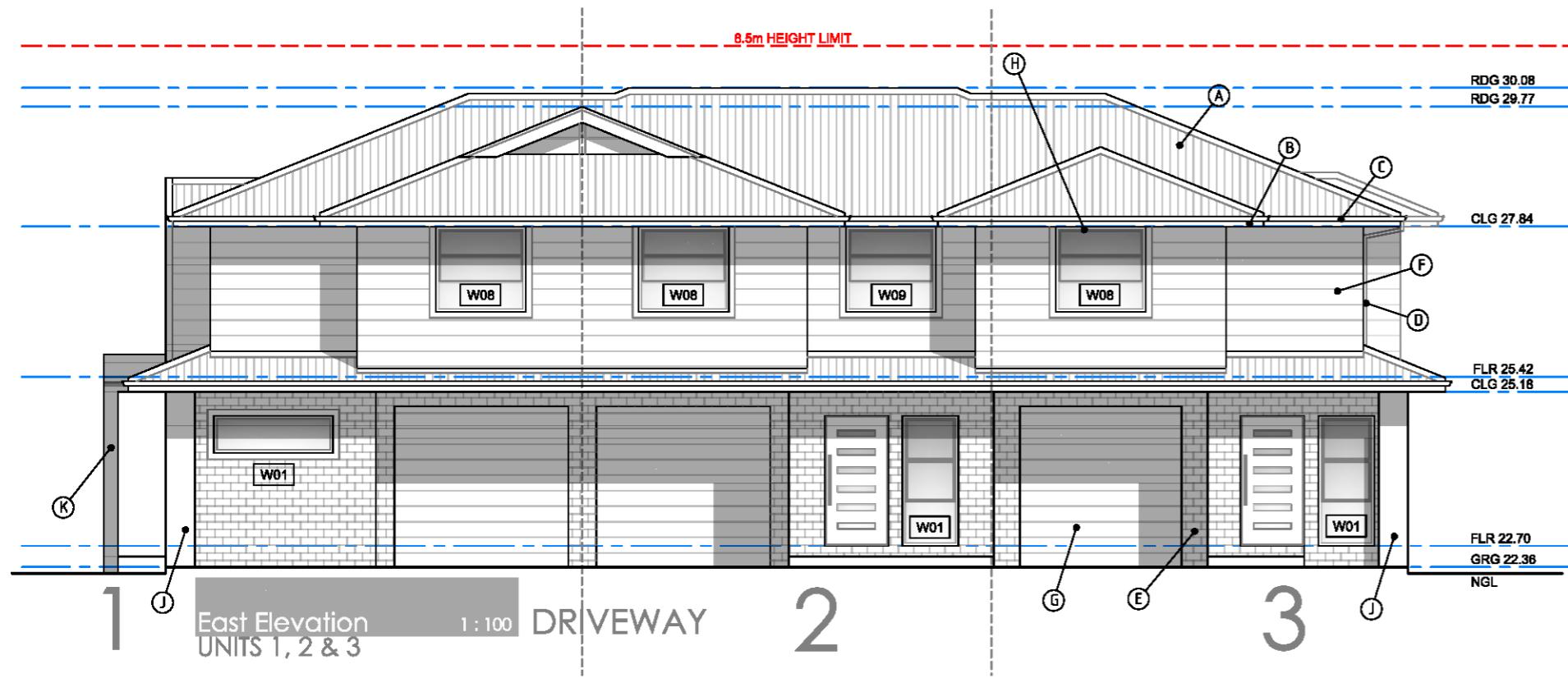
CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	600H x 1920W	AL. AWNING	1.15m ²	EAST	600 EAVE	1500	2100
W02	2100H x 600W	AL. DHUNG	1.26m ²	SOUTH	600 EAVE	-	2100
W03	900H x 1570W	AL. AWNING	1.40m ²	SOUTH	600 EAVE	1200	2100
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	SOUTH	2000 EAVE	-	2100
W05	1800H x 750W	AL. AWNING	1.35m ²	WEST	600 EAVE	300	2100
W06	1800H x 750W	AL. AWNING	1.35m ²	WEST	600 EAVE	300	2100
W07	965H x 600W	AL. DHUNG	0.80m ²	WEST	600 EAVE	1500	2485
W08	1370H x 1450W	AL. DHUNG	1.98m ²	EAST	600 EAVE	1050	2420
W09	620H x 1525W	AL. AWNING	0.80m ²	SOUTH	600 EAVE	1800	2420
W10	1825H x 750W	AL. FIXED	1.40m ²	SOUTH	600 EAVE	595	2420
W11	900H x 1570W	AL. AWNING	1.40m ²	SOUTH	600 EAVE	1200	2100
W12	600H x 1800W	AL. AWNING	1.08m ²	WEST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. DHUNG	1.98m ²	WEST	600 EAVE	1050	2420

WINDOW SCHEDULE - UNIT 2

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DHUNG	1.90m ²	EAST	600 EAVE	-	2100
W02	900H x 2100W	AL. SLIDING	1.08m ²	WEST	600 EAVE	1200	2100
W03	2100H x 1810W	SLIDING DOOR	3.78m ²	WEST	600 EAVE	-	2100
W04	900H x 600W	AL. SLIDING	0.54m ²	NORTH	2000 EAVE	1520	2420
W05	1370H x 1450W	AL. DHUNG	1.98m ²	EAST	600 EAVE	1050	2420
W06	1370H x 1450W	AL. DHUNG	1.98m ²	EAST	600 EAVE	1050	2420
W07	1370H x 1450W	AL. DHUNG	1.98m ²	WEST	600 EAVE	1050	2420
W08	1825H x 750W	AL. AWNING	1.35m ²	WEST	600 EAVE	595	2420
W09	620H x 1525W	AL. AWNING	0.80m ²	NORTH	600 EAVE	1800	2420
W10	1825H x 750W	AL. AWNING	1.40m ²	NORTH	600 EAVE	595	2420
W11	900H x 1570W	AL. AWNING	1.40m ²	WEST	600 EAVE	1520	2420
W12	600H x 1800W	AL. AWNING	1.08m ²	WEST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. DHUNG	1.98m ²	WEST	600 EAVE	1050	2420

WINDOW SCHEDULE - UNIT 3

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)</
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FINISHES SCHEDULE	
ROOF CLADDING	A TYPE - COLORBOND STEEL COLOUR - MONUMENT
FASCIA	B TYPE - COLORBOND STEEL COLOUR - WHITE
GUTTERS	C TYPE - STEEL COLOUR - MONUMENT
DOWNPipes	D TYPE - PVC ROUND COLOUR - WHITE
MASONRY	E TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
CLADDING	F TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
GARAGE DOORS	G TYPE - B&D STEEL COLOUR - SURFMIST
WINDOW FRAMES	H TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
COLUMNS / FEATURE WALL	J TYPE - RENDERED MASONRY COLOUR - WHITE
COLUMNS / FEATURE WALL	K TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"
ALL CAR SPACES COMPLY WITH AS 2890.1-2004
WINDOW SCHEDULE - REFER FLOOR PLANS
FINISHES SCHEDULE - REFER A.01 COVER SHEET



NOTES
BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS IF A MINIMUM TO A BOUNDARY IS NOT CERTAIN A CHAIN SURVEY IS DESIRABLE.
LEVELS AND ELEVATIONS ARE APPROXIMATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS.
WHERE STORM WATER TRENCHES ARE REQUIRED, BIZZIE TO BE BOUNDARY TO BOUNDARY. THE BUILDER IS TO DETERMINE THE POSITION OF TRENCHES.
OF ROOF AREA, POSITION FOR MAXIMUM DAMAGE WHERE POSSIBLE.
ALL STORM WATER TRENCHES TO MEET THE REQUIREMENTS OF PT.1.2 OF THE BCA AND AS3900.2. INSTALL SEEPAGE PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

SECTION NOTES:
PROVIDE SELECTED STEEL ROOF TO MAIN HOOF TO MANUFACTURERS WRITTEN INSTRUCTIONS
PROVIDE SELECTED PREFABRICATED TIMBER TRUSSES AT 460 mm CENTRES TO MANUFACTURERS WRITTEN INSTRUCTIONS.
PROVIDE SUITABLE BATTENS AT CENTRES TO BUTT TIMBER JOINTS.
PROVIDE DOUBLE-SIDED INSULATION AS BARKING TO ROOF AND OUTSIDE FACE OF EXPOSED TIMBER FRAMING.
PROVIDE R2.6 INSULATION BLANKET TO ROOF OVER THE GABLE AREA AND GUTTERS.
PROVIDE GABLE CAVES AND GUTTERS AS SELECTED.
PROVIDE TIMBER TRUSSES WITH 10mm PLASTERBOARD AS DIRECTED.
LINE UNDERFACE OF EAVES AND SOFFIT WITH 10mm PLASTERBOARD.
FRAME UP FOR LOADBEARING WALLS WITH REINFORCED CONCRETE STUDS.
PROVIDE 10x90 P15 TIE-UP AND BOTTOM PLATES.
PROVIDE 60x35 PS STUDS AT 440x600.
PROVIDE 60x35 PS NOGGINGS AT MAX. 1350x600.

NOTE: ALL TIMBER SIZES TO BE VERIFIED WITH ENGINEER BEFORE ORDERING OR PROVIDED ALL STRUCTURAL STEEL MEMBERS TO ENGINEERS DETAILS.
STRUCTURAL FRAME UP FOR LOADBEARING WALLS WITH REINFORCED CONCRETE STUDS.
PROVIDE 10x90 P15 TIE-UP AND BOTTOM PLATES.
PROVIDE 60x35 PS NOGGINGS AT MAX. 1350x600.

TERMINATE EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAIL.

TIME FRAMED:
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TIME

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m ² 2 BED - 70m ²	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 2	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 3	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 4	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 5	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 6	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 7	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³
UNIT 8	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 9	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 10	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 11	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 12	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 13	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 14	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³

ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS
PLEASE REFER TO THE SGC ENGINEERING
DRAWING SET



FOR BASIX COMMITMENTS
PLEASE REFER TO BASIX DOCUMENTATION

COMPLIANCE SCHEDULE (REFER TO SOEE FOR FULL COMPLIANCES)	
LOTS 1 & 2 DP 509686	
Zone R3 Med. Density Residential	
Max. Bldg Height - 8.5m	
Heritage Listing - No	
Flood Zone - No	
Bushfire Zone - Part Vegetation Buffer	
Scenic Value - No	

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	DRIVeways & PARKING	3 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS +4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
DRIVE WIDTH	3.0m	3.5m MIN	YES	LANDSCAPED AREA	30% MIN (697m ²) (SEPP 2009) DEEP SOIL - 15% (349m ²)	>2m - 808m ² (34.80%) 349.8m ² (15%)	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES	POS	25m ² MIN	25m ² MIN	YES
				BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

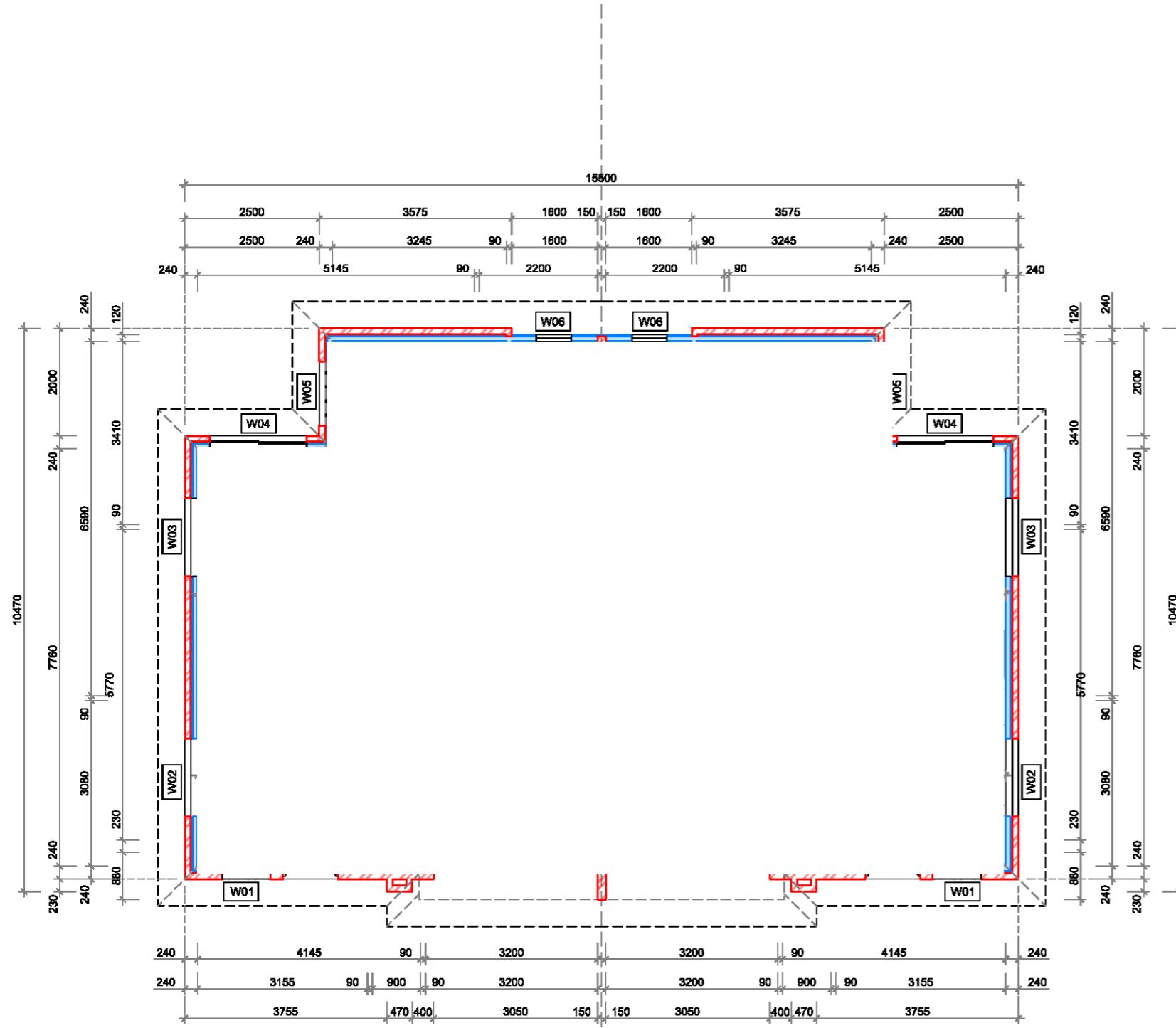
WALL LEGEND	
	NEW SINGLE-SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 10mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE: 13mm SOUND RESISTANT PLASTERBOARD SCREW
	FIXED TO RESILIENT MOUNTING FURRING CHANNEL WITH 9KG/M ³ POLYESTER INSULATION OTHER SIDE. 217mm WALL THICKNESS. R _w 60 (-2.8)

WINDOW SCHEDULE - UNIT 4

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DH/UNG	1.90m ²	EAST	600 EAVE	-	2100
W02	1370H x 1450W	AL. DH/UNG	1.98m ²	SOUTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. DH/UNG	1.98m ²	SOUTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	WEST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m ²	SOUTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m ²	WEST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. DH/UNG	1.98m ²	EAST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m ²	EAST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. DH/UNG	1.98m ²	SOUTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. DH/UNG	1.98m ²	SOUTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m ²	WEST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m ²	WEST	600 EAVE	1500	2420

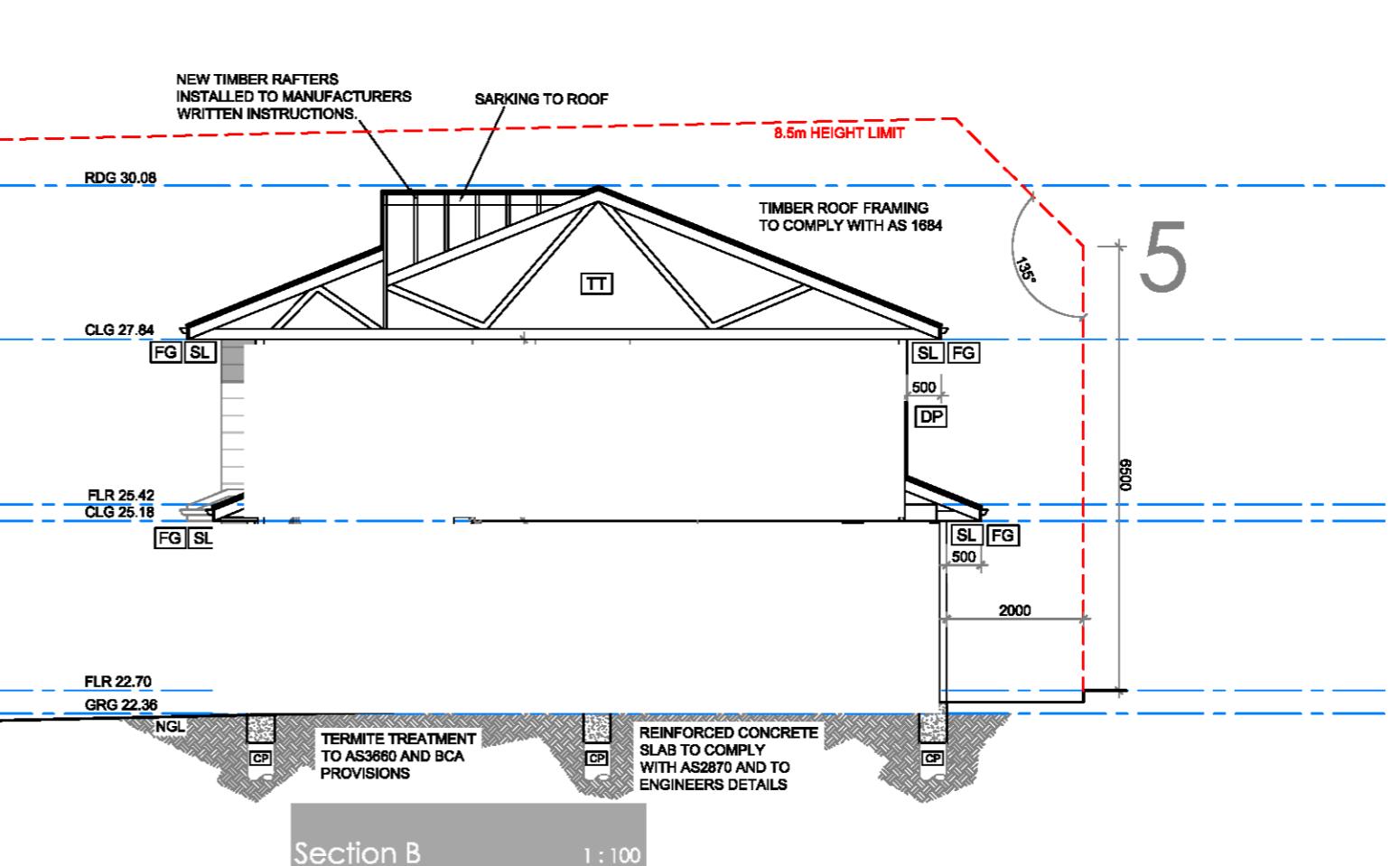
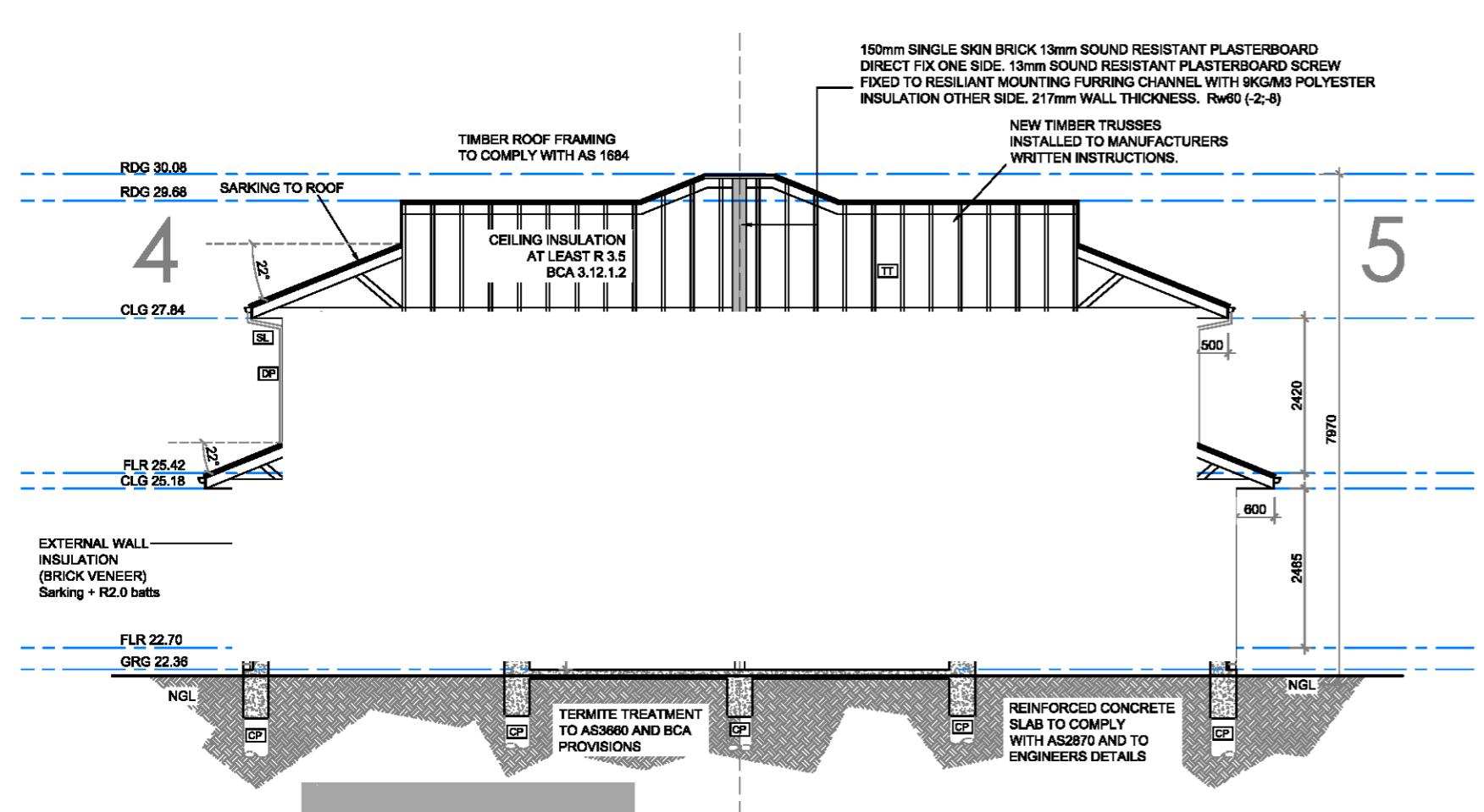
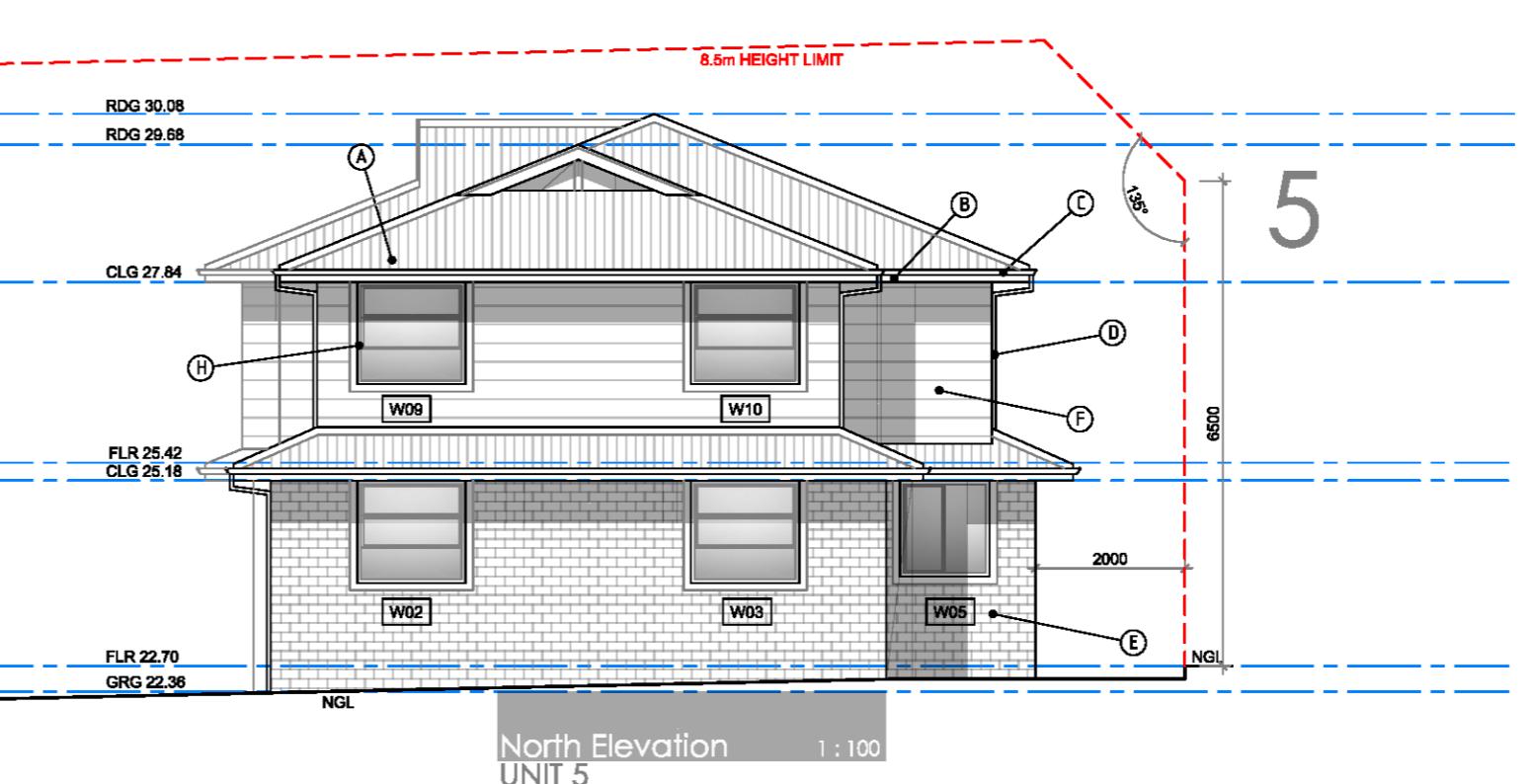
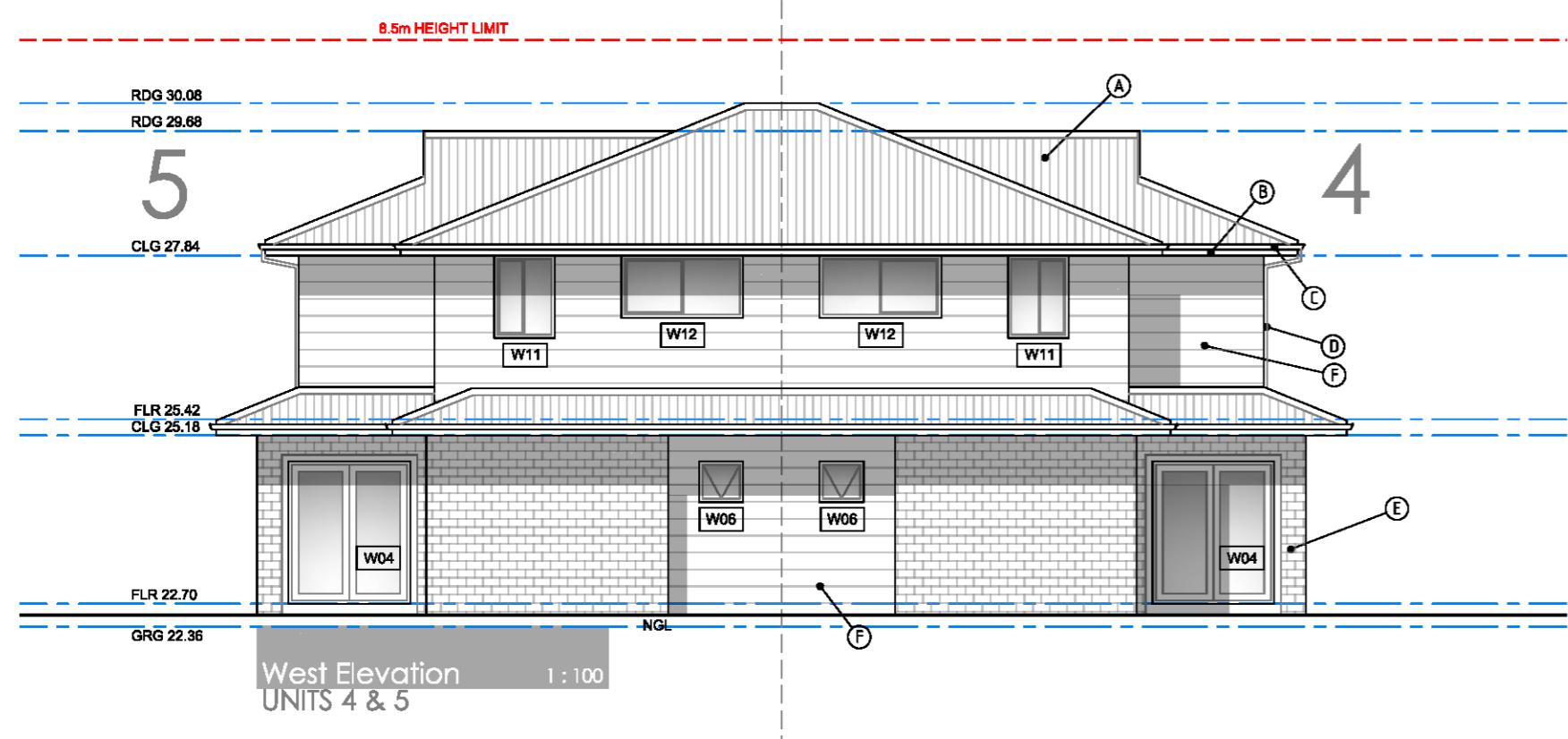
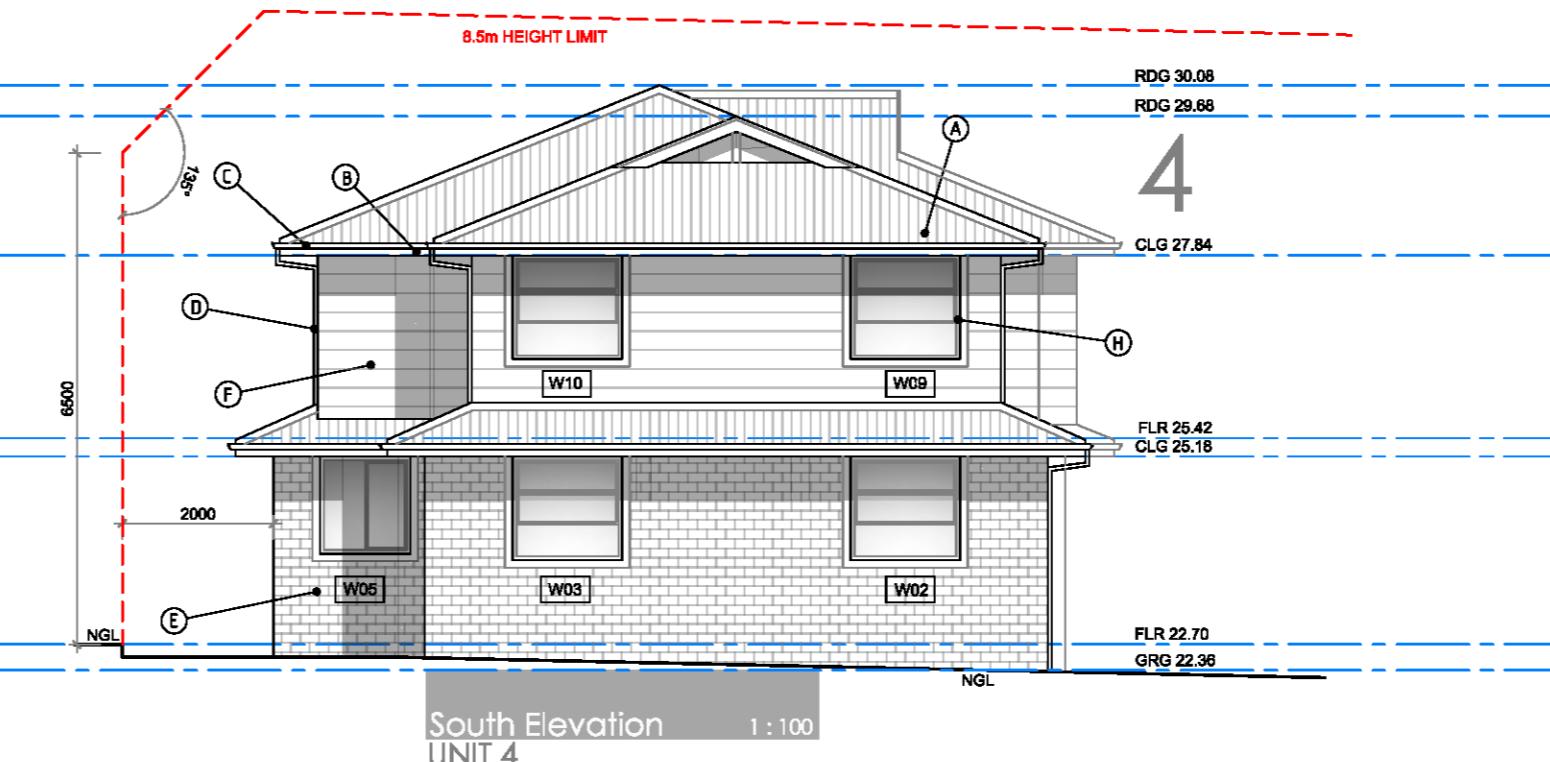
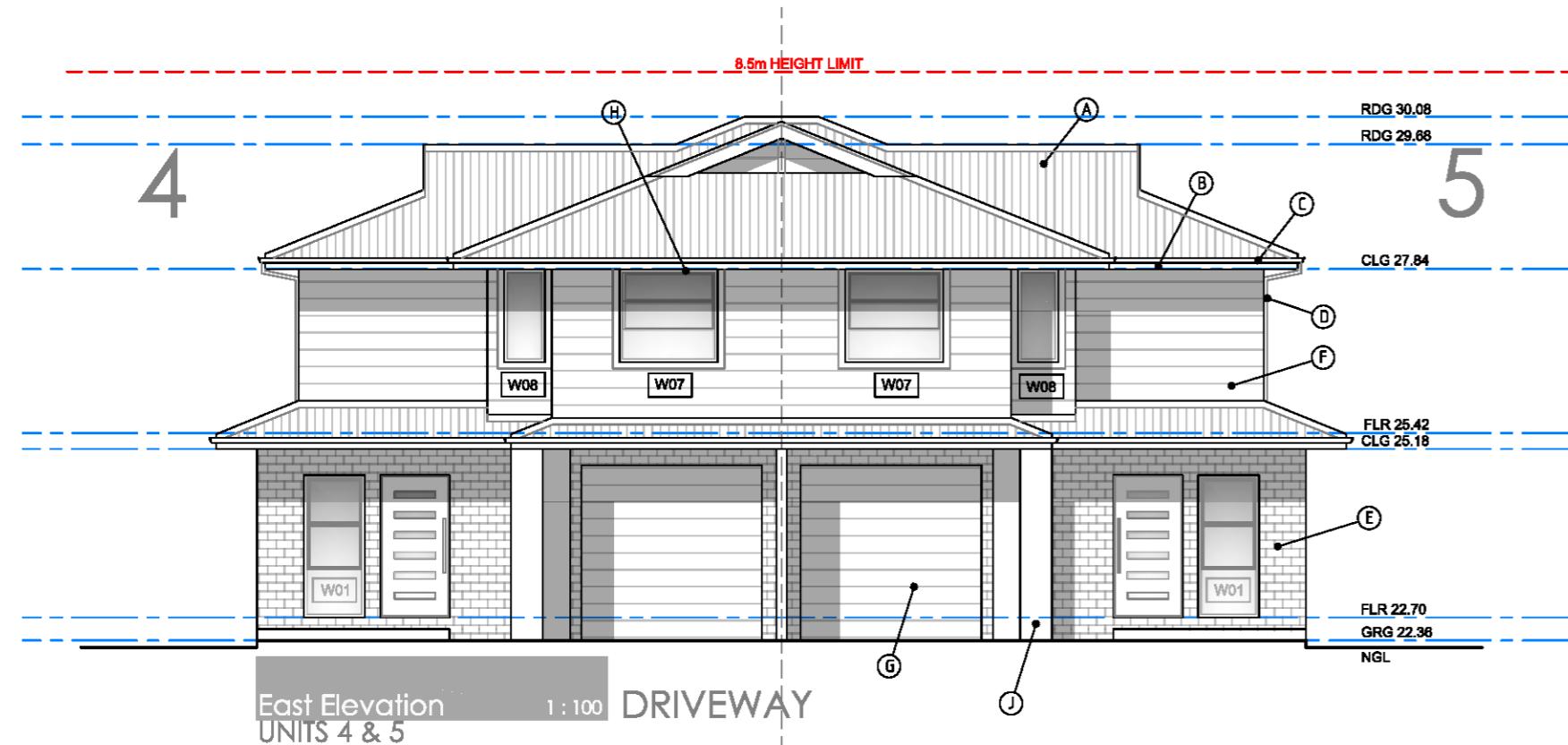
WINDOW SCHEDULE - UNIT 5

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DH/UNG	1.90m ²	EAST	600 EAVE	-	2100
W02	1370H x 1450W	AL. DH/UNG	1.98m ²	NORTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. DH/UNG	1.98m ²	NORTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	WEST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m ²	NORTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m ²	WEST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. DH/UNG	1.98m ²	EAST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m ²	EAST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. DH/UNG	1.98m ²	NORTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. DH/UNG	1.98m ²	NORTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m ²	WEST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m ²	WEST	600 EAVE	1500	2420



FINISHES SCHEDULE

	ROOF CLADDING
(A)	TYPE - COLORBOND STEEL COLOUR - MONUMENT
	FASCIA
(B)	TYPE - COLORBOND STEEL COLOUR - WHITE
	GUTTERS
(C)	TYPE - STEEL COLOUR - MONUMENT
	DOWNPipes
(D)	TYPE - PVC ROUND COLOUR - WHITE
	MASONRY
(E)	TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
	CLADDING
(F)	TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
	GARAGE DOORS
(G)	TYPE - B&D STEEL COLOUR - SURFMIST
	WINDOW FRAMES
(H)	TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
	COLUMNS / FEATURE WALL
(J)	TYPE - RENDERED MASONRY COLOUR - WHITE
	COLUMNS / FEATURE WALL
(K)	TYPE - RENDERED MASONRY COLOUR - MONUMENT



ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET



NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN, A CHAIN SURVEY IS DESIRABLE. LEVELLING IS THE RESPONSIBILITY OF THE BUILDER. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS. WHERE STORM WATER TRENCHES ARE REQUIRED, BIZZIE TO BE PROVIDED IN THE BOUNDARY AREA. PROVIDE A MAXIMUM 150MM DEPTH OF BIZZIE AREA, POSITION FOR MAXIMUM DRAAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.12. OF THE BCA AND AS3900.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

SECTION NOTES:

PROVIDE SELECTED STEEL ROOF TO MAIN HOOF TO MANUFACTURERS WRITTEN INSTRUCTIONS. PROVIDE SELECTED PREFABRICATED TIMBER TRUSSES AT 460 mm CENTRES TO MANUFACTURERS WRITTEN INSTRUCTIONS. PROVIDE SUITABLE BATTENS AT CENTRES TO BUTT JOINTS. PROVIDE DOUBLE-SIDED INSULATION AS BARKING TO ROOF AND OUTSIDE FACE OF EXTERIOR WALLS. PROVIDE R2.6 INSULATION BLANKET TO ROOF OVER THE BATTEN CAVES AND GUTTERS AS SELECTED. PROVIDE ALL CAVES AND GUTTERS AS SELECTED. PROVIDE TRUSSEBOARD WITH 10mm PLASTERBOARD AS DIRECTED. LINE UNDERFACE OF EAVES AND SOFFIT WITH 10mm PLASTERBOARD AS DIRECTED. FRAME UP FOR LOADBEARING WALLS WITH REINFORCED CONCRETE SLAB AND PROVIDE 20x90 P15 TOOP AND BOTTOM PLATES. PROVIDE 90x35 PS STUDS AT 440mm. PROVIDE 90x35 PS NOGGINGS AT MAX. 1350mm. STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.12.

NOTE: ALL TIMBER BEAMS TO BE VERIFIED WITH ENGINEER BEFORE ORDERING OR PROVIDED ALL STRUCTURAL STEEL MEMBERS TO ENGINEERS DETAILS.

PROVIDE ALL EXTERNAL CLADDING TO MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

TIME FRAMING: ALL TIME FRAMING SIZES, SPAN, SPACING, NOTCHING, CHECKING AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEER DETAILS AND PROVIDED BY THE BCA. THE WORK SHALL BE DONE IN A PROPER TRADESPERSON LIKE MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

MASONRY: ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.3. CLAY BRICKS ARE A NATURAL MILN FIRED PRODUCT AND AS SUCH THERE IS NO REASONABLE EXPECTATION OF DURABILITY.

MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.

MASONRY ACCESSORIES SHALL COMPLY WITH BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. ALL MASONRY SHALL BE REINFORCED AND PLASTERING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.

MASONRY RETAINING WALLS TO COMPLY WITH AS4972.

BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.

ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660.

SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3660.

CONSTRUCTION LEGEND

FG	STEEL FASCIA & GUTTER
DP	PVC DOWNPipe
AV	SELECTED ALUMINIUM WINDOW
SD	SELECTED SLIDING DOOR
BT	SELECTED TIMBER COLUMNS
IS	INTERNAL TIMBER STUD WALLS
CBL	CFC SOFFIT LINING
TT	TIMBER TRUSSES TO MNG DETAIL
TB	TIMBER BEAMS TO ENG. DETAIL
CS	CONC SLAB TO ENG. DETAIL
CP	CONC PIERs TO ENG. DETAIL

Concept	Quote	Production	Date
All dimensions in millimetres unless otherwise stated. Contractor to note that site dimensions refer to construction of work. Within dimensions take precedence over scales.	Do not scale from drawing	19.08.21	
	© All content remains the property obrien design+drafting.	19.08.21	
		DA ISSUE	
		A CONCEPT	
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		DESCRIPTION	
		SCALE	
		1: 200	
		DRG NO	
		71_AW_A.08	

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m ² 2 BED - 70m ²	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 2	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 3	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 4	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 5	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 6	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 7	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³
UNIT 8	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 9	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 10	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 11	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 12	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 13	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 14	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³

ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS
PLEASE REFER TO THE SGC ENGINEERING
DRAWING SET



FOR BASIX COMMITMENTS
PLEASE REFER TO BASIX DOCUMENTATION

COMPLIANCE SCHEDULE

(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686
Zone R3 Med. Density Residential
Max. Bldg Height - 8.5m
Heritage Listing - No
Flood Zone - No
Bushfire Zone - Part Vegetation Buffer
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	DRIVeways & PARKING	3 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS +4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
DRIVE WIDTH	3.0m	3.5m MIN	YES	LANDSCAPED AREA	30% MIN (697m ²) (SEPP 2009) DEEP SOIL - 15% (349m ²) 349.8m ² (15%)	>2m - 808m ² (34.80%) 349.8m ² (15%)	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES	POS	25m2 MIN	25m2 MIN	YES
				BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND

	NEW SINGLE-SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 10mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE: 13mm SOUND RESISTANT PLASTERBOARD SCREW FIXED TO RESILIENT MOUNTING FURRING CHANNEL WITH 9KG/M ³ POLYESTER INSULATION OTHER SIDE: 217mm WALL THICKNESS. R _w 60 (-2.8)

WINDOW SCHEDULE - UNIT 8

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	600H x 1920W	AL. AWNING	1.15m ²	WEST	600 EAVE	1500	2100
W02	2100H x 600W	AL. DI/HUNG	1.28m ²	SOUTH	600 EAVE	-	2100
W03	900H x 1570W	AL. AWNING	1.40m ²	SOUTH	600 EAVE	1200	2100
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	SOUTH	2000 EAVE	-	2100
W05	1800H x 750W	AL. AWNING	1.35m ²	EAST	600 EAVE	300	2100
W06	1800H x 750W	AL. AWNING	1.35m ²	EAST	600 EAVE	300	2100
W07	965H x 600W	AL. DI/HUNG	0.80m ²	EAST	600 EAVE	1500	2485
W08	1370H x 1450W	AL. DI/HUNG	1.98m ²	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. DI/HUNG	1.98m ²	EAST	600 EAVE	1050	2420
W10	1370H x 1450W	AL. DI/HUNG	1.98m ²	EAST	600 EAVE	1050	2420
W11	900H x 1570W	AL. AWNING	0.90m ²	SOUTH	600 EAVE	1800	2420
W12	800H x 1800W	AL. AWNING	1.08m ²	EAST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. DI/HUNG	1.98m ²	EAST	600 EAVE	1050	2420

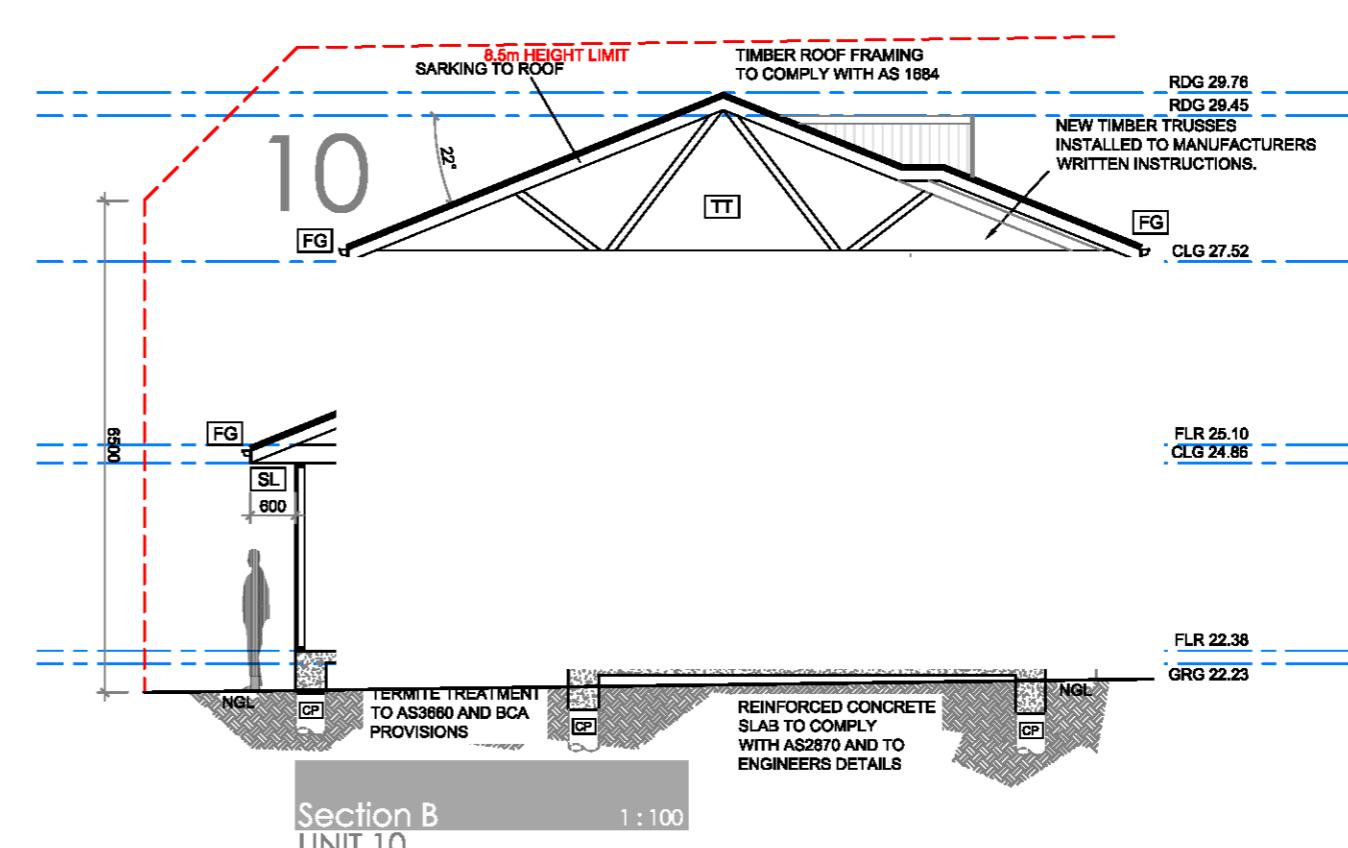
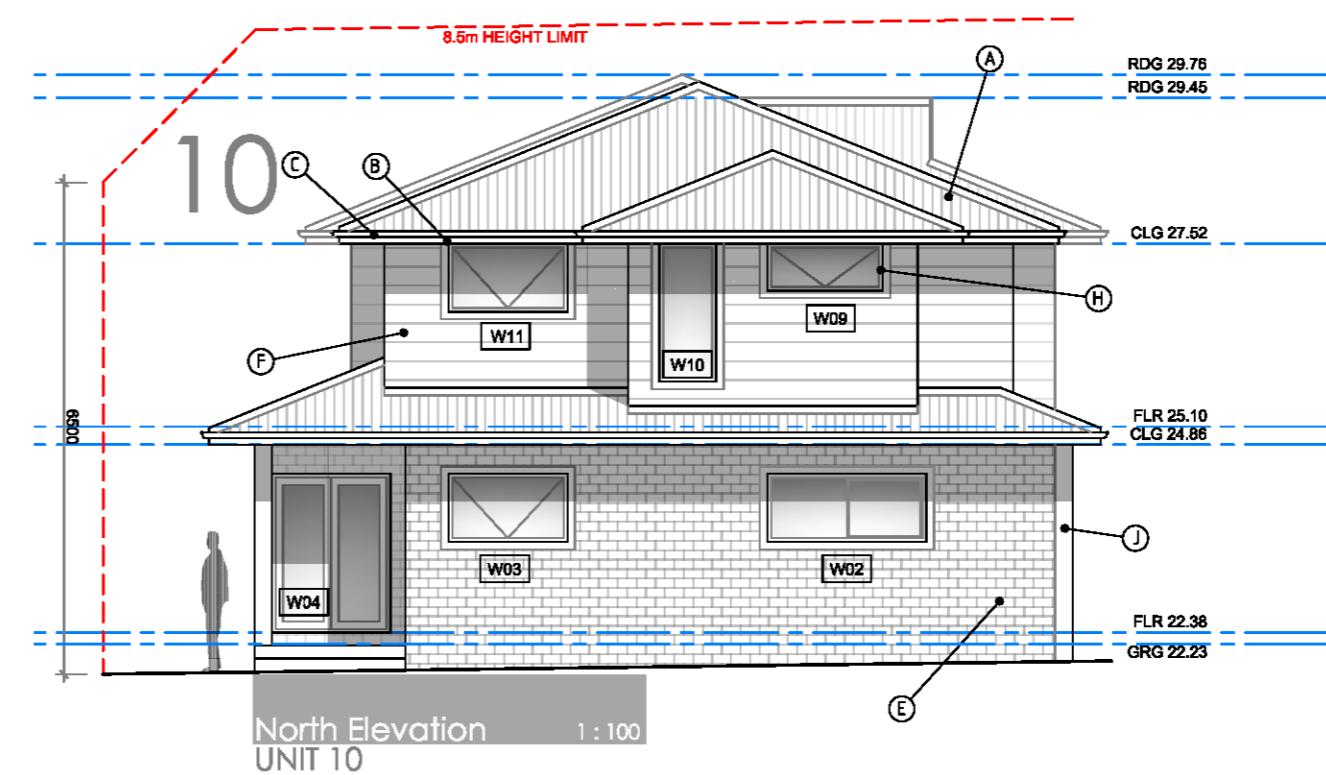
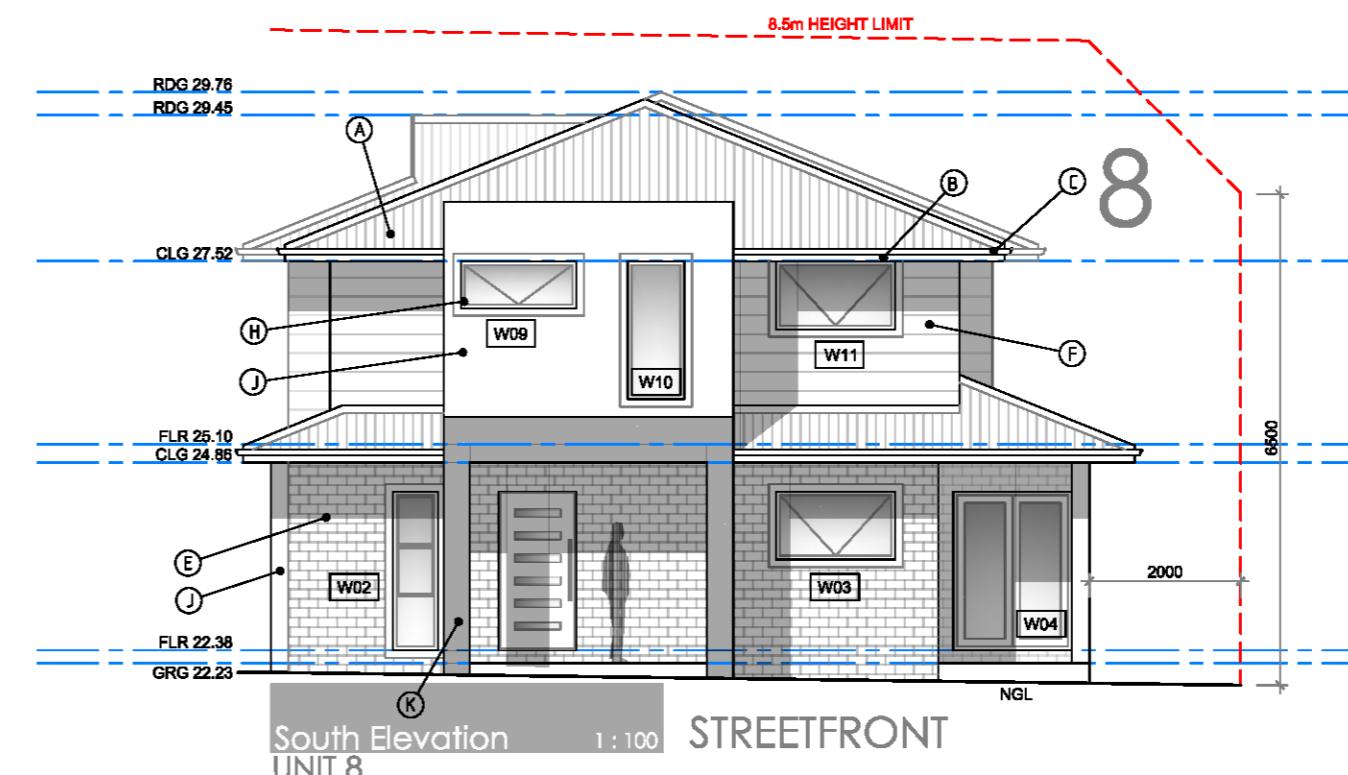
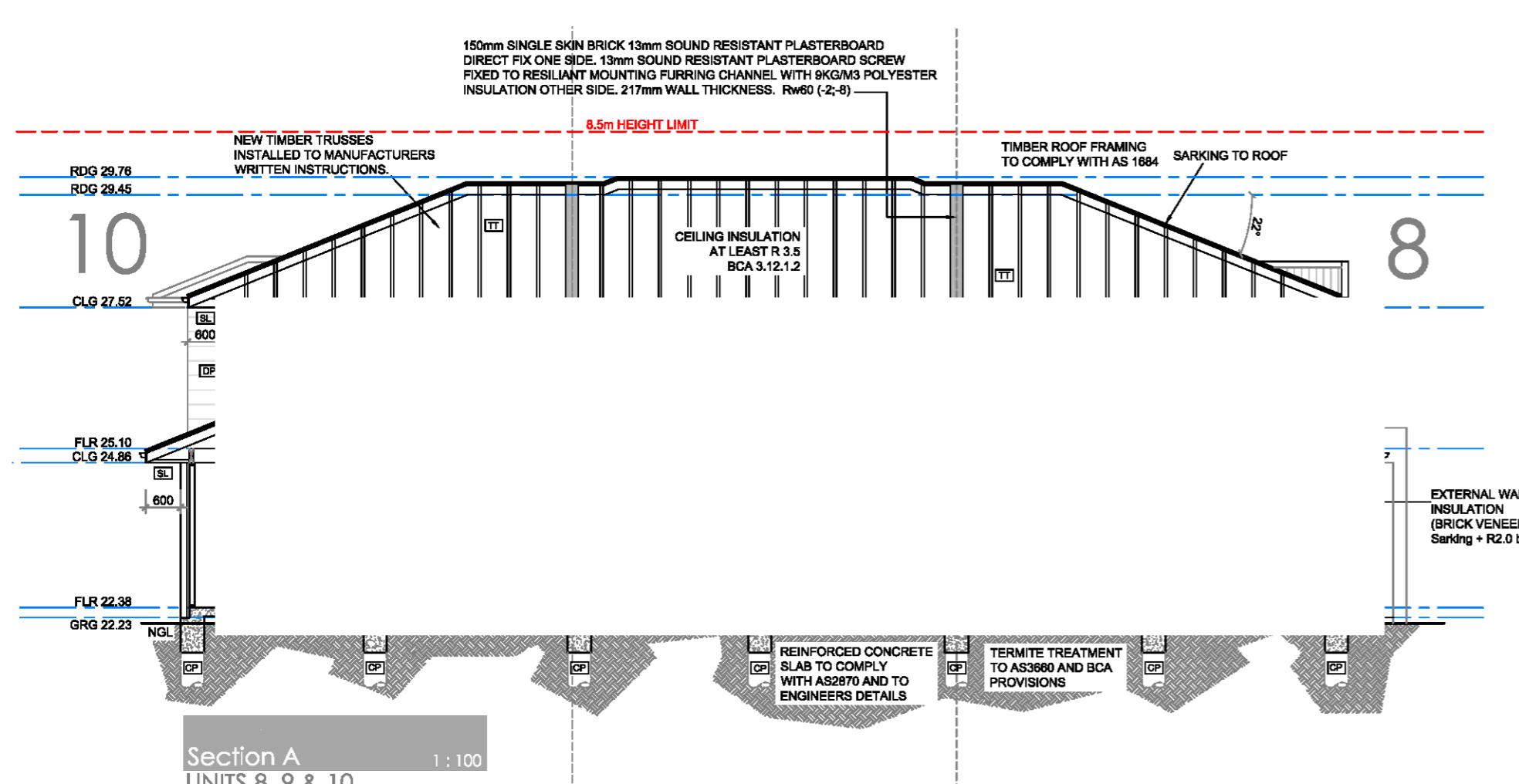
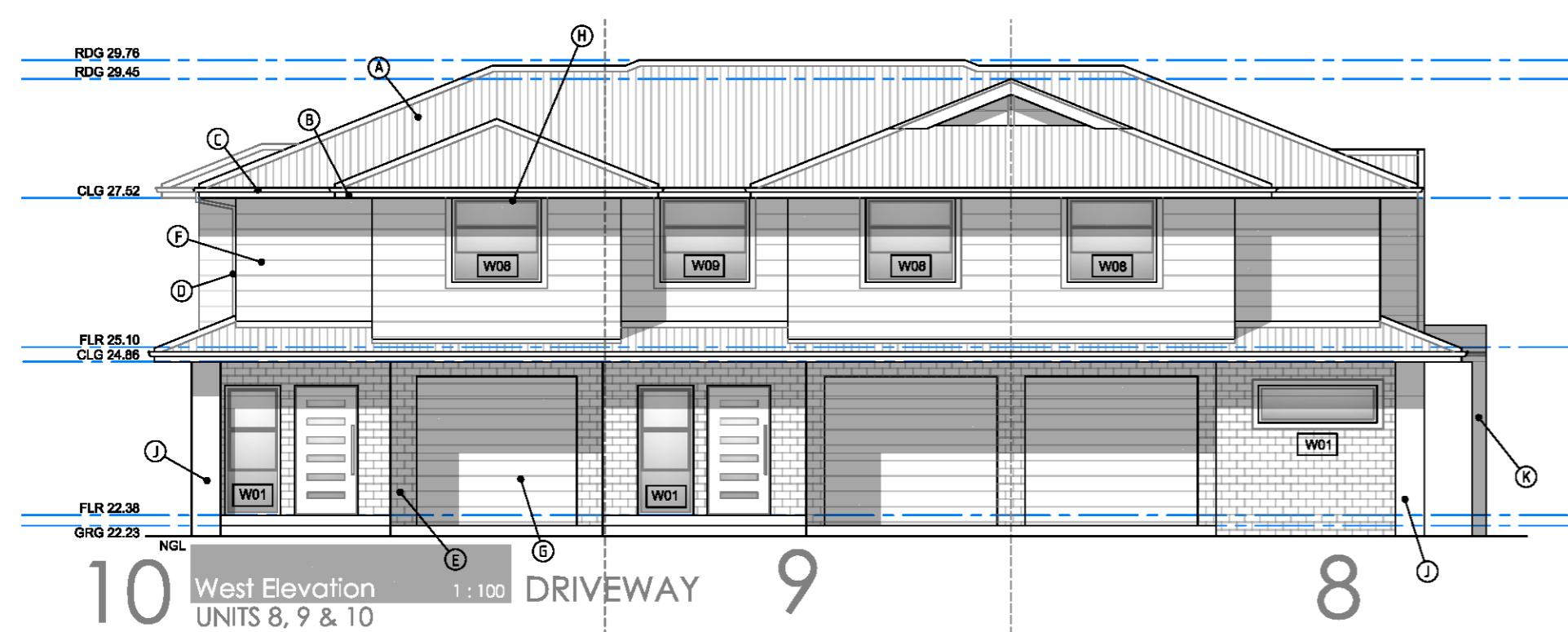
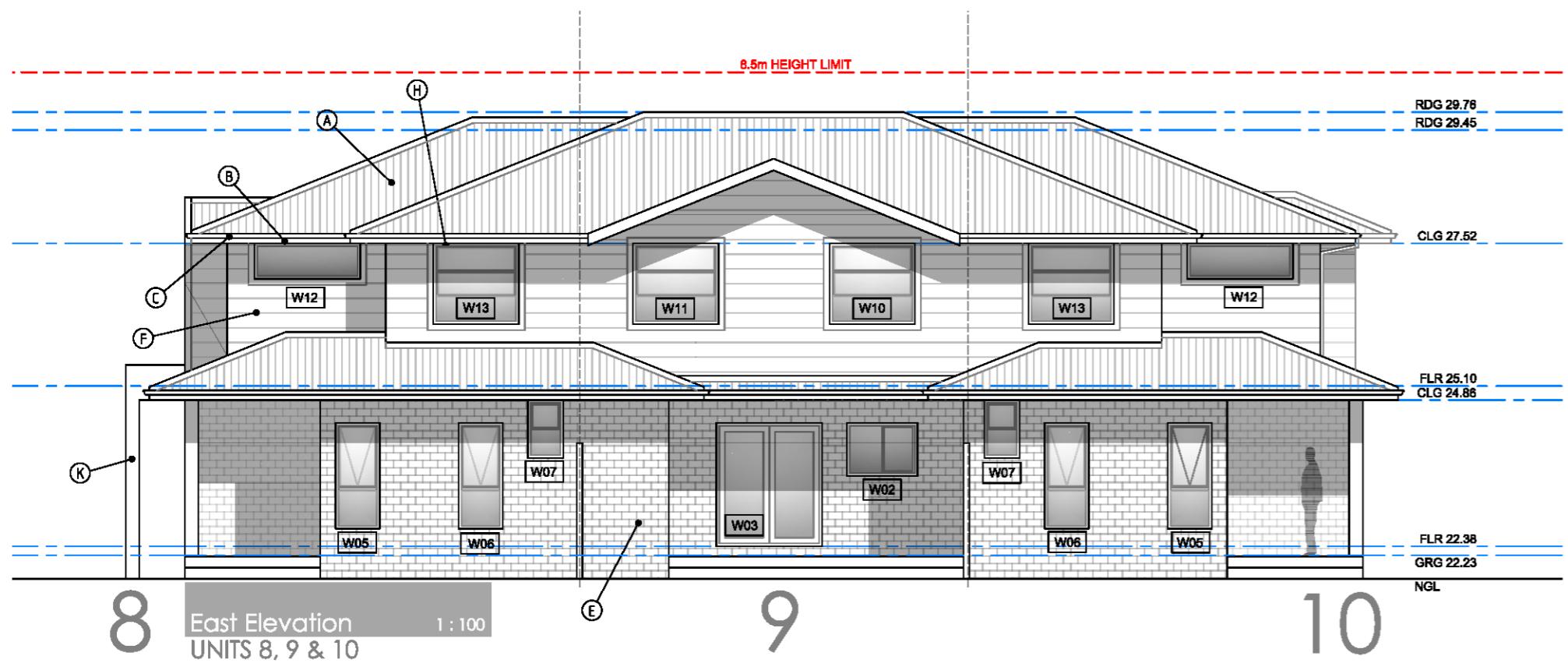
WINDOW SCHEDULE - UNIT 9

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DI/HUNG	1.80m ²	WEST	600 EAVE	-	2100
W02	900H x 2100W	AL. SLIDING	1.08m ²	EAST	600 EAVE	1200	2100
W03	900H x 1570W	AL. AWNING	1.40m ²	NORTH	2000 EAVE	1520	2420
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	NORTH	2000 EAVE	1520	2420
W05	1800H x 750W	AL. AWNING	1.35m ²	EAST	600 EAVE	300	2100
W06	1800H x 750W	AL. AWNING	1.35m ²	EAST	600 EAVE	300	2100
W07	985H x 600W	AL. DI/HUNG	0.80m ²	EAST	600 EAVE	1500	2485
W08	1370H x 1450W	AL. DI/HUNG	1.88m ²	WEST	600 EAVE	1050	2420
W09	620H x 1525W	AL. AWNING	0.90m ²	NORTH	600 EAVE	1800	2420
W10	1825H x 750W	AL. FIXED	1.40m ²	NORTH	600 EAVE	595	2420
W11	900H x 1570W	AL. AWNING	1.40m ²	EAST	600 EAVE	1520	2420
W12	600H x 1800W	AL. AWNING	1.08m ²	EAST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. DI/HUNG	1.98m ²	EAST	600 EAVE	1050	2420

WINDOW SCHEDULE - UNIT 10

CODE	SIZE	TYPE	AREA (m²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)

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FINISHES SCHEDULE	
	ROOF CLADDING A TYPE - COLORBOND STEEL COLOUR - MONUMENT
	FASCIA B TYPE - COLORBOND STEEL COLOUR - WHITE
	GUTTERS C TYPE - STEEL COLOUR - MONUMENT
	DOWNPipes D TYPE - PVC ROUND COLOUR - WHITE
	MASONRY E TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
	CLADDING F TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
	GARAGE DOORS G TYPE - B&D STEEL COLOUR - SURFMIST
	WINDOW FRAMES H TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
	COLUMNS / FEATURE WALL I TYPE - RENDERED MASONRY COLOUR - WHITE
	COLUMNS / FEATURE WALL J TYPE - RENDERED MASONRY COLOUR - MONUMENT
	K TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"
ALL CAR SPACES COMPLY WITH AS 2890.1-2004
WINDOW SCHEDULE - REFER FLOOR PLANS
FINISHES SCHEDULE - REFER A.01 COVER SHEET



NOTES
BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN, A CHAIN SURVEY IS DESIRABLE. LEVELS ARE FIGURED DIMENSIONS. FOR THE BCA 3.2.2, THE BUILDER SHOULD VISIT THE SITE AND CHECK TRENCHES. WHERE STORM WATER TRENCHES ARE REQUIRED, B22 TO BE BOUNDARY DIMENSIONS. B22 IS THE MAXIMUM ALLOWABLE TRENCHES OF ROOF AREA. POSITION FOR MAXIMUM DAMAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.1.2.1 OF THE BCA AND AS3900.3. INSTALL PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

SECTION NOTES:
PROVIDE SELECTED STEEL TO MAIN ROOF TO MANUFACTURERS WRITTEN INSTRUCTIONS

PROVIDE SELECTED PREFABRICATED TIMBER TRUSSES AT 460 mm CENTRES TO MANUFACTURERS WRITTEN INSTRUCTIONS. PROVIDE SUITABLE BATTENS AT CENTRES TO BUTT Joints. PROVIDE DOUBLE-SIDED INSULATION AS BARKING TO ROOF AND OUTSIDE FACE OF EXPOSED TIMBER FRAMING. PROVIDE R2.6 INSULATION BLANKET TO ROOF OVER INTEGRAL CAVES AND GUTTERS. PROVIDE DOUBLE-SIDED INSULATION AS BARKING TO ROOF AND OUTSIDE FACE OF EXPOSED TIMBER FRAMING. PROVIDE 60x65 PS STUDS AT 460mm CENTRES TO MANUFACTURERS WRITTEN INSTRUCTIONS. PROVIDE 60x65 PS NOGGINGS AT MAX. 1350mm CENTRES TO MANUFACTURERS WRITTEN INSTRUCTIONS.

UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2. GROUTING REQUIREMENTS P2.1, P2.2 AND CLAUSE 3.1.10.

COMPLETE REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.1.10. APPROX TO 10% REINFORCEMENT SHALL BE USED TO COMPENSATE FOR THE MAXIMUM DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPAKED IN ACCORDANCE WITH GOOD BUILDING PRACTICE. ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3900.

STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 1.2.

EXTERNAL CLADDING
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

TIME FRAMES:
ALL TIME FRAMEWORK SIZES, SPAN, SPACING, NOTCHING, CHECKING AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEER DETAILS AND THE MANUFACTURER'S INSTRUCTIONS. THE WORK SHALL BE DONE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

MASONRY
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.3. CLAY BRICKS ARE A NATURAL MILN FIRED PRODUCT AND AS SUCH THERE IS NO REASONABLE EXPECTATION OF HAZARD. MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.

MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. THE WORK SHALL MEET CORROSION RESISTANT APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.

MASONRY RETAINING WALLS TO COMPLY WITH AS4786.

ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.3. CLAY BRICKS ARE A NATURAL MILN FIRED PRODUCT AND AS SUCH THERE IS NO REASONABLE EXPECTATION OF HAZARD. MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.

MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. THE WORK SHALL MEET CORROSION RESISTANT APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.

CONSTRUCTION LEGEND

[Icon] STEEL FASCIA & GUTTER	[Icon] DPC DOWNPIPE	[Icon] AW SELECTED ALUMINIUM WINDOW	[Icon] SD SELECTED SLIDING DOOR	[Icon] BE BLUEBOARD PAINTED AS SELECTED	[Icon] SC SELECTED TIMBER COLUMNS	[Icon] IS INTERNAL TIMBER STUD WALLS	[Icon] CFC SOFFIT LINING	[Icon] TT TIMBER TRUSSES TO MNG DETAIL	[Icon] TB TIMBER BEAMS TO ENG. DETAIL	[Icon] CS CONC SLAB TO ENG. DETAIL	[Icon] CP CONC PIERs TO ENG. DETAIL
[Icon] Concept	[Icon] Quote	[Icon] Production	DATE 19.08.21								
			DIN BY AO'B								
				B DA ISSUE							
				A CONCEPT							
					ANMENDMENT DESCRIPTION						
						SCALE 1:200					
						DIG NO 71_AW_A.12					

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m ² 2 BED - 70m ²	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 2	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 3	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 4	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 5	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 6	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 7	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³
UNIT 8	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 9	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 10	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 11	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 12	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 13	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 14	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³

ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS
PLEASE REFER TO THE SGC ENGINEERING
DRAWING SET



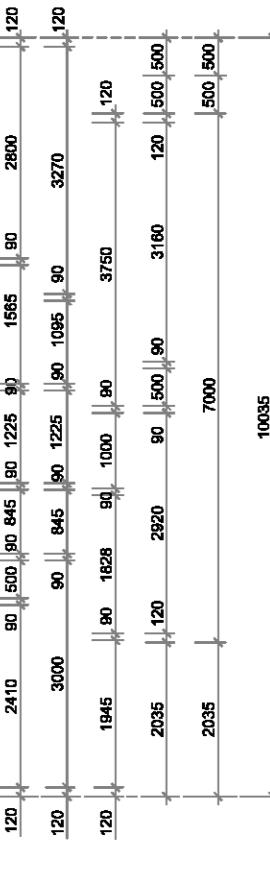
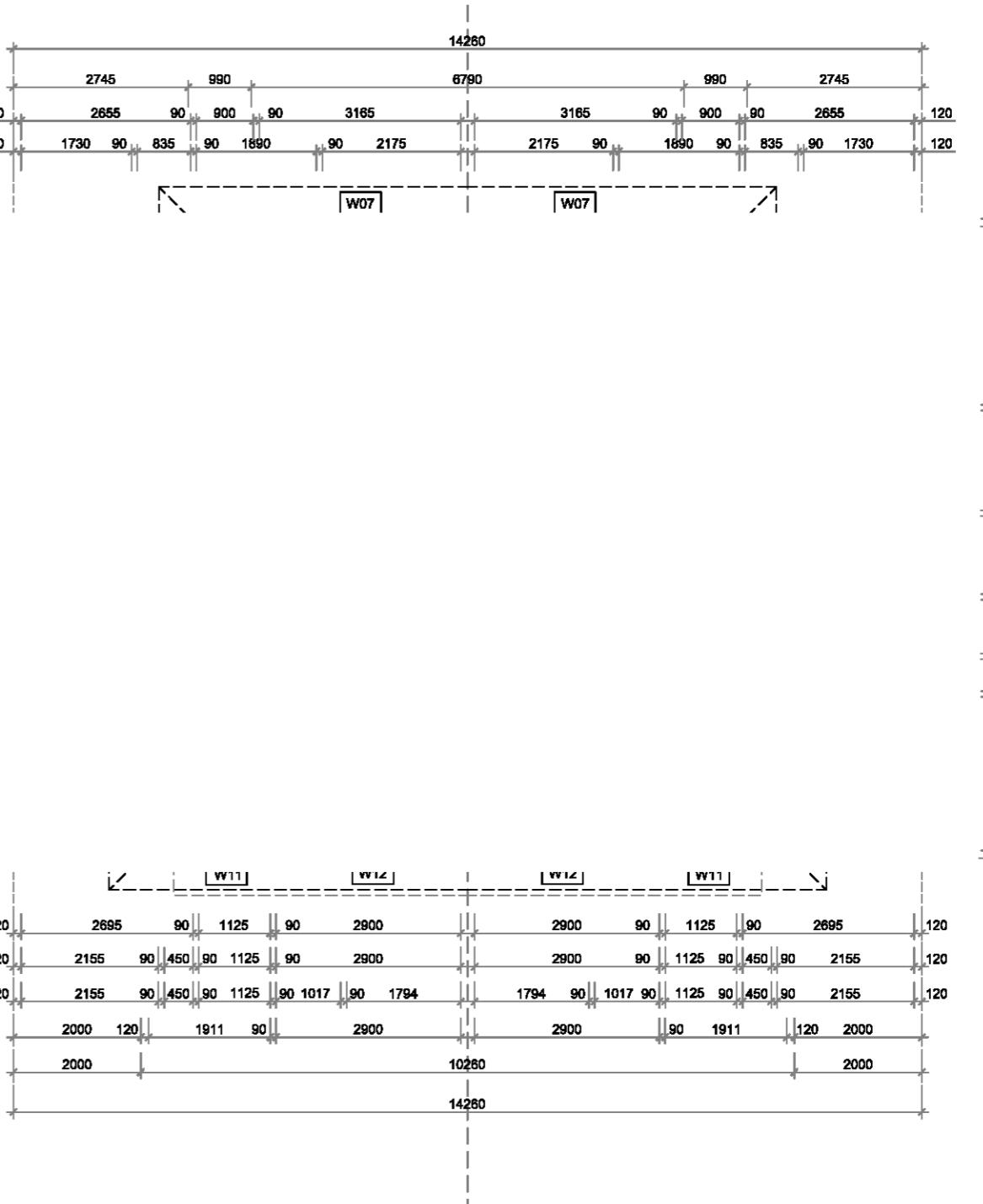
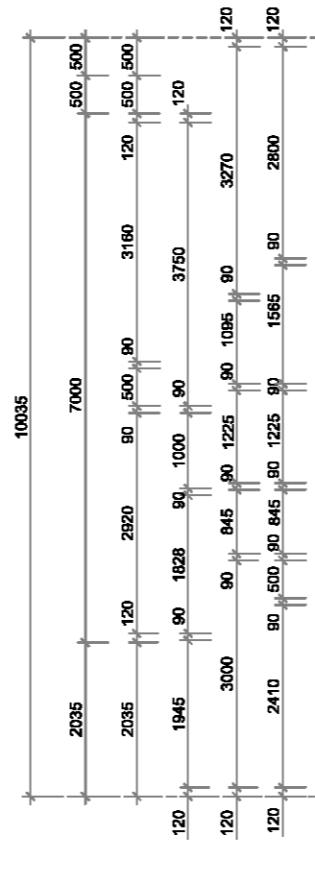
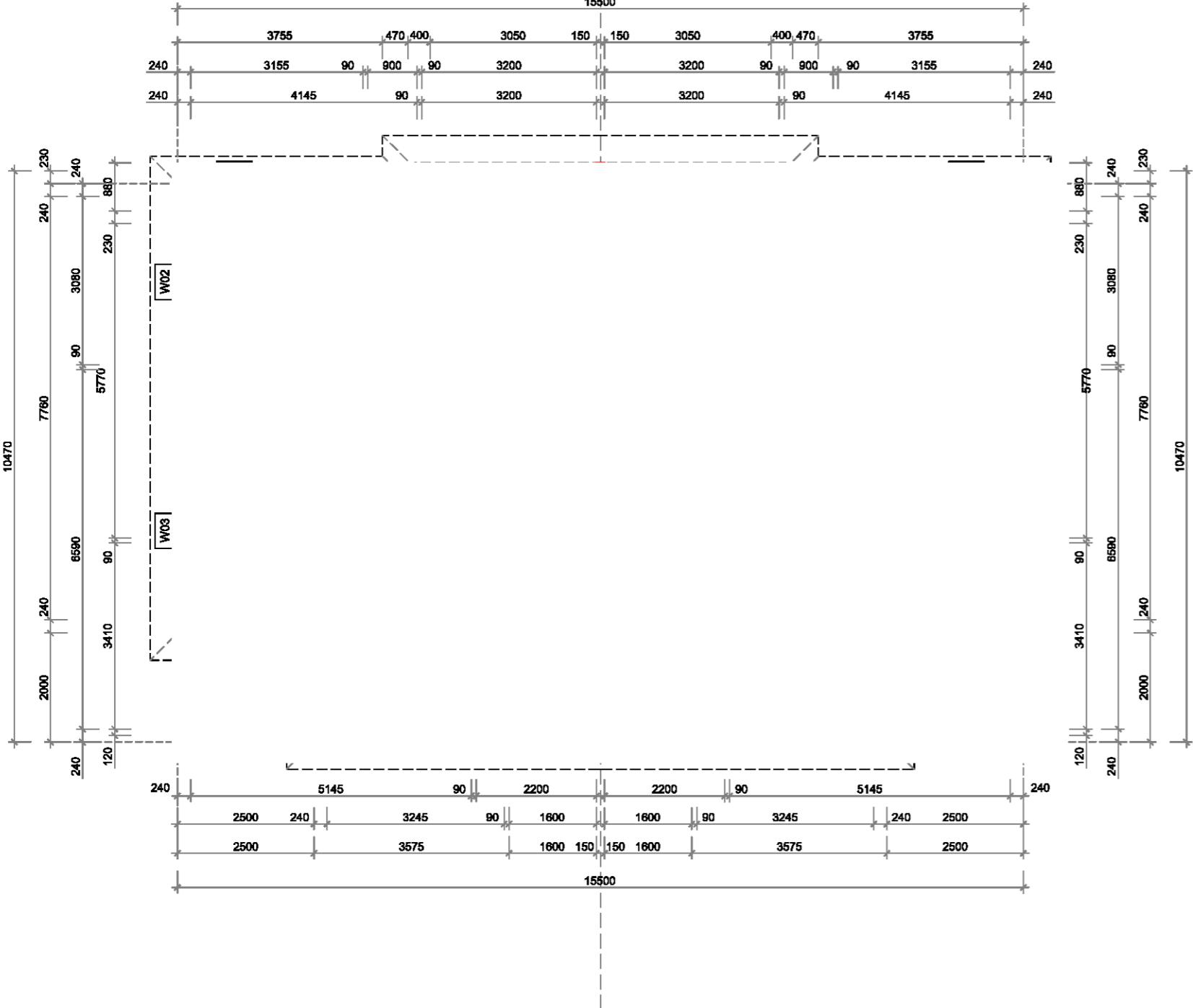
FOR BASIX COMMITMENTS
PLEASE REFER TO BASIX DOCUMENTATION

COMPLIANCE SCHEDULE (REFER TO SOEE FOR FULL COMPLIANCES)		TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOTS 1 & 2 DP 509686		LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
Zone R3 Med. Density Residential		LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
Max. Bldg Height - 8.5m		FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
Heritage Listing - No		REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	DRIVeways & PARKING	3 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS +4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
Flood Zone - No		DRIVE WIDTH	3.0m	3.5m MIN	YES	LANDSCAPED AREA	30% MIN (697m ²) (SEPP 2009) DEEP SOIL - 15% (349m ²) 349.8m ² (15%)	>2m - 808m ² (34.80%)	YES
Bushfire Zone - Part Vegetation Buffer		BUILDING SEPARATION		6M MIN	YES	POS	25m ² MIN	25m ² MIN	YES
Scenic Value - No						BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND	
	NEW SINGLE-SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 10mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE: 13mm SOUND RESISTANT PLASTERBOARD SCREW
	FIXED TO RESILIENT MOUNTING FURRING CHANNEL WITH 9KG/M ³ POLYESTER INSULATION OTHER SIDE. 217mm WALL THICKNESS. R _w 60 (-2.8)

WINDOW SCHEDULE - UNIT 11							
CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DHUNG	1.90m ²	WEST	600 EAVE	-	2100
W02	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	EAST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m ²	SOUTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m ²	EAST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. DHUNG	1.98m ²	WEST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m ²	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m ²	EAST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.85m ²	EAST	600 EAVE	1500	2420

WINDOW SCHEDULE - UNIT 12							
CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DHUNG	1.90m ²	WEST	600 EAVE	-	2100
W02	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	EAST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m ²	NORTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m ²	EAST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. DHUNG	1.98m ²	WEST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m ²	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m ²	EAST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.85m ²	EAST	600 EAVE	1500	2420



DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m ² 2 BED - 70m ²	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 2	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 3	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 4	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 5	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 6	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 7	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³
UNIT 8	37.00m ²	47.00m ²	84.00m ²	29.00m ²	2	1.0	10.20m ³
UNIT 9	32.00m ²	53.00m ²	85.00m ²	23.00m ²	2	1.0	10.60m ³
UNIT 10	37.00m ²	47.00m ²	84.00m ²	34.00m ²	2	1.0	10.20m ³
UNIT 11	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 12	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 13	43.00m ²	57.00m ²	100.00m ²	36.00m ²	3	1.5	11.00m ³
UNIT 14	43.00m ²	57.00m ²	100.00m ²	62.00m ²	3	1.5	11.00m ³

ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS
PLEASE REFER TO THE SGC ENGINEERING
DRAWING SET



FOR BASIX COMMITMENTS
PLEASE REFER TO BASIX DOCUMENTATION

COMPLIANCE SCHEDULE (REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686
Zone R3 Med. Density Residential
Max. Bldg Height - 8.5m
Heritage Listing - No
Flood Zone - No
Bushfire Zone - Part Vegetation Buffer
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	DRIVeways & PARKING	3 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS +4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
DRIVE WIDTH	3.0m	3.5m MIN	YES	LANDSCAPED AREA	30% MIN (697m ²) (SEPP 2009) DEEP SOIL - 15% (349m ²) 349.8m ² (15%)	>2m - 808m ² (34.80%) 349.8m ² (15%)	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES	POS	25m2 MIN	25m2 MIN	YES
				BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

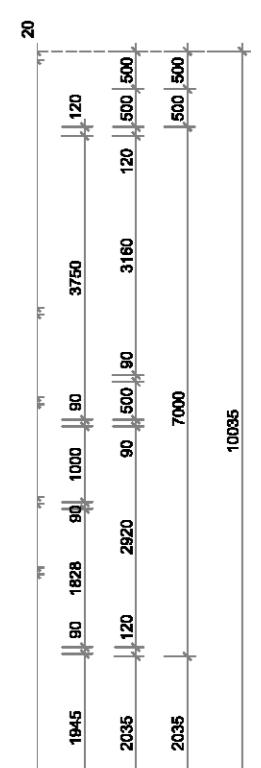
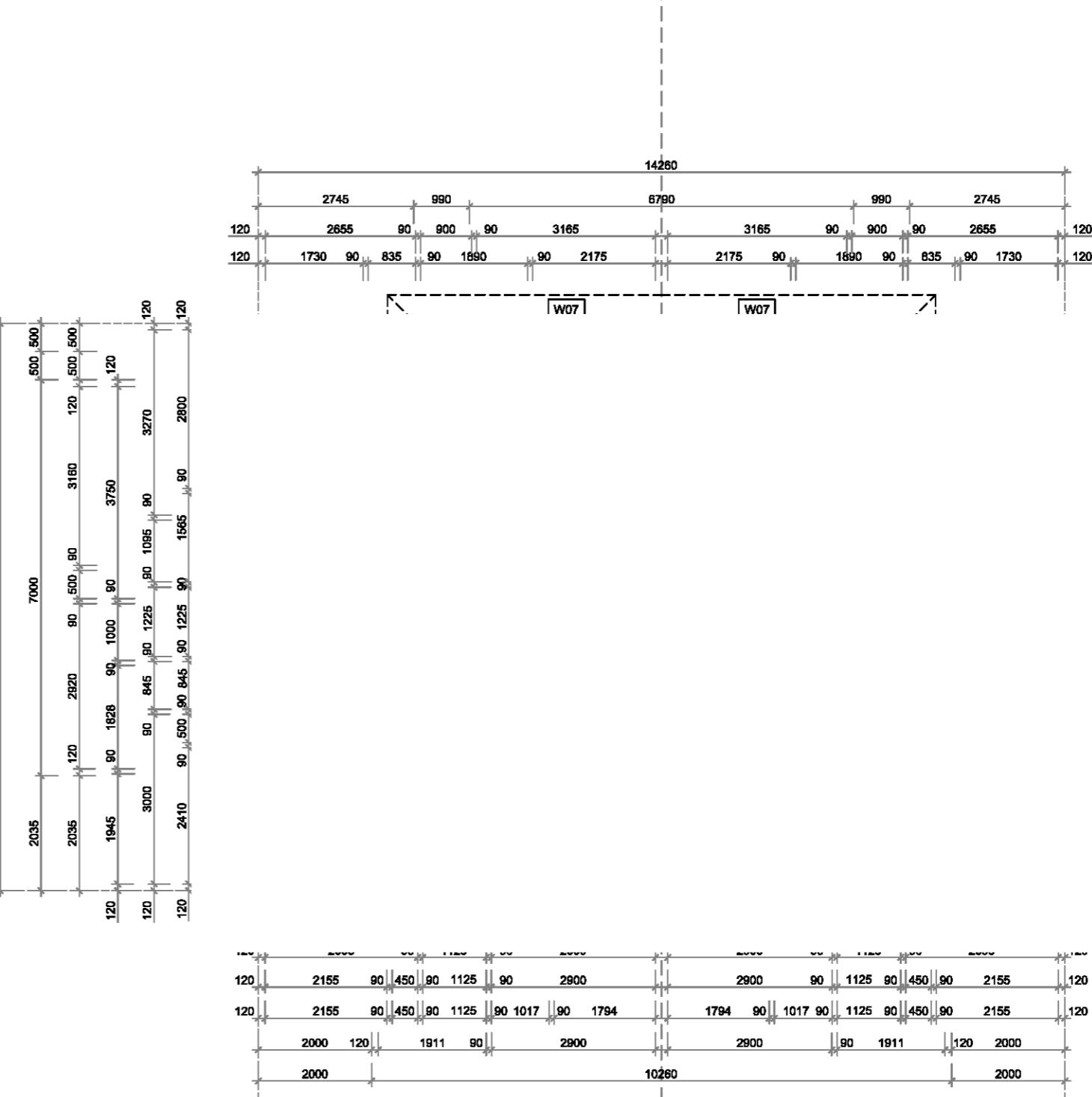
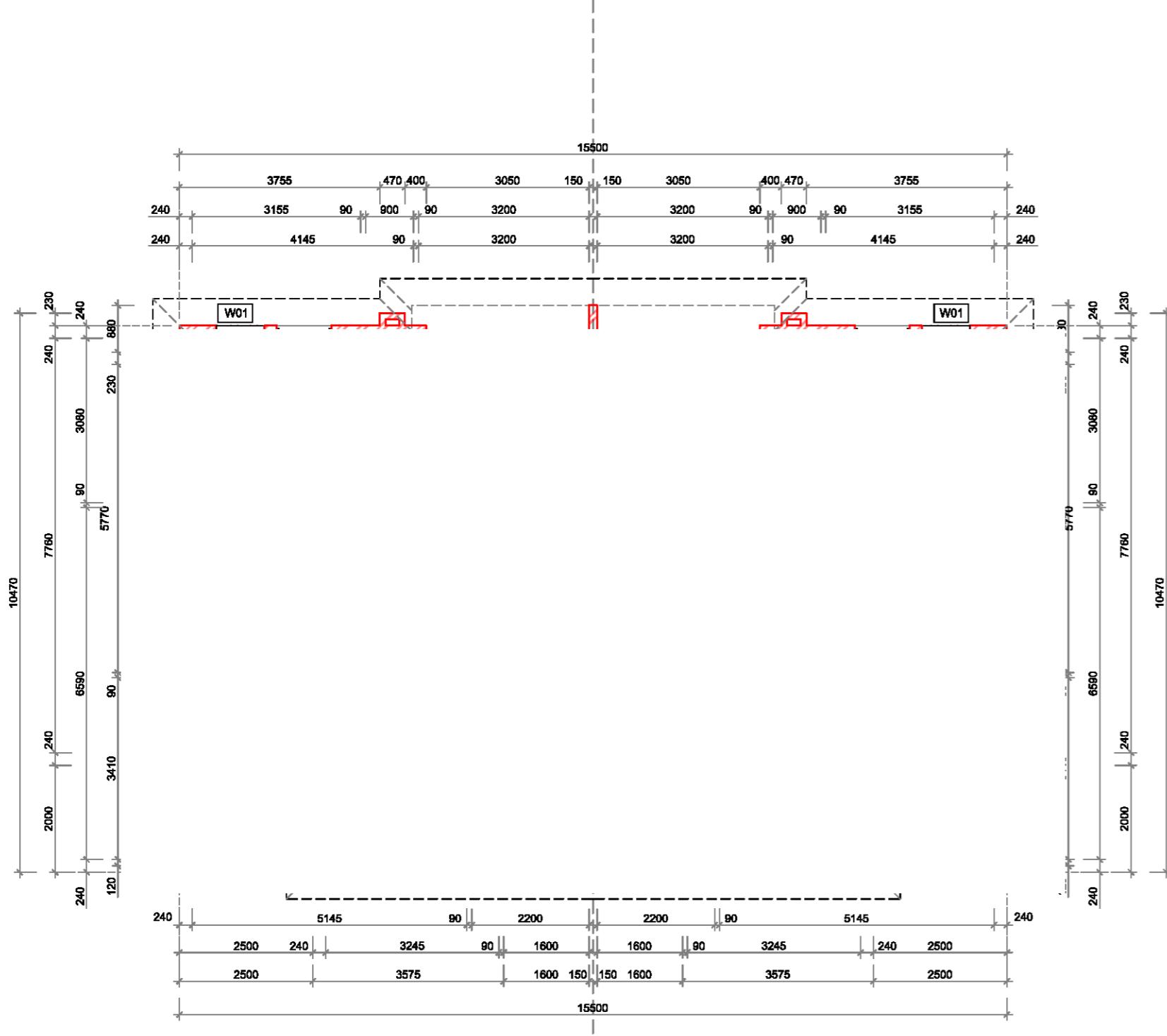
WINDOW SCHEDULE - UNIT 13

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DHUNG	1.90m ²	WEST	600 EAVE	-	2100
W02	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	EAST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m ²	SOUTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m ²	EAST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. DHUNG	1.98m ²	WEST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m ²	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. DHUNG	1.98m ²	SOUTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m ²	EAST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.85m ²	EAST	600 EAVE	1500	2420

WINDOW SCHEDULE - UNIT 14

CODE	SIZE	TYPE	AREA (m ²)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. DHUNG	1.90m ²	WEST	600 EAVE	-	2100
W02	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m ²	EAST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m ²	NORTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m ²	EAST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. DHUNG	1.98m ²	WEST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m ²	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. DHUNG	1.98m ²	NORTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m ²	EAST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.85m ²	EAST	600 EAVE	1500	2420

WALL LEGEND	
	NEW SINGLE-SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 10mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE: 13mm SOUND RESISTANT PLASTERBOARD SCREW FIXED TO RESILIENT MOUNTING FURRING CHANNEL WITH 9KG/M ³ POLYESTER INSULATION OTHER SIDE. 217mm WALL THICKNESS. Rw60 (-2-8)



ALL DEMOLITION TO COMPLY WITH AS 2601-1991
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPipes TO COMPLY WITH BCA F1.5

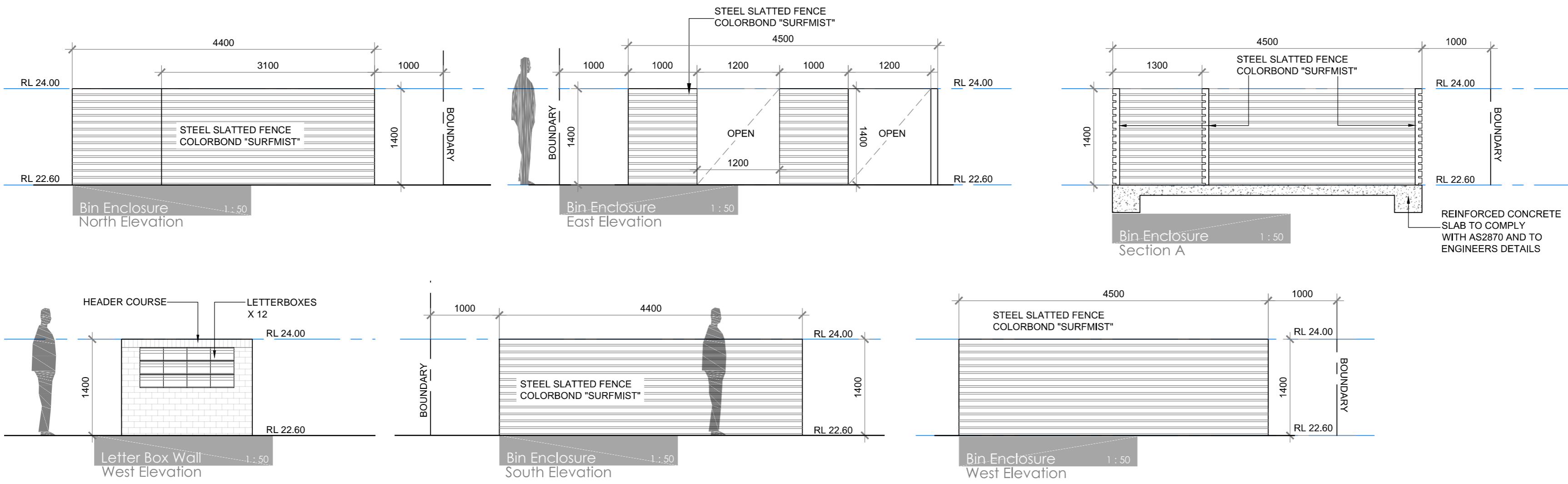
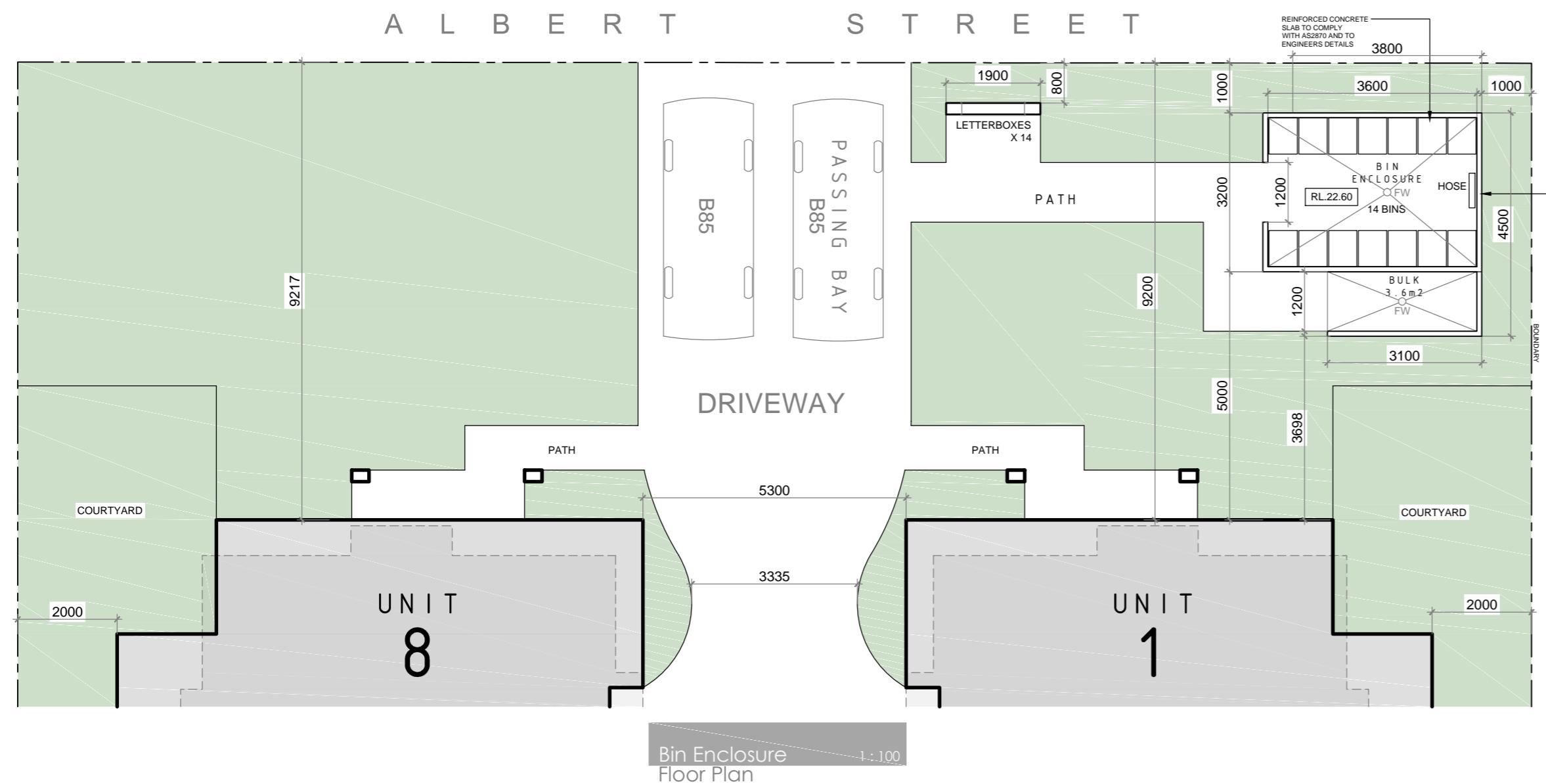
BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.



BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FINISHES SCHEDULE

	ROOF CLADDING A TYPE - COLORBOND STEEL COLOUR - MONUMENT
	FASCIA B TYPE - COLORBOND STEEL COLOUR - WHITE
	GUTTERS C TYPE - STEEL COLOUR - MONUMENT
	DNPIPE D TYPE - PVC ROUND COLOUR - WHITE
	MASONRY E TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
	CLADDING F TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
	GARAGE DOORS G TYPE - B&D STEEL COLOUR - SURFMIST
	WINDOW FRAMES H TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
	COLUMNS / FEATURE WALL J TYPE - RENDERED MASONRY COLOUR - WHITE
	COLUMNS / FEATURE WALL K TYPE - RENDERED MASONRY COLOUR - MONUMENT



NOTES
BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS.
WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT 3.1.2 OF THE BCA AND AS3500.3.2. INSTALL AGGREGATE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE/WATER INTRUSION.

SECTION NOTES:
PROVIDE SELECTED STEEL ROOF TO MAIN ROOF TO MANUFACTURERS WRITTEN INSTRUCTIONS AND AS DIRECTED.
PROVIDE SELECTED PREFABRICATED TIMBER TRUSSES AT 450 ab TO MANUFACTURERS WRITTEN INSTRUCTIONS AND AS DIRECTED, PROVIDE SUITABLE BATTENS AT CENTRES TO SUIT STEEL ROOF.
PROVIDE DOUBLE-SIDED SISALAS IS SARKING TO ROOF AND OUTSIDE FACE OF EXTERNAL WALL FRAMES.
PROVIDE R2.5 INSULATION BLANKET TO ROOF OVER INTERNAL AREAS.
PROVIDE ALUMINIUM EAVES AND GUTTERS AS DIRECTED.
LINE UNDERSIDE OF TRUSSES/RAFTERS WITH 10mm PLASTERBOARD AS DIRECTED.
LINE UNDERSIDE OF FAVES AND SOFFITS WITH HARDFLEX (IF REQUIRED)
FRAME UP FOR LOADBEARING WALLS WITH 90mm FR FRAMING AS DIRECTED.

OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3500.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

EXCAVATIONS
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2
UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.0.10.

CONCRETE
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNDUE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600

BOTTOM PLATES
PROVIDE 90X35 F5 STUDS AT 4500cts
PROVIDE 90X35 F5 NOGGINGS AT MAX. 1350cts

NOTE: ALL TIMBER SIZES TO BE VERIFIED
WITH ENGINEER BEFORE ORDERING OR
COMMENCING WORK.
PROVIDE ALL STRUCTURAL STEEL MEMBERS
AND CONCRETE DETAILS.
PROVIDE CONCRETE SLAB-ON-GROUND,
STRIP AND PAD FOOTINGS TO ENGINEERS
DETAILS.
PROVIDE TERMIMESH TERMITE PROTECTION
SYSTEM COMPLYING WITH AS3600.1 AND BCA.
ALL WORK TO COMPLY WITH RELEVANT

STORMWATER
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH
THE BCA 3.1.2.

EXTERNAL CLADDING
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN
ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY
APPLICABLE SPECIAL DETAILS.

TIMBER FRAMING
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING
AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE
STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS
AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER

BCA REQUIREMENTS.	RECOGNISED AND ACCEPTED BUILDING PRACTICES.
CONSTRUCTION LEGEND	

FG STEEL FASCIA & GUTTER
DP PVC DOWNPipe
AW SELECTED ALUMINUM WINDOW
SD SELECTED SLIDING DOOR

THEIR INDIVIDUAL SIZE MAY VARY.
MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.
MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY

BB BLUEBOARD PAINTED AS SELECTED **CC** SELECTED TIMBER COLUMNS MASONRY RETAINING WALLS TO COMPLY WITH AS 4678
BUILDER TO CONFIRM THE LOCATION

TS INTERNAL TIMBER STUD WALLS
SL CFC SOFFIT LINING
OF ALL SERVICES PRIOR TO CONSTRUCTION
ALL TERMITE TREATMENT TO BE

**CARRIED OUT IN ACCORDANCE
WITH AS 3660
SMOKE DETECTORS TO BE INSTALLED
AND CONNECTED TO AS 3786**

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19.08.21
28.07.21

DATE
ISSUE

B

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JENT Cazbui

OBJECT Proposed Multi-Dwelling Development at
71 Albert Street Werrington NSW 2747 Lot 104 DP 1573

BIN ENCLOSURE - PLANS, ELEVATIONS & SECTION

	<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production
<p>All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale.</p> <p>Do not scale from drawing</p>			

DATE	19.08.21		
DRN BY	AO'B		
SIZE	A2	B	DA ISSUE
		A	CONCEPT
SCALE	1 : 200	AMENDMENT	DESCRIPTION
	DRG NO	71_PW_A.17	
		DATE	19.08.21
		ISSUE	28.07.21
			B

COMPLIANCE SCHEDULE
 (REFER TO SOEE FOR FULL COMPLIENCES)

 LOTS 1 & 2 DP 509686
 Zone R3 Med. Density Residential
 Max. Bldg Height - 8.5m
 Heritage Listing - No
 Flood Zone - No
 Bushfire Zone - Part Vegetation Buffer
 Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m ²	YES	BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
LOT WIDTH	22M MIN	30.48m	YES	SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES	SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES	LANDSCAPED AREA	30% MIN (697m ²) (SEPP 2009)	>2m - 808m ² (34.80%)	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	2 BEDS 1 SPACE (SEPP 2009)	TOTAL SPACES 22, inclusive 4 Visitor spaces		DEEP SOIL - 15% (349m ²)	349.8m ² (15%)	
DRIVE WIDTH	3.0m	3.5m MIN	YES	POS	25m ² MIN	25m ² MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES	BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

PLANTING SCHEDULE

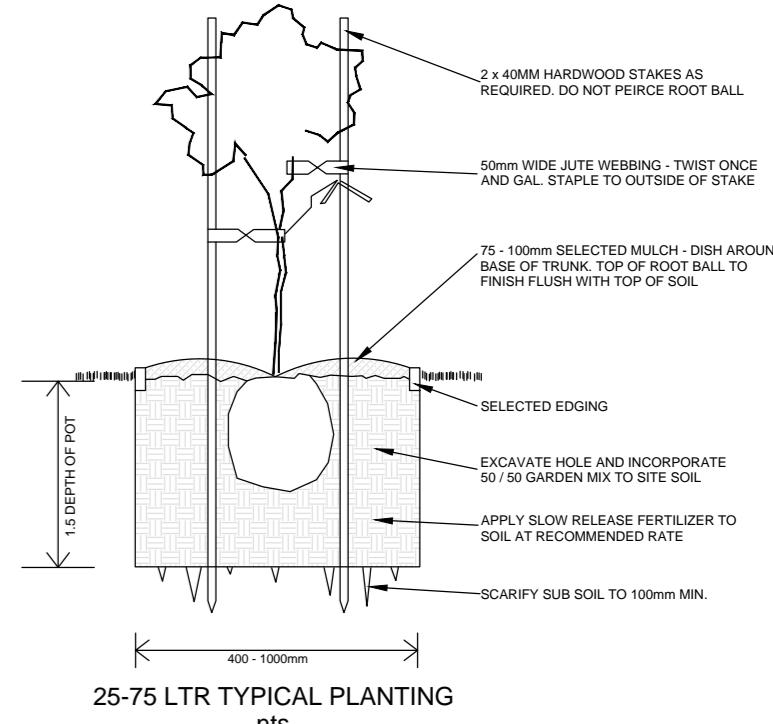
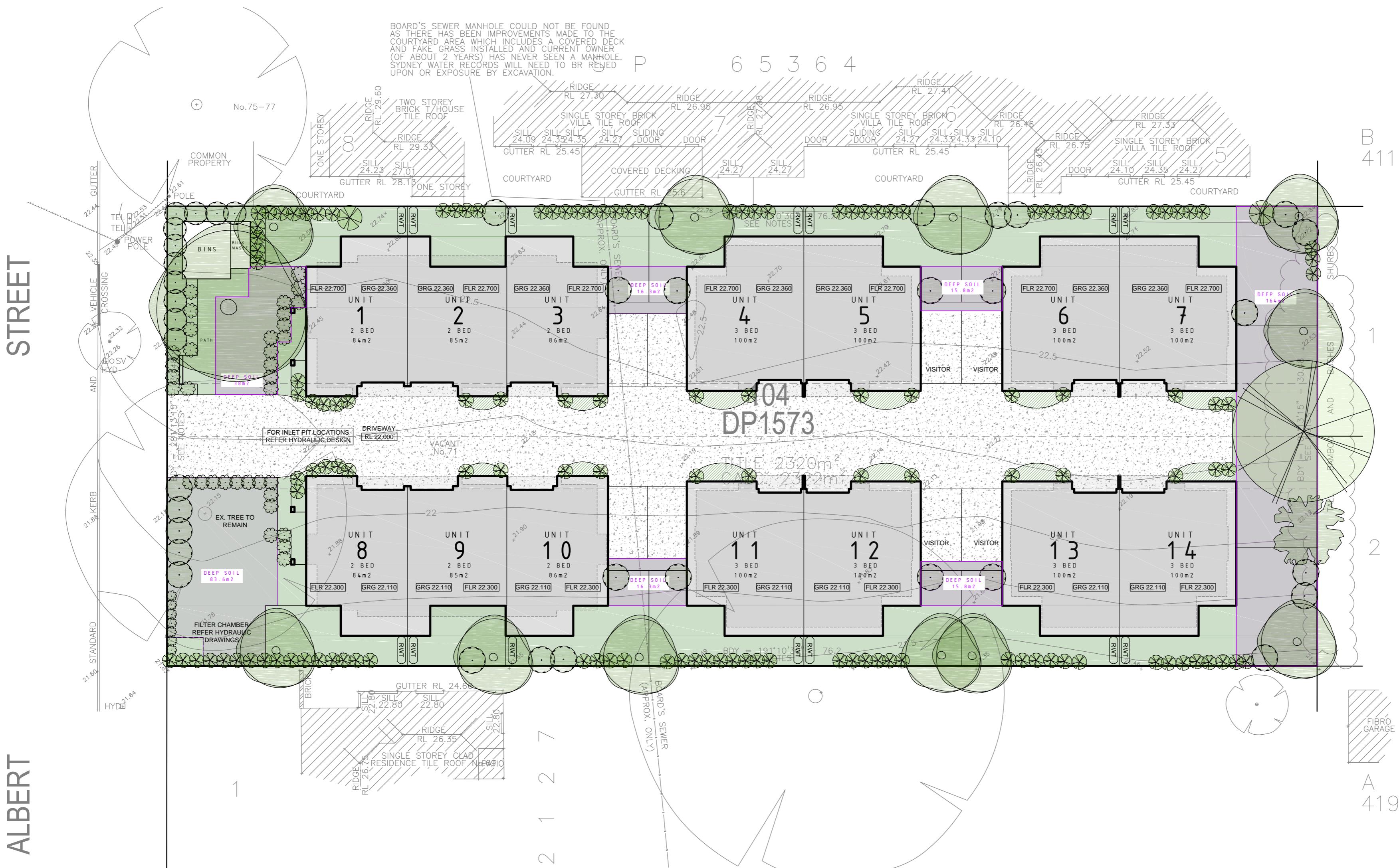
BOTANIC NAME	KEY	QTY	POT SIZE	HT
TREES				
CERATOPETALEM GUMMIFERUM (XMAS BUSH)	CG	12	300mm	5-10m
TRISTANIOPSIS LAURINA (WATER GUM)	TL	1	45L	5-10m
BRACHYCHITON ACERIFOLIUS (ILLAWARRA FLAME)	BA	1	45L	10m
SHRUBS				
GREVILLEA ROBYN GORDON	GR	136	200mm	1.5m
CORDYLINAE RED SENSATION	CR	38	200mm	1.5m
ACMENA 'HEDGEMASTER'	DC	42	150mm	0.6m

PLANTING AND MAINTENANCE NOTES

1. GLAZED OR POLISHED PLANTING HOLES SHOULD BE AVOIDED
2. PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE
3. PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING
4. PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR 6 WEEKS TO AID ESTABLISHMENT.
5. OTHER SPECIES NOT LISTED IN PLANTING PLAN SHOULD BE PLANTED
6. STOCKS SHOULD BE FREE OF PESTS, DISEASE AND WEEDS
7. WEEDS SHOULD BE REMOVED ON A FORTNIGHT BASIS


SITEWORKS LEGEND

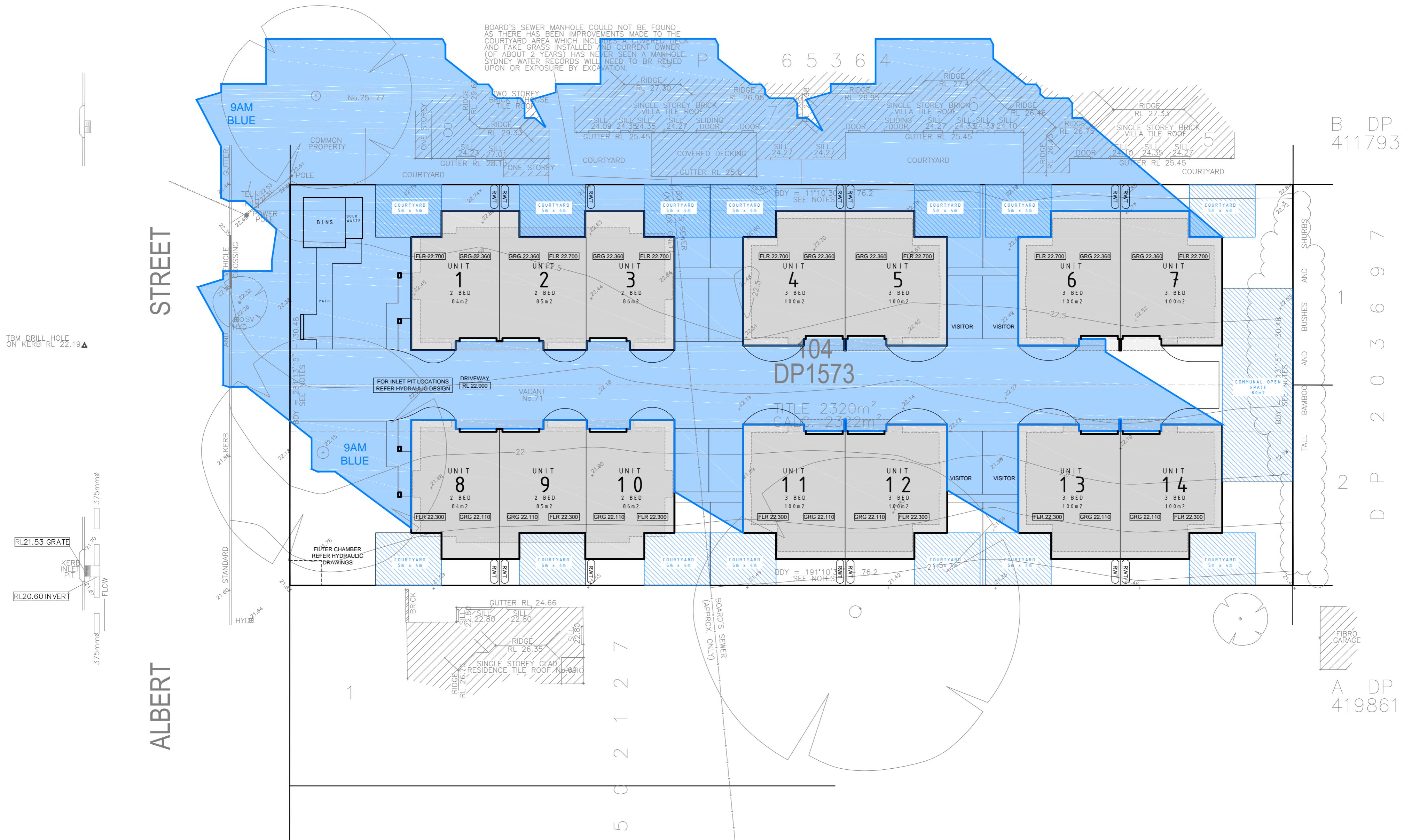
	LANDSCAPE AREA >2m
	LANDSCAPE AREA <2m
	DRIVEWAY - IMPERVIOUS AREA
	COURTYARD AREAS - 4m min (20m ²)
	CONCRETE RETAINING WALLS
	1500L RAINWATER TANK TO BASIX REQUIREMENTS - CONNECTED TO 41m ² ROOF AREA.
	RWT


 FOR HYDRAULIC DESIGN DETAILS
 PLEASE REFER TO THE SGC ENGINEERING
 DRAWING SET

 FOR BASIX COMMITMENTS
 PLEASE REFER TO BASIX DOCUMENTATION

SHADOW STUDY TAKEN AT
9 am, 12 noon & 3 pm ON 21 JUNE 2021

1% AEP - RL 21.70 (FLR 22.20)



1% AEP - RL 21.70 (FLR 22.20)

