

















DRAWING SET	
COVER SHEET	71_AW_A.01
SITE PLAN	71_AW_A.02
DEVELOPMENT PLAN	71_AW_A.03
EROSION / SEDIMENT CONTROL	71_AW_A.04
FLOOR PLANS - UNITS 1, 2 & 3	71_AW_A.05
ELEVATIONS & SECTIONS UNITS 1, 2 & 3	71_AW_A.06
FLOOR PLANS - UNITS 4 & 5	71_AW_A.07
ELEVATIONS & SECTIONS - UNITS 4 & 5	71_AW_A.08
FLOOR PLANS - UNITS 6 & 7	71_AW_A.09
ELEVATIONS & SECTIONS - UNITS 6 & 7	71_AW_A.10
FLOOR PLANS - UNITS 8, 9 & 10	71_AW_A.11
ELEVATIONS & SECTIONS UNITS 8, 9 & 10	71_AW_A.12
FLOOR PLANS - UNITS 11 & 12	71_AW_A.13
ELEVATIONS & SECTIONS - UNITS 11 & 12	71_AW_A.14
FLOOR PLANS - UNITS 13 & 14	71_AW_A.15
ELEVATIONS & SECTIONS - UNITS 13 & 14	71_AW_A.16
BIN ENCLOSURE	71_AW_A.17
LANDSCAPE PLAN	71_AW_A.18
SHADOW STUDY - 9AM	71_AW_A.19
SHADOW STUDY - 12 NOON	71_AW_A.20
SHADOW STUDY - 3PM	71_AW_A.21

COMPLIANCE SCHEDULE (REFER TO SOEE FOR FULL COMPLIANCES)				
LOTS 1 & 2 DP 509686 Zone R3 Med. Density Residential Max. Bldg Height - 8.5m Heritage Listing - No Flood Zone - No Bushfire Zone - Part Vegetation Buffer Scenic Value - No	TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
	LOT SIZE		2322.0m2	YES
	LOT WIDTH	22M MIN	30.48m	YES
	FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
	REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
	DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
		DRIVE WIDTH 3.0m	3.5m MIN	YES
	BUILDING SEPARATION	4M MIN	6M MIN	YES

FINISHES SCHEDULE	
	ROOF CLADDING TYPE - COLORBOND STEEL COLOUR - MONUMENT
	FASCIA TYPE - COLORBOND STEEL COLOUR - WHITE
	GUTTERS TYPE - STEEL COLOUR - MONUMENT
	DOWNPIPES TYPE - PVC ROUND COLOUR - WHITE
	MASONRY TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
	CLADDING TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
	GARAGE DOORS TYPE - B&D STEEL COLOUR - SURFMIST
	WINDOW FRAMES TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - WHITE
	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - MONUMENT

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 2	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 3	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 4	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
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UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3



SITeworks LEGEND	
	LANDSCAPE AREA >2m
	LANDSCAPE AREA <2m
	DRIVEWAY - IMPERVIOUS AREA
	COURTYARD AREAS - 4m min (20m2)
	CONCRETE RETAINING WALLS
	1500L RAINWATER TANK TO BASIX REQUIREMENTS - CONNECTED TO 41m2 ROOF AREA.



ALL DEMOLITION TO COMPLY WITH AS 2601-1991 "THE DEMOLITION OF STRUCTURES"	ALL ROOF CLADDING TO COMPLY WITH BCA F1.5 ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5 ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5 ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5
ALL CAR SPACES COMPLY WITH AS 2890.1-2004	
WINDOW SCHEDULE - REFER FLOOR PLANS	
FINISHES SCHEDULE - REFER A.01 COVER SHEET	BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION

**NOTES**  
BUILDER MUST CHECK DIMENSIONS ON SITE INPRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS.  
WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3600.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.  
**EXCAVATIONS**  
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2  
UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.0.10.  
**CONCRETE**  
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNDEIE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.  
PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.  
ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600  
**STORMWATER**  
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.  
**EXTERNAL CLADDING**  
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.  
**TIMBER FRAMING**  
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESPERSON LIKE MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.  
**MASONRY**  
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.3. CLAY BRICKS ARE A NATURAL KILN FIRED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY.  
MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.  
MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.  
MASONRY RETAINING WALLS TO COMPLY WITH AS 4678  
**BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION**  
**ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660**  
**SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786**

CLIENT	Cazbuild	<input type="checkbox"/> Concept <input type="checkbox"/> Quote <input checked="" type="checkbox"/> Production	DATE	19.08.21			
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573	All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing	DRN BY	A O'B	B	DA ISSUE	19.08.21
DRG TITLE	COVER SHEET	© All content remains the property obrien design+drafting.	SIZE	A2	A	CONCEPT	28.07.21
			SCALE	N T S	AMENDMENT	DESCRIPTION	DATE
					DRG NO	71_AW_A.01	ISSUE
							B

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 2	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
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UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

COMPLIANCE SCHEDULE  
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) 22, inclusive (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 3 2 storey 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

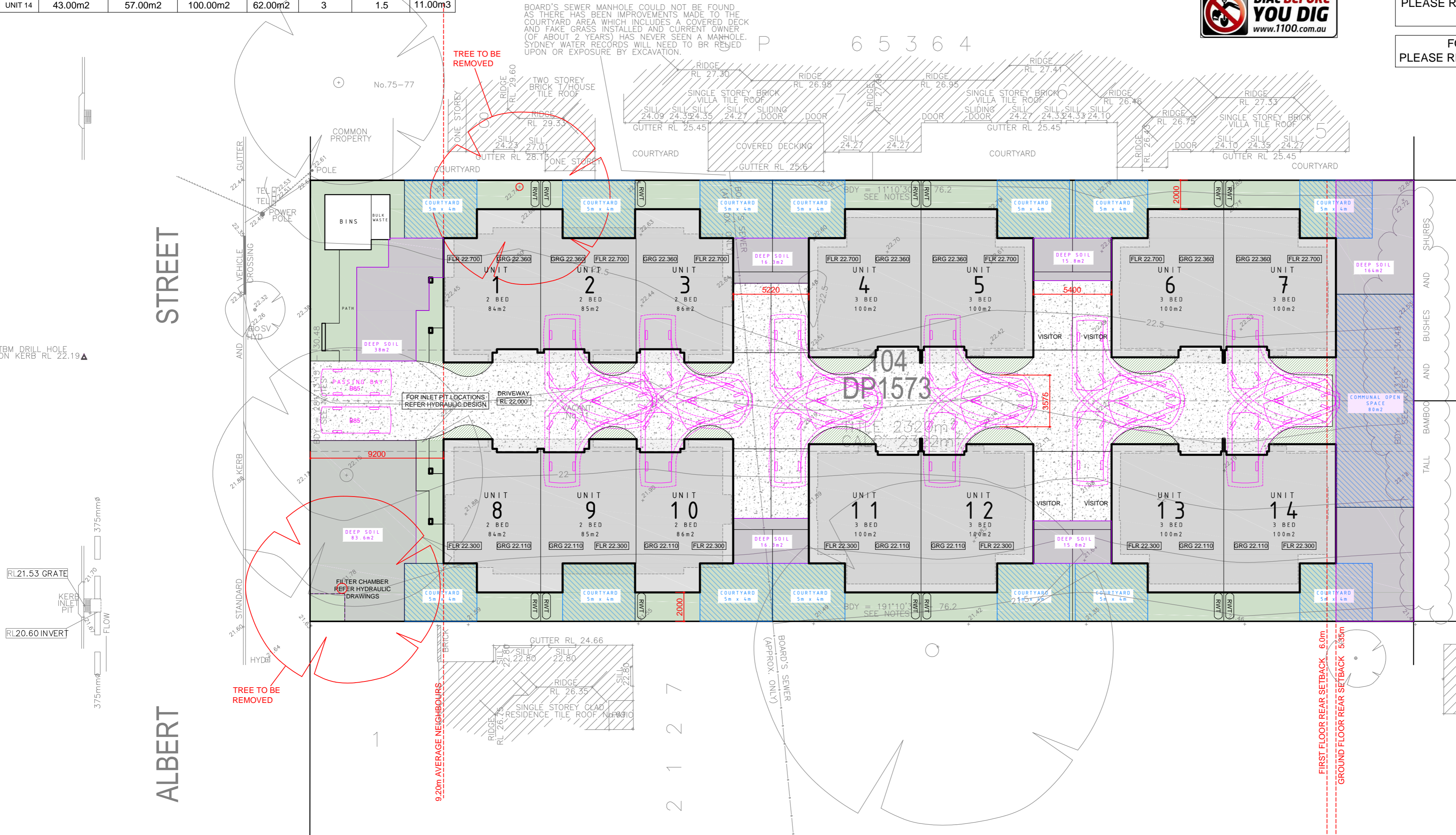
TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

SITEWORKS LEGEND

- LANDSCAPE AREA >2m
- LANDSCAPE AREA <2m
- DRIVEWAY - IMPERVIOUS AREA
- COURTYARD AREAS - 4m min (20m2)
- CONCRETE RETAINING WALLS
- 1500L RAINWATER TANK TO BASIX REQUIREMENTS - CONNECTED TO 41m2 ROOF AREA.


FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION



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CLIENT	Cazbuild
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573
DRG TITLE	SITE PLAN

<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production	DATE	19.08.21	
All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing			DRN BY	AO'B	
			SIZE	A2	
			SCALE	1 : 200	
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B	DA ISSUE		19.08.21
A	CONCEPT		28.07.21
AMENDMENT	DESCRIPTION		DATE
DRG NO	71_AW_A.02	ISSUE	B

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
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UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

COMPLIANCE SCHEDULE  
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) 22, inclusive 4 Visitor spaces + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

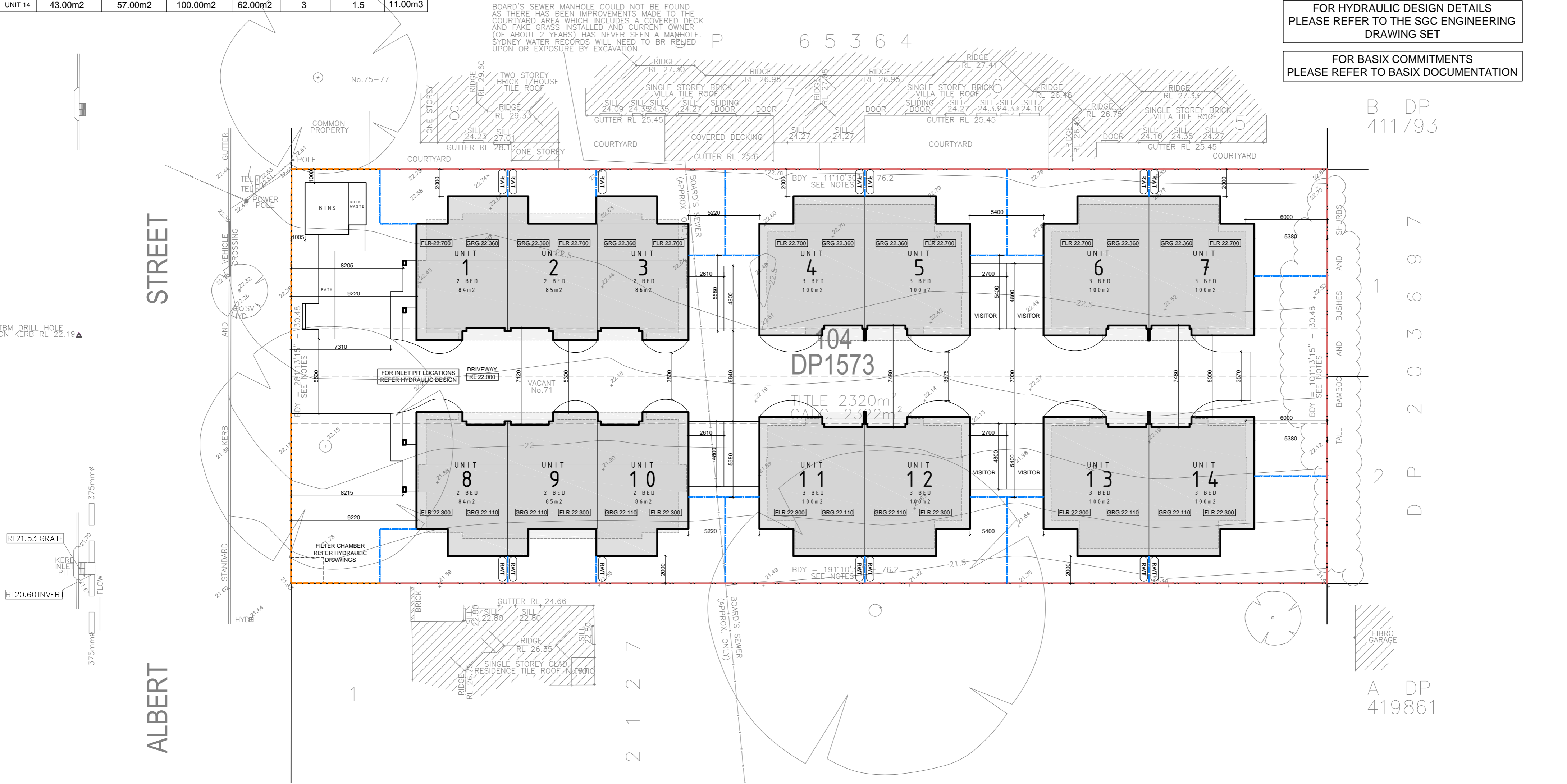
FENCING LEGEND

- SEE-THROUGH FENCE - 1200mm HIGH
- COLORBOND STEEL - 2100mm HIGH
- COLORBOND STEEL - 1800mm HIGH



FOR HYDRAULIC DESIGN DETAILS  
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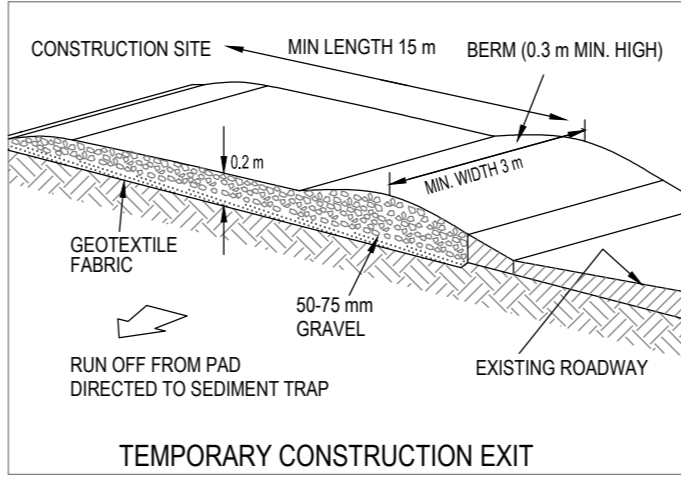
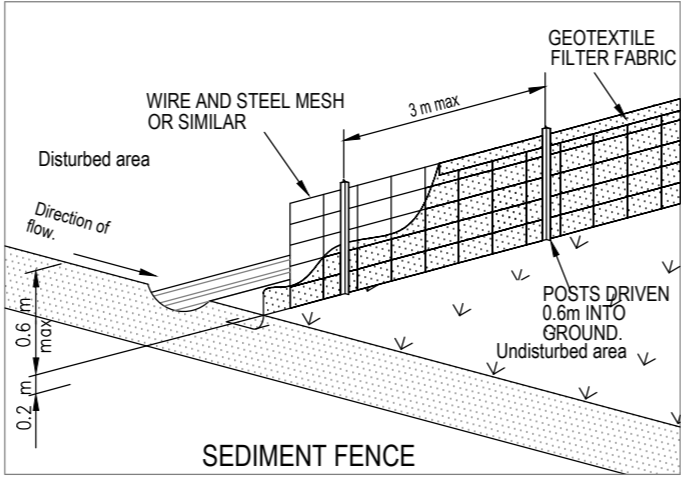
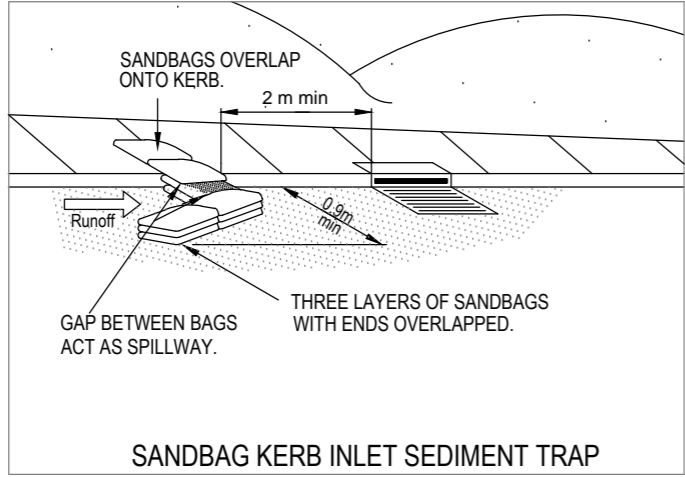
CLIENT	Cazbuild
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573
DRG TITLE	DEVELOPMENT PLAN

<input checked="" type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production
All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing		
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DATE	19.08.21		
DRN BY	A O'B		
SIZE	A2		
SCALE	1 : 200		
B	DA ISSUE		19.08.21
A	CONCEPT		28.07.21
AMENDMENT	DESCRIPTION		DATE
DRG NO	88_PW_A.03		ISSUE
			B

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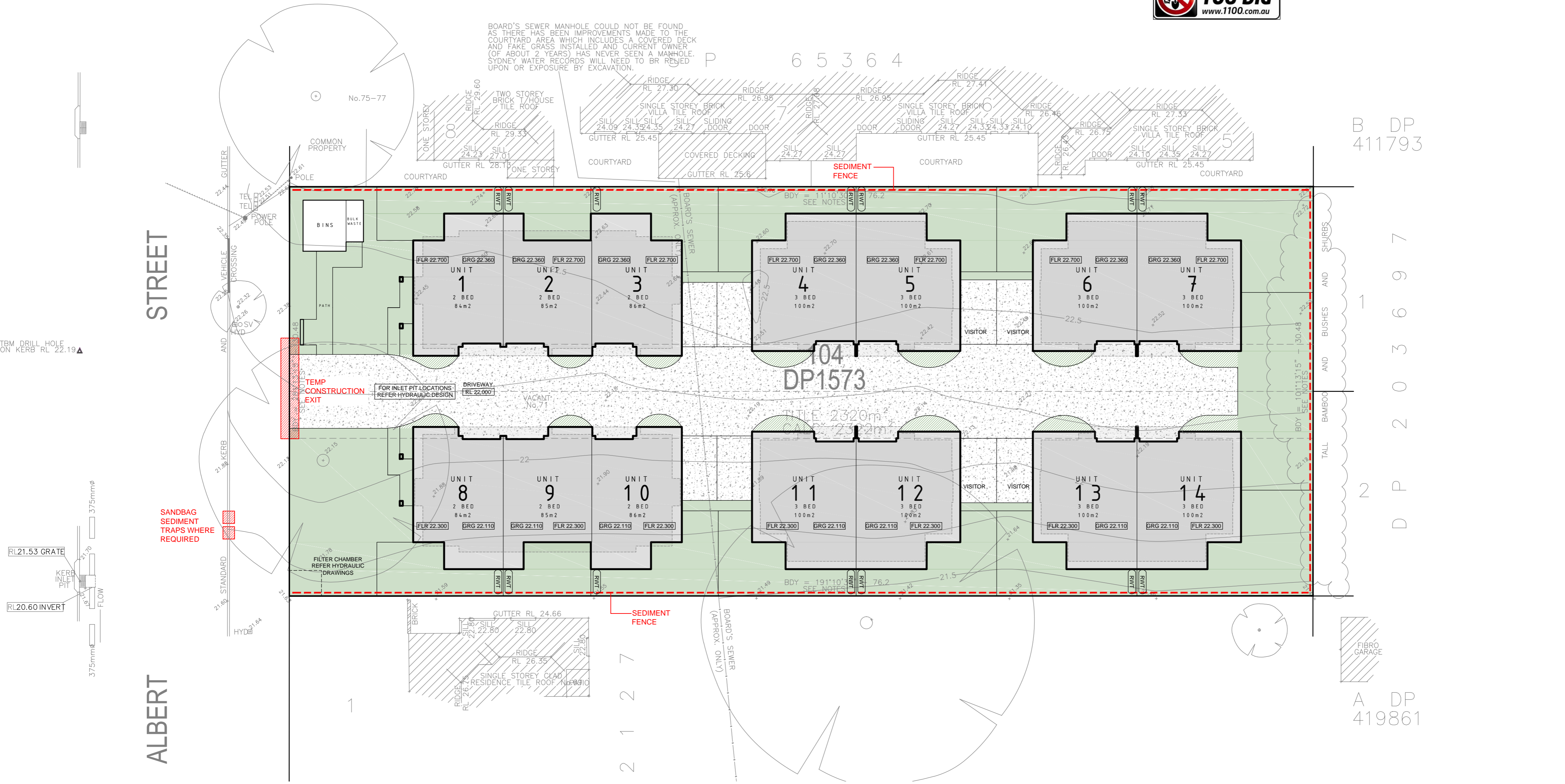
- EROSION AND SEDIMENT CONTROL**
1. BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE BOUNDARIES. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL STANDING 300mm MIN. ABOVE GROUND AND EXTENDING 200mm BELOW GROUND.
  2. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
  3. NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
  4. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.
  5. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.
- BUILDERS ACCESS**



## SITEWORKS LEGEND

- LANDSCAPE AREA >2m
  - LANDSCAPE AREA <2m
  - DRIVEWAY - IMPERVIOUS AREA
  - COURTYARD AREAS - 4m min (20m2)
  - CONCRETE RETAINING WALLS
  - 1500L RAINWATER TANK TO BASIX REQUIREMENTS - CONNECTED TO 41m2 ROOF AREA.
- RWT

1% AEP - RL 21.70 (FLR 22.20)



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CLIENT	Cazbuild	Concept	Quote	Production	DATE	19.08.21
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573	All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing.	DRN BY	A/O/B	B	DA ISSUE
DRG TITLE	EROSION & SEDIMENT CONTROL PLAN	© All content remains the property obrien design+drafting.	SCALE	1 : 200	A	CONCEPT
					AMENDMENT	DESCRIPTION
					DRG NO	88_PW_A.04
					DATE	19.08.21
					ISSUE	28.07.21
						B

DWELLING SCHEDULE

	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
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UNIT 12	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

COMPLIANCE SCHEDULE

(REFER TO SOEE FOR FULL COMPLIANCES)  
LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND

NEW SINGLE SKIN BRICK WALL NOM. WIDTH AS INDICATED  
 NEW TIMBER STUD WALL - 90mm  
 150mm SINGLE SKIN BRICK  
13mm SOUND RESISTANT PLASTERBOARD  
DIRECT FIX ONE SIDE. 13mm SOUND  
RESISTANT PLASTERBOARD SCREW  
FIXED TO RESILIENT MOUNTING FURRING  
CHANNEL WITH 9KG/M3 POLYESTER  
INSULATION OTHER SIDE. 217mm WALL  
THICKNESS. Rw60 (-2,-8)

WINDOW SCHEDULE - UNIT 1

CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	600H x 1920W	AL. AWNING	1.15m2	EAST	600 EAVE	1500	2100
W02	2100H x 600W	AL. D/HUNG	1.26m2	SOUTH	600 EAVE	-	2100
W03	900H x 1570W	AL. AWNING	1.40m2	SOUTH	600 EAVE	1200	2100
W04	2100H x 1810W	SLIDING DOOR	3.78m2	SOUTH	2000 EAVE	-	2100
W05	1800H x 750W	AL. AWNING	1.35m2	WEST	600 EAVE	300	2100
W06	1800H x 750W	AL. AWNING	1.35m2	WEST	600 EAVE	300	2100
W07	985H x 600W	AL. D/HUNG	0.60m2	WEST	600 EAVE	1500	2485
W08	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W09	620H x 1525W	AL. AWNING	0.90m2	SOUTH	600 EAVE	1800	2420
W10	1825H x 750W	AL. FIXED	1.40m2	SOUTH	600 EAVE	595	2420
W11	900H x 1570W	AL. AWNING	1.40m2	SOUTH	600 EAVE	1200	2100
W12	600H x 1800W	AL. AWNING	1.08m2	WEST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420

WINDOW SCHEDULE - UNIT 2

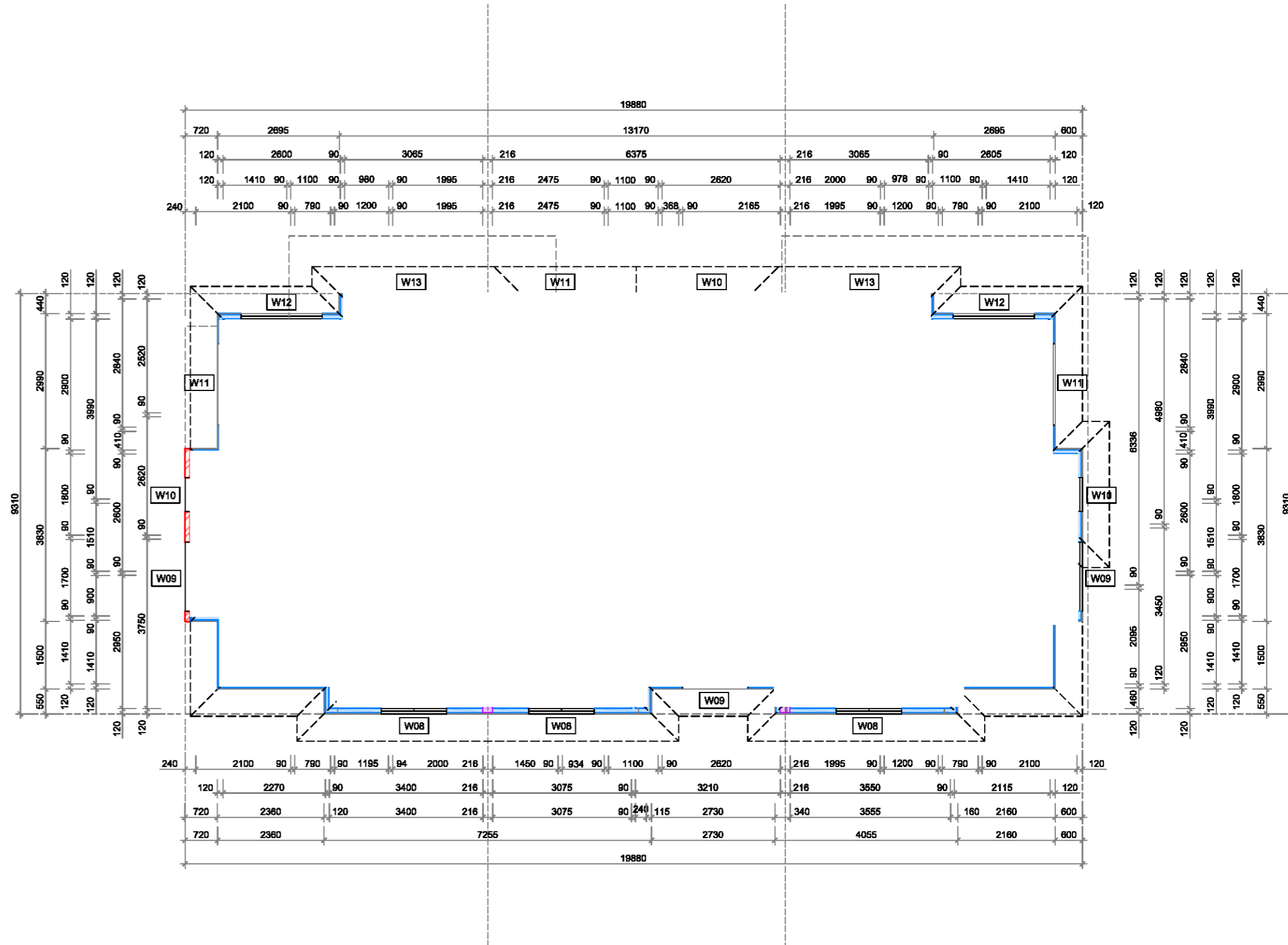
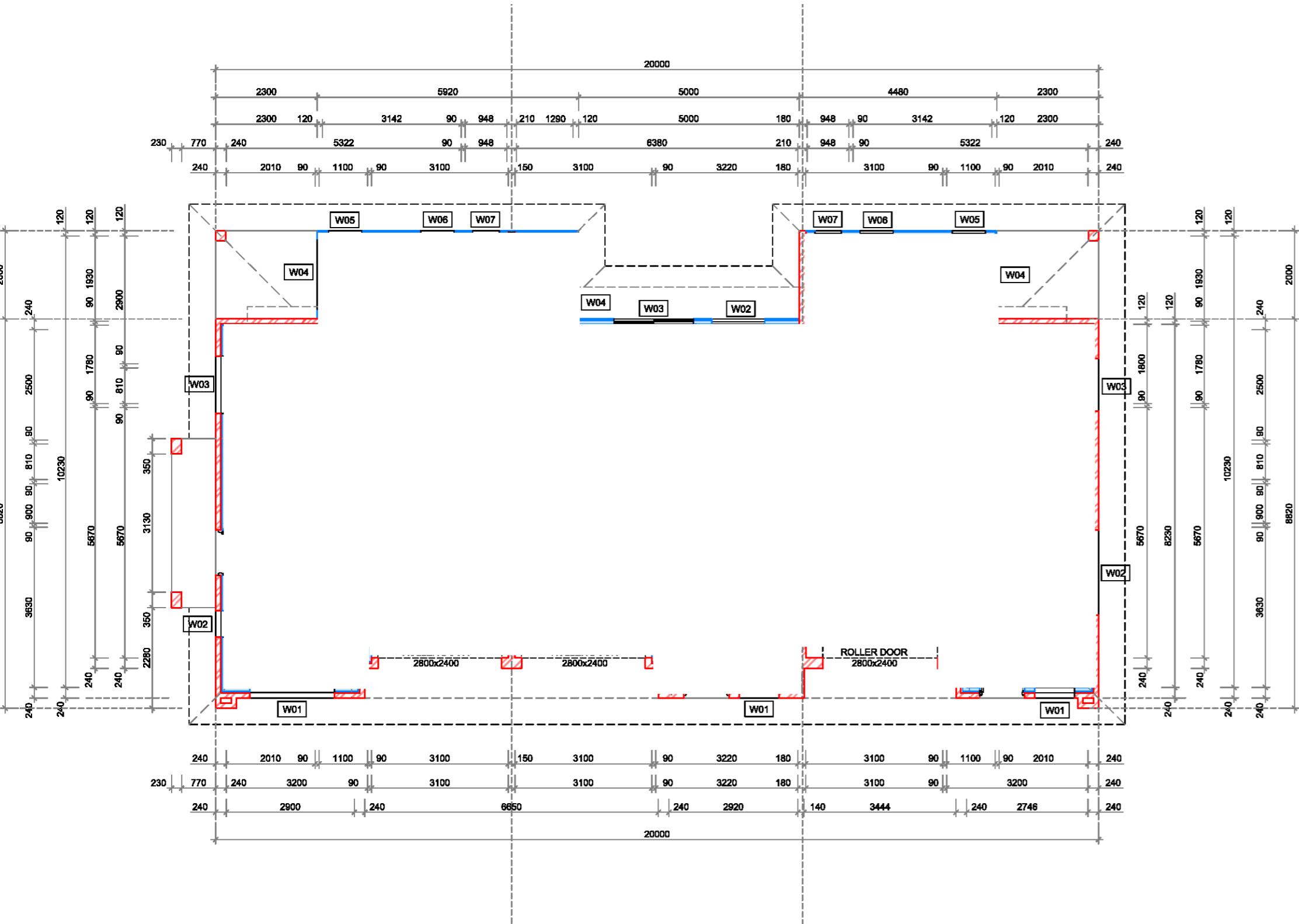
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	EAST	600 EAVE	-	2100
W02	900H x 1200W	AL. SLIDING	1.08m2	WEST	600 EAVE	1200	2100
W03	2100H x 1810W	SLIDING DOOR	3.78m2	WEST	600 EAVE	-	2100
W04	900H x 600W	AL. SLIDING	0.54m2	NORTH	2000 EAVE	1520	2420
W08	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W11	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420

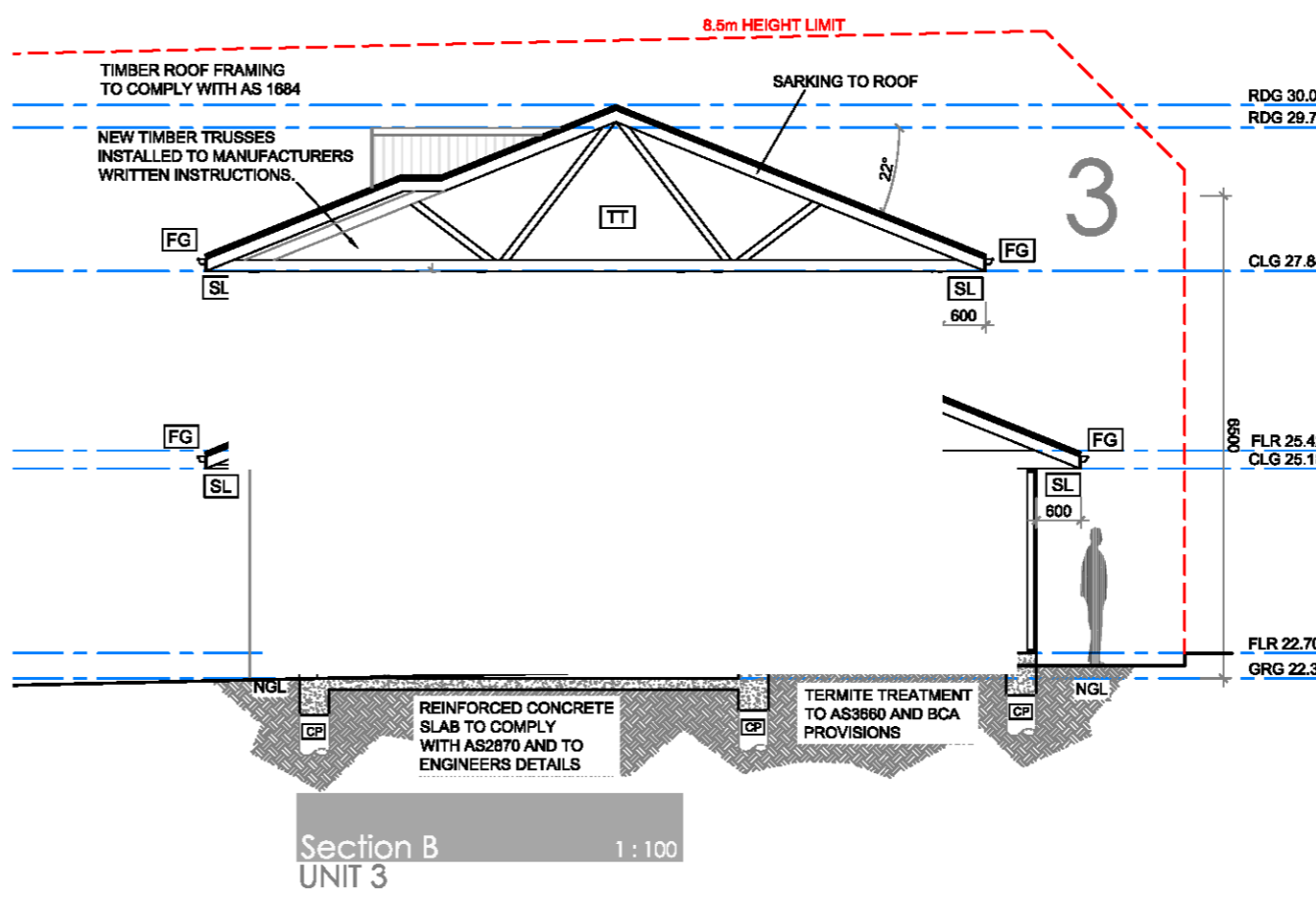
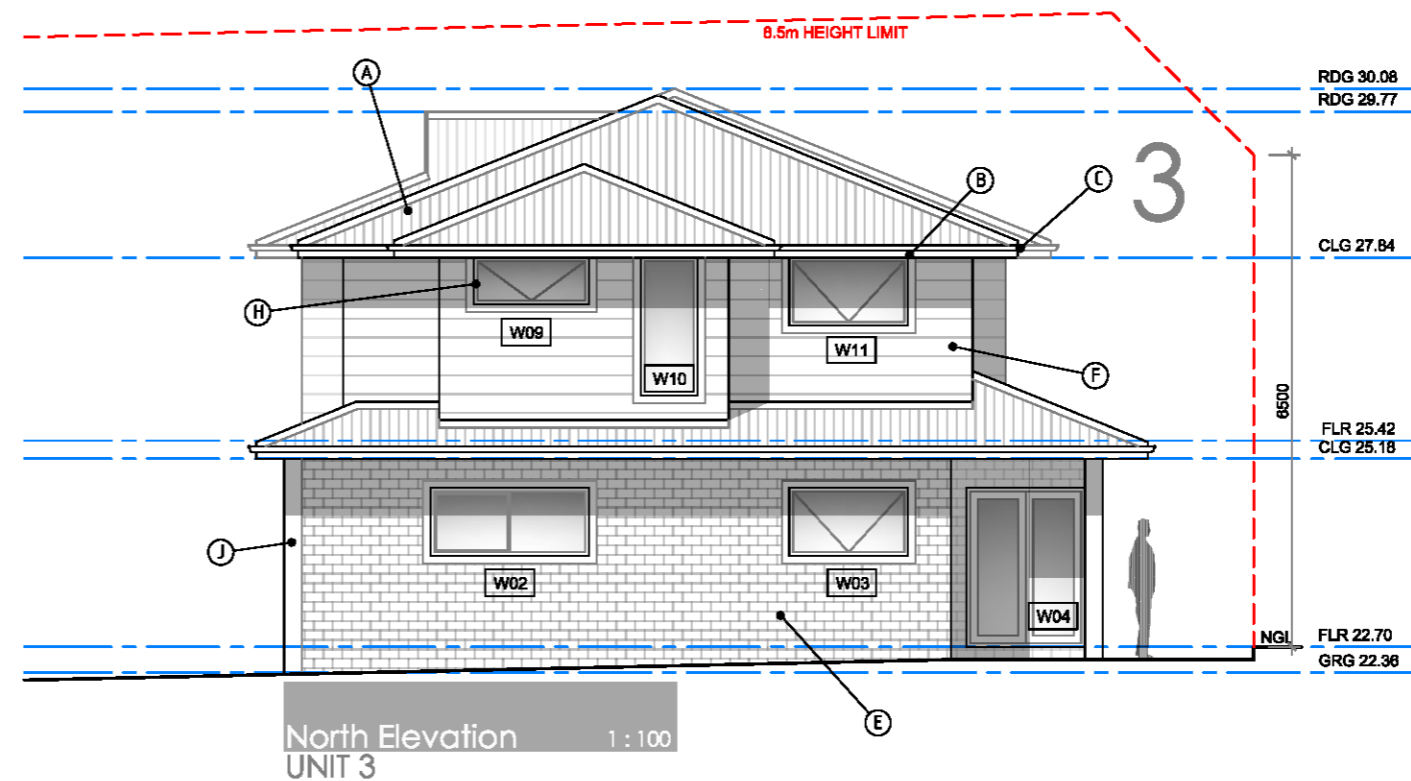
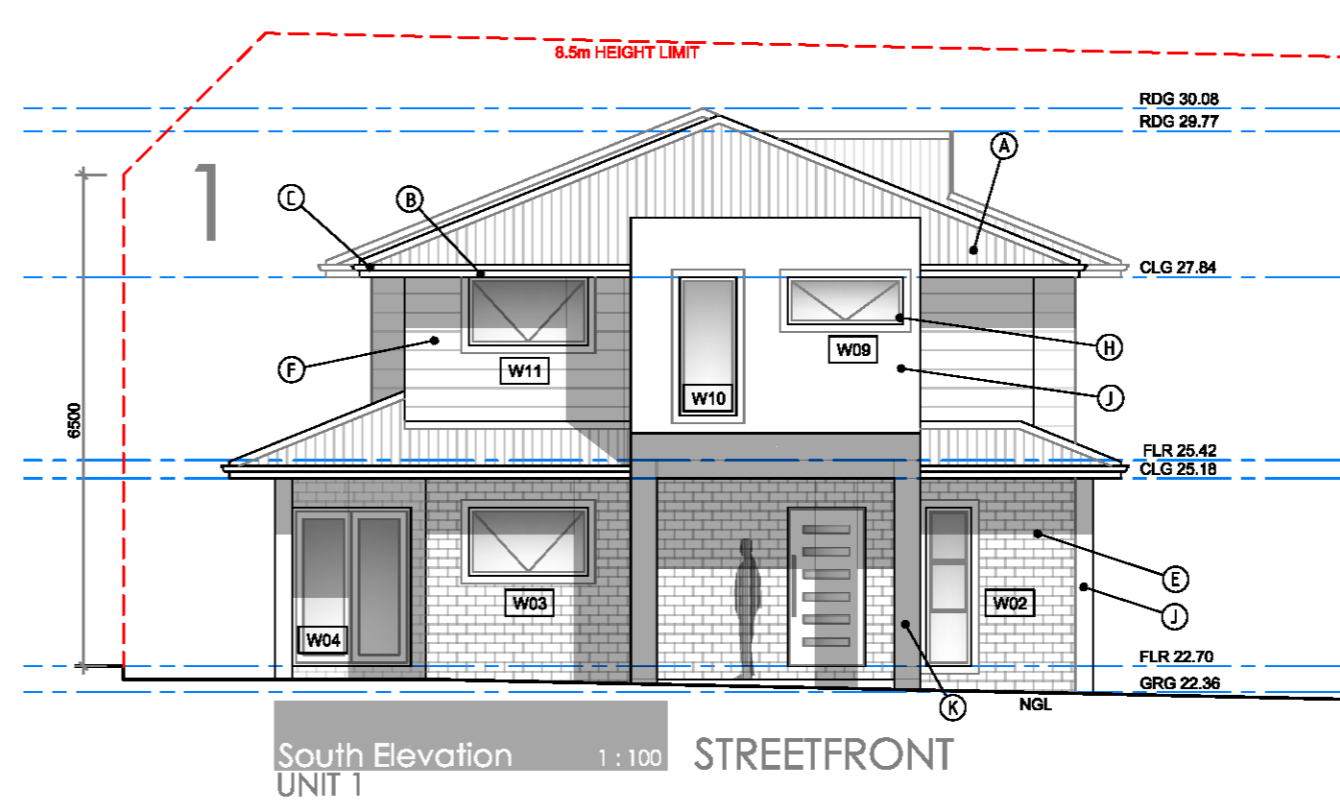
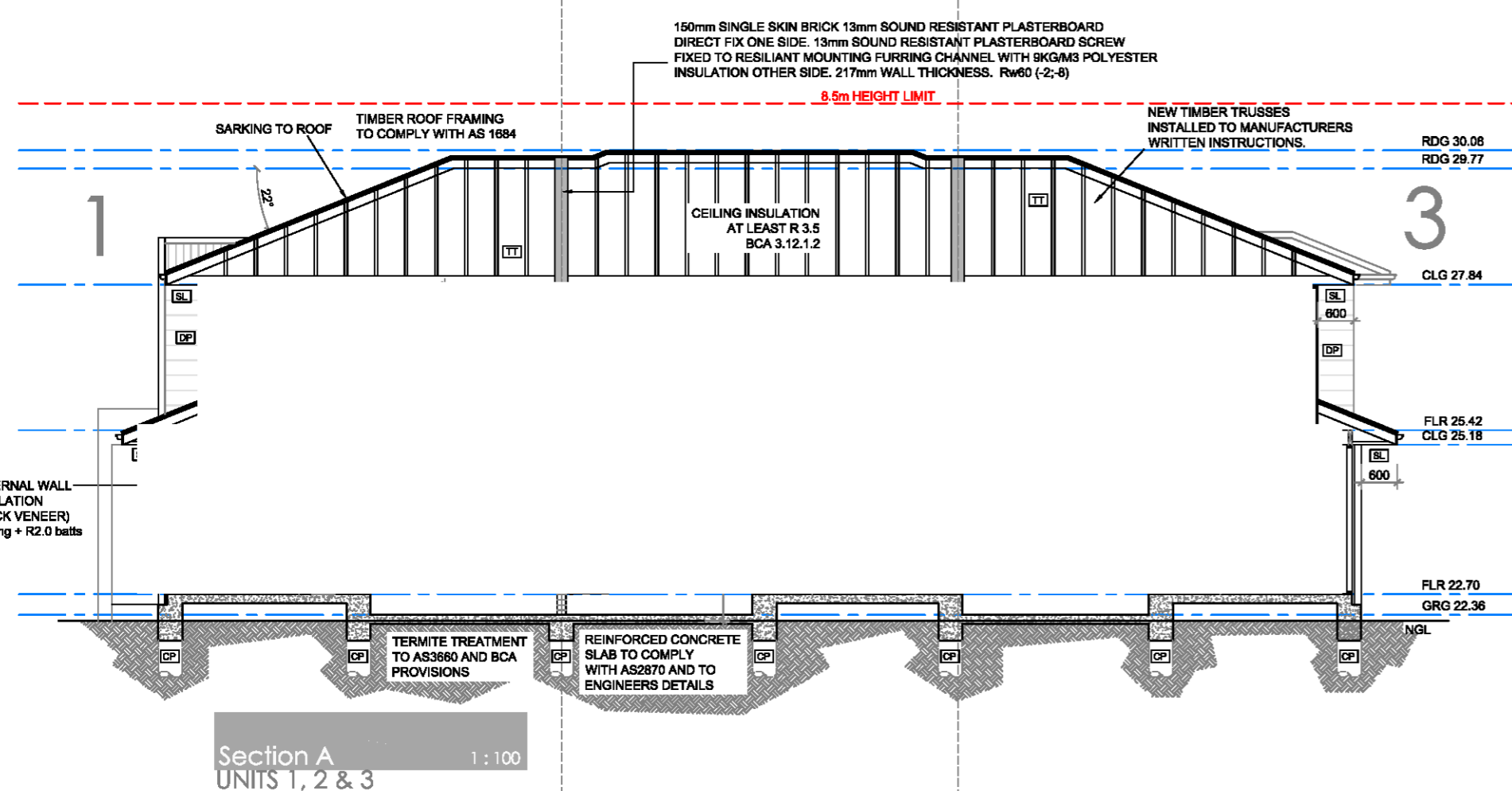
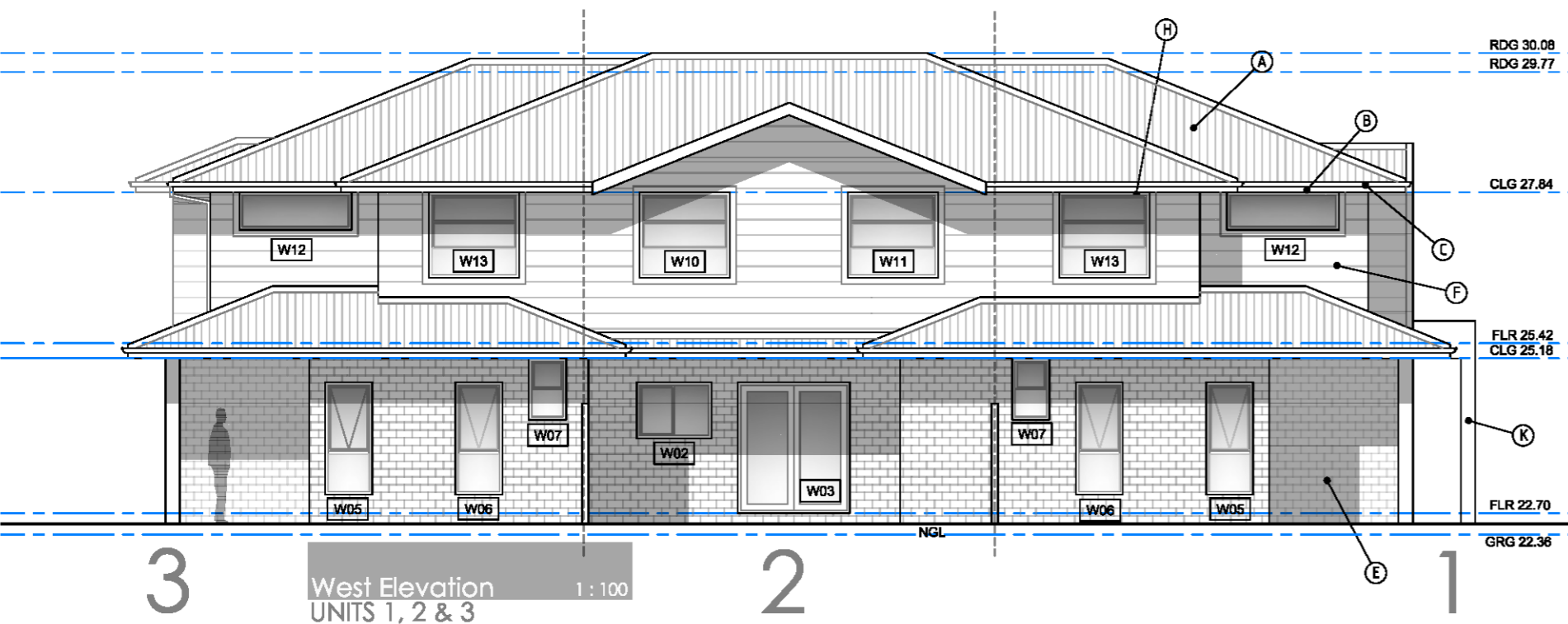
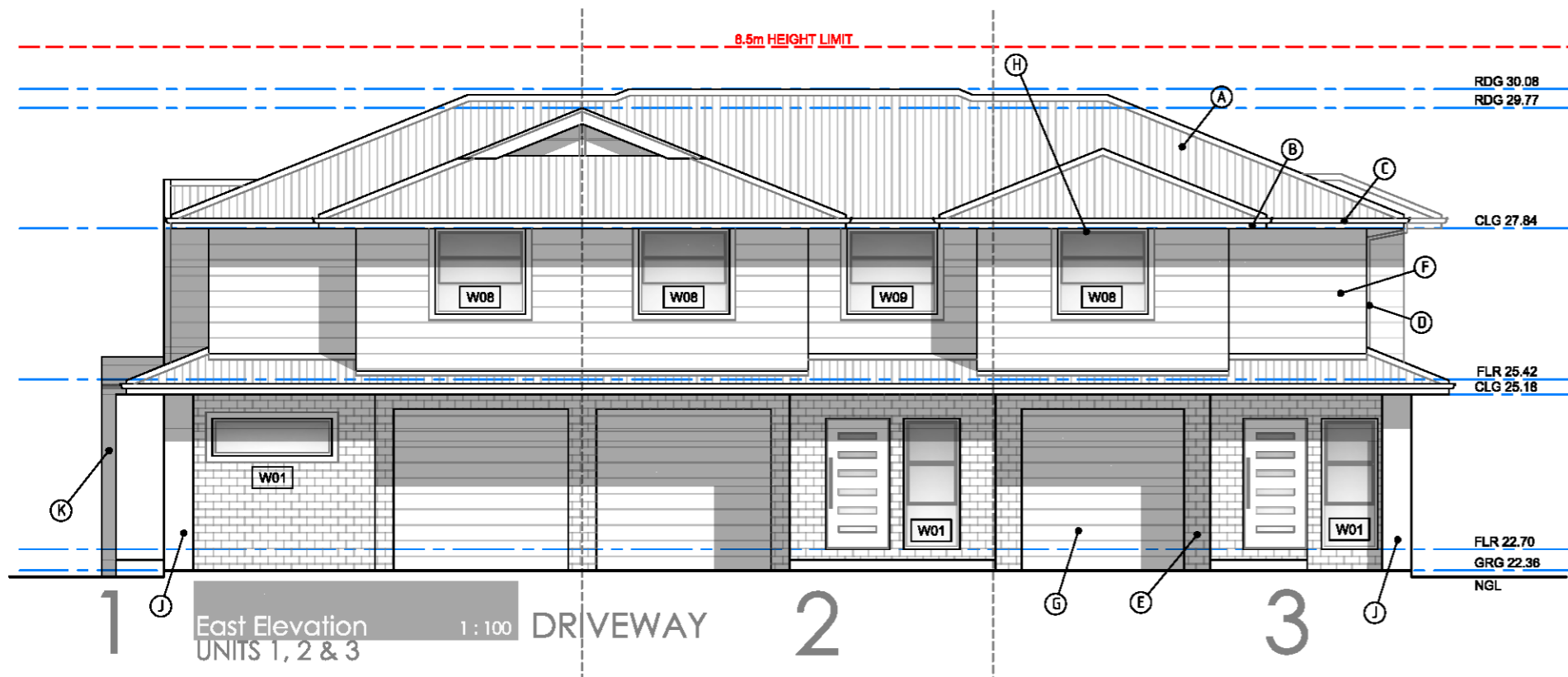
WINDOW SCHEDULE - UNIT 3

CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	EAST	600 EAVE	-	2100
W02	900H x 2100W	AL. SLIDING	1.90m2	NORTH	600 EAVE	1200	2100
W03	900H x 1570W	AL. AWNING	1.40m2	NORTH	600 EAVE	1200	2100
W04	2100H x 1810W	SLIDING DOOR	3.78m2	NORTH	2000 EAVE	-	2100
W05	1800H x 750W	AL. AWNING	1.35m2	WEST	600 EAVE	300	2100
W06	1800H x 750W	AL. AWNING	1.35m2	WEST	600 EAVE	300	2100
W07	985H x 600W	AL. D/HUNG	0.60m2	WEST	600 EAVE	1500	2485
W08	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W09	620H x 1525W	AL. AWNING	0.90m2	NORTH	600 EAVE	1800	2420
W10	1825H x 750W	AL. FIXED	1.40m2	NORTH	600 EAVE	595	2420
W11	900H x 1570W	AL. AWNING	1.40m2	NORTH	600 EAVE	1520	2420
W12	600H x 1800W	AL. AWNING	1.08m2	WEST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420

FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION





## FINISHES SCHEDULE

(A)	ROOF CLADDING TYPE - COLORBOND STEEL COLOUR - MONUMENT
(B)	FASCIA TYPE - COLORBOND STEEL COLOUR - WHITE
(C)	GUTTERS TYPE - STEEL COLOUR - MONUMENT
(D)	DOWNPIPES TYPE - PVC ROUND COLOUR - WHITE
(E)	MASONRY TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
(F)	CLADDING TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
(G)	GARAGE DOORS TYPE - B&D STEEL COLOUR - SURFMIST
(H)	WINDOW FRAMES TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
(J)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - WHITE
(K)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET



### NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS. WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM DRAINAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3602.3.2. METALLIC PIPE DRAINAGE WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

**EXCAVATIONS**  
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE UNDERLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.1.10.

**CONCRETE**  
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.2.1. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNLIE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

**PRE-MIXED CONCRETE** SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1576. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE. ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600.

**STORMWATER**  
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

**EXTERNAL CLADDING**  
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

**TIMBER FRAMING**  
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND JOINTS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESMAN MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

**MASONRY**  
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.5. CLAY BRICKS ARE A NATURAL UNFIRE PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY. MORTAR SHALL COMPLY WITH BCA 3.5.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700. MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.5.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY. MASONRY RETAINING WALLS TO COMPLY WITH AS 4576.

**BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION**  
**ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3680**  
**SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786**

### CONSTRUCTION LEGEND

(FG)	STEEL FASCIA & GUTTER
(DP)	PVC DOWNPIPE
(AW)	SELECTED ALUMINIUM WINDOW
(SD)	SELECTED BUILDING DOOR
(BB)	BLUESHARD PAINTED AS SELECTED
(CC)	SELECTED TIMBER COLUMNS
(TS)	INTERNAL TIMBER STUD WALLS
(SL)	CFC BOFFET LINING
(TT)	TIMBER TRUSSES TO MNFG DETAIL
(TB)	TIMBER BEAMS TO ENG. DETAIL
(CS)	CONC SLAB TO ENG. DETAIL
(CP)	CONC PERIS TO ENG. DETAIL

DATE: 19.08.21  
DRAWN BY: AO'B  
SCALE: A2  
1 : 200

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 2	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 3	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 4	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 5	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 6	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 7	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3
UNIT 8	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 9	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 10	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 11	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 12	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

**COMPLIANCE SCHEDULE**  
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 2 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND	
	NEW SINGLE SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 13mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE. 13mm SOUND RESISTANT PLASTERBOARD SCREW FIXED TO RESILANT MOUNTING FURRING CHANNEL WITH 9KG/M3 POLYESTER INSULATION OTHER SIDE. 217mm WALL THICKNESS. Rw60 (-2,-8)

WINDOW SCHEDULE - UNIT 4							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	EAST	600 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	WEST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	WEST	600 EAVE	1200	2485
W06	600H x 850W	AL. SLIDING	1.54m2	WEST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m2	EAST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	WEST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	WEST	600 EAVE	1500	2420

WINDOW SCHEDULE - UNIT 5							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	EAST	600 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	WEST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	NORTH	600 EAVE	1200	2485
W06	600H x 850W	AL. SLIDING	1.54m2	WEST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m2	EAST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	WEST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	WEST	600 EAVE	1500	2420

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

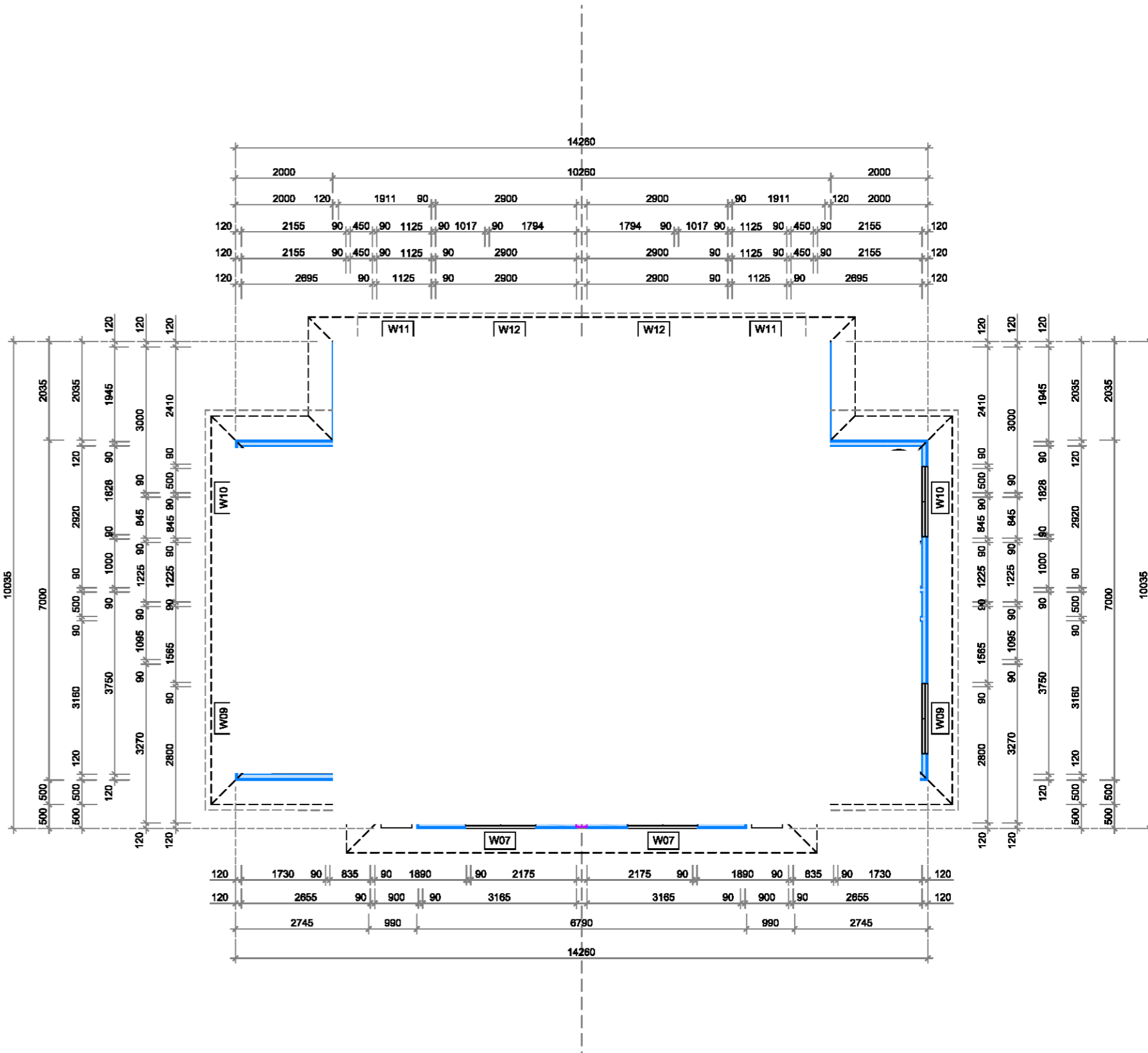
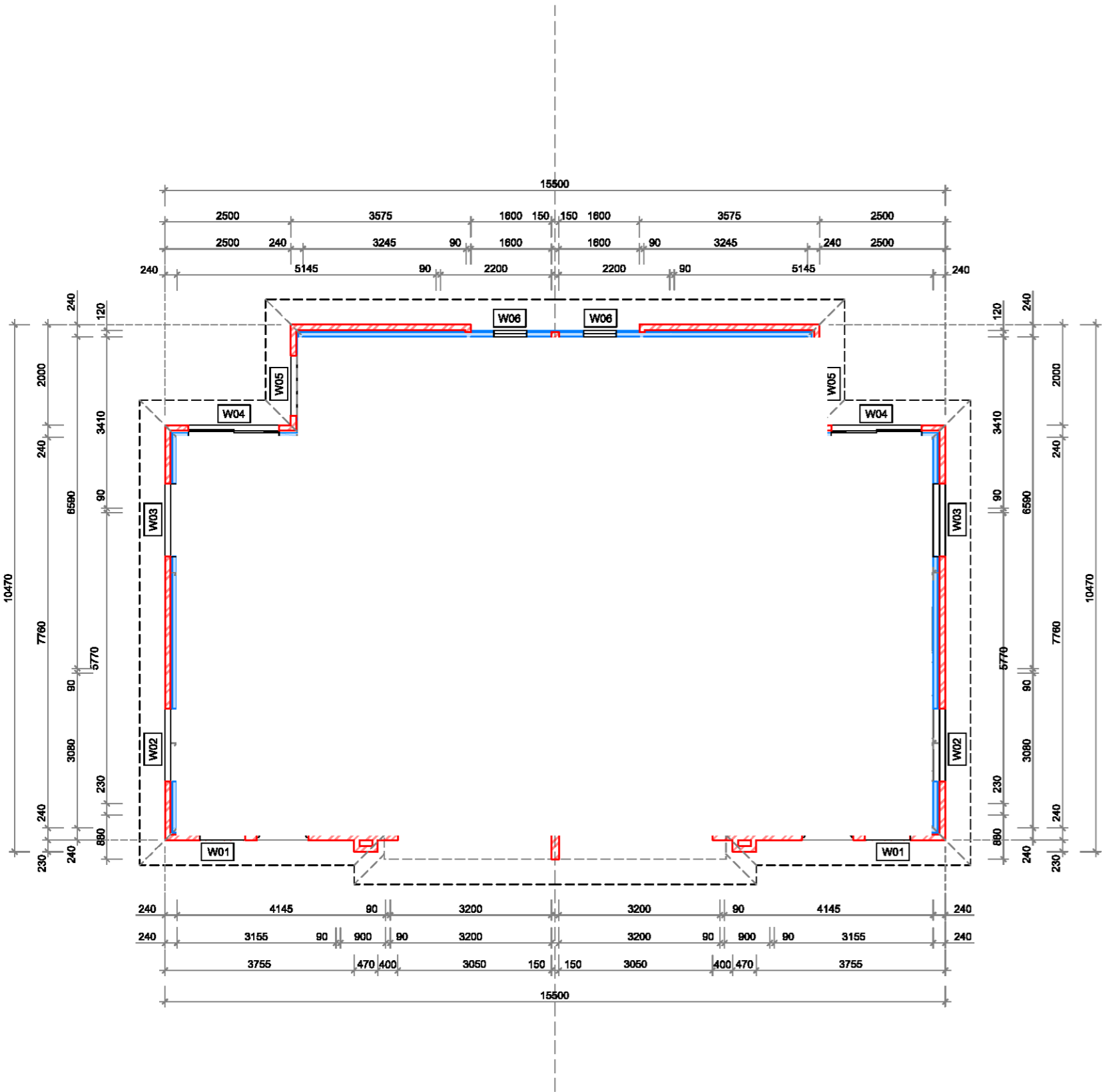
FINISHES SCHEDULE - REFER A.01 COVER SHEET

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

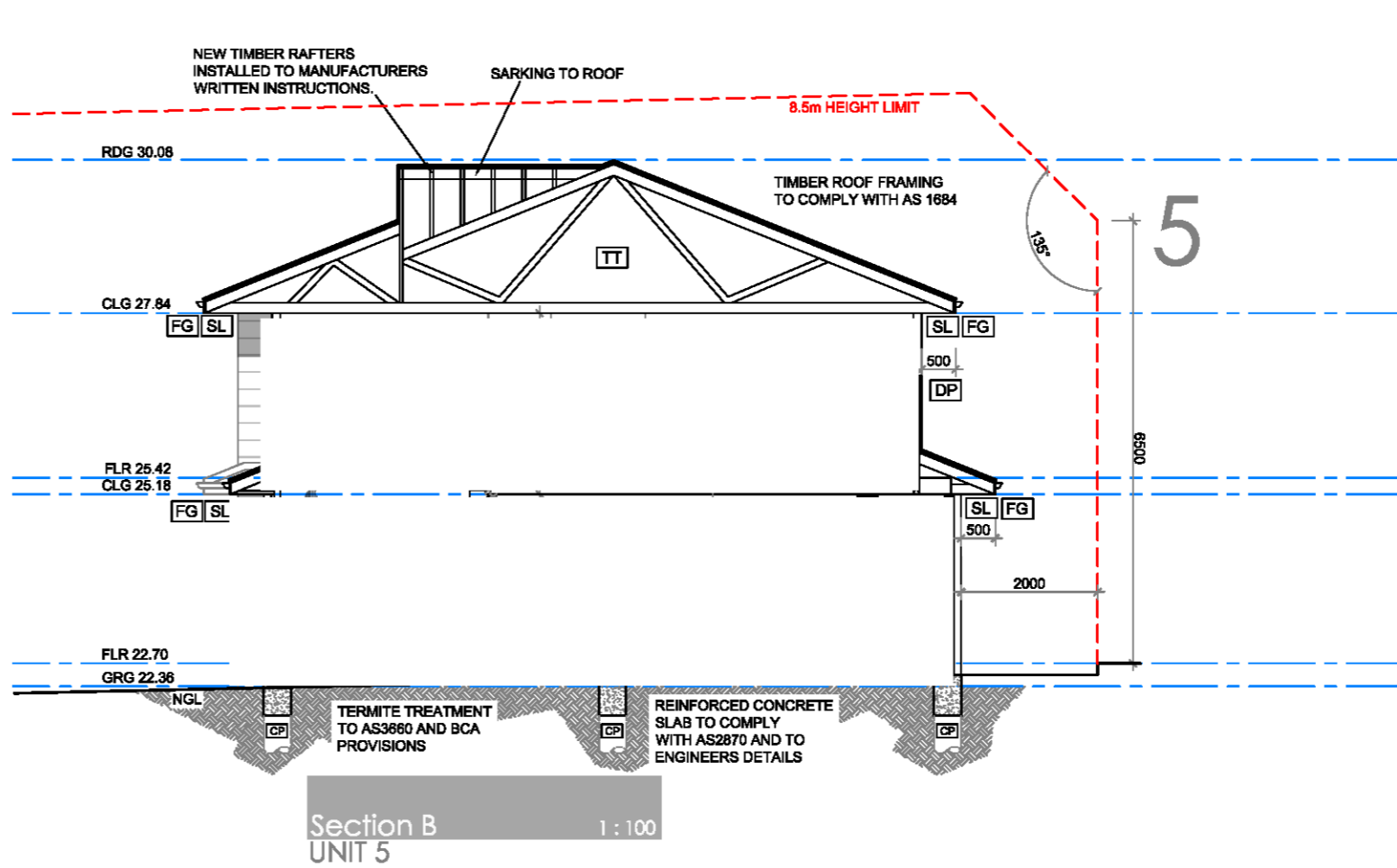
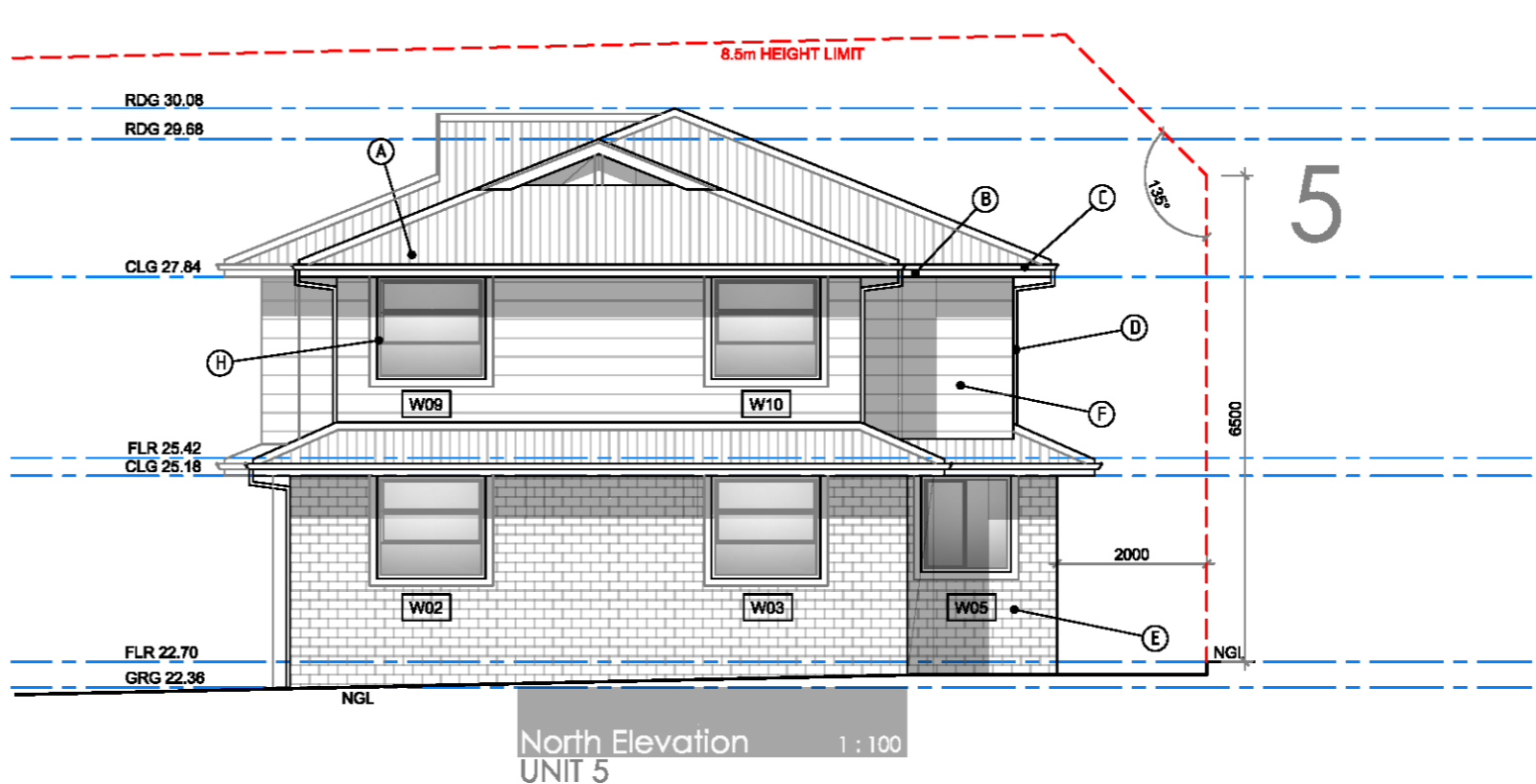
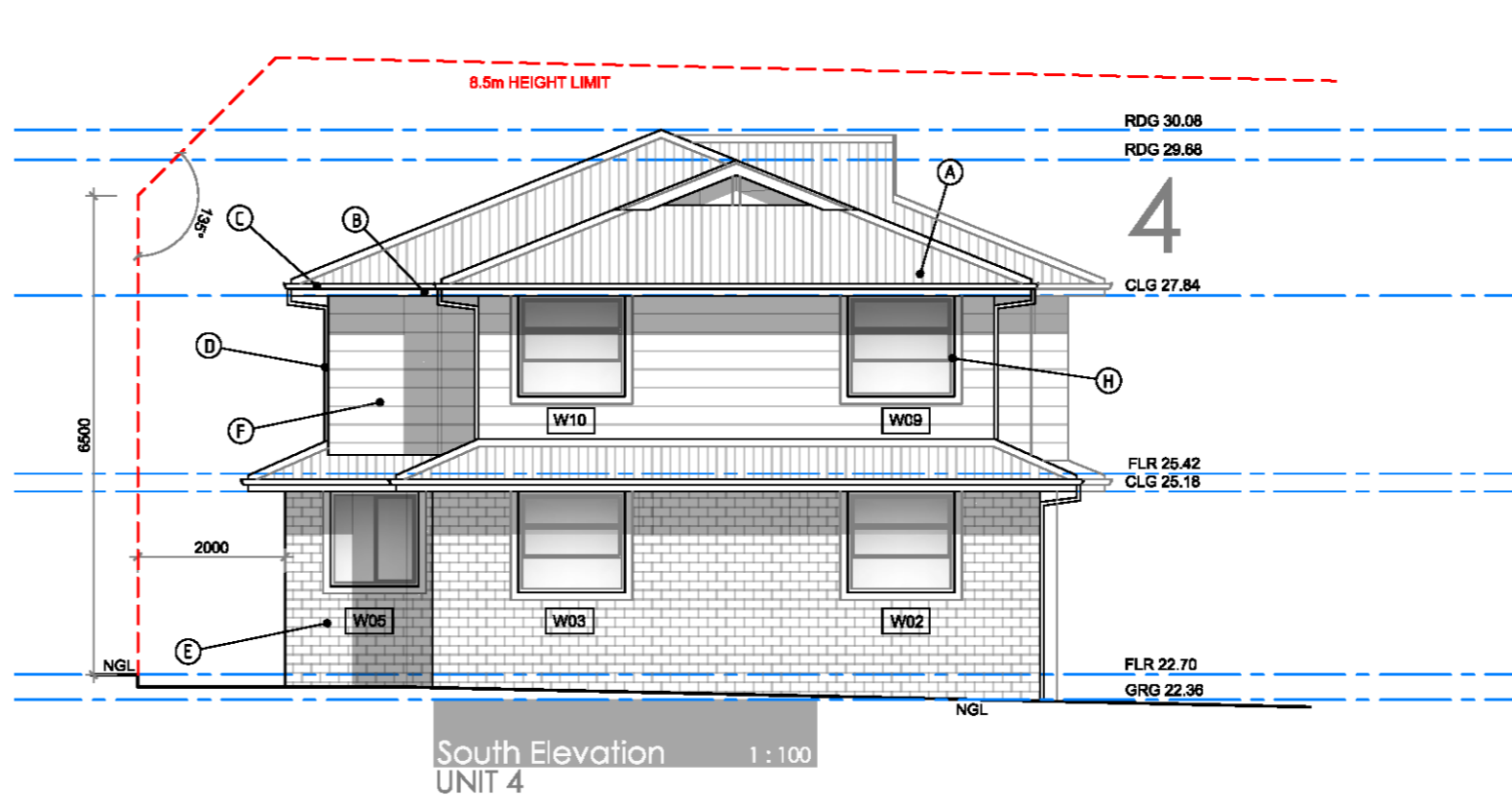
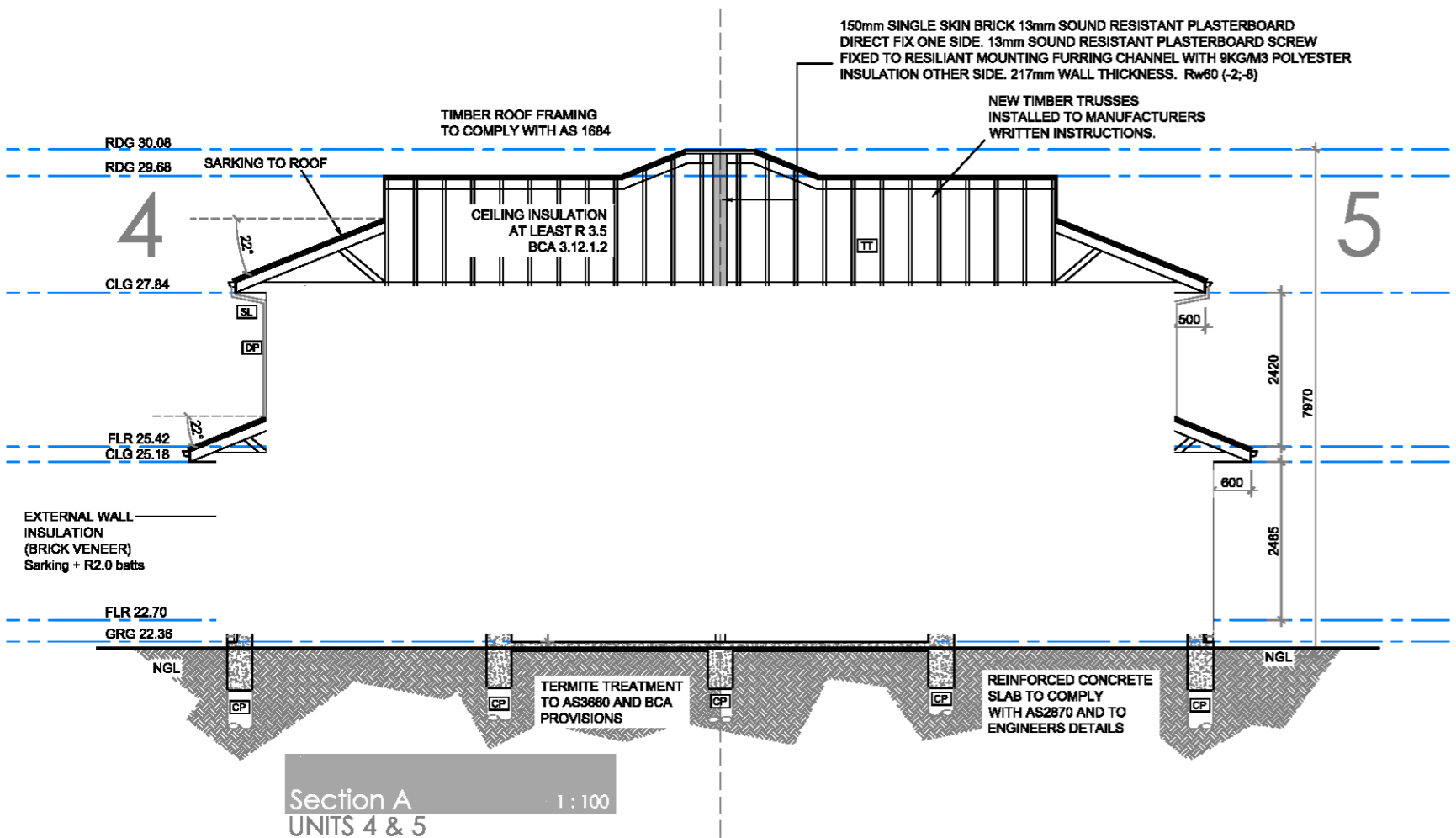
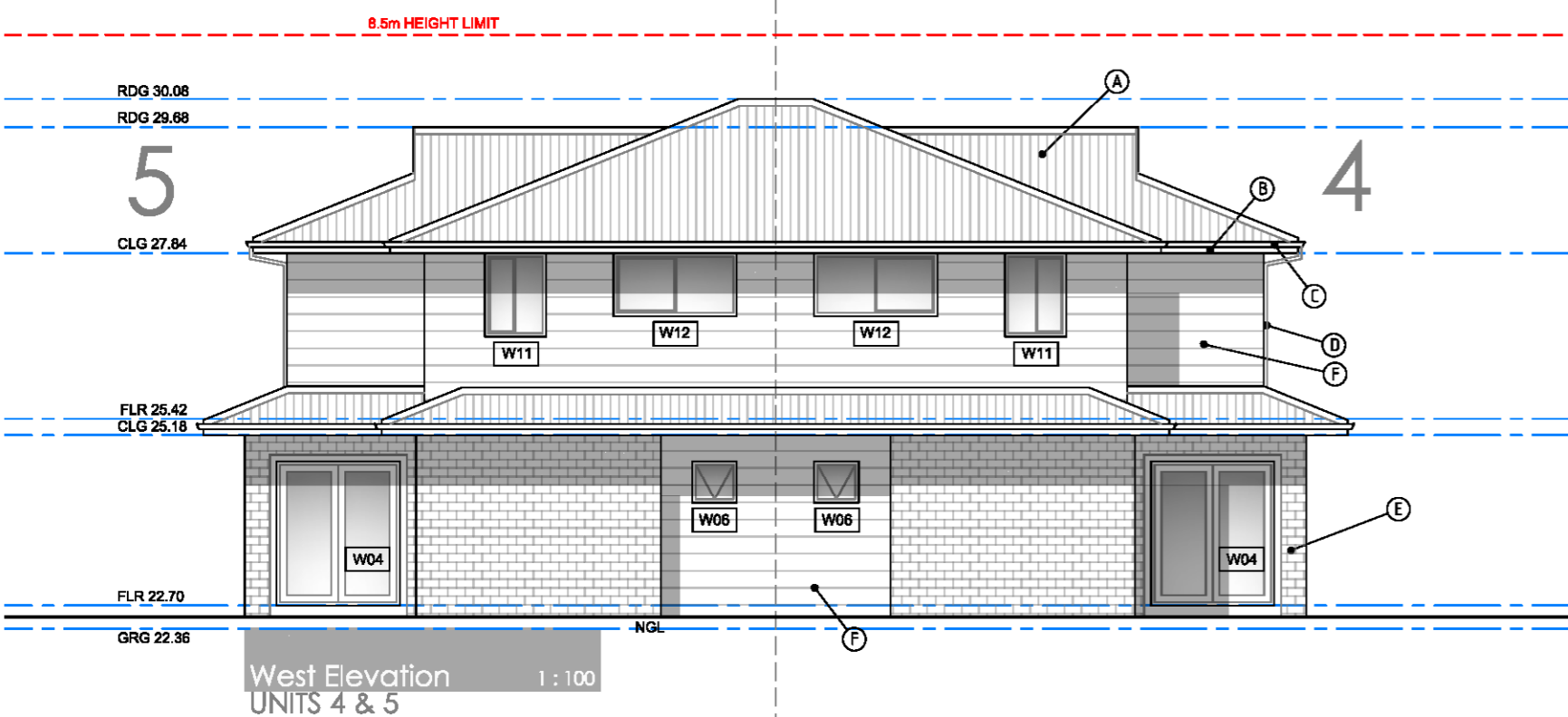
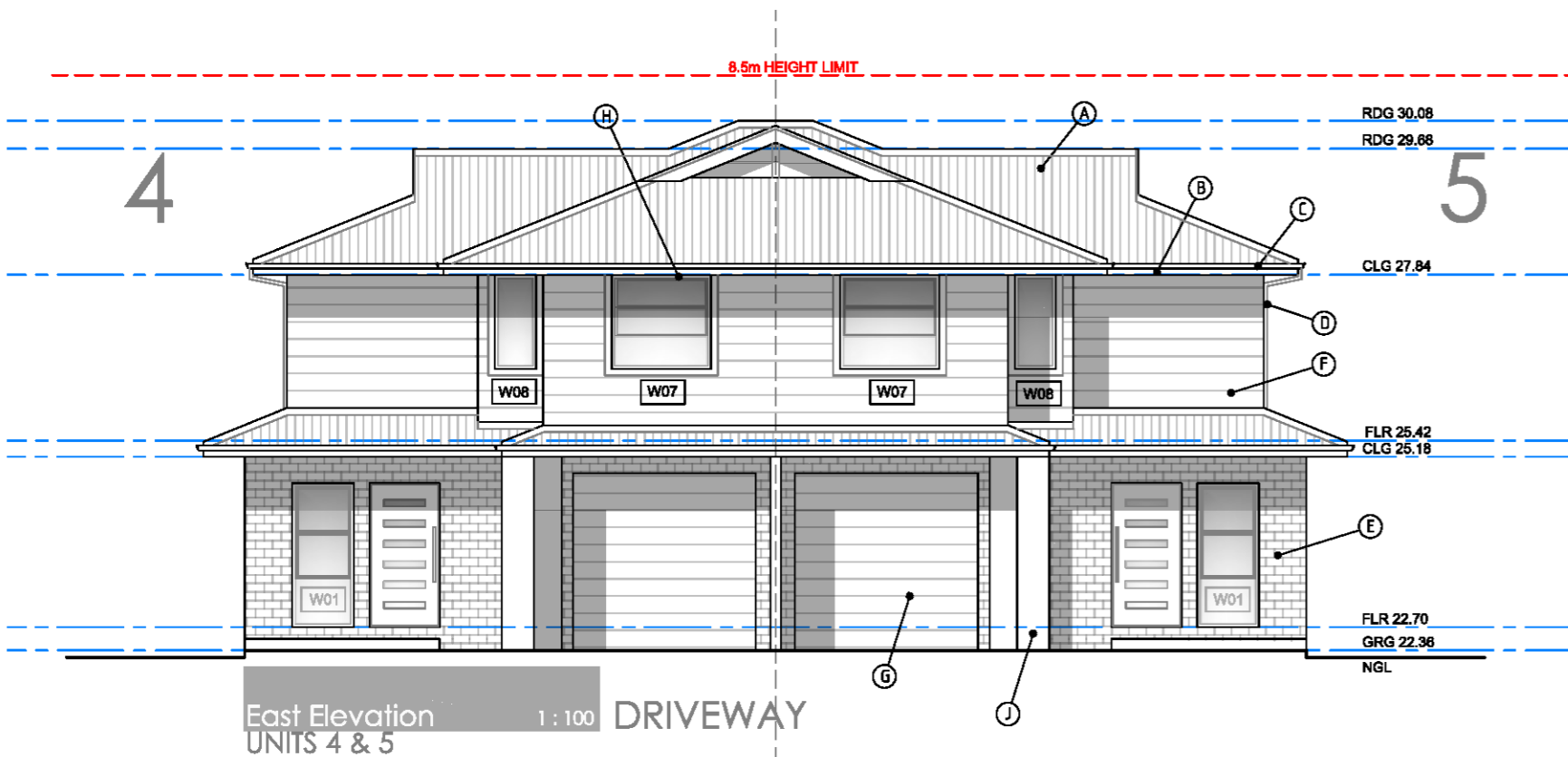
FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION



ABN 75949053186  
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https://obriendesigndrafting.com.au/  
info@obriendesign.com.au

CLIENT: Cazbuild  
PROJECT: Proposed Multi-Dwelling Development at  
71 Albert Street Werrington NSW 2747 Lot 104 DP 1573  
DRAW TITLE: UNITS 4 & 5 - FLOOR PLANS

<input checked="" type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production	DATE: 19.08.21	
All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Within dimensions take precedence over scale. Do not scale from drawing			DRAWN BY: AO'B	
© All content remains the property obrien design+drafting.			SHEET: A2	
			SCALE: 1 : 200	
B DA ISSUE A CONCEPT				19.08.21 28.07.21
AMENDMENT DESCRIPTION				DATE
Dwg No 71_AW_A.07				B



## FINISHES SCHEDULE

(A)	ROOF CLADDING TYPE - COLORBOND STEEL COLOUR - MONUMENT
(B)	FASCIA TYPE - COLORBOND STEEL COLOUR - WHITE
(C)	GUTTERS TYPE - STEEL COLOUR - MONUMENT
(D)	DOWNPIPES TYPE - PVC ROUND COLOUR - WHITE
(E)	MASONRY TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
(F)	CLADDING TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
(G)	GARAGE DOORS TYPE - B&D STEEL COLOUR - SURFMIST
(H)	WINDOW FRAMES TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
(J)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - WHITE
(K)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET



## NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE.  
LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS.  
WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1500mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM DRAINAGE WHERE POSSIBLE.  
ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3602.2.2. METALLIC PIPE DRAINAGE WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

**EXCAVATIONS**  
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE UNDERLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.1.10.

**CONCRETE**  
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.2.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNLAME DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

**PRE-MIXED CONCRETE** SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1576. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.  
ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600.

**STORMWATER**  
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

**EXTERNAL CLADDING**  
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

**TIMBER FRAMING**  
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND FINISHES SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESMANSHIP LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE RECOGNISED AND ACCEPTED BUILDING PRACTICES.

**MASONRY**  
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.5.1. CLAY BRICKS ARE A NATURAL REINFORCED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY.  
MORTAR SHALL COMPLY WITH BCA 3.5.1.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.  
MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.5.3 AND ACCEPTED BUILDING PRACTICES. WALLS TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.  
MASONRY RETAINING WALLS TO COMPLY WITH AS 4674.

**BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION**  
**ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3680**  
**SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786**

## CONSTRUCTION LEGEND

(F)	STEEL FASCIA & GUTTER
(DP)	PVC DOWNPIPE
(AW)	SELECTED ALUMINIUM WINDOW
(SD)	SELECTED BUILDING DOOR
(BB)	BILBOARDS PAINTED AS SELECTED
(CC)	SELECTED TIMBER COLUMNS
(TS)	INTERNAL TIMBER STUD WALLS
(SL)	OFC BOFFET LINING
(TT)	TIMBER TRUSSES TO MNFG DETAIL
(TB)	TIMBER BEAMS TO ENG. DETAIL
(CS)	CONC SLAB TO ENG. DETAIL
(CP)	CONC PERB TO ENG. DETAIL



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CLIENT: Cazbuild  
PROJECT: Proposed Multi-Dwelling Development at  
71 Albert Street Werrington NSW 2747 Lot 104 DP 1573  
DRAWING TITLE: UNITS 4 & 5 - ELEVATIONS & SECTIONS

Concept ☐ Quote ☐ Production ☒  
All dimensions in millimetres unless otherwise stated.  
Contractor to check all site dimensions prior to commencement of work. Within dimensions take precedence over scale.  
Do not scale from drawing  
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DATE: 19.08.21  
DRAWN BY: AO/B  
SCALE: A2  
1:200

DA ISSUE: 19.08.21  
CONCEPT: 28.07.21  
DESCRIPTION: 71\_AW\_A.08  
DATE: 19.08.21  
ISSUE: B

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 2	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 3	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 4	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 5	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 6	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 7	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3
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UNIT 12	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

**COMPLIANCE SCHEDULE**  
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND	
	NEW SINGLE SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 13mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE. 13mm SOUND RESISTANT PLASTERBOARD SCREW FIXED TO RESILANT MOUNTING FURRING CHANNEL WITH 9KG/M3 POLYESTER INSULATION OTHER SIDE. 217mm WALL THICKNESS. Rw60 (-2,-8)

WINDOW SCHEDULE - UNIT 6							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	EAST	600 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	WEST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	SOUTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m2	WEST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W08	1370H x 800W	AL. FIXED	0.80m2	EAST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	WEST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	WEST	600 EAVE	1500	2420

WINDOW SCHEDULE - UNIT 7							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	EAST	600 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	WEST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	NORTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m2	WEST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W08	1370H x 800W	AL. FIXED	0.80m2	EAST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	WEST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	WEST	600 EAVE	1500	2420

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

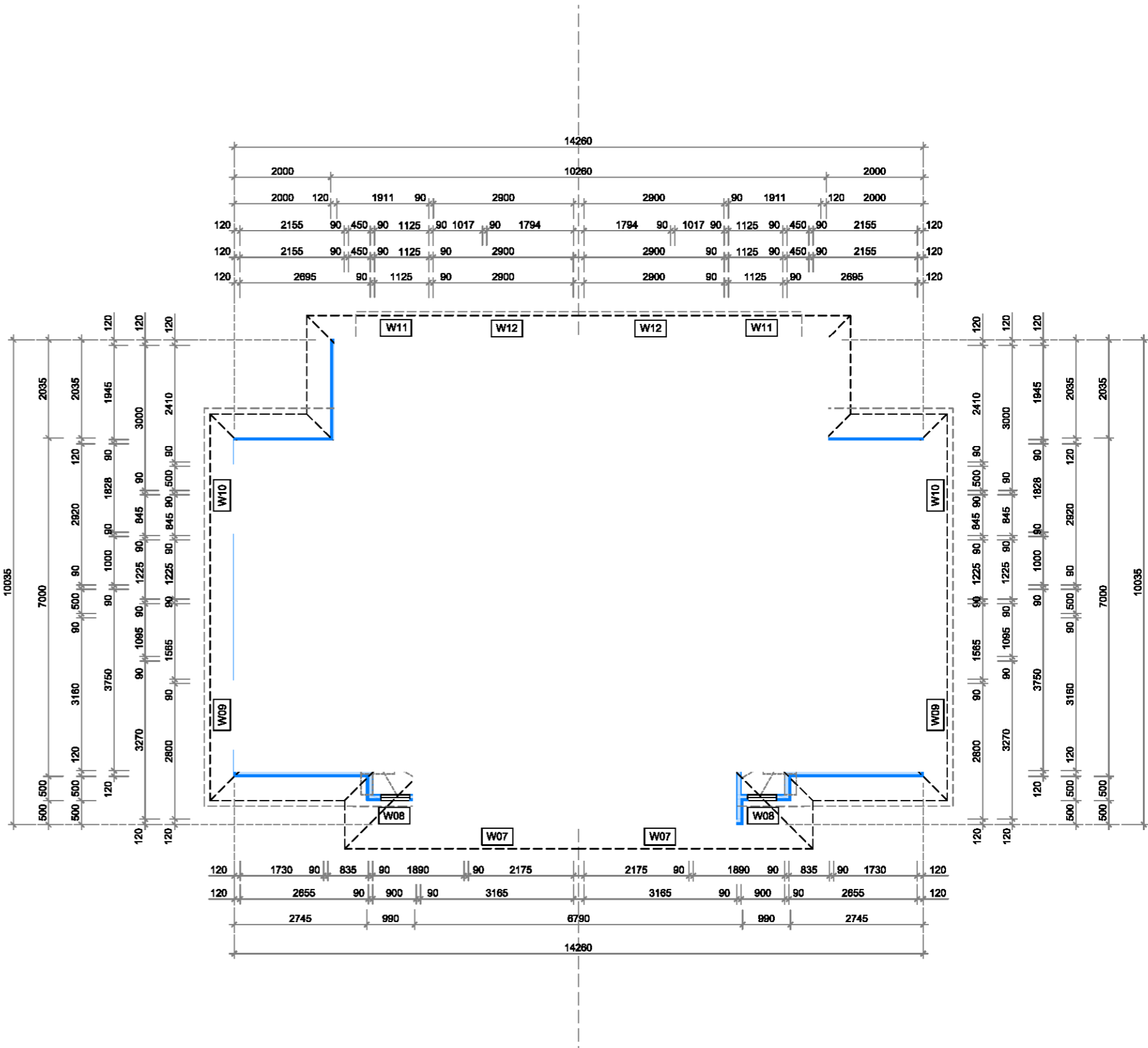
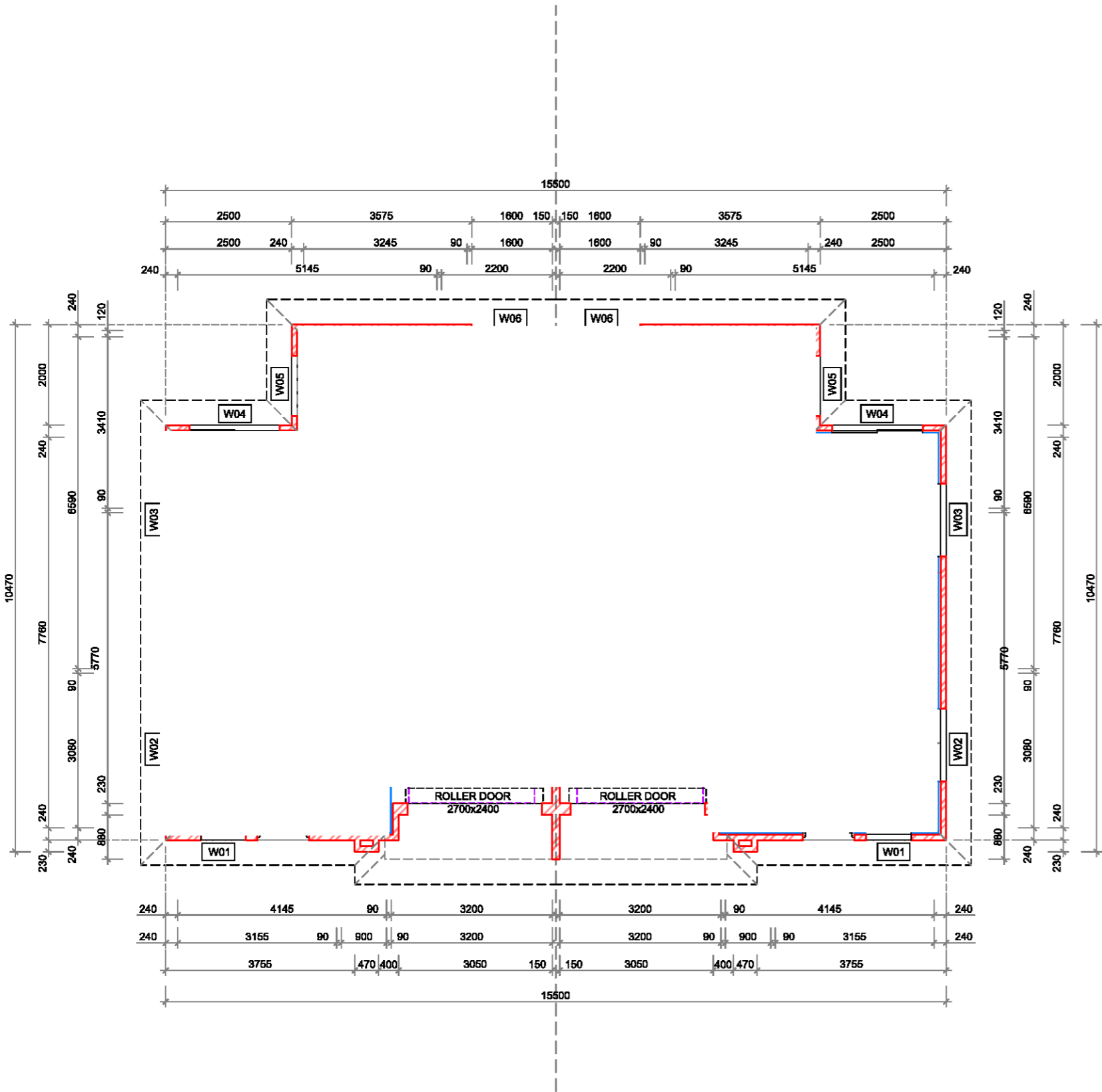
FINISHES SCHEDULE - REFER A.01 COVER SHEET

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION



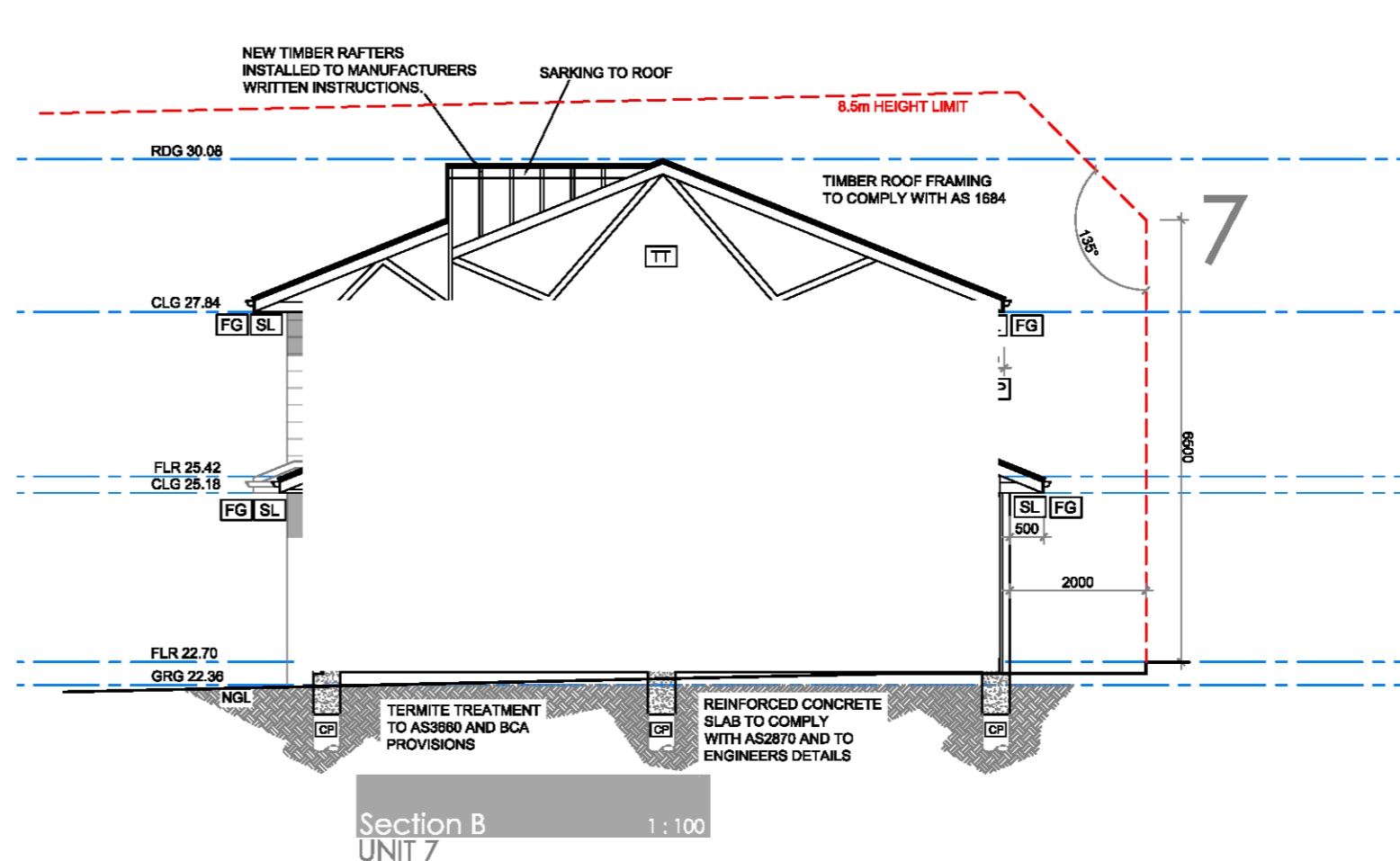
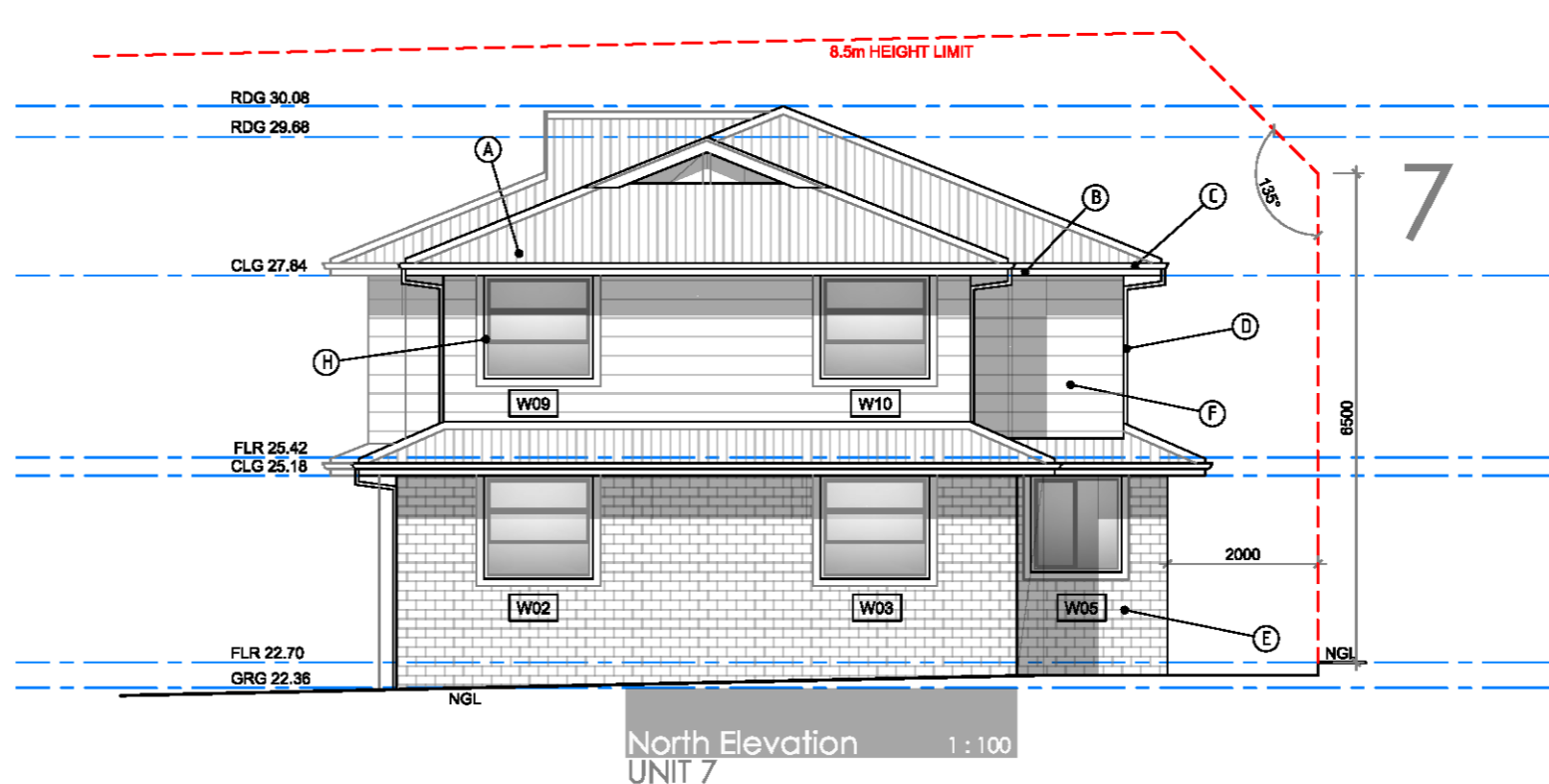
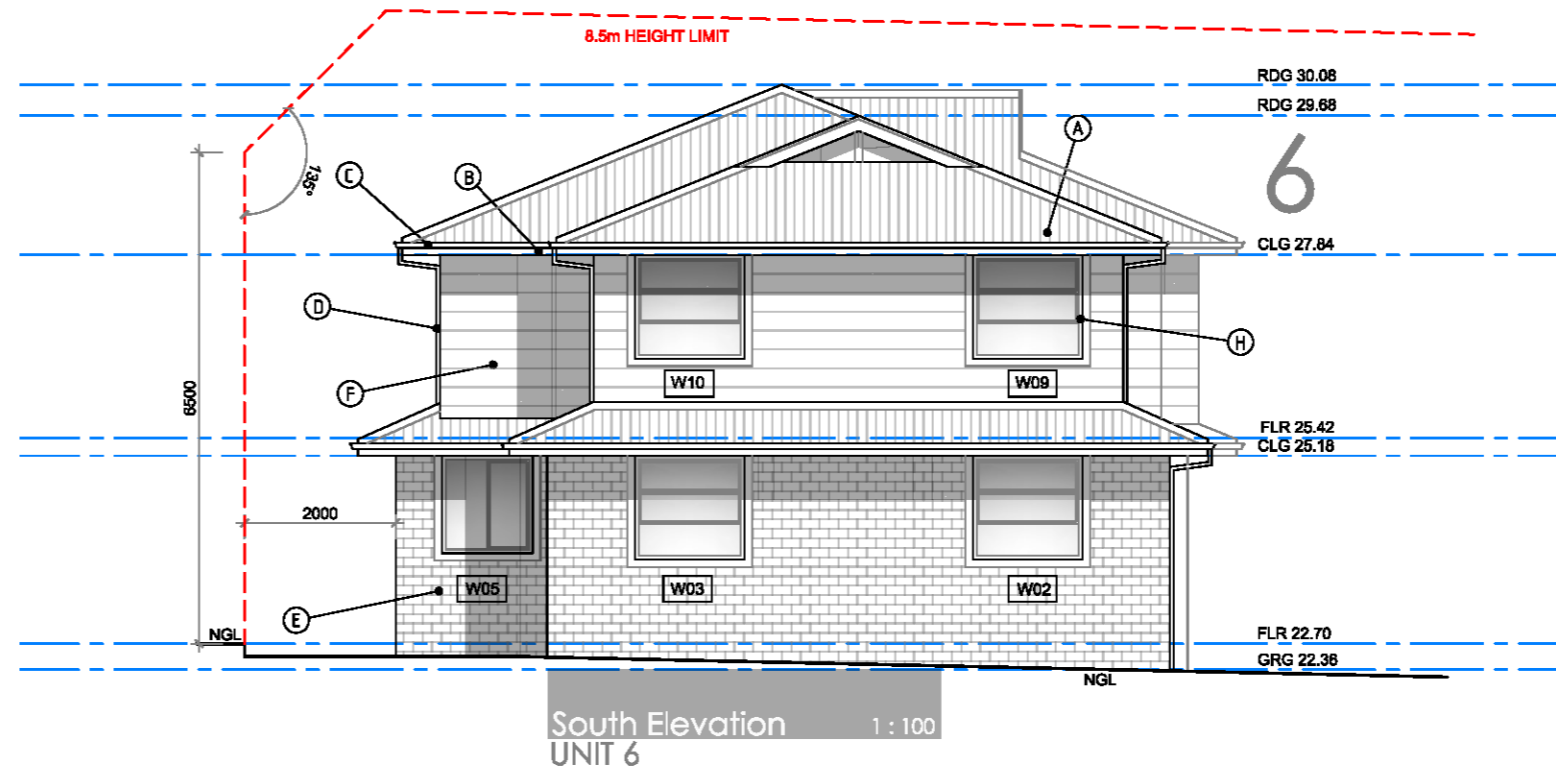
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71 Albert Street Werrington NSW 2747 Lot 104 DP 1573  
DWG TITLE: UNITS 6 & 7 - FLOOR PLANS

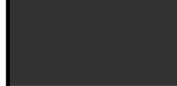





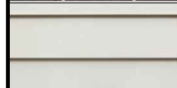

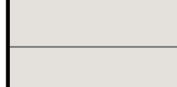

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B	DA ISSUE	19.08.21
A	CONCEPT	28.07.21
AMENDMENT	DESCRIPTION	DATE
DWG NO	71_AW_A.09	ISSUE B



## FINISHES SCHEDULE

	(A) <b>ROOF CLADDING</b> TYPE - COLORBOND STEEL COLOUR - MONUMENT
	(B) <b>FASCIA</b> TYPE - COLORBOND STEEL COLOUR - WHITE
	(C) <b>GUTTERS</b> TYPE - STEEL COLOUR - MONUMENT
	(D) <b>DOWNPIPES</b> TYPE - PVC ROUND COLOUR - WHITE
	(E) <b>MASONRY</b> TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
	(F) <b>CLADDING</b> TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
	(G) <b>GARAGE DOORS</b> TYPE - B&D STEEL COLOUR - SURFMIST
	(H) <b>WINDOW FRAMES</b> TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
	(J) <b>COLUMNS / FEATURE WALL</b> TYPE - RENDERED MASONRY COLOUR - WHITE
	(K) <b>COLUMNS / FEATURE WALL</b> TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

**BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.**

**ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"**

**ALL CAR SPACES COMPLY WITH AS 2890.1-2004**

**WINDOW SCHEDULE - REFER FLOOR PLANS**

FINISHES SCHEDULE - REFER A.01 COVER SHEET



## NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE. IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE.

LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS.

WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 800MM X 600MM X 1000MM LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE.

ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1. OF THE BCA AND ASS3500.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SUBSTRATE WATER INTRUSION.

**EXCAVATIONS**  
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2  
UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2  
OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.0.10.

**CONCRETE**  
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNDESIRABLE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.  
ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS36

**STORMWATER**  
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

**EXTERNAL CLADDING**  
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND APPLICABLE SPECIAL DETAILS.

**TIMBER FRAMING**  
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHIEF AND JOINTS SHALL COMPLY WITH BCA 3.4.3 OR AS 1884. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAIL AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESPERSON LIKE MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

**MASONRY**  
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND BCA 3.3. CLAY BRICKS ARE A NATURAL KILN FIRED PRODUCT AND AS THEIR INDIVIDUAL SIZE MAY VARY.  
MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL IN ACCORDANCE WITH AS3700.  
MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND AC BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT IF APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.  
MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

**BUILDER TO CONFIRM THE LOCATION  
OF ALL SERVICES PRIOR TO CONSTRUCTION  
ALL TERMITE TREATMENT TO BE  
CARRIED OUT IN ACCORDANCE  
WITH AS 3660  
SMOKE DETECTORS TO BE INSTALLED  
AND CONNECTED TO AS 3786**

**SECTION NOTES:**

PROVIDE SELECTED STEEL ROOF TO MATCH ROOF TO MANUFACTURERS WRITTEN INSTRUCTIONS

PROVIDE SELECTED PREPARED/FACTURED TIMBER SUBSTRATE TO MATCH MANUFACTURERS WRITTEN INSTRUCTIONS AND AS DIRECTED.

PROVIDE SUITABLE BATTENS AT CENTRES TO SUPPORT ROOFING

PROVIDE DOUBLE-SIDED SIALUMATION AS DIRECTED TO PROTECT ROOF AND INSULATE ROOF OF EXTERNAL WALL FRAMES.

PROVIDE INSULATION BLANKET TO MATCH ROOF OF INTERNAL AREAS.

PROVIDE ALUMINIUM EAVES AND GUTTERS AS DIRECTED

LINE UNDERSIDE OF TRAVELLERS BRIDGES WITH 100mm FRAMING AS DIRECTED

LINE UNDERSIDE OF TRAYS AND SOFFITS WITH 100mm FRAMING AS DIRECTED

FRAME UP FOR LOADING WALLS WITH 100mm FRAMING AS DIRECTED

PROVIDE 100mm P10 TOP AND BOTTOM PLATES

PROVIDE 90x95 P6 STUDS AT 400mm

PROVIDE 90x95 P6 FLOTTING AT MAX. 1300mm

**NOTE:** ALL TIMBER SIZES TO BE VERIFIED WITH ENGINEER BEFORE ORDERING OR COMMENCEMENT OF WORK

PROVIDE ALL STRUCTURAL STEEL MEMBERS TO ENGINEERS DETAILS

PROVIDE 100mm MIN. RIGID-GROUND STRIP AND PAD FOOTINGS TO PROTECTION

PROVIDE TERMITE/TREATMENT PROTECTION TO ALL TIMBER WORK TO BE IN ACC. ALL WORK TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND STANDARDS AS DIRECTED

### CONSTRUCTION LEGEND

<b>FG</b>	STEEL FASCIA & GUTTER
<b>DP</b>	PVC DOWNPIPE
<b>AD</b>	SELECTED ALUMINIUM WINDOW
<b>SD</b>	SELECTED SLIDING DOOR
<b>BB</b>	BLUEBOARD PAINTED AS SELECTED
<b>CB</b>	SELECTED TIMBER COLUMNS
<b>TS</b>	INTERNAL TIMBER STUD WALLS
<b>SL</b>	CFC BOFFIT LINING
<b>TT</b>	TIMBER TRUSSES TO MNFG DETAIL
<b>TB</b>	TIMBER BEAMS TO ENG. DETAIL
<b>CS</b>	CONC SLAB TO ENG. DETAIL
<b>CP</b>	CONC PIERS TO ENG. DETAIL

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
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UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

COMPLIANCE SCHEDULE  
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009)  DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%)  349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND

-  NEW SINGLE SKIN BRICK WALL  
NOM. WIDTH AS INDICATED
-  NEW TIMBER STUD WALL - 90mm
-  150mm SINGLE SKIN BRICK  
13mm SOUND RESISTANT PLASTERBOARD  
DIRECT FIX ONE SIDE. 13mm SOUND  
RESISTANT PLASTERBOARD SCREW  
FIXED TO RESILANT MOUNTING FURRING  
CHANNEL WITH 9KG/M3 POLYESTER  
INSULATION OTHER SIDE. 217mm WALL  
THICKNESS. Rw60 (-2,-8)

WINDOW SCHEDULE - UNIT 8

CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	600H x 1920W	AL. AWNING	1.15m2	WEST	600 EAVE	1500	2100
W02	2100H x 600W	AL. D/HUNG	1.28m2	SOUTH	600 EAVE	-	2100
W03	900H x 1570W	AL. AWNING	1.40m2	SOUTH	600 EAVE	1200	2100
W04	2100H x 1810W	SLIDING DOOR	3.78m2	SOUTH	2000 EAVE	-	2100
W05	1800H x 750W	AL. AWNING	1.35m2	EAST	600 EAVE	300	2100
W06	1800H x 750W	AL. AWNING	1.35m2	EAST	600 EAVE	300	2100
W07	986H x 600W	AL. D/HUNG	0.60m2	EAST	600 EAVE	1500	2485
W08	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420
W09	620H x 1525W	AL. AWNING	0.90m2	SOUTH	600 EAVE	1800	2420
W10	1825H x 750W	AL. FIXED	1.40m2	SOUTH	600 EAVE	595	2420
W11	900H x 1570W	AL. AWNING	1.40m2	SOUTH	600 EAVE	1200	2100
W12	600H x 1800W	AL. AWNING	1.08m2	EAST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420

WINDOW SCHEDULE - UNIT 9

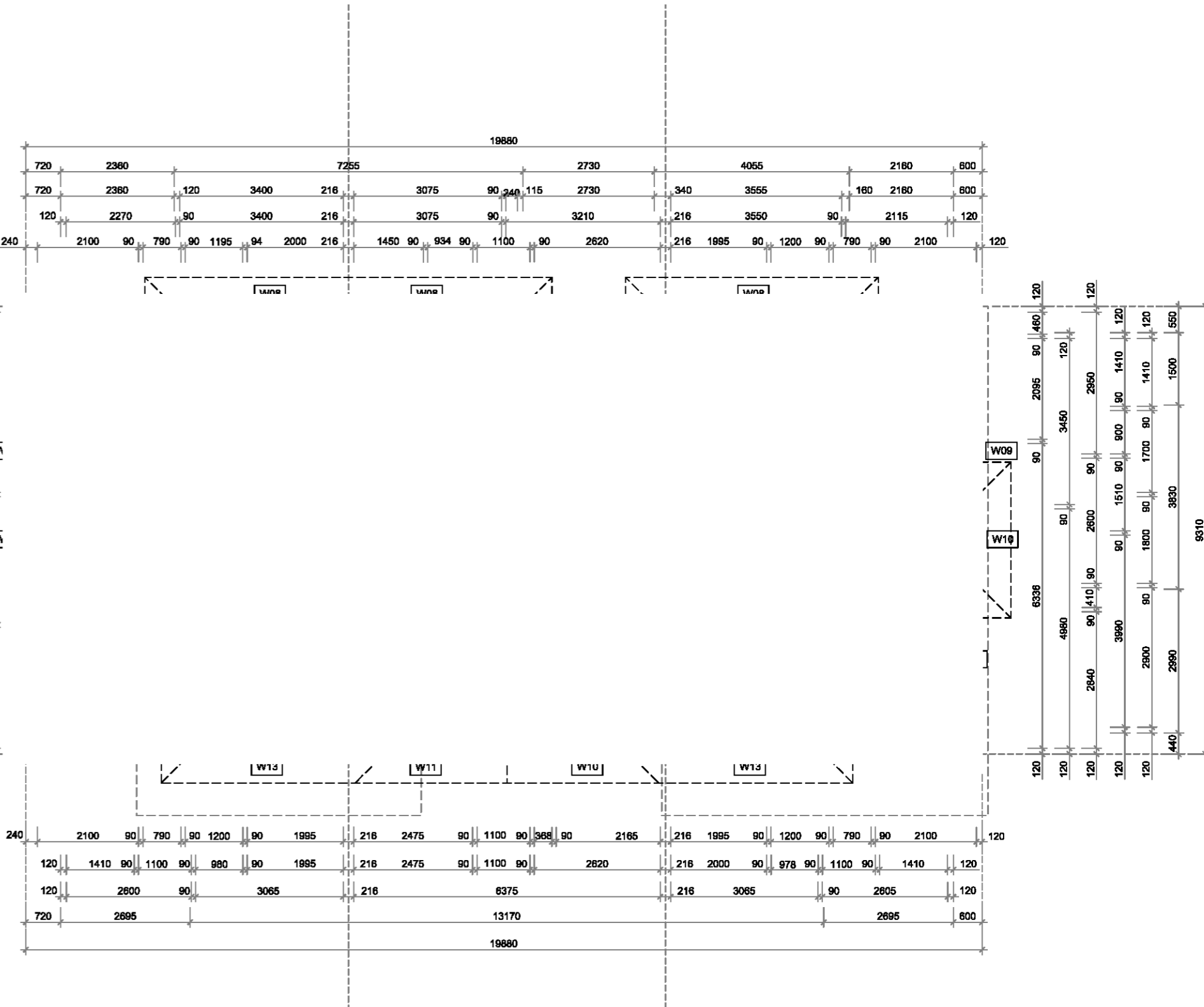
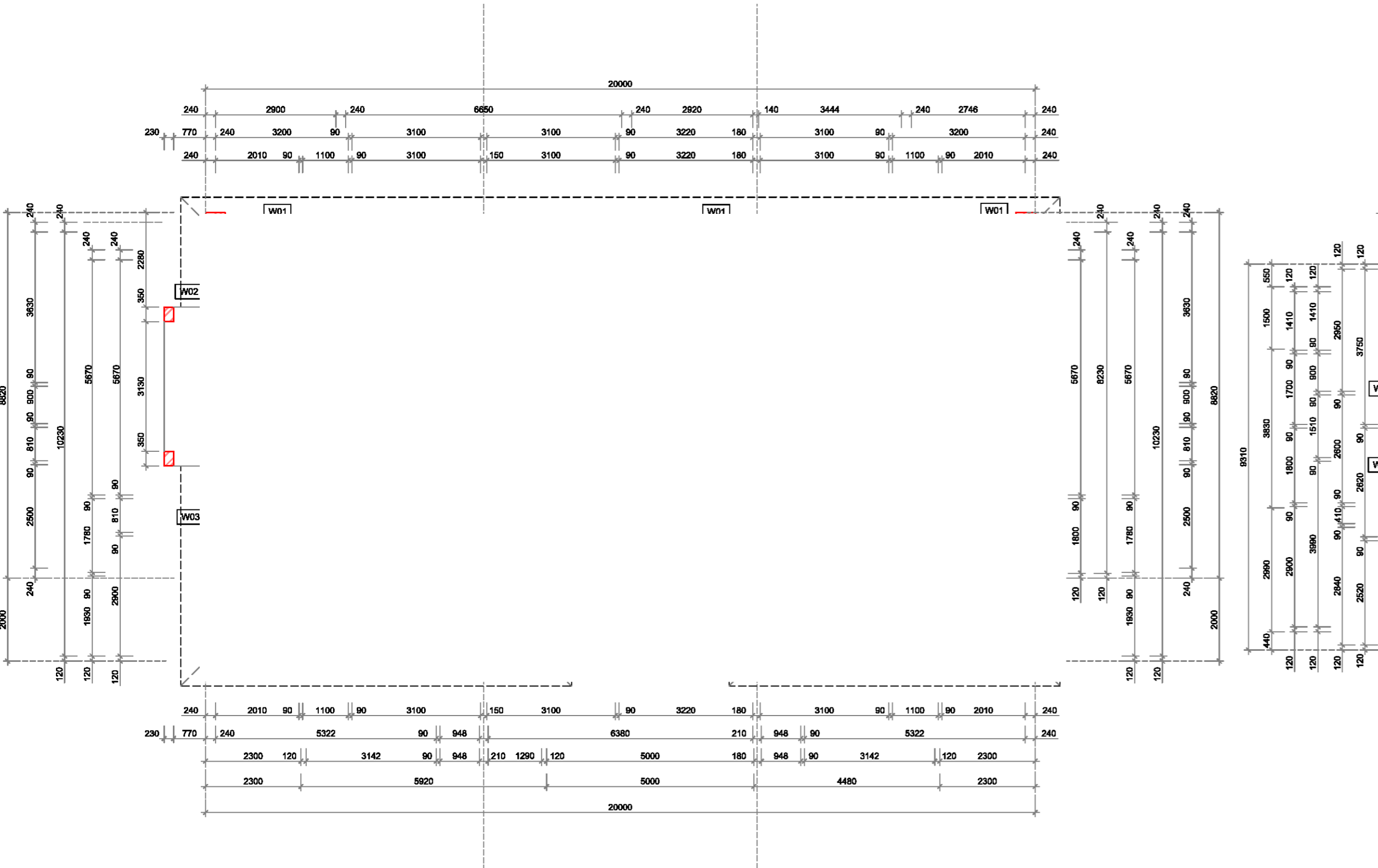
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	WEST	600 EAVE	-	2100
W02	900H x 1200W	AL. SLIDING	1.08m2	EAST	600 EAVE	1200	2100
W03	2100H x 1810W	SLIDING DOOR	3.78m2	EAST	600 EAVE	-	2100
W04	900H x 800W	AL. SLIDING	0.54m2	NORTH	2000 EAVE	1520	2420
W08	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420
W11	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420

WINDOW SCHEDULE - UNIT 10

CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	WEST	600 EAVE	-	2100
W02	900H x 2100W	AL. SLIDING	1.80m2	NORTH	600 EAVE	1200	2100
W03	900H x 1570W	AL. AWNING	1.40m2	NORTH	600 EAVE	1200	2100
W04	2100H x 1810W	SLIDING DOOR	3.78m2	NORTH	2000 EAVE	-	2100
W05	1800H x 750W	AL. AWNING	1.35m2	EAST	600 EAVE	300	2100
W06	1800H x 750W	AL. AWNING	1.35m2	EAST	600 EAVE	300	2100
W07	985H x 600W	AL. D/HUNG	0.60m2	EAST	600 EAVE	1500	2485
W08	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420
W09	620H x 1525W	AL. AWNING	0.90m2	NORTH	600 EAVE	1800	2420
W10	1825H x 750W	AL. FIXED	1.40m2	NORTH	600 EAVE	595	2420
W11	900H x 1570W	AL. AWNING	1.40m2	NORTH	600 EAVE	1520	2420
W12	600H x 1800W	AL. AWNING	1.08m2	EAST	600 EAVE	1820	2420
W13	1370H x 1450W	AL. D/HUNG	1.98m2	EAST	600 EAVE	1050	2420

FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION



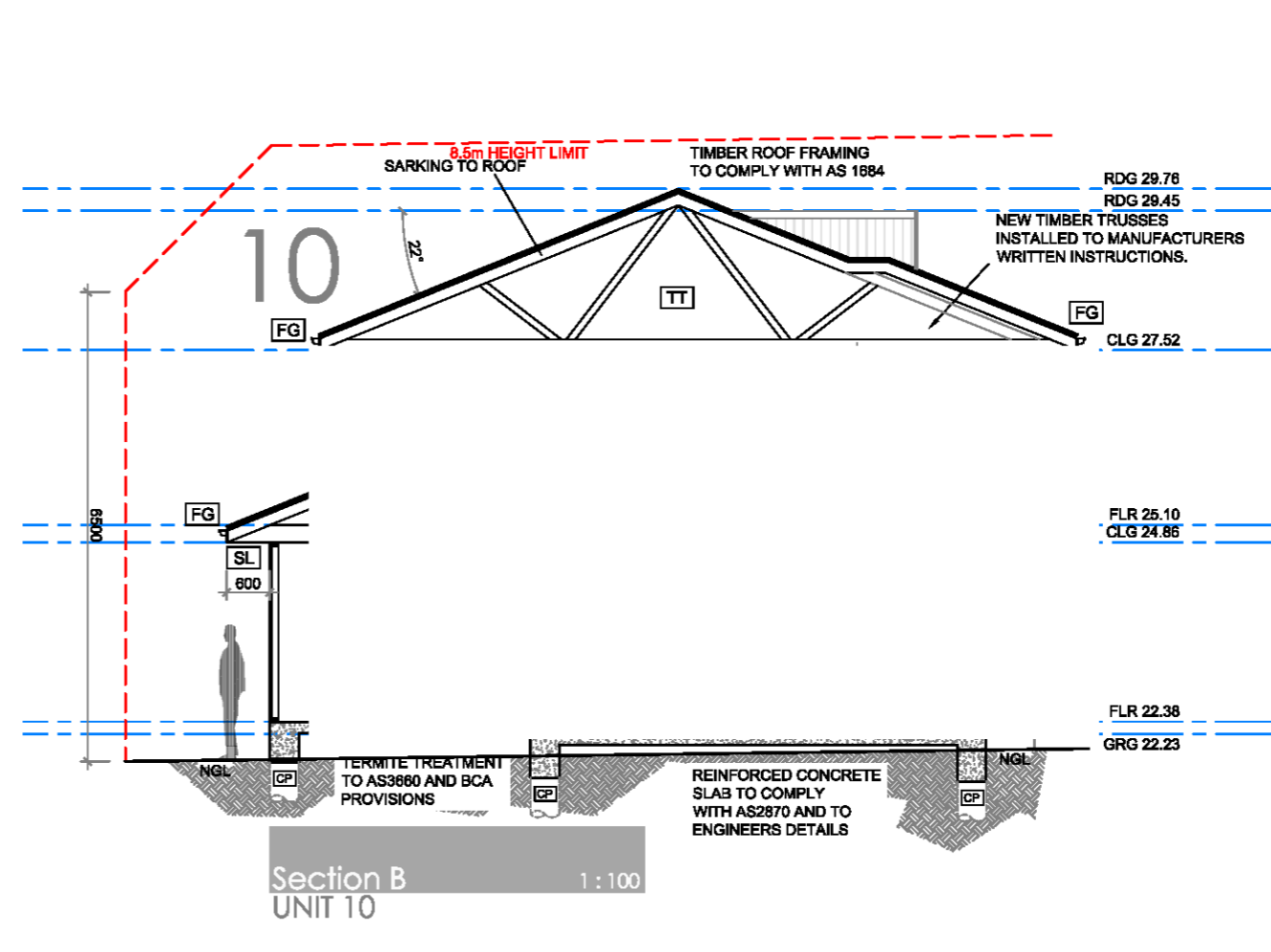
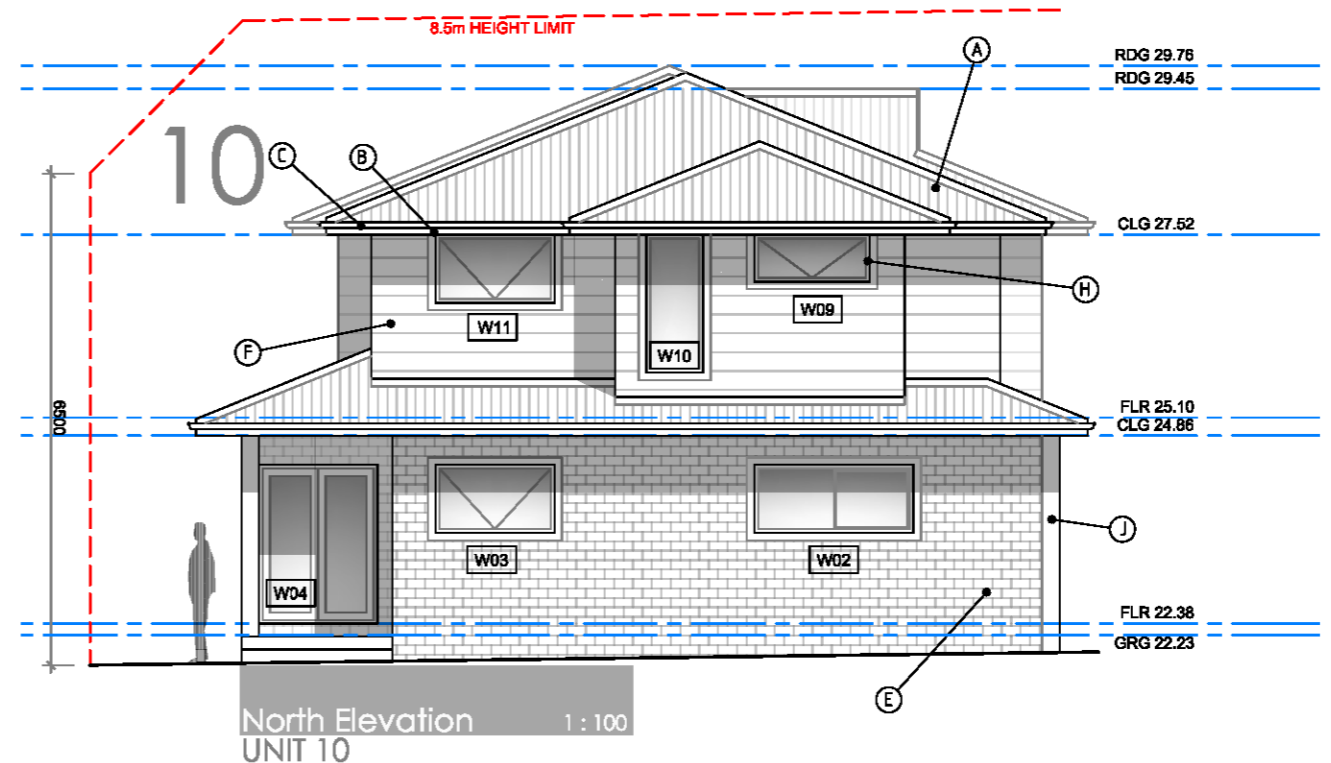
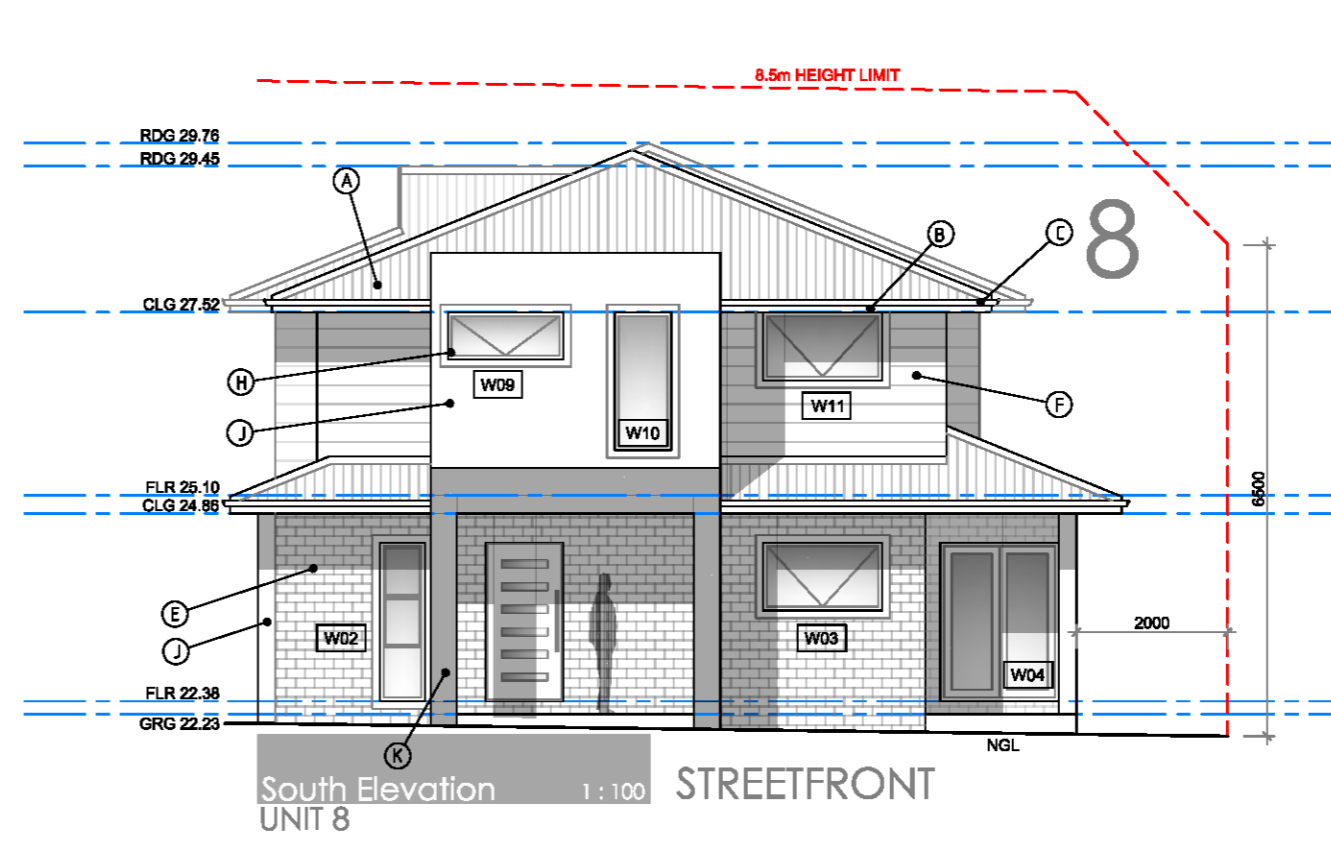
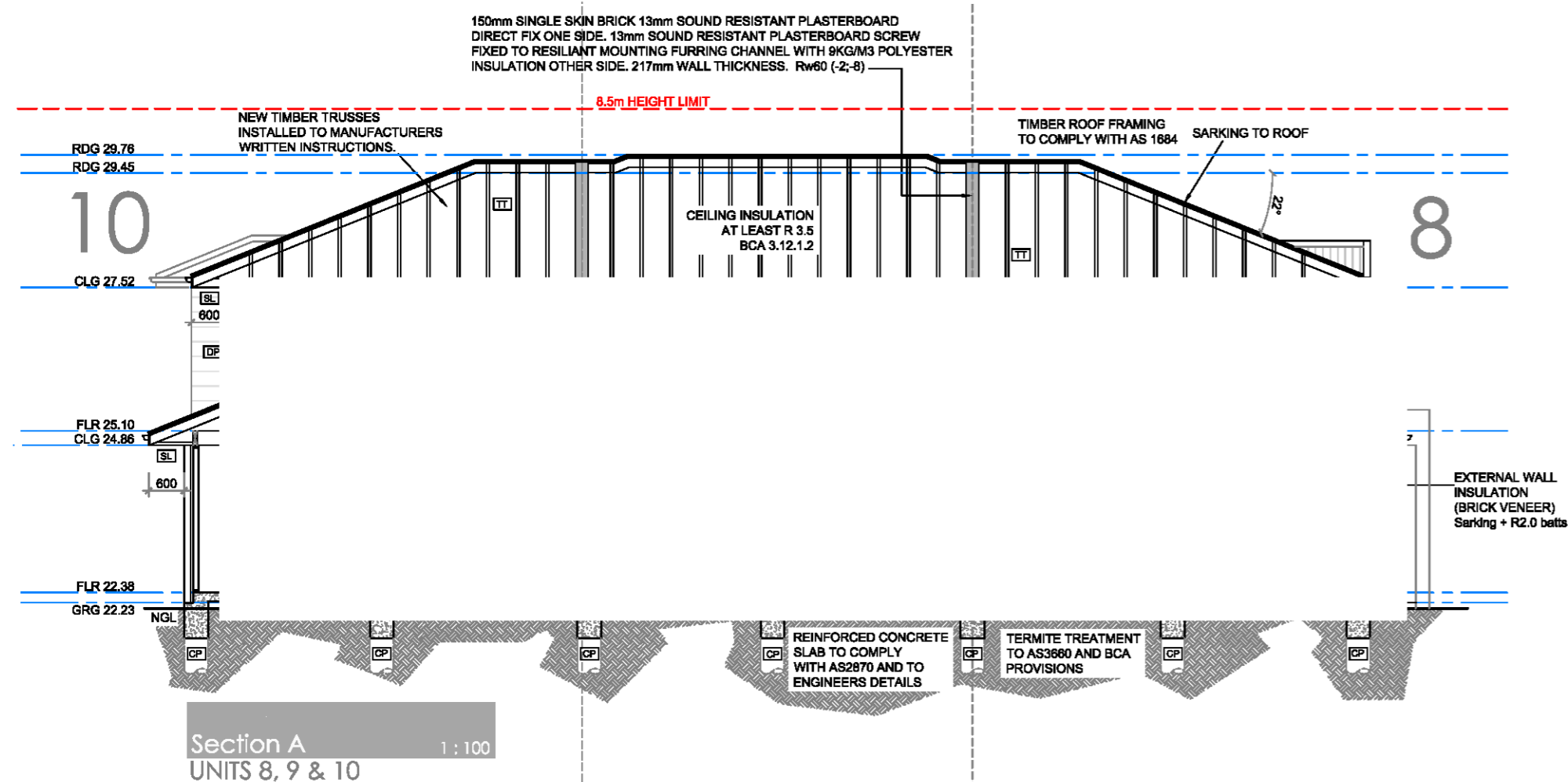
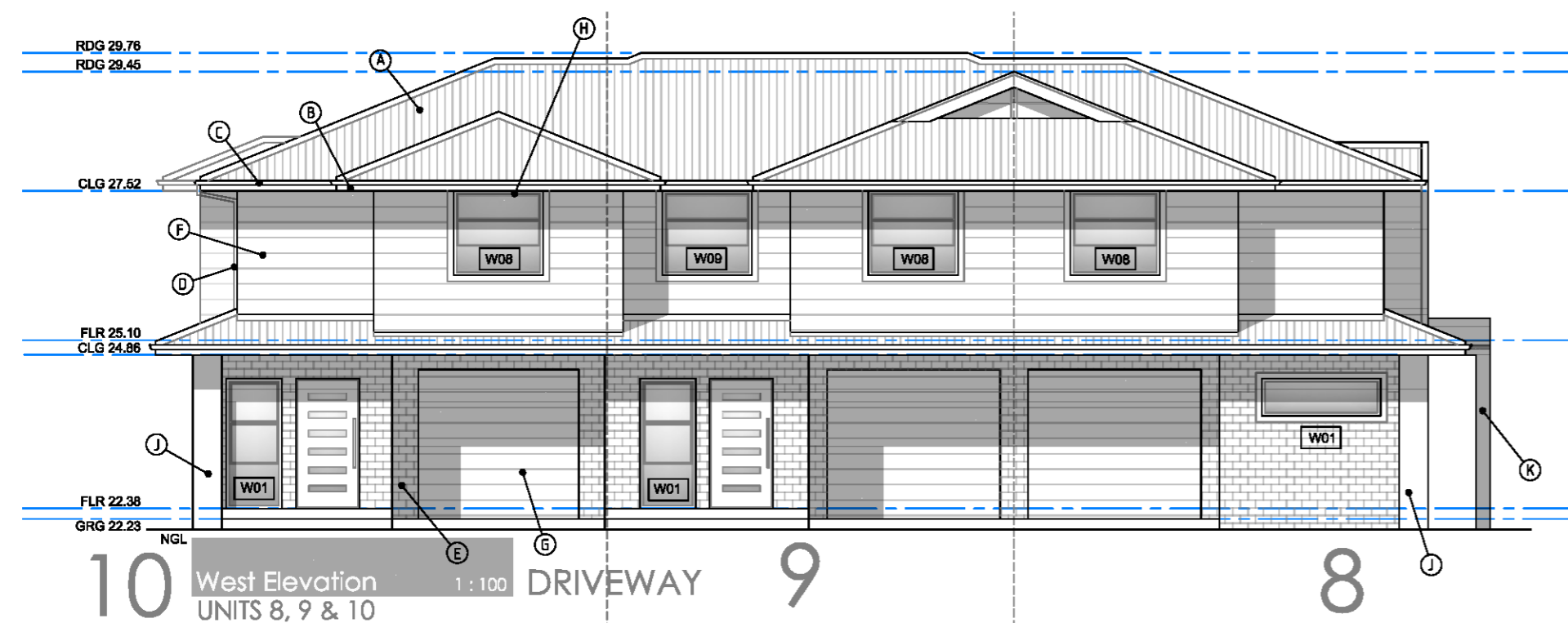
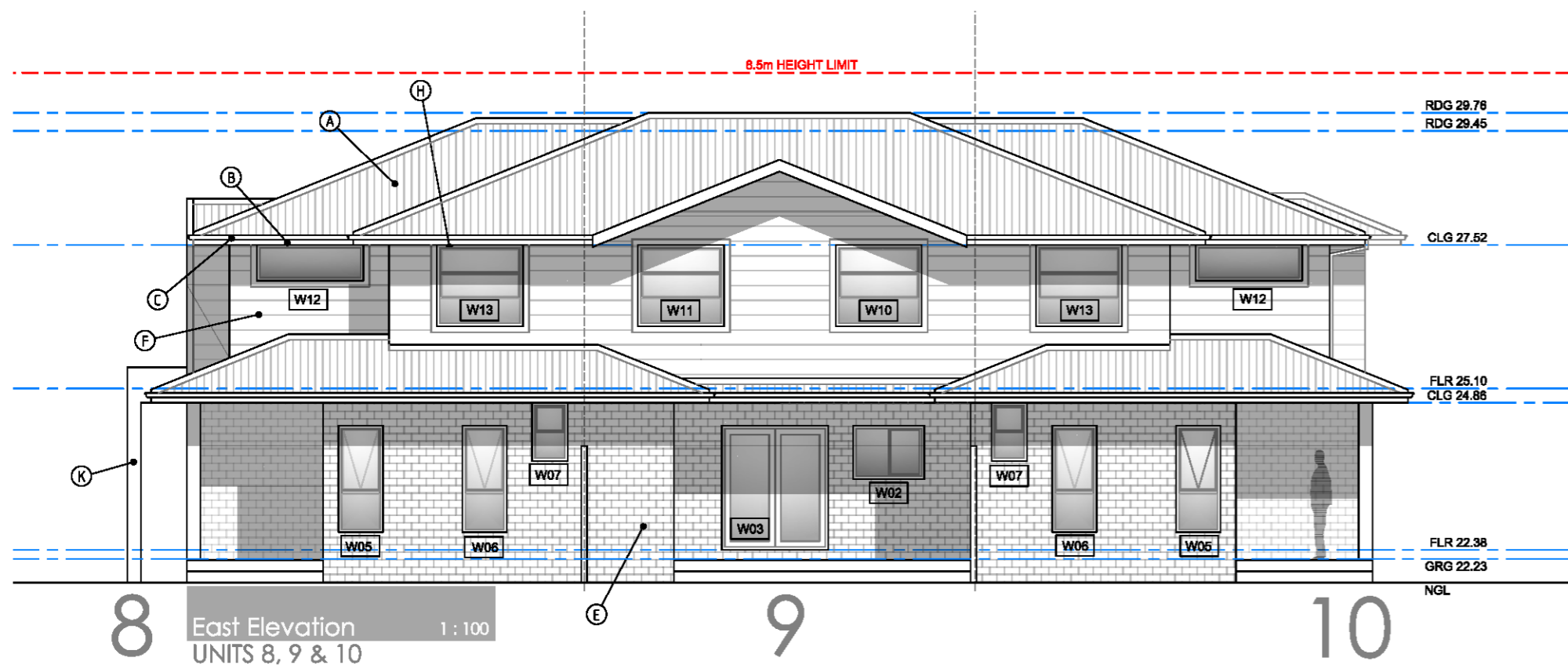
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info@obriendesign.com.au

CLIENT **Cazbuild**  
PROJECT **Proposed Multi-Dwelling Development at  
71 Albert Street Werrington NSW 2747 Lot 104 DP 1573**  
DRAW TITLE **UNITS 8, 9 & 10 - FLOOR PLANS**

☒ Concept ☐ Quote ☒ Production  
All dimensions in millimetres unless otherwise stated.  
Contractor to check all site dimensions prior to  
commencement of work. Within dimensions take  
precedence over scale.  
Do not scale from drawing  
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DATE 19.08.21  
DRAWN BY AO'B  
SCALE A2  
1 : 100

B DA ISSUE 19.08.21  
A CONCEPT 28.07.21  
AMENDMENT DESCRIPTION DATE  
Dwg No 71\_AW\_A.11 ISSUE B



## FINISHES SCHEDULE

(A)	ROOF CLADDING TYPE - COLORBOND STEEL COLOUR - MONUMENT
(B)	FASCIA TYPE - COLORBOND STEEL COLOUR - WHITE
(C)	GUTTERS TYPE - STEEL COLOUR - MONUMENT
(D)	DOWNPIPES TYPE - PVC ROUND COLOUR - WHITE
(E)	MASONRY TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
(F)	CLADDING TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
(G)	GARAGE DOORS TYPE - B&D STEEL COLOUR - SURFMIST
(H)	WINDOW FRAMES TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
(J)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - WHITE
(K)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET



### NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS. WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1500mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM DRAINAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3600.3.2. METALLIC PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

**EXCAVATIONS**  
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE UNDERLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.1.10.

REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.1.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNLIE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

PREFABRICATED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1576. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE. ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600.

**STORMWATER**  
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

**EXTERNAL CLADDING**  
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

**TIMBER FRAMING**  
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND JOINTS SHALL COMPLY WITH THE BCA 3.4.3 OR AS 1884. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESMANSHIP LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE RECOMMENDED AND ACCEPTED BUILDING PRACTICES.

**MASONRY**  
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.4.4. CLAY BRICKS ARE A NATURAL, NON-FIRED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700. MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY. MASONRY RETAINING WALLS TO COMPLY WITH AS 4576.

**BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION**  
**ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660**  
**SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786**

### CONSTRUCTION LEGEND

(FG)	STEEL FASCIA & GUTTER
(DP)	PVC DOWNPIPE
(AW)	SELECTED ALUMINIUM WINDOW
(SD)	SELECTED BUILDING DOOR
(BB)	BLUESHARD PAINTED AS SELECTED
(CC)	SELECTED TIMBER COLUMNS
(TS)	INTERNAL TIMBER STUD WALLS
(SL)	OFC BOFFET LINING
(TT)	TIMBER TRUSSES TO MNFG DETAIL
(TB)	TIMBER BEAMS TO ENG. DETAIL
(CS)	CONC SLAB TO ENG. DETAIL
(CP)	CONC PERB TO ENG. DETAIL

DATE: 19.08.21  
DRAWN BY: AO'B  
SCALE: A2  
1 : 200

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 2	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 3	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 4	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 5	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 6	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 7	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3
UNIT 8	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 9	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 10	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 11	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 12	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

COMPLIANCE SCHEDULE  
(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND	
	NEW SINGLE SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 13mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE. 13mm SOUND RESISTANT PLASTERBOARD SCREW FIXED TO RESILANT MOUNTING FURRING CHANNEL WITH 8KG/M3 POLYESTER INSULATION OTHER SIDE. 217mm WALL THICKNESS. Rw60 (-2,-8)

WINDOW SCHEDULE - UNIT 11							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	WEST	600 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	EAST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	SOUTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m2	EAST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m2	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	EAST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	EAST	600 EAVE	1500	2420

WINDOW SCHEDULE - UNIT 12							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	WEST	600 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	EAST	600 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	NORTH	600 EAVE	1200	2485
W06	600H x 650W	AL. SLIDING	1.54m2	EAST	600 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	600 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m2	WEST	600 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	600 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	EAST	600 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	EAST	600 EAVE	1500	2420

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

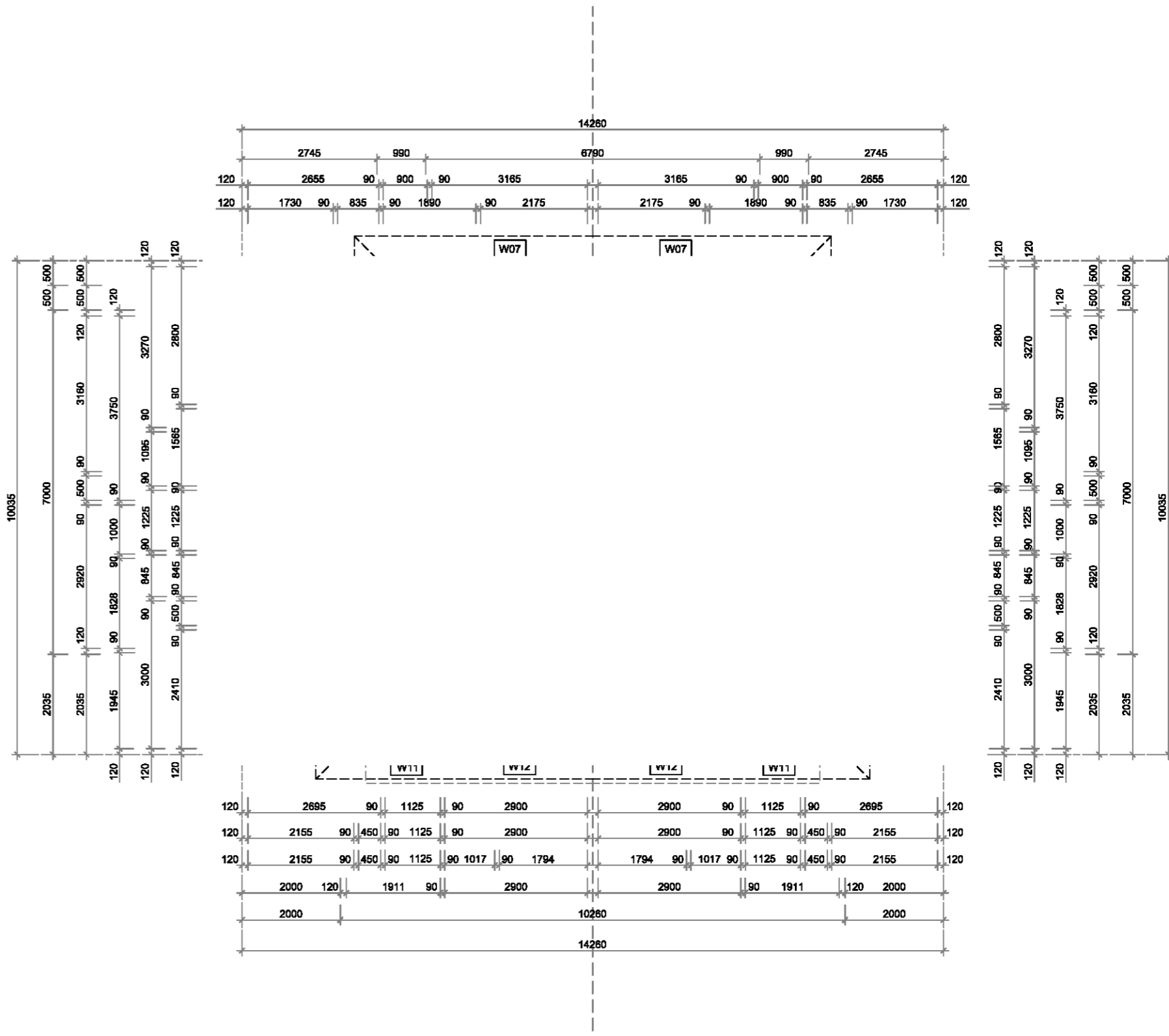
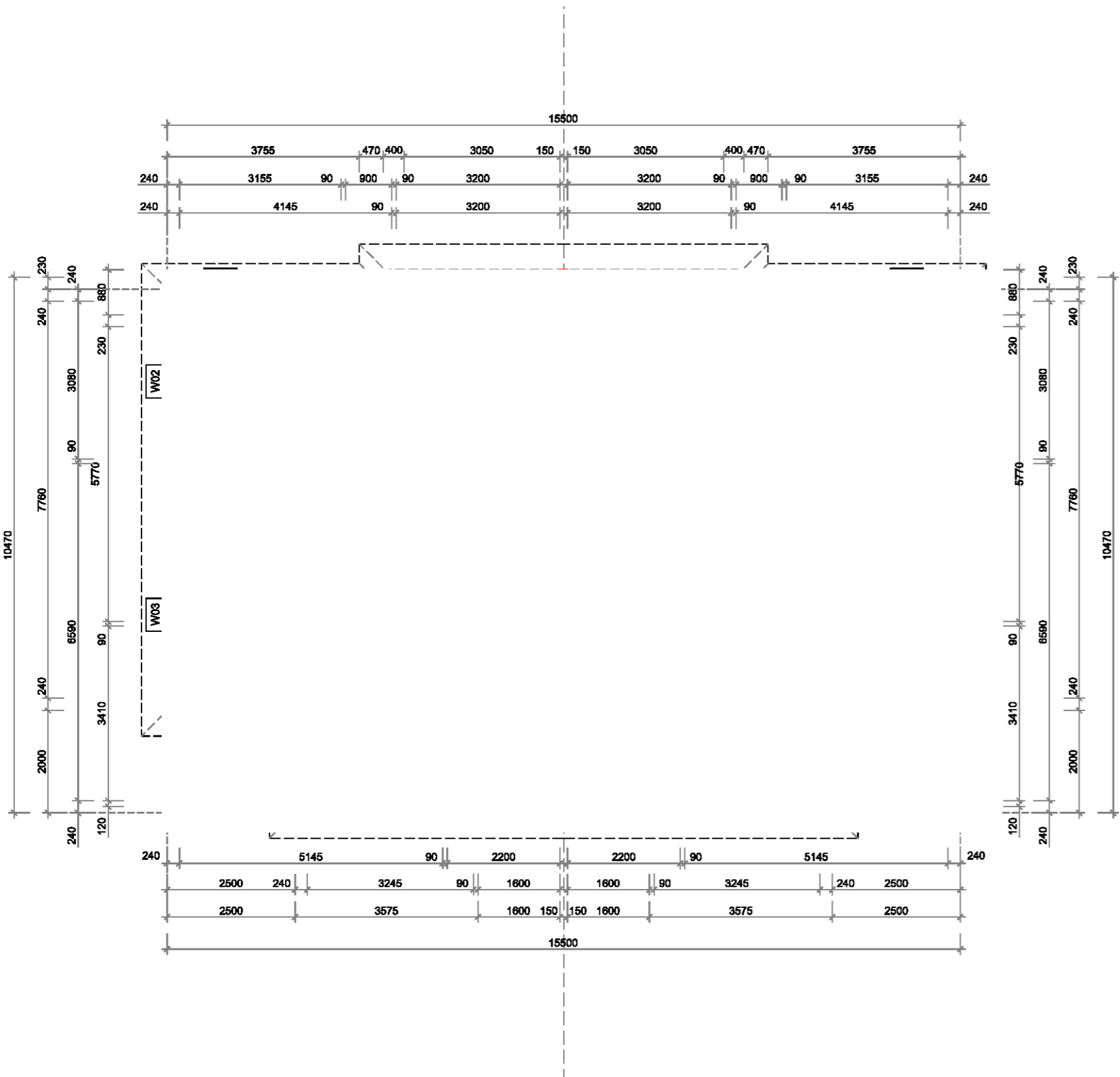
FINISHES SCHEDULE - REFER A.01 COVER SHEET

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION



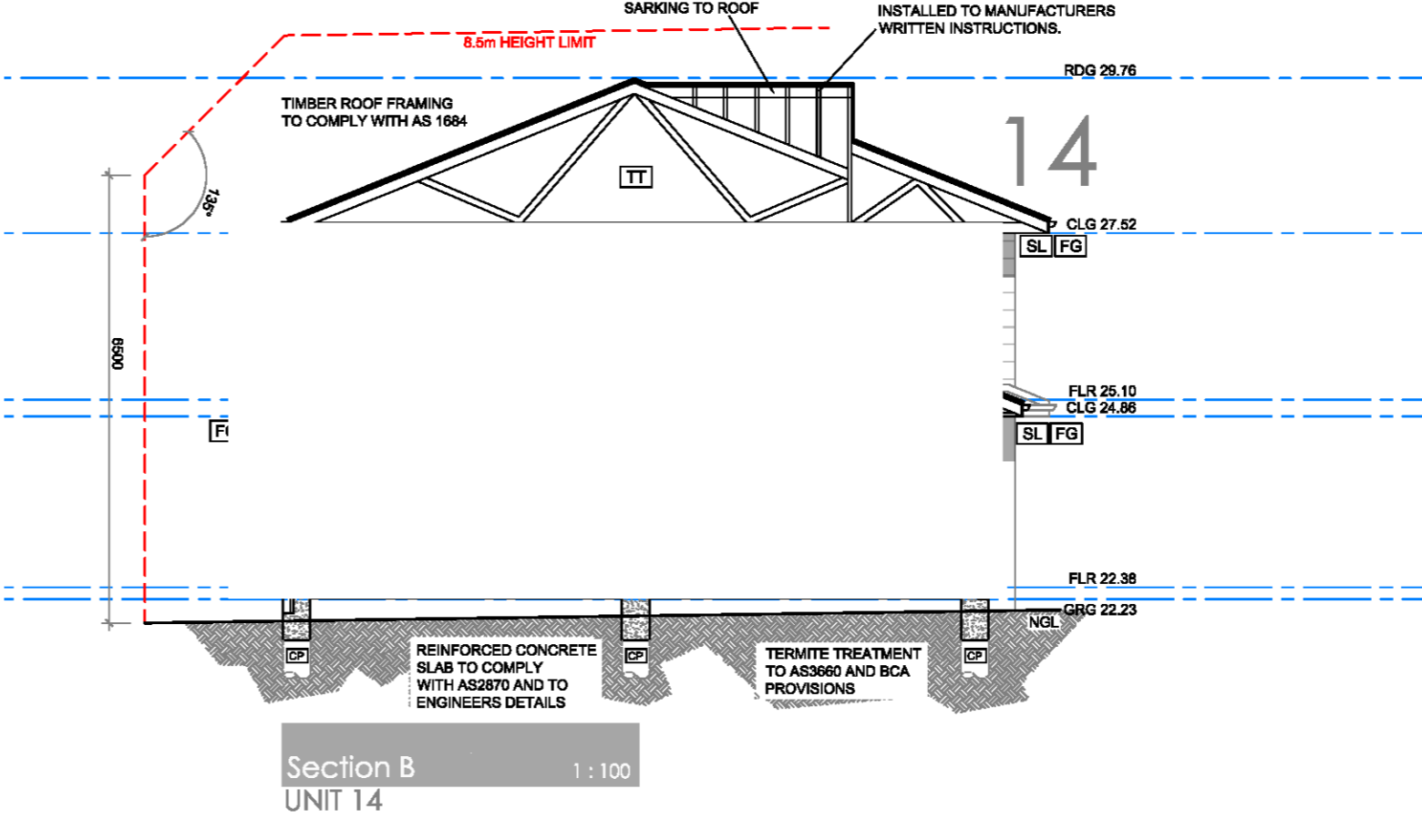
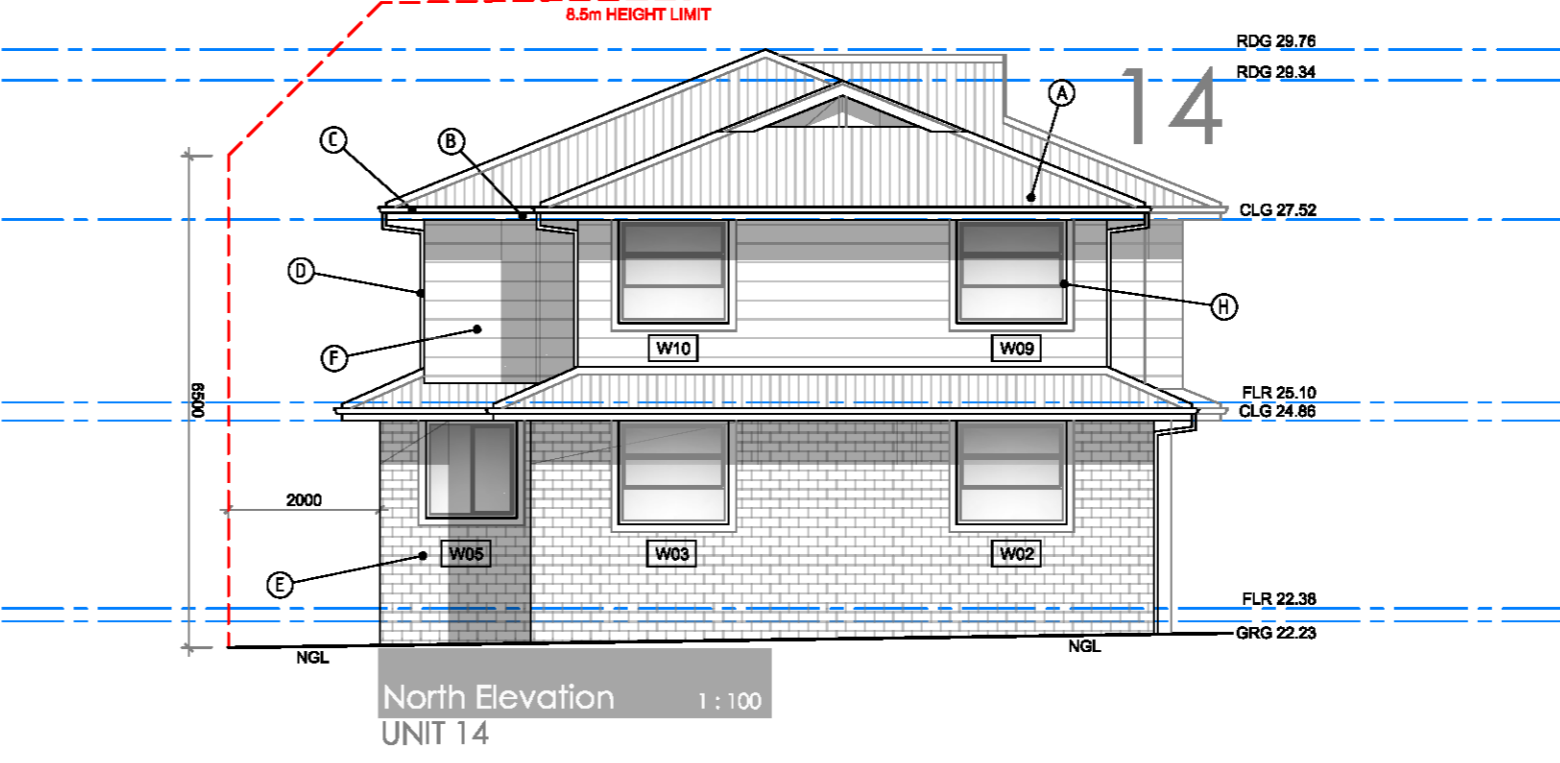
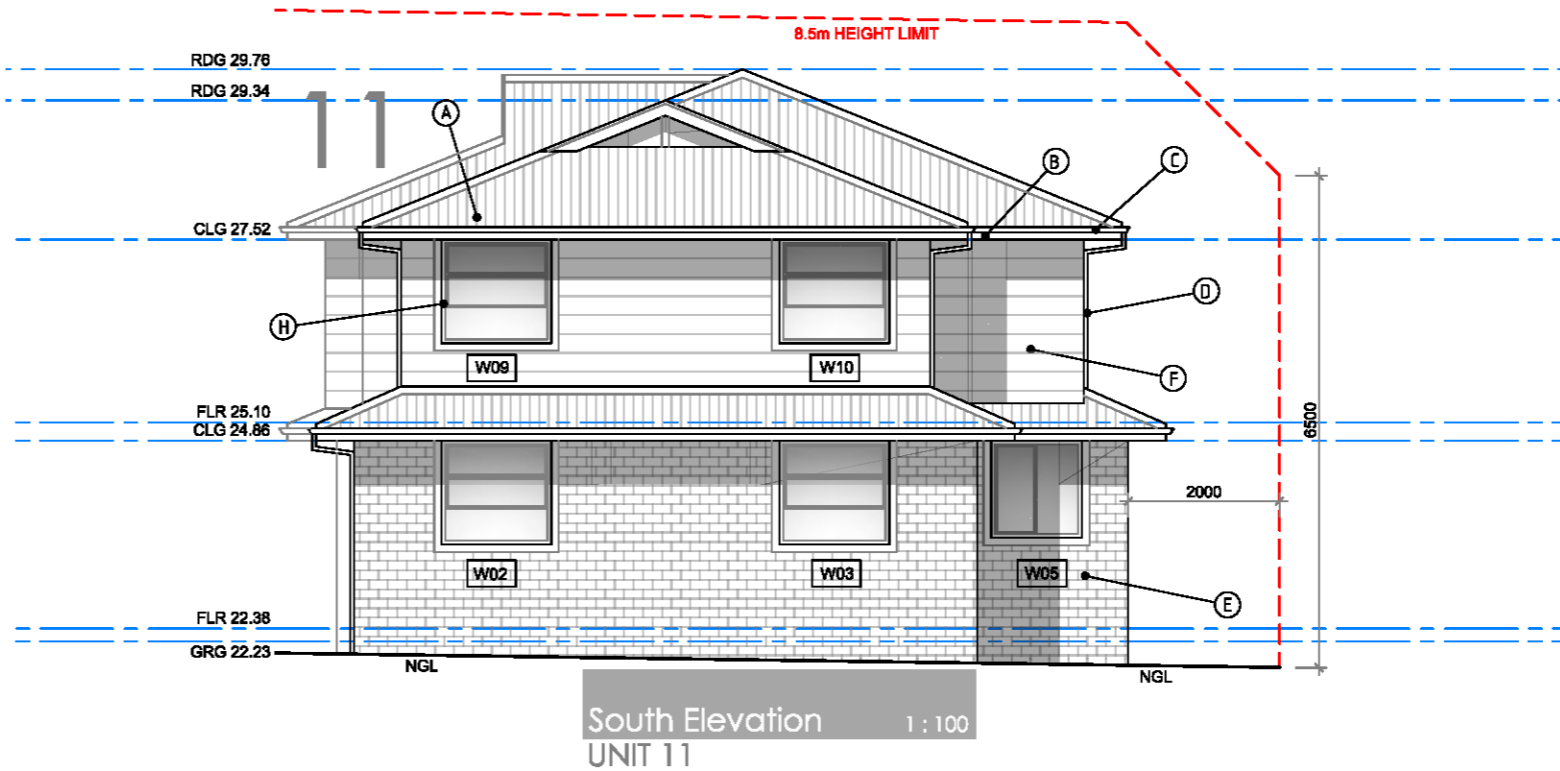
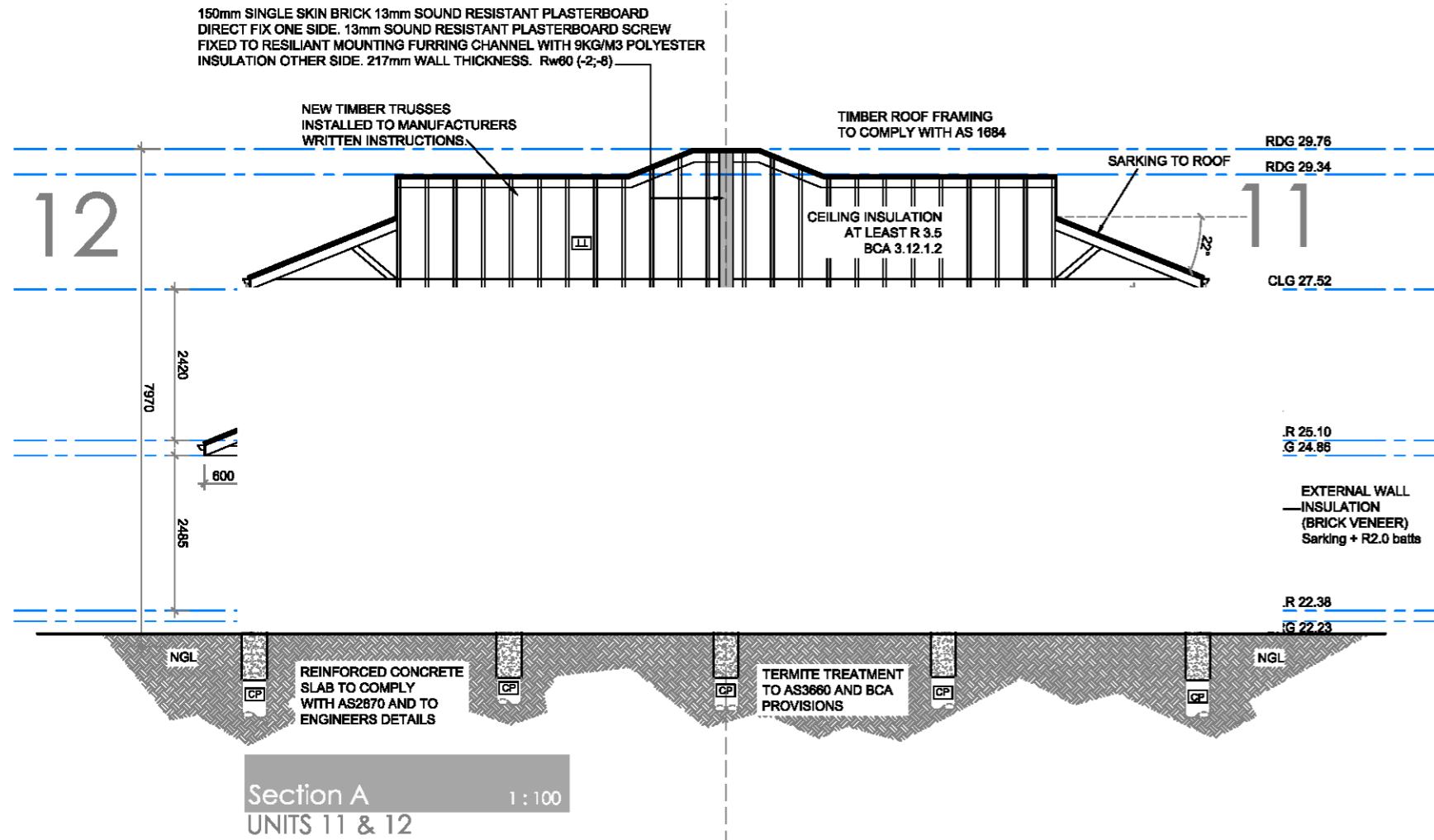
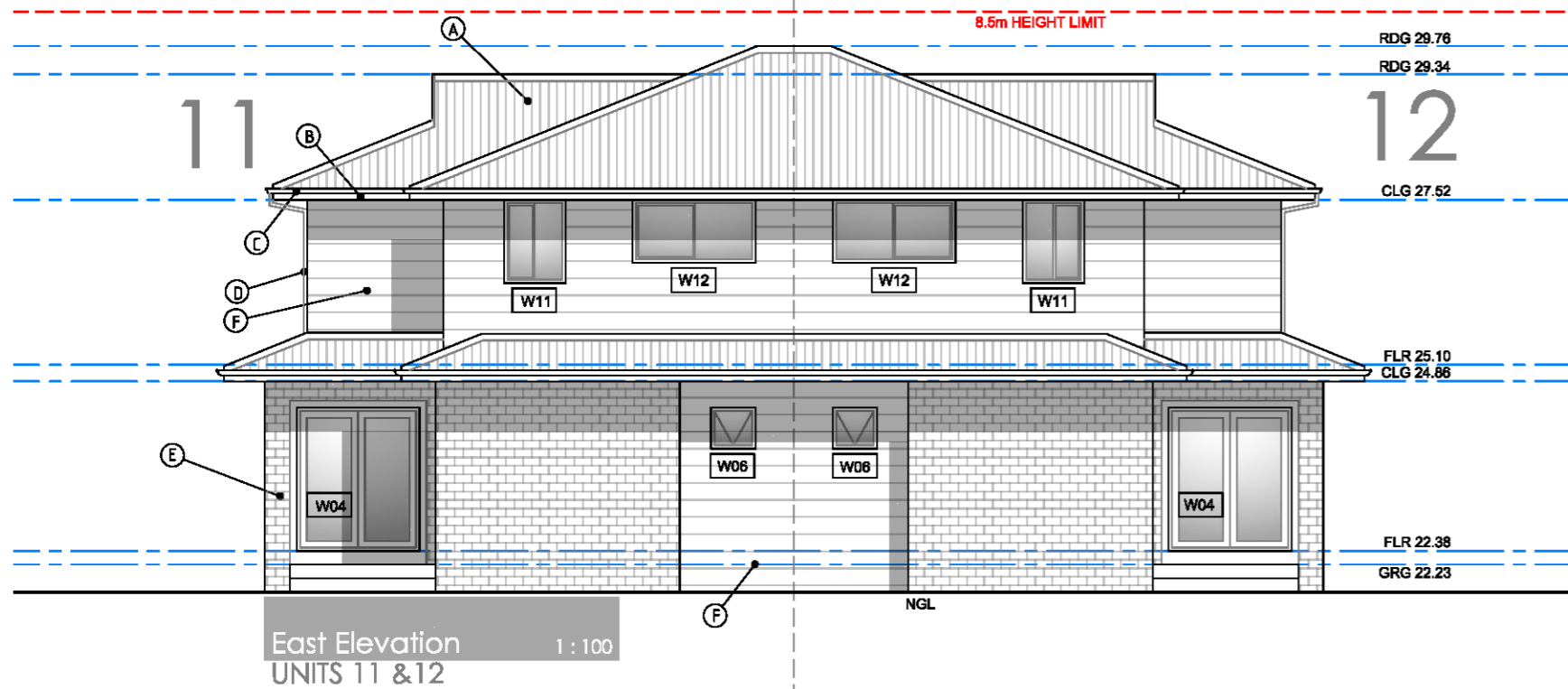
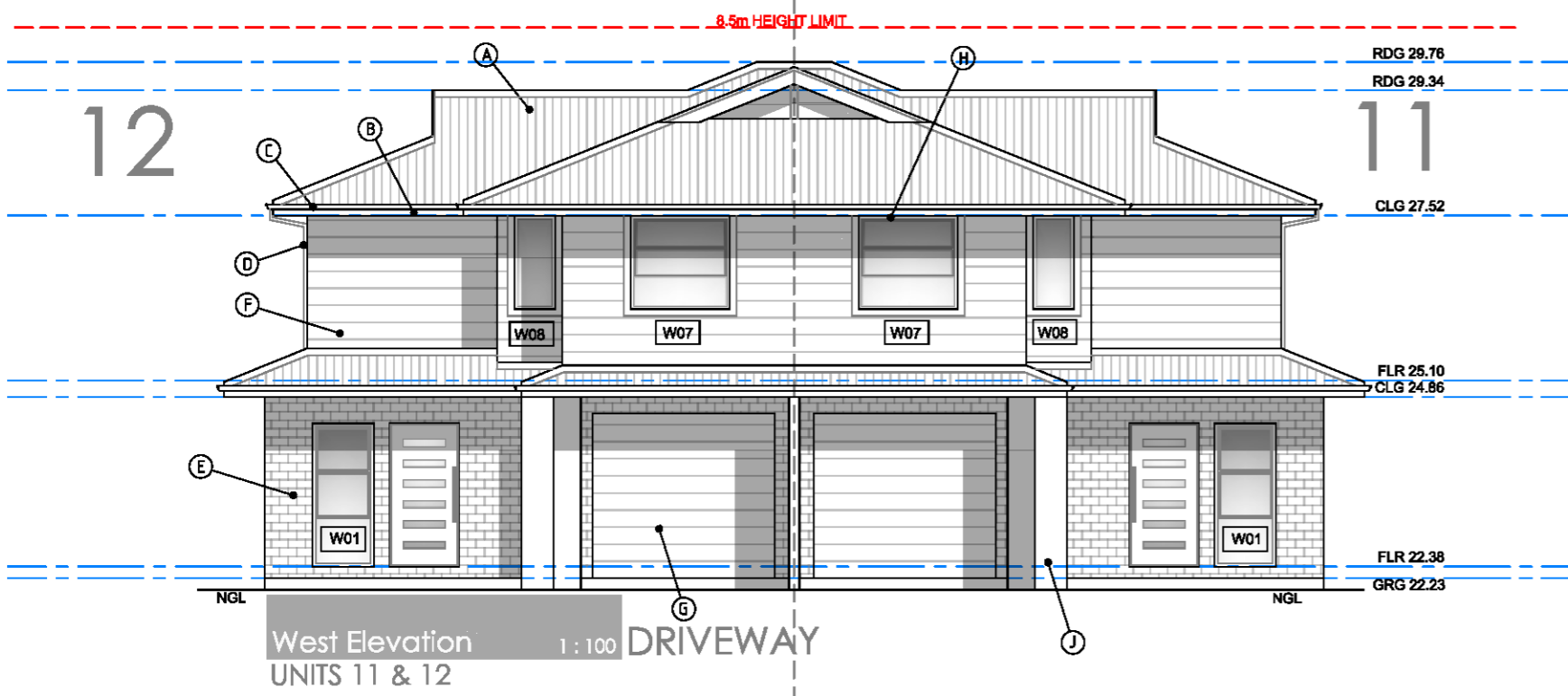
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T : 0413 604 092  
<https://obriendesigndrafting.com.au/>  
[info@obriendesign.com.au](mailto:info@obriendesign.com.au)

CLIENT **Cazbuild**

PROJECT **Proposed Multi-Dwelling Development at  
71 Albert Street Werrington NSW 2747 Lot 104 DP 1573**

DWG TITLE **UNITS 11 & 12 - FLOOR PLANS**

<input checked="" type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production	DATE 19.08.21		
All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing			DRAWN BY AOB		
© All content remains the property obrien design+drafting.			SUB <b>A2</b>		
			SCALE 1 : 200		
				B DA ISSUE 19.08.21	
				A CONCEPT 28.07.21	
				AMENDMENT DESCRIPTION DATE	
				DWG NO <b>71_AW_A.13</b>	SHEET <b>B</b>



FINISHES SCHEDULE	
<b>(A)</b>	ROOF CLADDING TYPE - COLORBOND STEEL COLOUR - MONUMENT
<b>(B)</b>	FASCIA TYPE - COLORBOND STEEL COLOUR - WHITE
<b>(C)</b>	GUTTERS TYPE - STEEL COLOUR - MONUMENT
<b>(D)</b>	DOWNPIPES TYPE - PVC ROUND COLOUR - WHITE
<b>(E)</b>	MASONRY TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
<b>(F)</b>	CLADDING TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
<b>(G)</b>	GARAGE DOORS TYPE - B&D STEEL COLOUR - SURFMIST
<b>(H)</b>	WINDOW FRAMES TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
<b>(J)</b>	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - WHITE
<b>(K)</b>	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET



**NOTES**  
BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS. WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM DRAINAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3602.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

**EXCAVATIONS**  
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE UNDERLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.1.10.

**CONCRETE**  
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.2.1. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNLIE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

**PRE-MIXED CONCRETE**  
PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1576. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE. ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600.

**STORMWATER**  
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

**EXTERNAL CLADDING**  
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

**TIMBER FRAMING**  
ALL TIMBER FRAMEWORK SIZES, SPACING, NOTCHING, CHECKING AND FINISHES SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESMAN MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

**MASONRY**  
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.4. CLAY BRICKS ARE A NATURAL REINFORCED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY. MORTAR SHALL COMPLY WITH BCA 3.2.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.

**MASONRY ACCESSORIES**  
MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO WALL CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.

**MASONRY RETAINING WALLS**  
MASONRY RETAINING WALLS TO COMPLY WITH AS 4675.

**BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION**  
**ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660**  
**SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786**

CONSTRUCTION LEGEND	
<b>(F)</b>	STEEL FASCIA & GUTTER
<b>(GP)</b>	PVC DOWNPIPE
<b>(AW)</b>	SELECTED ALUMINIUM WINDOW
<b>(SD)</b>	SELECTED BLINDING DOOR
<b>(BB)</b>	BILBERGARD PAINTED AS SELECTED
<b>(CC)</b>	SELECTED TIMBER COLUMNS
<b>(TS)</b>	INTERNAL TIMBER STUD WALLS
<b>(SL)</b>	CFC BOFFET LINING
<b>(TT)</b>	TIMBER TRUSSES TO MNFG DETAIL
<b>(TB)</b>	TIMBER BEAMS TO ENG. DETAIL
<b>(CS)</b>	CONC SLAB TO ENG. DETAIL
<b>(CP)</b>	CONC PERIS TO ENG. DETAIL

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CLIENT: Cazbuild

PROJECT: Proposed Multi-Dwelling Development at  
71 Albert Street Werrington NSW 2747 Lot 104 DP 1573

DWG TITLE: UNITS 11 & 12 - ELEVATIONS & SECTIONS

☐ Concept ☐ Quote ☒ Production

DATE: 19.08.21

DWG BY: AO'B

SCALE: A2

SCALE: 1:200

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B	DA ISSUE	19.08.21
A	CONCEPT	28.07.21
AMENDMENT	DESCRIPTION	DATE
DWG NO	71_AW_A.14	ISSUE
		B

DWELLING SCHEDULE							
	GROUND FLOOR (garage & stair excluded)	FIRST FLOOR (stair excluded)	TOTAL FLOOR 3 BED - 95m2 2 BED - 70m2	TOTAL POS	BEDROOMS	CAR SPACES	STORAGE
UNIT 1	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 2	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 3	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 4	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 5	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 6	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 7	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3
UNIT 8	37.00m2	47.00m2	84.00m2	29.00m2	2	1.0	10.20m3
UNIT 9	32.00m2	53.00m2	85.00m2	23.00m2	2	1.0	10.60m3
UNIT 10	37.00m2	47.00m2	84.00m2	34.00m2	2	1.0	10.20m3
UNIT 11	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 12	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 13	43.00m2	57.00m2	100.00m2	36.00m2	3	1.5	11.00m3
UNIT 14	43.00m2	57.00m2	100.00m2	62.00m2	3	1.5	11.00m3

### COMPLIANCE SCHEDULE

(REFER TO SOEE FOR FULL COMPLIANCES)

LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH	22M MIN	30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 1.5 SPACES (SEPP 2009) 2 BEDS 1 SPACE (SEPP 2009) (18 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL)	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

WALL LEGEND	
	NEW SINGLE SKIN BRICK WALL NOM. WIDTH AS INDICATED
	NEW TIMBER STUD WALL - 90mm
	150mm SINGLE SKIN BRICK 13mm SOUND RESISTANT PLASTERBOARD DIRECT FIX ONE SIDE. 13mm SOUND RESISTANT PLASTERBOARD SCREW FIXED TO RESILANT MOUNTING FURRING CHANNEL WITH 9KG/M3 POLYESTER INSULATION OTHER SIDE. 217mm WALL THICKNESS. Rw60 (-2,-8)

WINDOW SCHEDULE - UNIT 13							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	WEST	800 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	800 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	800 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	EAST	800 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	SOUTH	800 EAVE	1200	2485
W06	800H x 650W	AL. SLIDING	1.54m2	EAST	800 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	800 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m2	WEST	800 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	800 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	SOUTH	800 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	EAST	800 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	EAST	800 EAVE	1500	2420

WINDOW SCHEDULE - UNIT 14							
CODE	SIZE	TYPE	AREA (m2)	ORIENT	SHADING	SILL (mm)	HEAD (mm)
W01	2100H x 900W	AL. D/HUNG	1.90m2	WEST	800 EAVE	-	2100
W02	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	800 EAVE	1115	2485
W03	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	800 EAVE	1115	2485
W04	2100H x 1810W	SLIDING DOOR	3.78m2	EAST	800 EAVE	-	2100
W05	1285H x 1200W	AL. SLIDING	1.54m2	NORTH	800 EAVE	1200	2485
W06	800H x 650W	AL. SLIDING	1.54m2	EAST	800 EAVE	1500	2100
W07	1370H x 1450W	AL. D/HUNG	1.98m2	WEST	800 EAVE	1050	2420
W08	1370H x 600W	AL. FIXED	0.80m2	WEST	800 EAVE	1050	2420
W09	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	800 EAVE	1050	2420
W10	1370H x 1450W	AL. D/HUNG	1.98m2	NORTH	800 EAVE	1050	2420
W11	1220H x 900W	AL. SLIDING	1.08m2	EAST	800 EAVE	1200	2420
W12	920H x 1800W	AL. SLIDING	1.65m2	EAST	800 EAVE	1500	2420

ALL DEMOLITION TO COMPLY WITH AS 2601-1991  
"THE DEMOLITION OF STRUCTURES"

ALL CAR SPACES COMPLY WITH AS 2890.1-2004

WINDOW SCHEDULE - REFER FLOOR PLANS

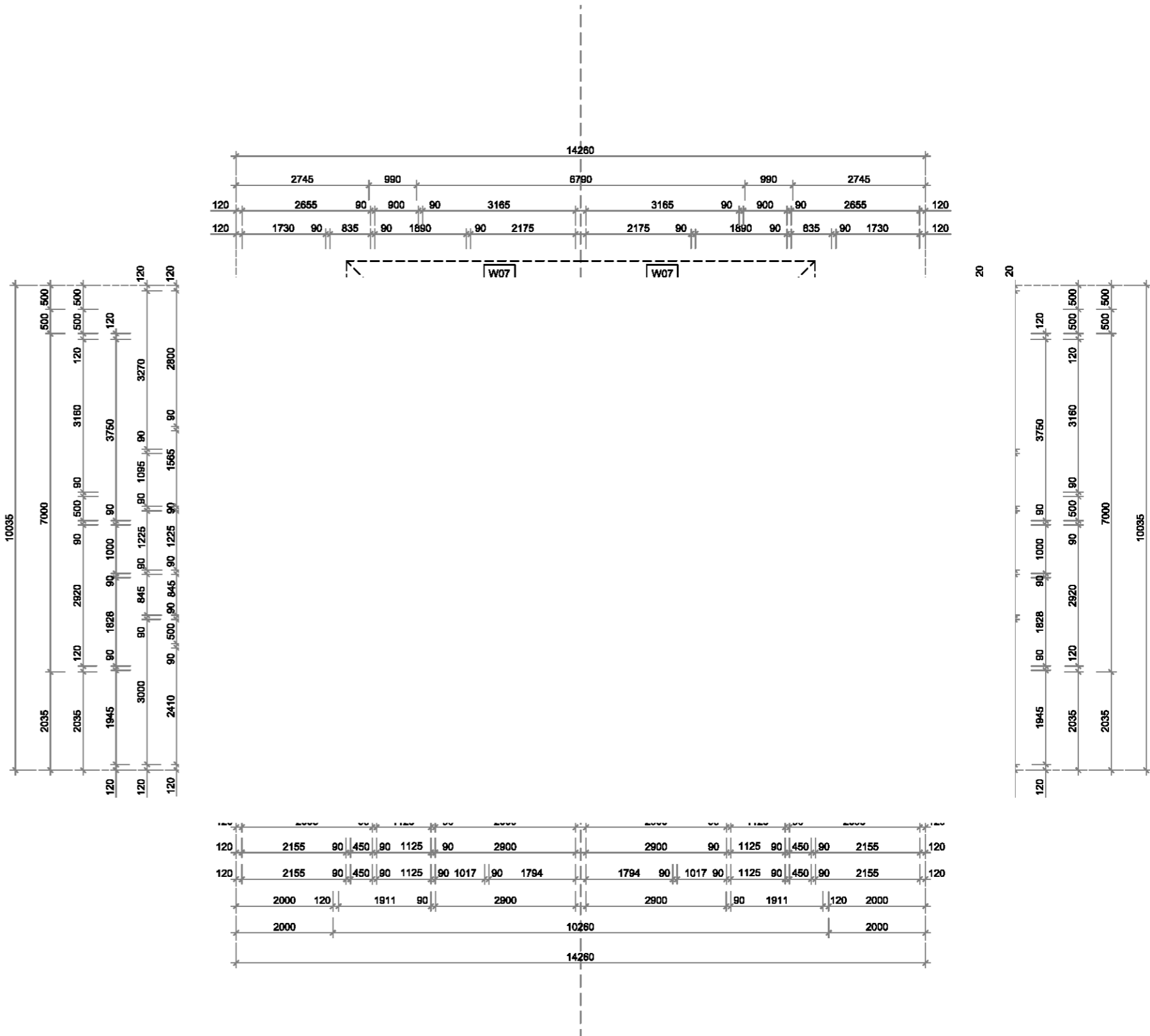
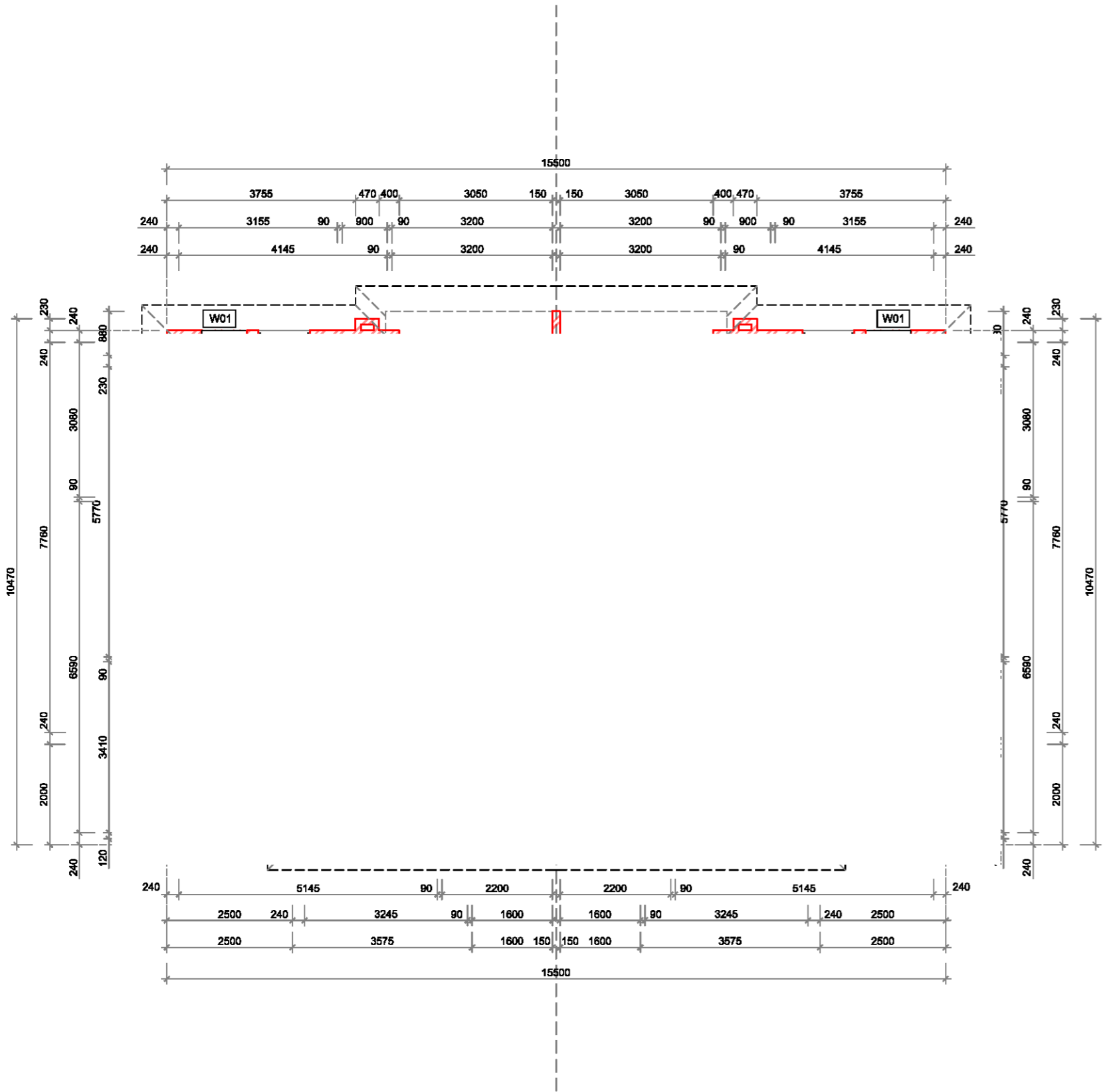
FINISHES SCHEDULE - REFER A.01 COVER SHEET

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SGC ENGINEERING  
DRAWING SET

FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION



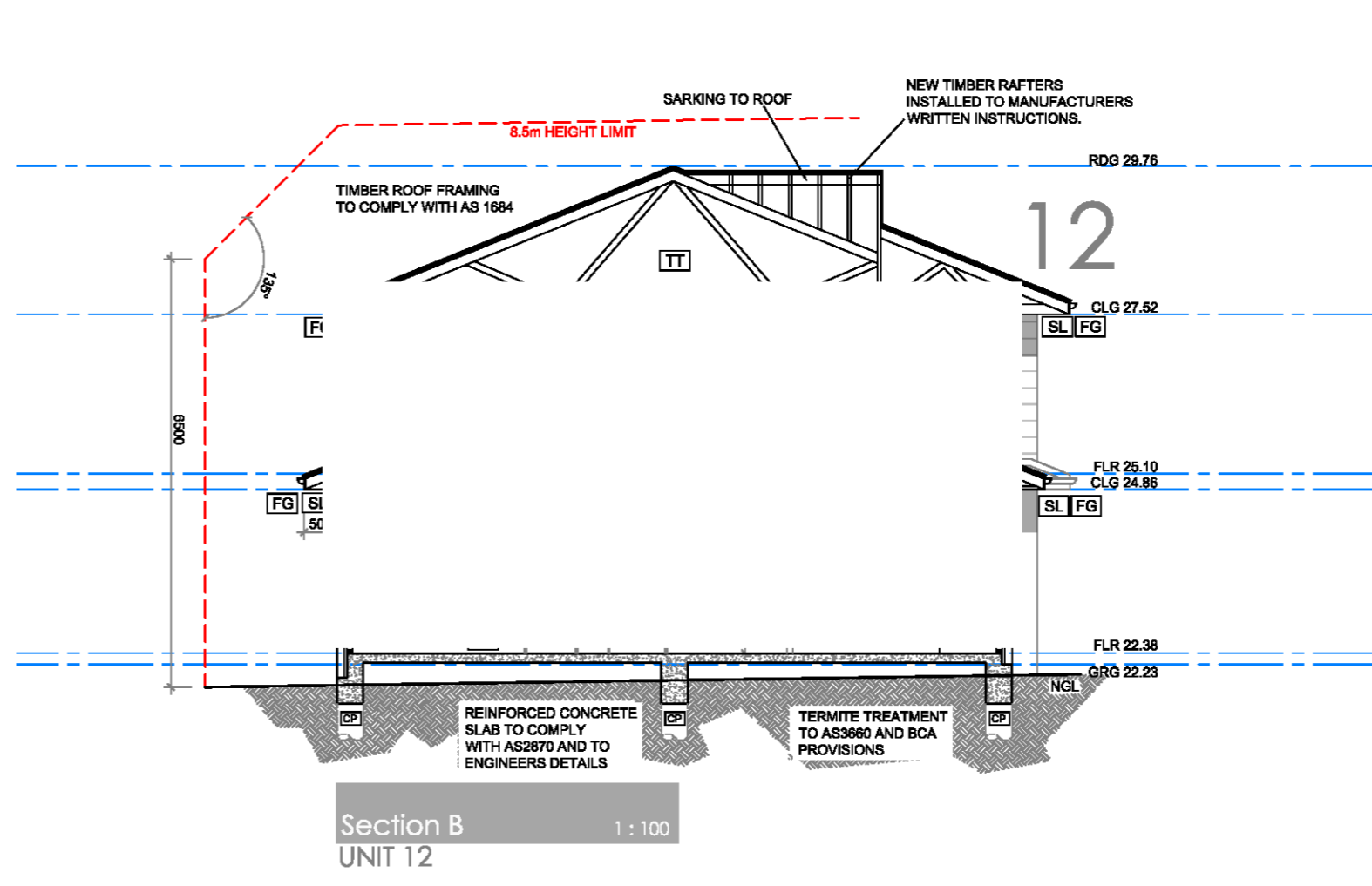
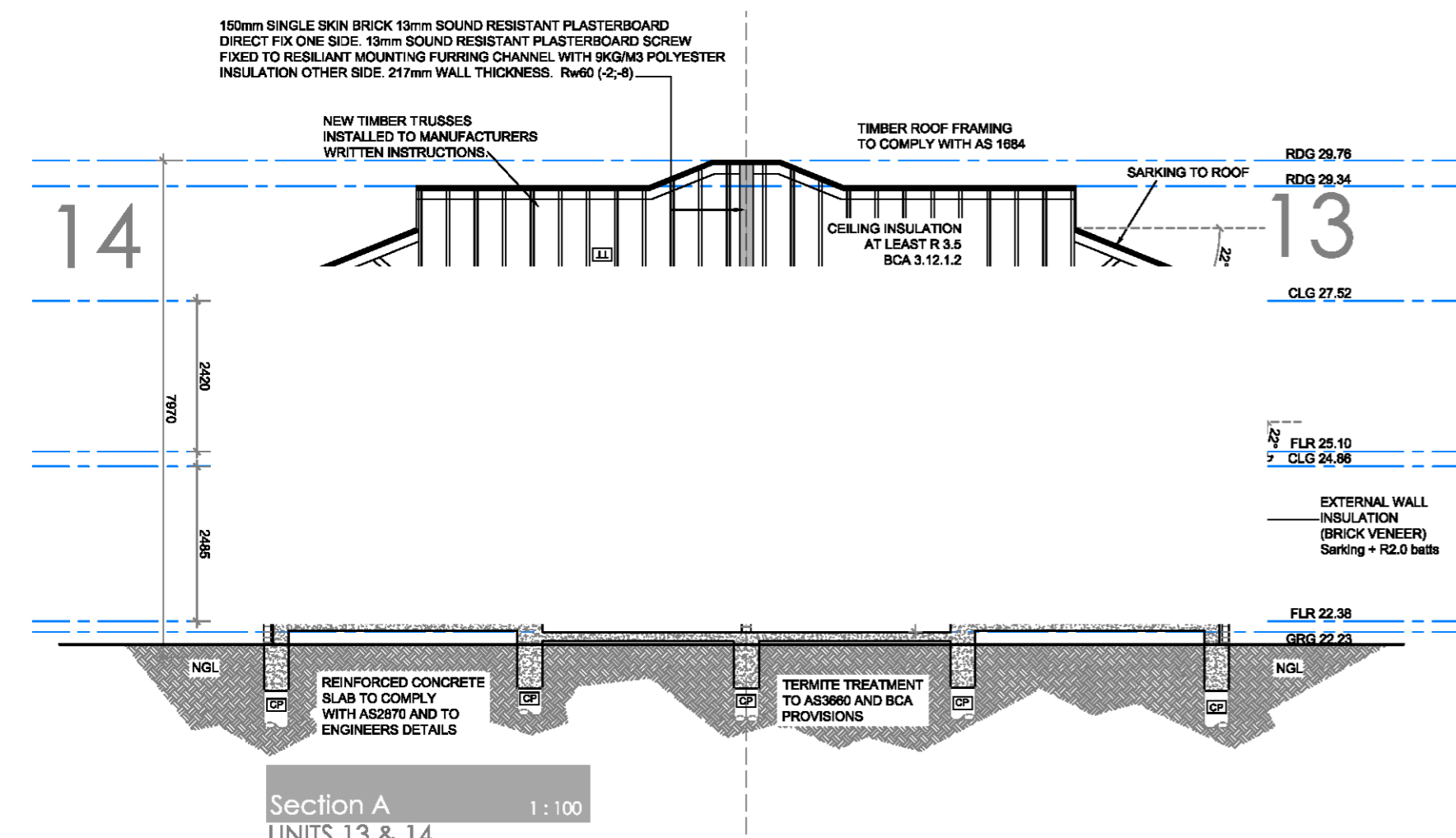
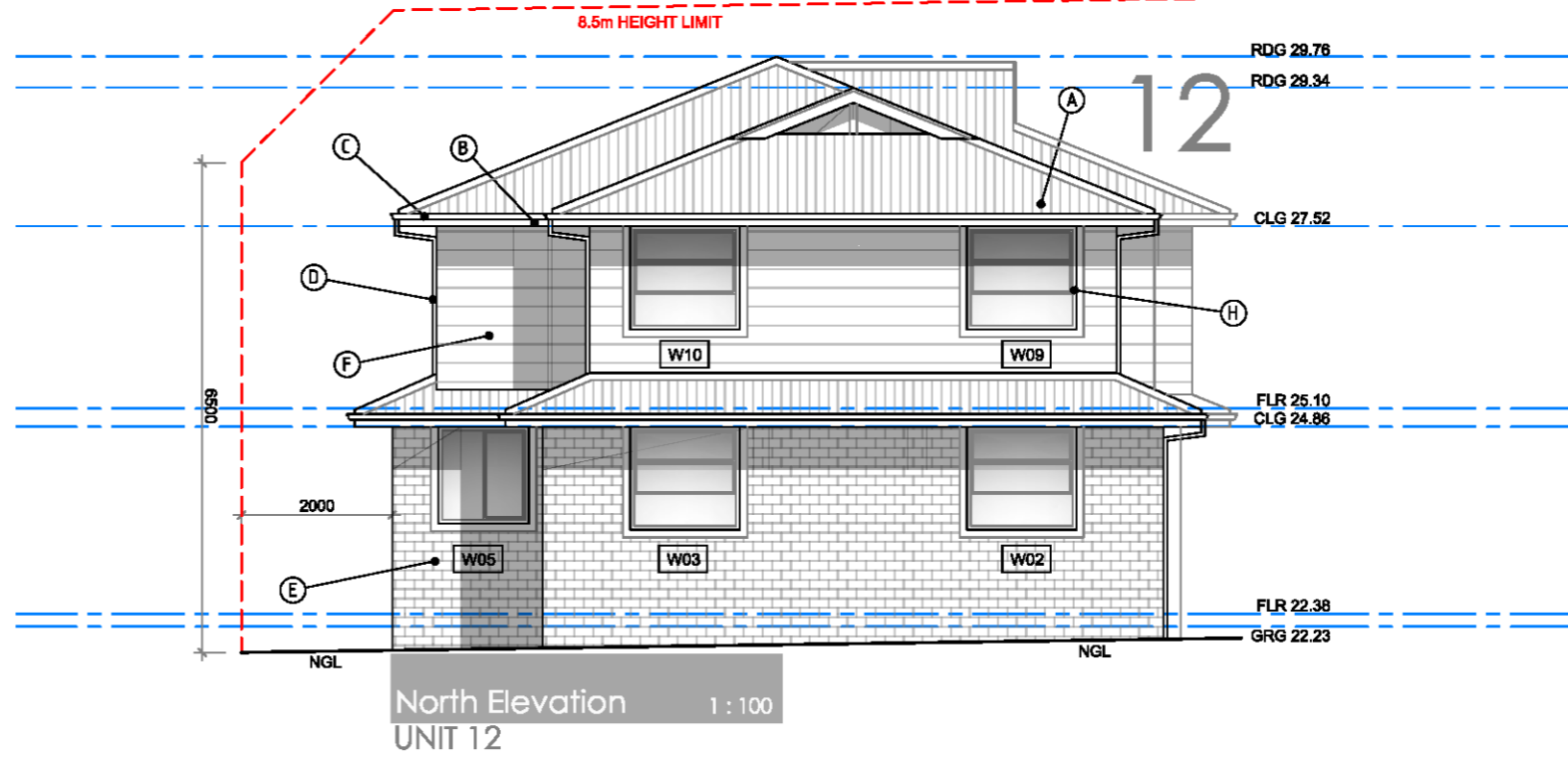
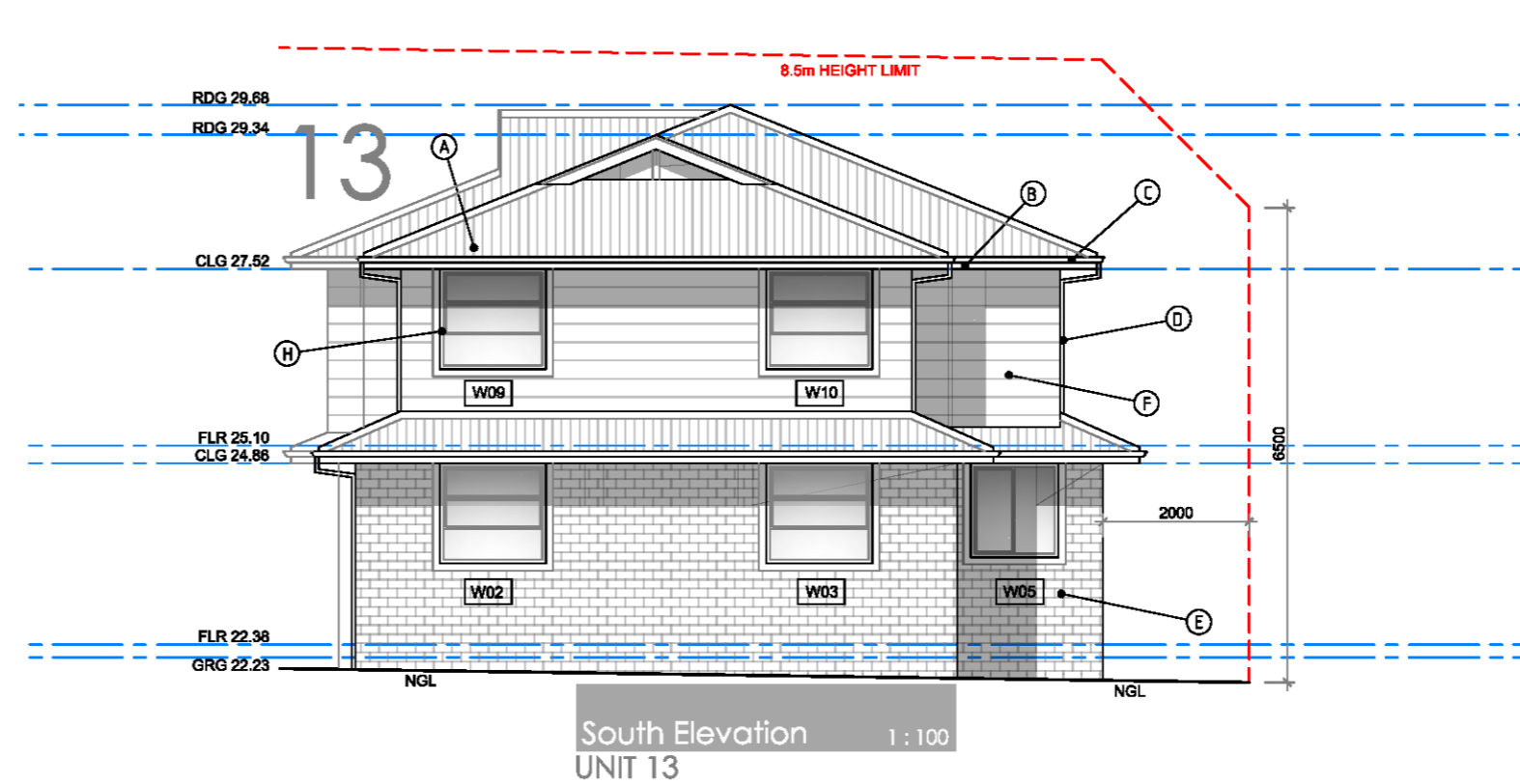
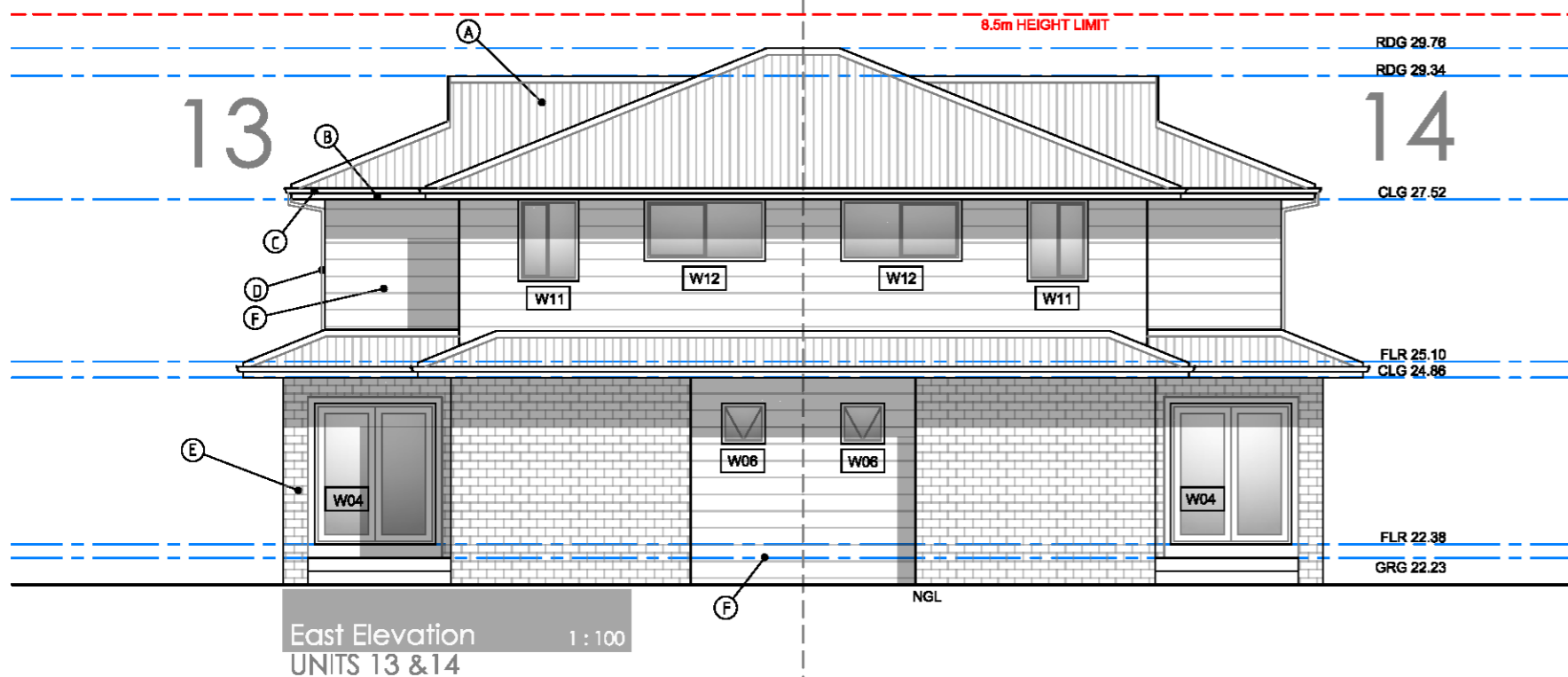
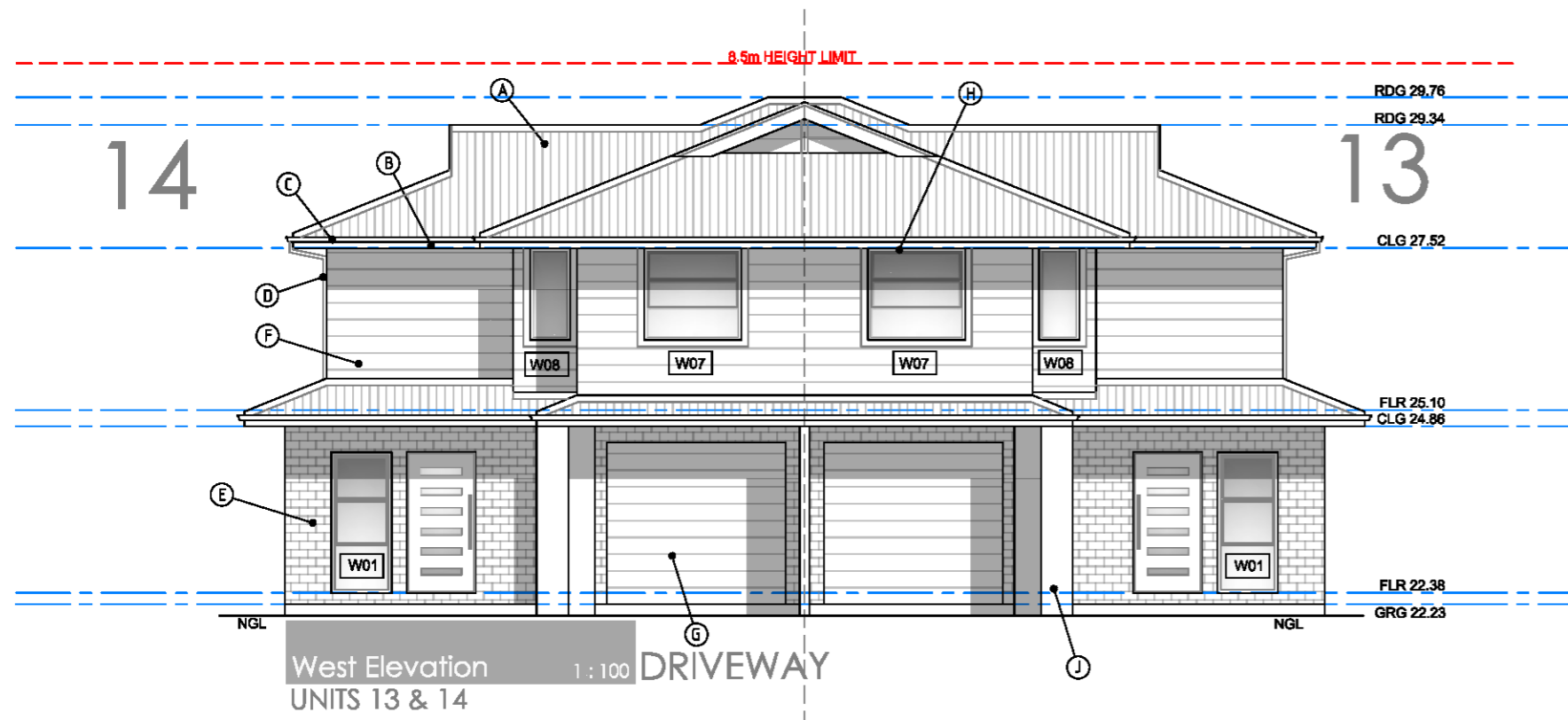
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CLIENT: Cazbuild  
PROJECT: Proposed Multi-Dwelling Development at  
71 Albert Street Werrington NSW 2747 Lot 104 DP 1573  
DWG TITLE: UNITS 13 & 14 - FLOOR PLANS

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DESCRIPTION: DA ISSUE  
DATE: 19.08.21  
DATE: 28.07.21  
DWG NO: 71\_AW\_A.15  
ISSUE: B



FINISHES SCHEDULE	
(A)	ROOF CLADDING TYPE - COLORBOND STEEL COLOUR - MONUMENT
(B)	FASCIA TYPE - COLORBOND STEEL COLOUR - WHITE
(C)	GUTTERS TYPE - STEEL COLOUR - MONUMENT
(D)	DOWNPIPES TYPE - PVC ROUND COLOUR - WHITE
(E)	MASONRY TYPE - AUSTRAL "WILDERNESS" COLOUR - BLACKBUTT
(F)	CLADDING TYPE - WEATHERTEX CLASSIC SMOOTH COLOUR - SURFMIST
(G)	GARAGE DOORS TYPE - B&D STEEL COLOUR - SURFMIST
(H)	WINDOW FRAMES TYPE - ALUMINIUM AS PER BASIX COLOUR - SURFMIST
(J)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - WHITE
(K)	COLUMNS / FEATURE WALL TYPE - RENDERED MASONRY COLOUR - MONUMENT

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
 ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5  
 ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5  
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WINDOW SCHEDULE - REFER FLOOR PLANS

FINISHES SCHEDULE - REFER A.01 COVER SHEET



**NOTES**  
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 EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE UNDERLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.0.10.

**CONCRETE**  
 REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNLIE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.

**PRE-MIXED CONCRETE** SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1576. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE. ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600.

**STORMWATER**  
 STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

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**MASONRY**  
 ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.4. CLAY BRICKS ARE A NATURAL KILN FIRED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS2030. MORTAR SHALL COMPLY WITH BCA 3.2.3.1.

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**BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION**  
**ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3680**  
**SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786**

CONSTRUCTION LEGEND	
(FG)	STEEL FASCIA & GUTTER
(PVC)	PVC DOWNPIPE
(AW)	SELECTED ALUMINIUM WINDOW
(SD)	SELECTED BLINDING DOOR
(BB)	BLUESHARD PAINTED AS SELECTED
(CS)	SELECTED TIMBER COLUMNS
(IS)	INTERNAL TIMBER STUD WALLS
(SL)	CFC BOFFET LINING
(TT)	TIMBER TRUSSES TO MFG DETAIL
(TB)	TIMBER BEAMS TO ENG. DETAIL
(CS)	CONC SLAB TO ENG. DETAIL
(CP)	CONC PERB TO ENG. DETAIL

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CLIENT: Cazbuild

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DWG TITLE: UNITS 13 & 14 - ELEVATIONS & SECTIONS

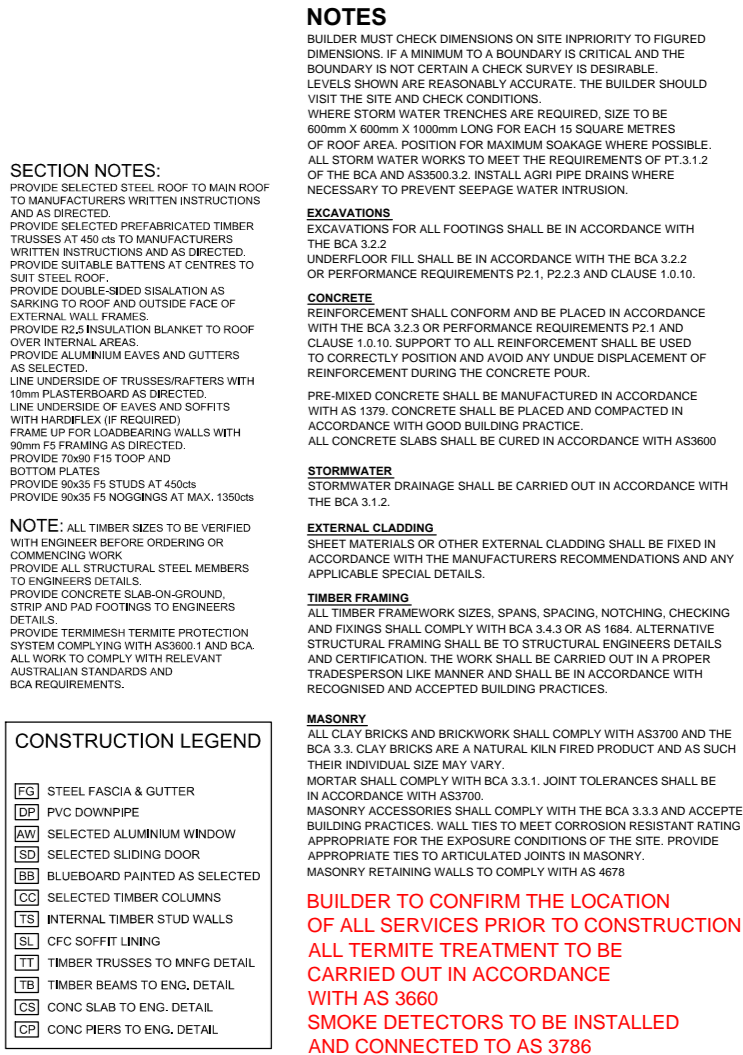
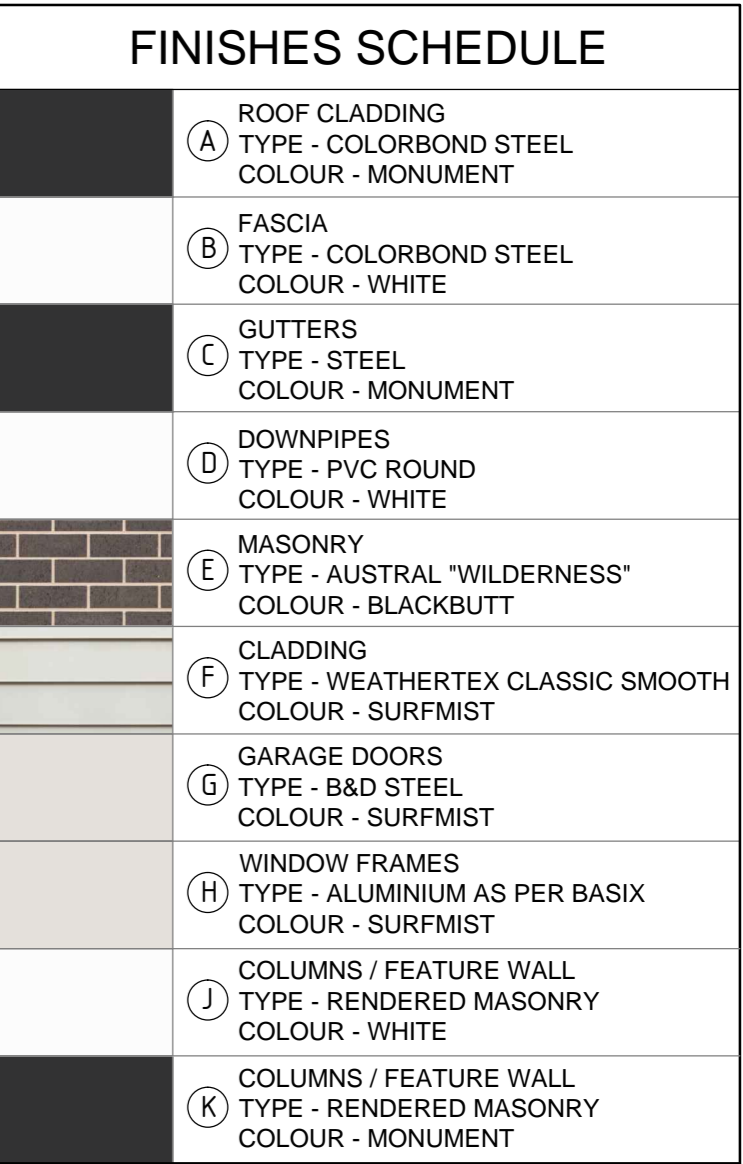
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DATE	28.07.21
DATE	
DRAWN BY	B

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5  
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BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.



COMPLIANCE SCHEDULE  
(REFER TO SOEE FOR FULL COMPLIANCES)  
LOTS 1 & 2 DP 509686  
Zone R3 Med. Density Residential  
Max. Bldg Height - 8.5m  
Heritage Listing - No  
Flood Zone - No  
Bushfire Zone - Part Vegetation Buffer  
Scenic Value - No

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
LOT SIZE		2322.0m2	YES
LOT WIDTH		30.48m	YES
FRONT SETBACK	5.5m or average neighbours neighbour average - 9.2m	9.20m	YES
REAR SETBACK	6m - 2 storey 4m - 1 storey	6.0m - 2 storey 4.0m - 1 storey	YES
DRIVEWAYS & PARKING	3 BEDS 2 BEDS 1.5 SPACES 1 SPACE (SEPP 2009) (SEPP 2009) 22 REQUIRED FOR DWELLINGS + 4 VISITOR SPACES - 22 TOTAL	TOTAL SPACES 22, inclusive 4 Visitor spaces	YES
	DRIVE WIDTH 3.0m	3.5m MIN	YES
BUILDING SEPARATION	4M MIN	6M MIN	YES

TYPE	MANDATORY CONTROL	PROPOSED	COMPLIANCE
BUILDING ENVELOPE	25deg MAX ROOF PITCH	25deg	YES
SIDE SETBACKS	2m MIN SIDE SETBACK	2m MIN	YES
SOLAR PLANNING	DCP CLAUSE 2.4.9	REFER SHADOW STUDY	YES
LANDSCAPED AREA	30% MIN (697m2) (SEPP 2009) DEEP SOIL - 15% (349m2)	>2m - 808m2 (34.80%) 349.8m2 (15%)	YES
	POS 25m2 MIN	25m2 MIN	YES
BUILDING LENGTH	20m MAX. LENGTH	20.0M MAX.	YES

PLANTING SCHEDULE

BOTANIC NAME	KEY	QTY	POT SIZE	HT
TREES				
CERATOPETALUM GUMMIFERUM (XMAS BUSH)	CG	12	300mm	5-10m
TRISTANOPSIS LAURINA (WATER GUM)	TL	1	45L	5-10m
BRACHYCHITON ACERIFOLIUS (ILLAWARRA FLAME)	BA	1	45L	10m
SHRUBS				
GREVILLEA ROBYN GORDON	GR	136	200mm	1.5m
CORYLINE RED SENSATION	CR	38	200mm	1.5m
ACMENA "HEDGEMASTER"	DC	42	150mm	0.6m

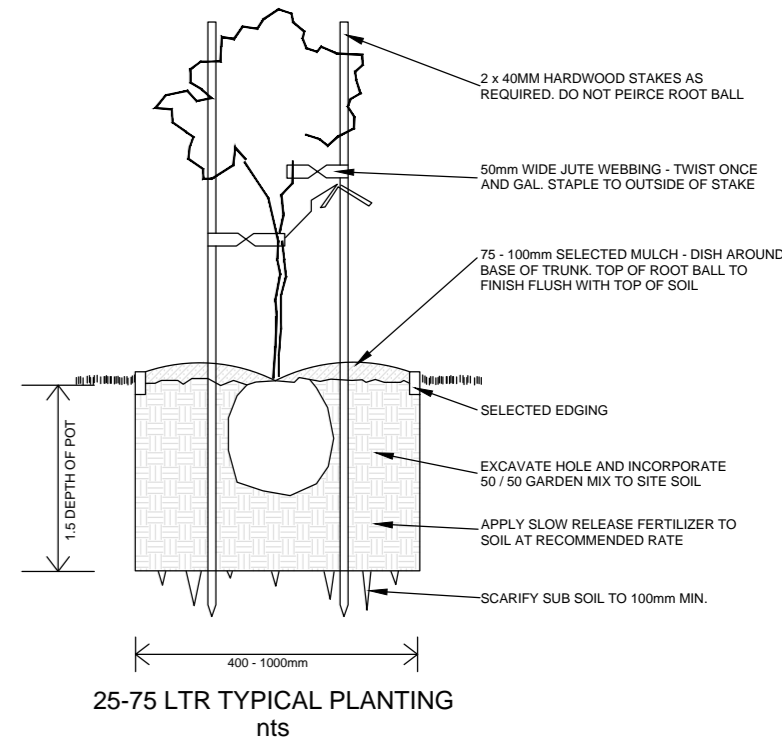
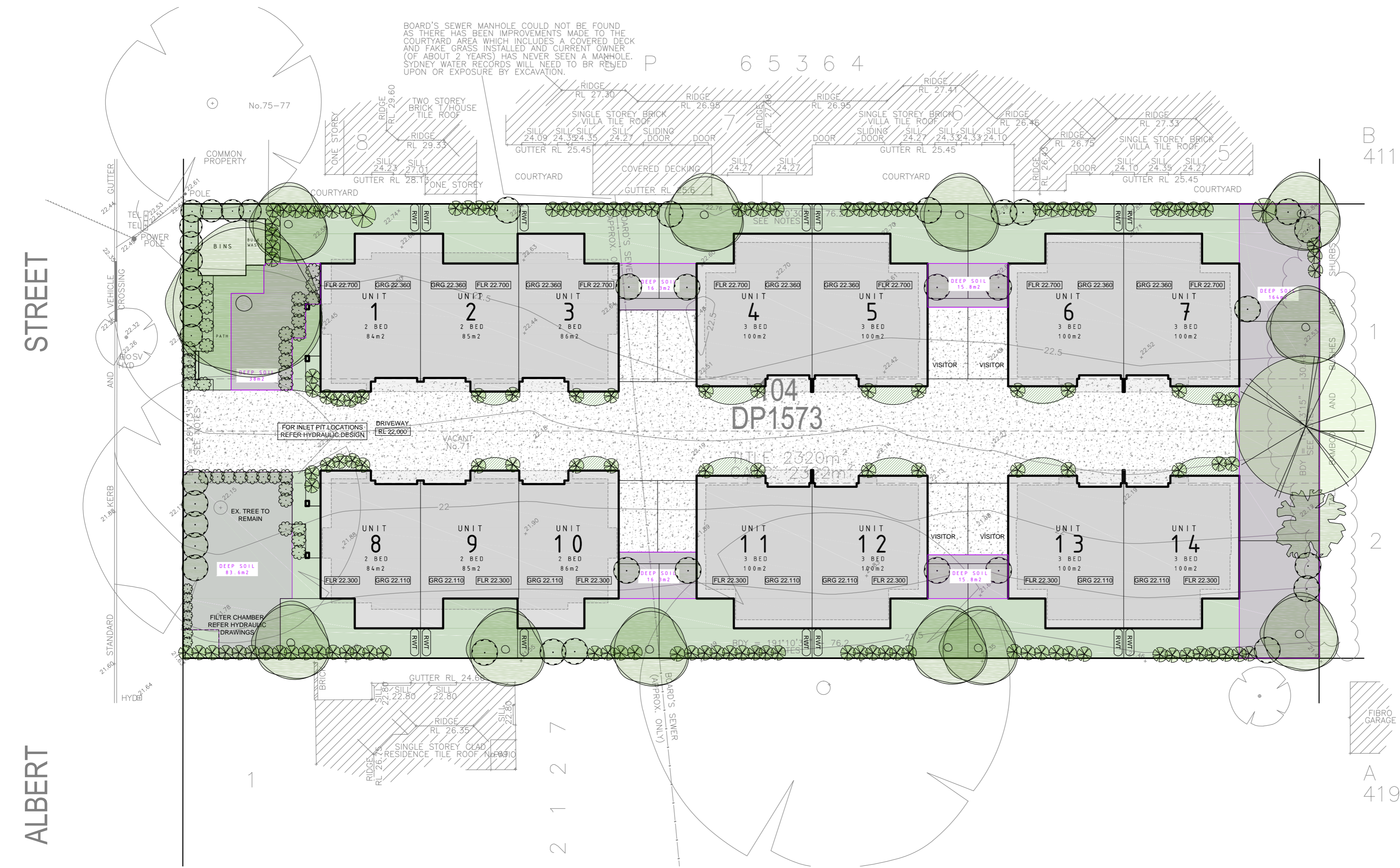
PLANTING AND MAINTENANCE NOTES

1. GLAZED OR POLISHED PLANTING HOLES SHOULD BE AVOIDED
2. PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE
3. PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR 6 WEEKS TO AID ESTABLISHMENT.
4. PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING
5. ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED
6. STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS
7. WEEDS SHOULD BE REMOVED ON A FORTNIGHT BASIS



SITEWORKS LEGEND

- LANDSCAPE AREA >2m
- LANDSCAPE AREA <2m
- DRIVEWAY - IMPERVIOUS AREA
- COURTYARD AREAS - 4m min (20m2)
- CONCRETE RETAINING WALLS
- RWT 1500L RAINWATER TANK TO BASIX REQUIREMENTS - CONNECTED TO 41m2 ROOF AREA.

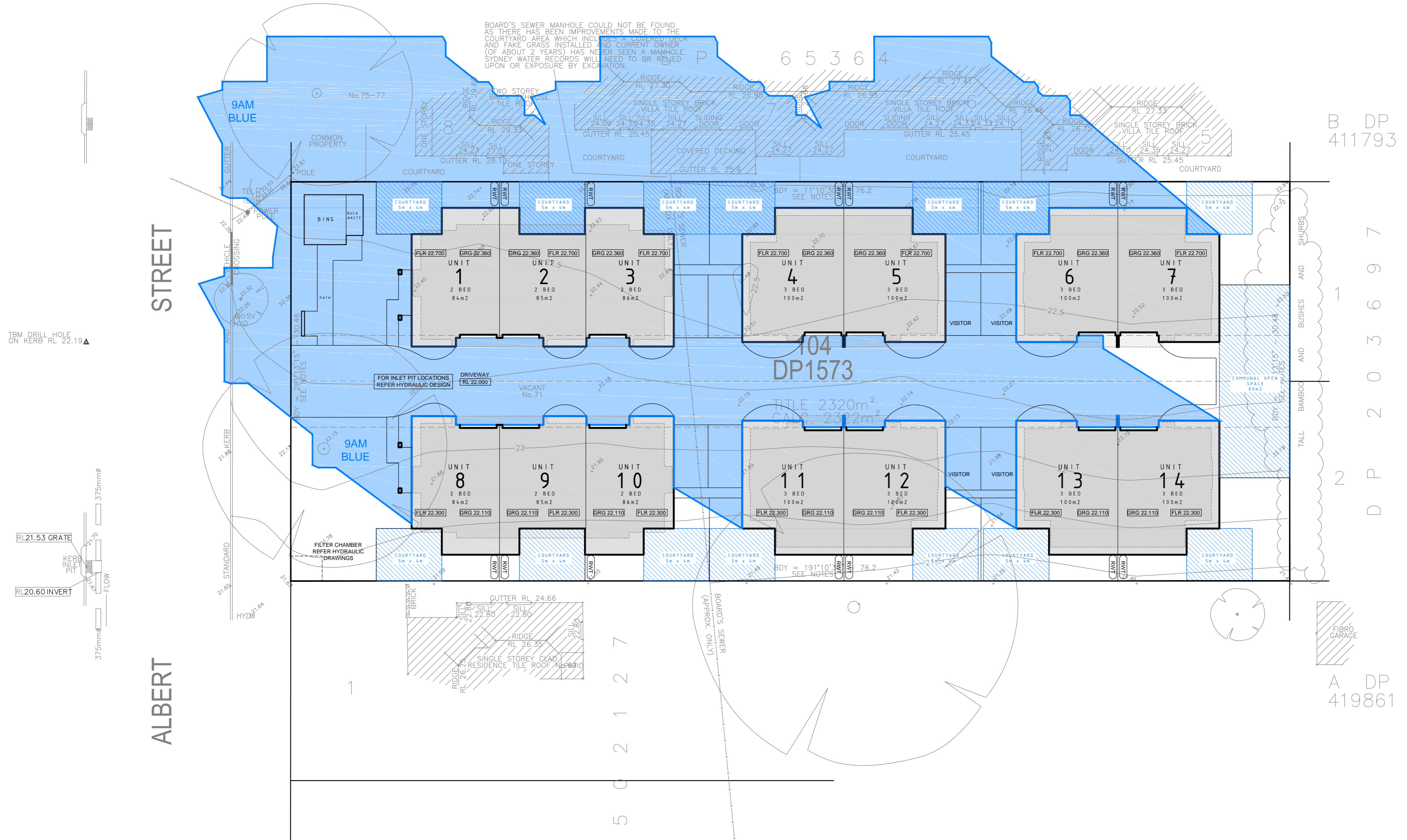


FOR HYDRAULIC DESIGN DETAILS  
PLEASE REFER TO THE SCG ENGINEERING  
DRAWING SET

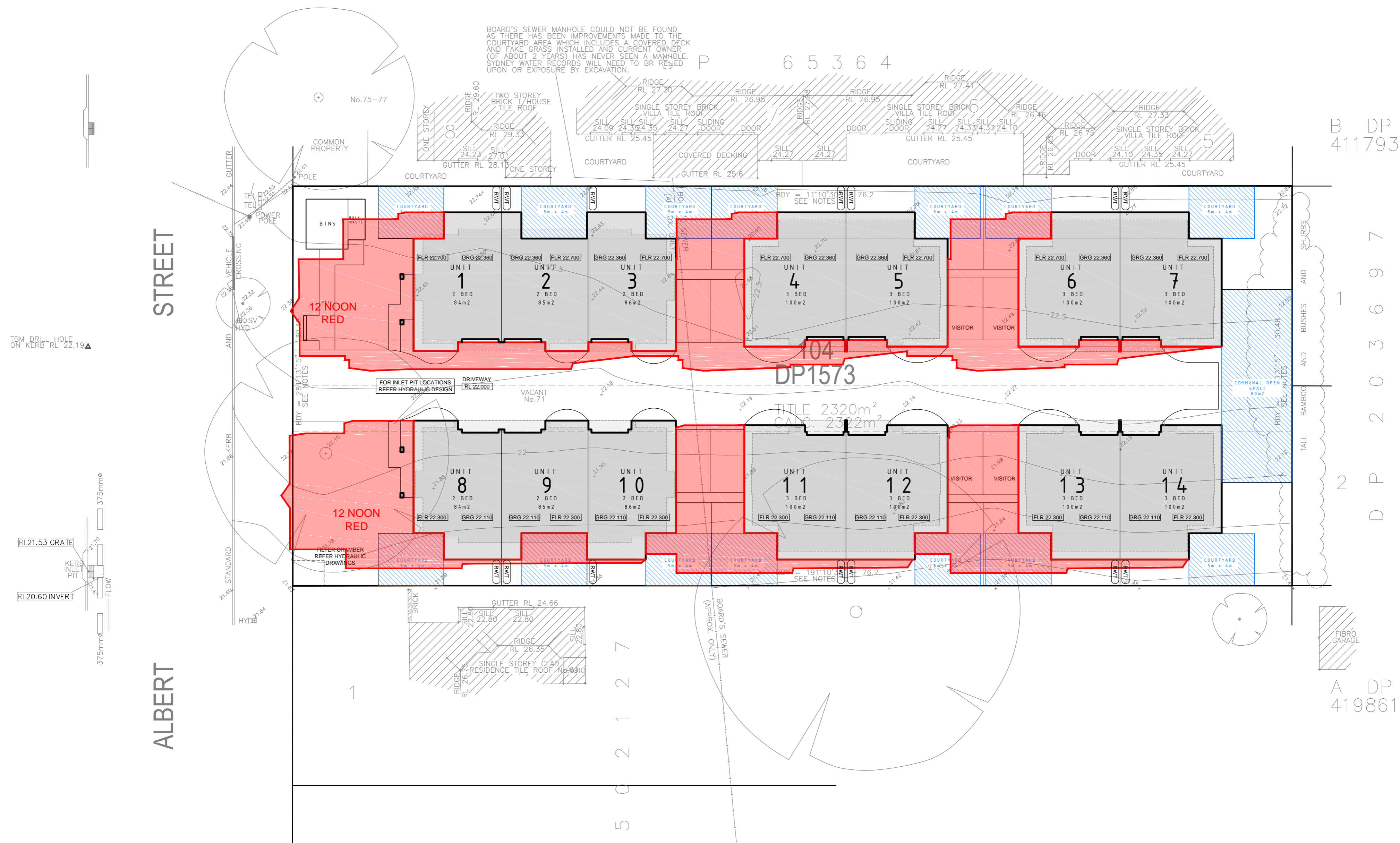
FOR BASIX COMMITMENTS  
PLEASE REFER TO BASIX DOCUMENTATION

SHADOW STUDY TAKEN AT  
9am, 12noon & 3pm ON 21 JUNE 2021

1% AEP - RL 21.70 (FLR 22.20)



1% AEP - RL 21.70 (FLR 22.20)



SHADOW STUDY TAKEN AT  
9am, 12noon & 3pm ON 21 JUNE 2021

1% AEP - RL 21.70 (FLR 22.20)



CLIENT	Cazbuild	Concept	Quote	Production	DATE	19.08.21		
PROJECT	Proposed Multi-Dwelling Development at 71 Albert Street Werrington NSW 2747 Lot 104 DP 1573	All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing	DRN BY	AOB	B	DA ISSUE	19.08.21	
DRG TITLE	SHADOW STUDY - 3PM	© All content remains the property of obrien design+drafting.	SCALE	A2 1 : 200	A	CONCEPT	28.07.21	
			DRG NO	71_AW_A.21	AMENDMENT	DESCRIPTION	DATE	ISSUE
								B