

Drawing List

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Date	Revision	Int
20-08-18	Concept - Issued for Client Approval	JT
07-09-18	Approval - Issued for Approval	JT
11-09-18	Full Set - Approval - Issued for Approval	JT
17-10-18	Full Set - Approval - Issued for Approval	JT
31-10-18	Full Set - Approval - Issued for Approval	JT
10-12-18	Full Set - Approval - Issued for Approval	JT
12-12-18	Full Set - Approval - Issued for Approval	JT
10-12-19	Full Set - Approval - Issued for Approval	JT
06-02-20	Minor Amendment; Full Set - Approval - Issued for Approval	JT
24-02-20	Minor Amendment; Full Set - Approval - Issued for Approval	JT

Proposed
Fitout for



Tenancy T5
78-88 Tench Ave,
Jamisontown, NSW



13-15 Hume Highway,
Greenacre NSW 2190
t: 02-9742-5411
e: theo@agcequipment.com.au
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General Notes:

- All Fit outs must be carried out in compliance with the provisions of local Council's Development Control Plans (DCP) and the Building Code of Australia (BCA)
- Check and make good if required all existing walls after and demolition works
- All goods, materials and equipment shall be stored within the building and no part of the land surrounding shall be used for purposes of storage

Finishes Notes:

- Ensure a Flush Finish between all Floor Finishes, raise tenancy floor to be flush finished with mall floor (if required). No Vinyl or Metal naplok cover strips are acceptable. Refer to Clause 7.2 and Figure 6 of the BCA
- Materials used in the building including floor coverings must comply with the requirements of Clause C1.10 and Specification C1.10a of the BCA
- All Timber Substrate to Be E0 or E1 (Environmentally sustainable), and not sourced from Old Growth Forests
- All Paint to be a No VOC type or Low VOC type
- All tiles and vinyl flooring used is to be R rated and Slip Resistant
- Allow for skirting to all walls, to be s/steel or aluminium externally and laminate or vinyl internally unless otherwise indicated
- All floor finish set outs shown are indicative only, confirm onsite

Joinery Notes:

- Corner Protection's to all exposed joinery corners and flat bar to all joints in panels
- All exposed screw fixings to be concealed with Plastic Screen Caps to match laminate finish
- All lockable units are indicated. All Locks on each unit are to be keyed alike, and keyed to differ from other units, with a master key unless otherwise indicated
- All Sliding Doors are to be on recessed tracks

Construction Notes:

- Construction materials and finishes must comply with early hazard index requirements of Specification C1.10 of the Building Code of Australia
- All door hardware shall comply with Deemed-to-Satisfy clause D2.21 of the Building Code of Australia
- All Ceiling to Wall Corner Junctions to have a P50 Shadow Line, No Architrave or Skirting. Allow for access panels where necessary, flush finished type
- All glazing shall be designed to meet the requirements of AS 1288/AS 2047. All glazing in shopfront and display units must be fully recessed at all sides and appear frameless
- Glass doors and fixed panels capable of being mistaken as a doorway or travel path shall be provided with a Grade "A" Safety Glazing in accordance with AS 1288 2006, Safety Glazing Materials for Use in Buildings (Human Impact Consideration). All other glazing will be installed in accordance with Table 1A Appendix "A" of AS 1288 Glass Installation Code. A vision band will be installed at 1m high meeting Clause 6/6 of AS 1428.1 - 2009
- Fire Collars and non shrink Grout to all penetrations through Perimeter Wall and Ceiling including plumbing, ducting, etc in accordance with A.S 1530.4
- No Floor chasing or core holes are to be undertaken (if required) until approval is received from building's structural engineer
- Doors in travel paths forming part of a required exit or in the path of travel to a required exit will be readily openable without a key from the side that faces a person seeking egress by single hand downward action or pushing action on a single device located between 900mm and 1.2 metres from the floor in accordance with Part D2.21 of the Building Code of Australia, excluding class 5, 6, 7, or 8 building with a floor area less than 200m²
- Shopfitter to contact the building's nominated mechanical contractor to review the alterations required to suit new tenant layout. Provide a mechanical certificate prior to the commencement of trade, irrespective of whether the layout has changed or not
- Air Conditioning Diffuser positions shown indicatively (if shown), Contractor to position, install and certify onsite to suit tenancy layout. To comply with AS 1668

Appliance/Equipment Notes:

- All Appliances are to be supplied by client unless otherwise indicated. All White Goods are to have a minimum of a 4 Star Energy Rating
- Any appliance used for the storage of hot or cold food must be provided with a numerically scaled indicating thermometer or recording thermometer accurate to the nearest degree Celsius or an alarm system for continuous monitoring of the temperature of the appliance (Food Regulation 2004)
- All Appliances and Equipment set outs shown are indicative only, confirm onsite
- No Third Party Branding is to be visible unless approved by centre (ie red 'coke fridge not permitted')

Plumbing Notes:

- All Water fixtures and fitting are to meet WELS rating standards
- Water proofing of wet areas must be installed to the requirements of Part F, F1.7 of the Building Code of Australia and AS 3740
- No Floor chasing or core holes are to be undertaken (if required) until approval is received from building's structural engineer
- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements

Electrical Notes:

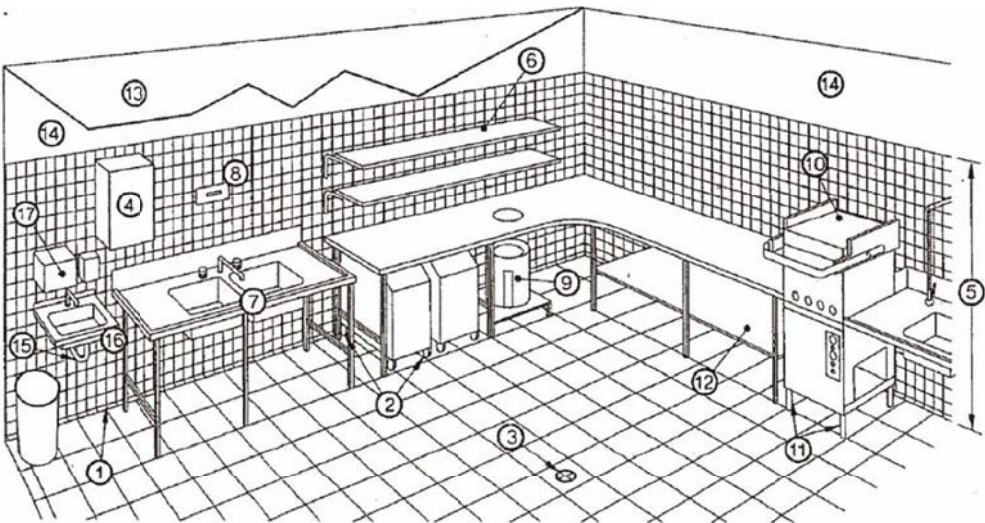
- Electrical work must be carried out in accordance with the requirements of AS 3000
- Clause 14 of AS1428.1 requires all switches and controls on an accessible path of travel, excluding general purpose outlets to be located;
a - Between 900mm and 1100mm above the plane of the finished floor
b - Not less than 500mm from internal corners except where installed on the latch side architrave
- No Floor chasing or core holes are to be undertaken (if required) until approval is received from building's structural engineer
- Where practicable all electrical equipment is to be on a time to suit tenancy trading hours
- Ensure all Fluorescent lamps for lighting and signage have Electric Ballast
- Confirm power requirements for all appliances and equipment to be installed with client prior to commencement of works
- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements
- Exit Signs and Emergency Lighting positions to be located, installed and certified by a Electrical Contractor, to comply with AS 2293
- All Emergency Lighting and Exit signs are to be on a Separate Circuit with a Test Switch Installed
- In accordance with the EPA Regulation 2000, at the completion of work certificates for the essential fire safety measures installed in the building
- Fire Services and the positions are to be located, installed and certified by a Fire Services Contractor. The smoke detection and alarm system must be in accordance with AS 1670 1986, Automatic fire detection and alarm systems - System design, installation, and commissioning
- Hydrant and Hose Reel coverage will comply with Building Code of Australia clauses E1.3, E1.4, E1.5 Australian Standards AS2419.1-2005, 2441-2005 & 2118.1-1999 respectively

- Doors in travel paths forming part of a required exit or in the path of travel to a required exit will be readily openable without a key from the side that faces a person seeking egress by single hand downward action or pushing action on a single device located between 900mm and 1.2 metre's from the floor in accordance with Part D2.21 of the Building Code of Australia, excluding class 5, 6, 7, or 8 building with a floor area less than 200m²

- Fire Blanket and extinguisher to tenancy. Allow for units to be locate near EDB adjacent to door in direction of egress

Kitchen/Food Prep Notes:

- In Kitchens or Food Prep Areas must comply to AS 4674-2004: design, construction and fit out of food premises, and also be in accordance with Australian Food Safety Standards, refer to the following:
a - All Floor to Wall Corner Junction to have a 25mm aluminium or tile coving. Cove to be flush finish into corner.
b - Set plaster ceiling, drop in panels or t grid system not permitted
c - Hand basins located with in food handling facilities and toilets
d - Washing sink, separate from hand basin to prevent cross contamination
e - Allow for cleaners facilities onsite, ie cleaners sink
f - Storage facilities for food, equipment and staff belongings
g - Paper, Cardboard and Waste management to be included to tenancy
h - Ensure clearances for equipment, fixtures and fittings from adjacent floors and walls
- Tight-fitting, washable fly screens or other approved means of excluding flies must be provided to all window and door openings (AS4674-2004-Section 2.1.5)
- The floor must be finished to a smooth, even non-slip surface, graded and drained to the waste (AS4674-2004-Section 3)
- The intersection of the floor with the walls must be coved with approved, recessed coving to a minimum concave radius of 25mm, so as to be integral to the surface finish of both floor and wall in such a manner as to form a continuous, uninterrupted surface. "Feather edge skirting" and non-rebated coving are not permitted (AS4674-2004 - Section 3.1.5, Figure 3.1)
- The ceiling must be constructed with a rigid, non-absorbent, smooth faced material free from open joints, cracks and crevices and painted with a light-coloured washable paint. The intersection of the walls and ceiling must be right-joined, sealed and dust proof. Drop-in panel style ceilings are not permitted (AS4674-2004-Section 3.2)
- Walls must be of solid construction and finished with a smooth, impervious washable surface. Cavity walls are not permitted (AS4674-2004-Section 3.2)
- All service pipes and electrical conduit must be contained in the floor, walls and plinths or ceiling OR fixed on brackets providing at least 25mm clearance and a 100mm clearance for adjacent service pipes and electrical conduit (AS4674-2004-Section 3.2.9)
- Any equipment washing or preparation sink must be serviced with hot and cold water through a single outlet (AS4674-2004-Section 4.1)
- A Cleaning sink of adequate size and capacity must be provided (AS4674-2004-Section 4.1)
- A cleaner's sink (mop sink) serviced with hot and cold water through taps fitted with hose connectors must be provided and located outside of areas where open food is handled (AS4674-2004-Section 4.1.8)
- Hand basins must be provided no further than 5m from any place where open food is handled. The hand basin(s) must; be a permnent fixture at bench height, be serviced with a permanent supply of warm running water through a single handsfree outlet, be of a size that allows easy and effective hand washing and clearly designated for the sole purpose of washing hands, arms and face. A disposable paper hand towel dispenser must be installed adjacent to each hand basin. Air dryers installed as the sole means of drying hands are not permitted (AS4674-2004-Section 4.4)
- The top and exposed edges of all benches and counters must be finished in a smooth and non- absorbent material, and free of cracks, gaps, crevices or exposed joints (AS4674-2004-Section 4.2)
- Storage cabinets, both internally and externally, must be finished in a smooth and non-absorbent material, and free of cracks, gaps, crevices or exposed joints (AS4674-2004-Section 4.2)
- Counter and Kitchen benches are to be built on 150mm high (min) adjustable feet or solid plinths, false bottoms and cavities under fittings are not permitted (AS4674-2004-Section 4.2 and 4.3)
- The hot water service must be positioned at least 75mm clear of the adjacent wall surfaces, and mounted a minimum 150mm above floor level on a stand of non-corrosive metal construction (AS4674-2004-Section 4.3)
- Sufficient lockers must be provided in the premises specifically for the storage of cleaning materials and employees' clothing and personal belongings (AS4674-2004-Section 5.2)
- Water proofing to all floors and walls in wet areas to comply with AS 3740
- Condensation / overflow from the refrigeration units / cool room motors / coffee machines and the like must be directed to a tundish, installed in accordance with Sydney Water requirements. Confirm requirements of units



LEGEND:

- ① = Floor/wall coving

② = Castors to under bench storage

③ = Impervious floor graded and drained

④ = Hot water heater sealed to wall

⑤ = Walls tiled

⑥ = Shelving 25 mm clear of wall

⑦ = Sink unit on metal frame

⑧ = Thermometer

⑨ = Garbage receptacle
- ⑩ = Dishwasher with temperature indicating device

⑪ = Legs 150 mm min.

⑫ = Underside of support bracket 150mm to the finished floor surface

⑬ = Painted plasterboard ceiling

⑭ = Smooth cement rendering

⑮ = Water drainage pipes concealed into walls

⑯ = Hand basin, hot and cold water mixing set

⑰ = Soap and towel dispenser

Legend - Part 1 of 3

All Drawings to be read in conjunction with Legend

Client: Tella Balls

Project: Tenancy Fitout

Address: Tenancy T5
78-88 Tench Ave,
Jamisontown, NSW

Drawn by: JT

Designed by: JK

Scale: N/A

Issue: As Built

Date: 10-12-19

Sheet: A3

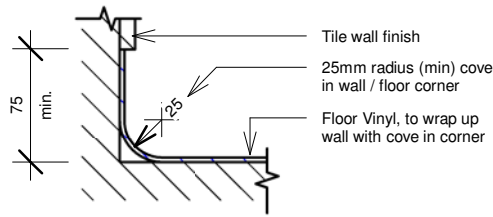
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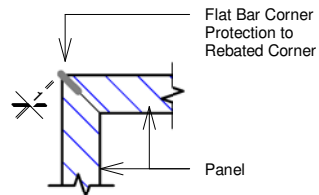
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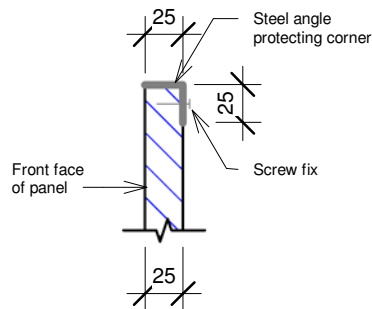
A-2.1



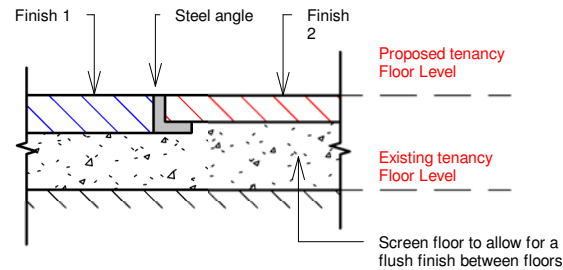
SECTION
Wall Cove Section Detail.
Not to Scale.



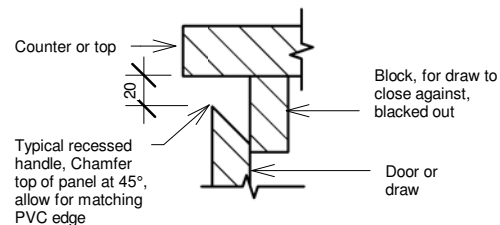
SECTION
Flat Bar Section Detail.
Not to Scale.



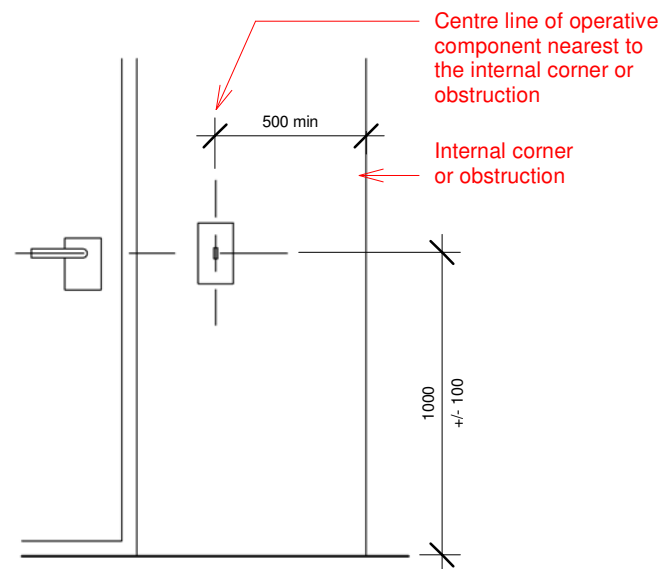
SECTION
Panel Edge Protection
Section Detail.
Not to Scale.



SECTION
Flush Finished Floor Junction
Detail.
Not to Scale.



SECTION
Typical Recessed Handle Detail.
Not to Scale.



Front View

Disability Access - Door Handle and Switch Location

Lighting Schedule:

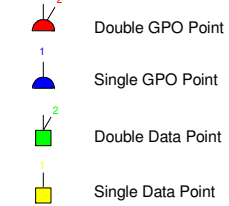
	'Trend' Mini LED XDM25, 25w. Code: XDM253 - WB - W
	Exit sign / Emergency Lighting - 3.5w. Locations to be Confirmed and Fitting Installed by Contractor
	Sprinkler. Locations to be Confirmed and Fitting Installed by Contractor
	A/C Duct. Locations to be Confirmed and Fitting Installed by Contractor
	Air Return. Locations to be Confirmed and Fitting Installed by Contractor

- All indicated positions of fittings and services are proposed and are indicative of desired location, confirm existing points onsite and use existing where possible. Contractor to confirm
- Allow for Emergency lighting and Exit signs as per required (BCA)
- Fire Services and the positions are to be located, installed and certified by a Fire Services Contractor. The smoke detection and alarm system must be in accordance with AS 1670 1986, Automatic fire detection and alarm systems - System design, installation, and commissioning
- In accordance with the EPA Regulation 2000, at the completion of work certificates for the essential fire safety measures installed in the building
- Hydrant and Hose Reel and sprinkler system coverage will comply with Building Code of Australia clauses E1.3, E1.4, E1.5 Australian Standards AS2419.1-2005, 2441-2005 & 2118.1-1999 respectively
- Fire Blanket and extinguisher to tenancy. Allow for units to be locate near EDB adjacent to door in direction of egress
- Exit Signs and Emergency Lighting positions to be located, installed and certified by a Electrical Contractor, to comply with AS 2293.1 2005. Emergency Lighting and Exit signs are to be on a Separate Circuit with a Test Switch Installed
- Air Conditioning Diffuser positions shown indicatively (if shown), Contractor to position, install and certify onsite to suit tenancy layout. To comply with AS 1668
- Ensure all Fluorescent lamps for lighting and signage have Electric Ballast
- Front of house lighting is to be separately switched from back of house
- Display cabinet lighting is to be separately switched
- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements

Section J6:

Total Floor Space	122 m ²
Total Wattage	950 w
Ratio	7.79 w / m ²

Electrical Symbols:



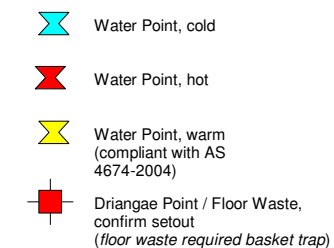
- Confirm power requirements for all appliances and equipment to be installed with client prior to commencement of works

- All indicated positions of points and services are proposed and are indicative of desired location, confirm existing points onsite and use existing where possible

- All points indicated for work desks are to be above bench

- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements

Plumbing Symbols:



- Confirm plumbing requirements for all appliances and equipment to be installed with client prior to commencement of works

- All indicated positions of points and services are proposed and are indicative of desired location, confirm existing points onsite and use existing where possible

- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements

Legend - Part 2 of 3

All Drawings to be read in conjunction with Legend

Client: Tella Balls

Project: Tenancy Fitout

Address: Tenancy T5
78-88 Tench Ave,
Jamisontown, NSW

Drawn by: JT

Designed by: JK

Scale: N/A

Issue: As Built

Date: 24-02-20

Sheet: A3

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A-2.2

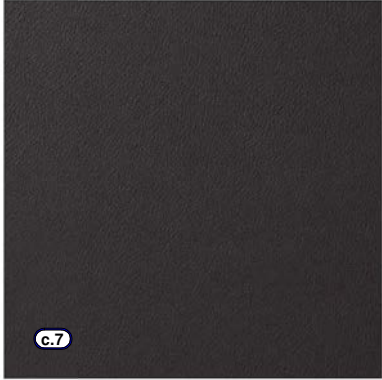
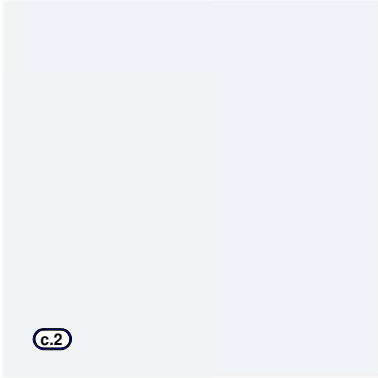
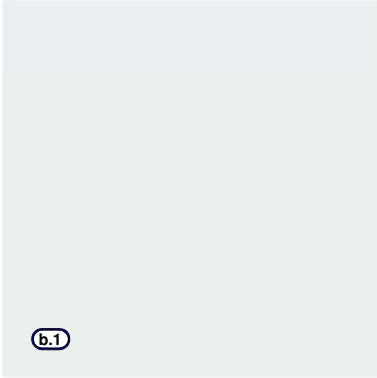
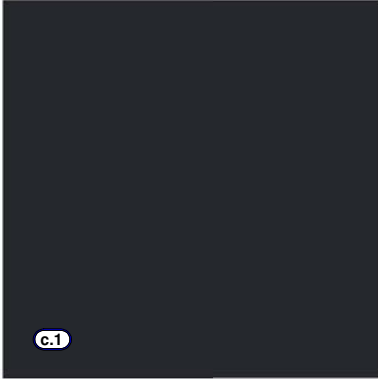
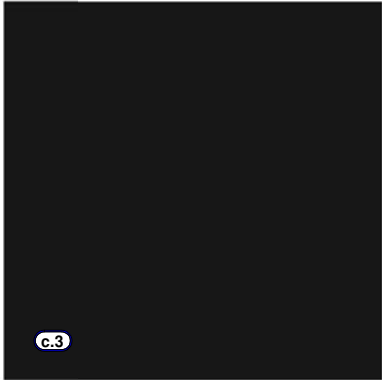
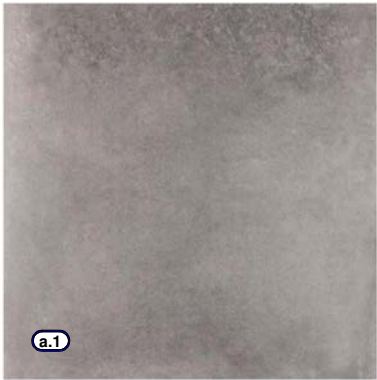
Finishes Schedule:

Floors	
a.1	Existing floor tiles, retained as is
a.2	Tile - 'RAK Ceramics' Murano, Timau, Rockface, R11, 305 x 305, porcelain. Allow for matching cove in all food handling areas, compliant with AS 4674-2004

Wall and Ceiling	
n/a	Sealer Undercoat, Low VOC
b.1	Paint - 'Dulux' White on White, no VOC
b.2	Wall Tile - Black Subway Tile, laid in stretcher bond pattern
b.3	Wall Tile - Gloss White, 300 x 300
b.4	Wall Panel - Stainless Steel Panel, black
b.5	Wall Graphic

Joinery and Fixtures Finishes	
c.1	Solid Surface - 'Corian' Nocturne
c.2	Laminate - 'Wilsonart' Designer White, D354K-07, Textured Gloss finish
c.3	Laminate - 'Wilsonart' Black, 1595-60
c.4	Paneling - FC Sheeting, clear sealed
c.5	Stainless Steel
c.6	Steel - Powder Coat finish; yellow to match 'Wilsonart' Yellow, D483-60
c.7	Upholstery - 'Warwick' Lustrell Nova, Dark Chocolate
c.8	Glass
c.9	White melamine (all joinery carcass')

All joinery carcass' to be c.9



Legend - Part 3 of 3

All Drawings to be read in conjunction with Legend

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Project: Tenancy Fitout
Address: Tenancy T5
78-88 Tench Ave,
Jamisontown, NSW
Drawn by:
Designed by: JK
Scale: N/A
Issue: As Built
Date: 24-02-20
Sheet: A3

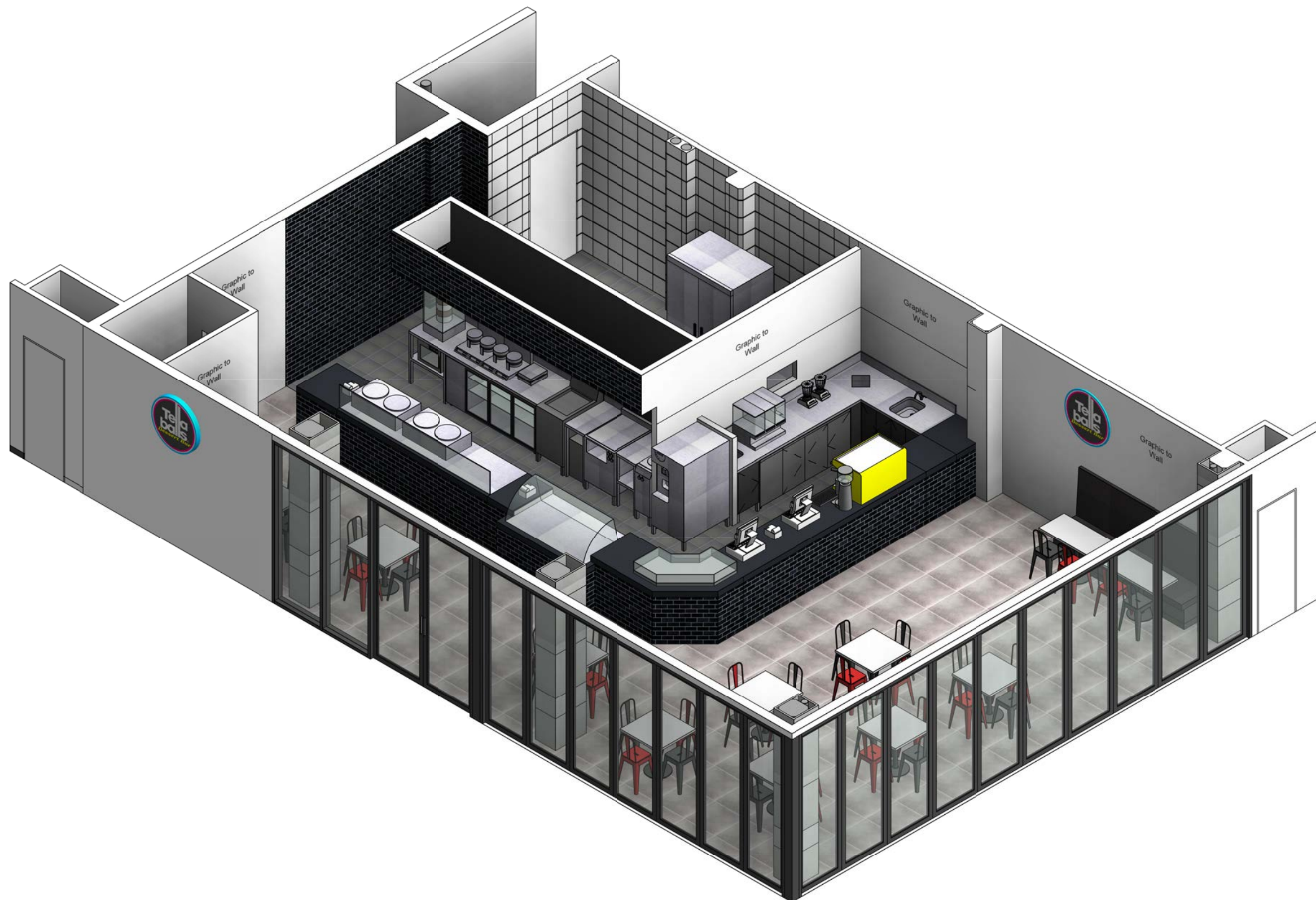
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Dwg no:

A-2.3



Note:
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Perspective

All Drawings to be read in conjunction with Legend

Client: Tella Balls

Drawn by: JT

Issue: As Built

Project: Tenancy Fitout

Designed by: JK

Date: 24-02-20

Address: Tenancy T5
 78-88 Tench Ave,
 Jamisontown, NSW

Scale: N/A

Sheet: A3

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A-3.1

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Perspective

All Drawings to be read in conjunction with Legend

Client: Tella Balls
Project: Tenancy Fitout
Address: Tenancy T5
78-88 Tench Ave,
Jamisontown, NSW

Drawn by: JT
Designed by: JK
Scale: N/A

Issue: As Built
Date: 24-02-20
Sheet: A3

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Dwg no:

A-3.2



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Perspectives

All Drawings to be read in conjunction with Legend

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Project: Tenancy Fitout
Address: Tenancy T5
 78-88 Tench Ave,
 Jamisontown, NSW
Drawn by:
Designed by: JK
Scale: N/A
Issue: As Built
Date: 24-02-20
Sheet: A3

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Dwg no:

A-3.3



Floor Plan

All Drawings to be read in conjunction with Legend

Client: Tella Balls
Project: Tenancy Fitout
Address: Tenancy T5
78-88 Tench Ave,
Jamisontown, NSW

Drawn by: JT
Designed by: JK
Scale: 1 : 50

Issue: As Built
Date: 24-02-20
Sheet: A3

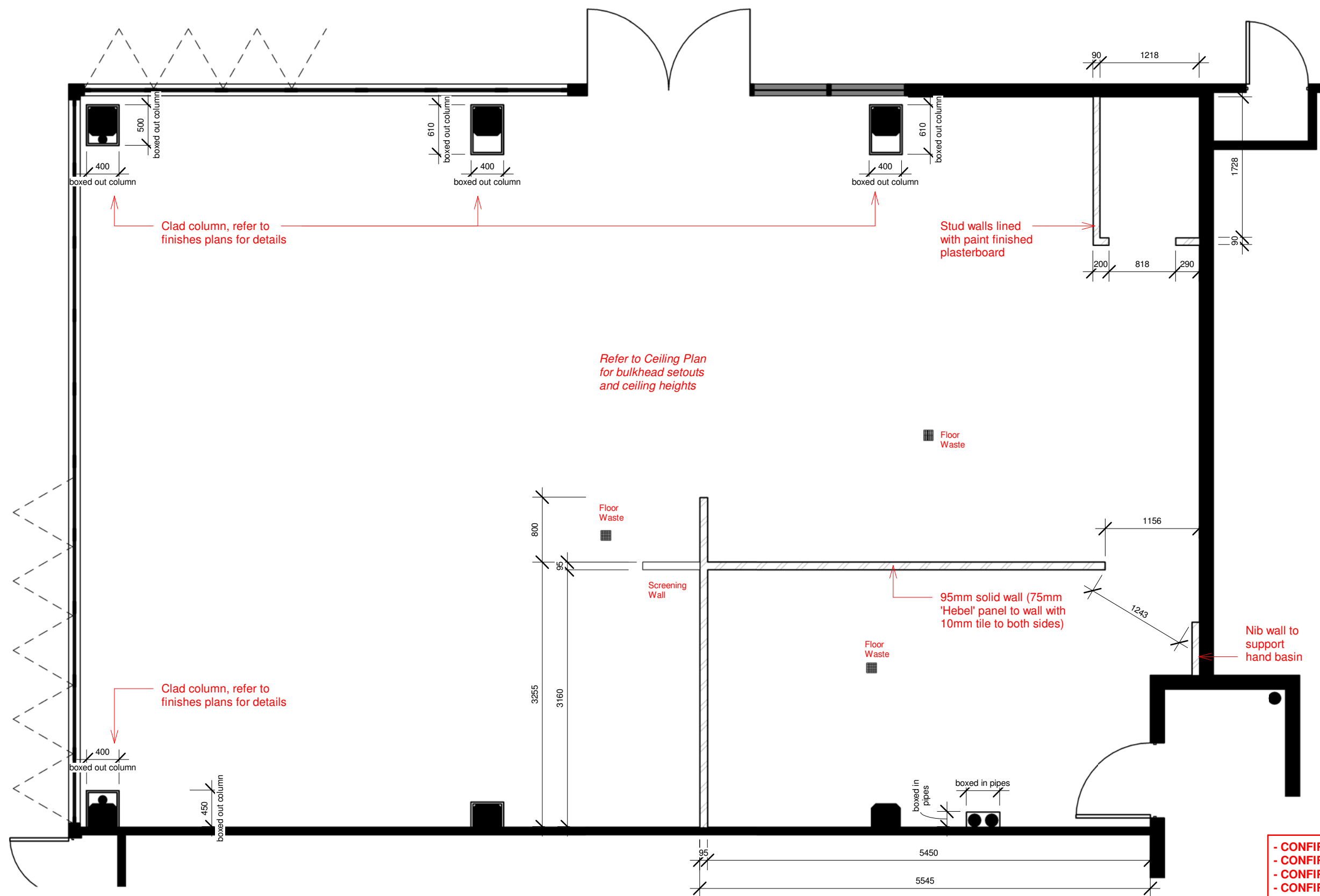
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e: theo@agcequipment.com.au
w: agcequipment.com.au

Dwg no:

B-1.1



Plan - Dimensioned

All Drawings to be read in conjunction with Legend

Client: Tella Balls
Project: Tenancy Fitout
Address: Tenancy T5
 78-88 Tench Ave,
 Jamisontown, NSW

Drawn by: JT
Designed by: JK
Scale: 1 : 50

Issue: As Built
Date: 24-02-20
Sheet: A3

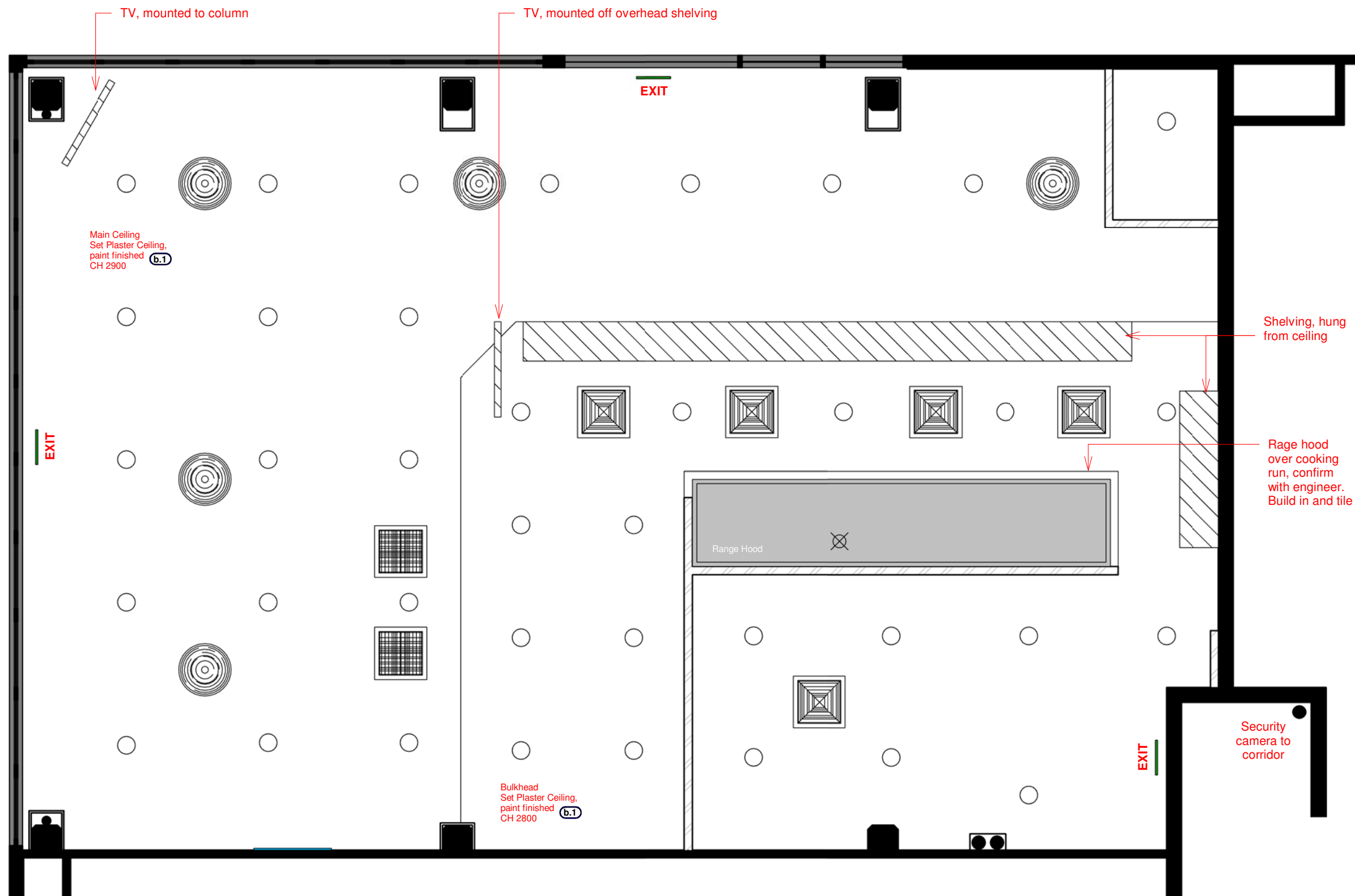
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Dwg no:

B-2.1



Lighting Schedule:

	'Trend' Mini LED XDM25, 25w. Code:XDM253 - WB - W
	Exit sign / Emergency Lighting - 3.5w. Locations to be Confirmed and Fitting Installed by Contractor
	Sprinkler. Locations to be Confirmed and Fitting Installed by Contractor
	A/C Duct. Locations to be Confirmed and Fitting Installed by Contractor
	Air Return. Locations to be Confirmed and Fitting Installed by Contractor

- All indicated positions of fittings and services are proposed and are indicative of desired location, confirm existing points onsite and use existing where possible. Contractor to confirm
- Allow for Emergency lighting and Exit signs as per required (BCA)
- Fire Services and the positions are to be located, installed and certified by a Fire Services Contractor. The smoke detection and alarm system must be in accordance with AS 1670 1986, Automatic fire detection and alarm systems - System design, installation, and commissioning
- In accordance with the EPA Regulation 2000, at the completion of work certificates for the essential fire safety measures installed in the building
- Hydrant and Hose Reel and sprinkler system coverage will comply with Building Code of Australia clauses E1.3, E1.4, E1.5 Australian Standards AS2419.1-2005, 2441-2005 & 2118.1-1999 respectively
- Fire Blanket and extinguisher to tenancy. Allow for units to be locate near EDB adjacent to door in direction of egress
- Exit Signs and Emergency Lighting positions to be located, installed and certified by a Electrical Contractor, to comply with AS 2293.1 2005. Emergency Lighting and Exit signs are to be on a Separate Circuit with a Test Switch Installed
- Air Conditioning Diffuser positions shown indicatively (if shown), Contractor to position, install and certify onsite to suit tenancy layout. To comply with AS 1668
- Ensure all Fluorescent lamps for lighting and signage have Electric Ballast
- Front of house lighting is to be separately switched from back of house
- Display cabinet lighting is to be separately switched
- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements

Section J6:

Total Floor Space	122 m²
Total Wattage	950 w
Ratio	7.79 w / m²

- CONFIRM ALL DIMENSIONS ONSITE
- CONFIRM POSTS AND LOCATIONS ONSITE
- CONFIRM CEILING ONSITE
- CONFIRM LIGHTING AND LOCATIONS ONSITE

Plan - Ceiling

All Drawings to be read in conjunction with Legend

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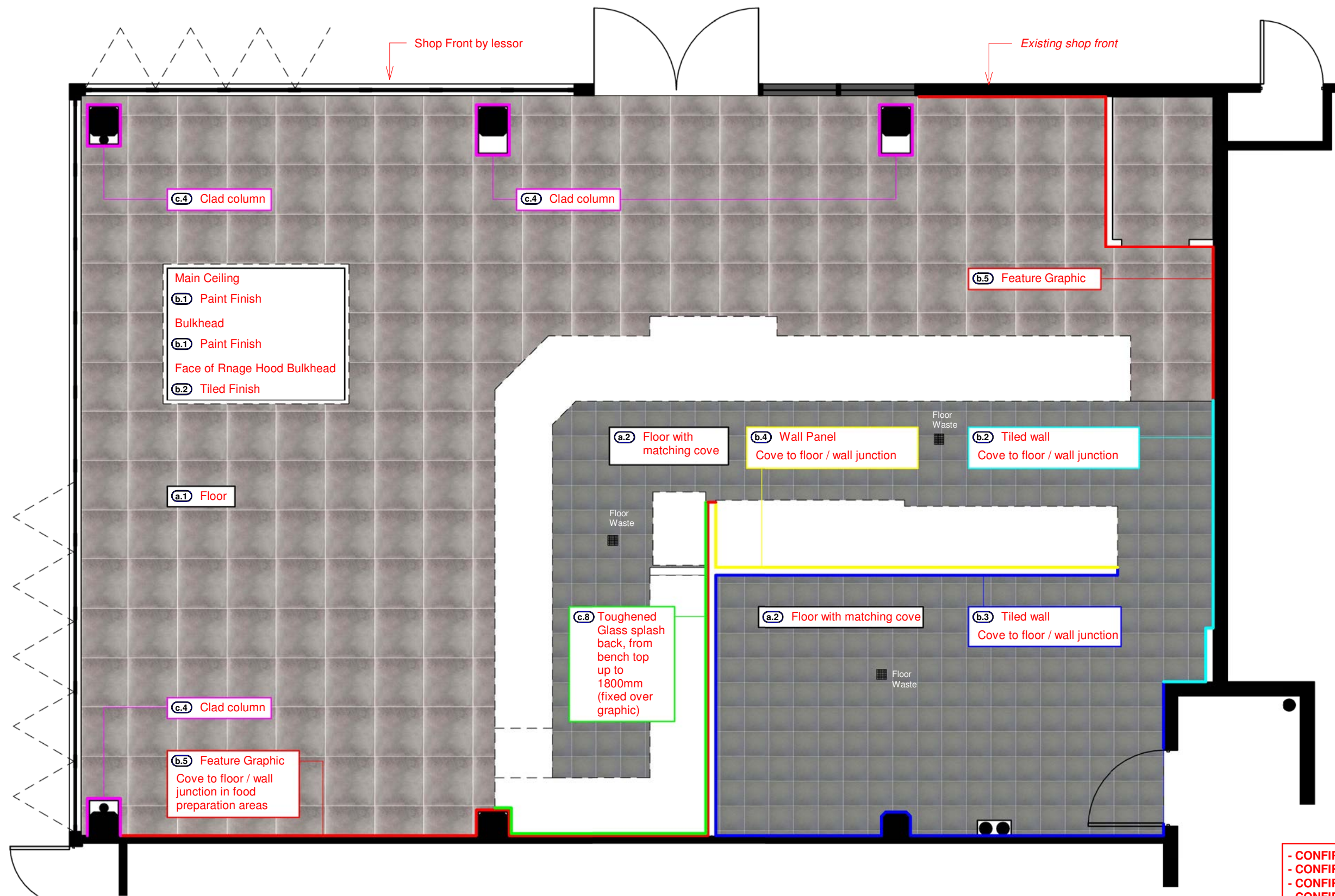
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Finishes Schedule:

Floors	
(a.1)	Existing floor tiles, retained as is
(a.2)	Tile - 'RAK Ceramics' Murano, Timau, Rockface, R11, 305 x 305, porcelain. Allow for matching cove in all food handling areas, compliant with AS 4674-2004

Wall and Ceiling	
(n/a)	Sealer Undercoat, Low VOC
(b.1)	Paint - 'Dulux' White on White, no VOC
(b.2)	Wall Tile - Black Subway Tile, laid in stretcher bond pattern
(b.3)	Wall Tile - Gloss White, 300 x 300
(b.4)	Wall Panel - Stainless Steel Panel, black
(b.5)	Wall Graphic

Joinery and Fixtures Finishes	
(c.1)	Solid Surface - 'Corian' Nocturne
(c.2)	Laminate - 'Wilsonart' Designer White, D354K-07, Textured Gloss finish
(c.3)	Laminate - 'Wilsonart' Black, 1595-60
(c.4)	Paneling - FC Sheeting, clear sealed
(c.5)	Stainless Steel
(c.6)	Steel - Powder Coat finish; yellow to match 'Wilsonart' Yellow, D483-60
(c.7)	Upholstery - 'Warwick' Lustrell Nova, Dark Chocolate
(c.8)	Glass
(c.9)	White melamine (all joinery carcass')

All joinery carcass' to be (c.9)

Plan - Finishes

All Drawings to be read in conjunction with Legend

Client: Tella Balls

Drawn by: JT

Issue: As Built

Project: Tenancy Fitout

Designed by: JK

Date: 24-02-20

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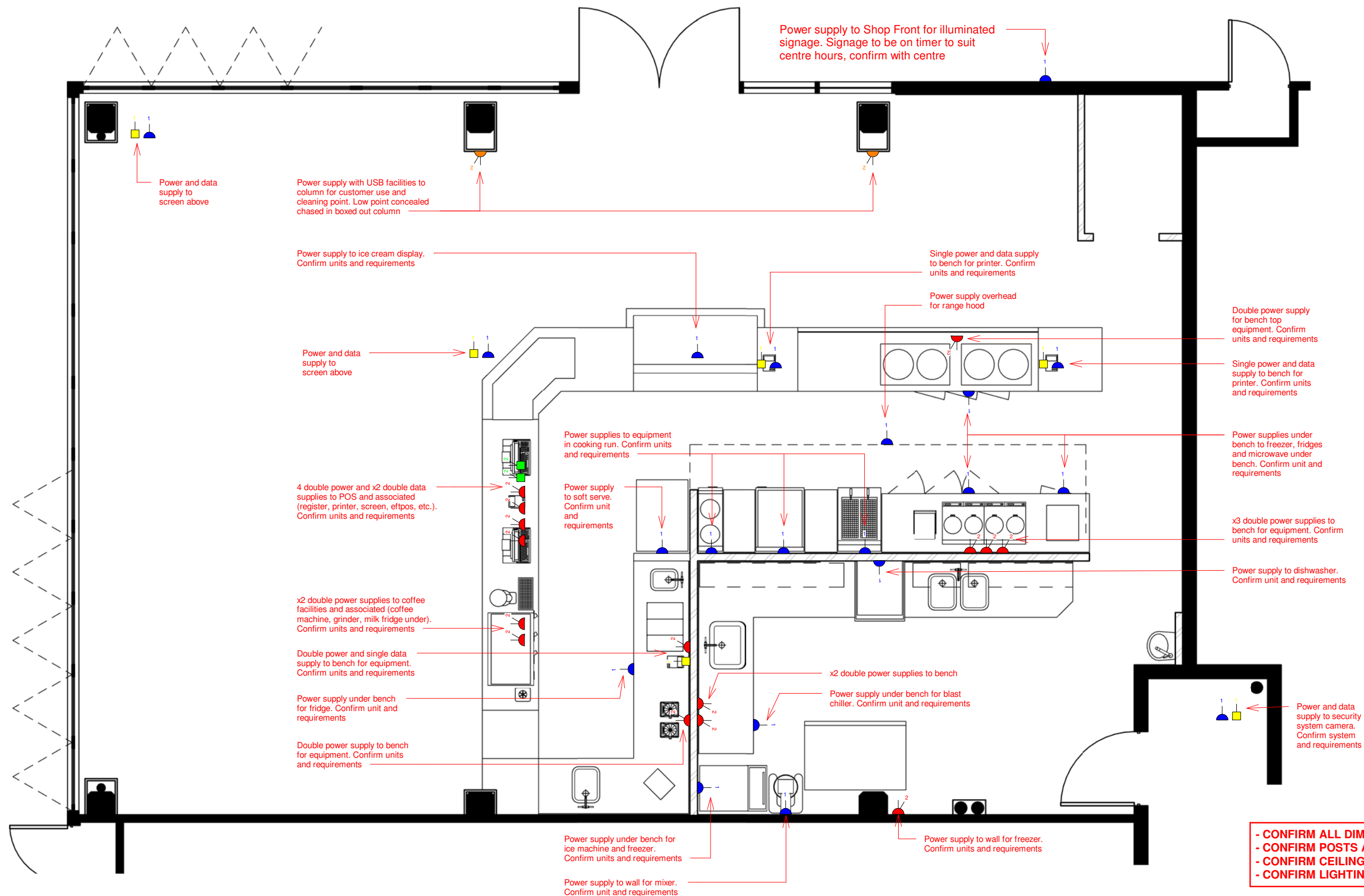
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B-4.1



Electrical Symbols:

- Double GPO Point
- Single GPO Point
- Double Data Point
- Single Data Point

- Confirm power requirements for all appliances and equipment to be installed with client prior to commencement of works

- All indicated positions of points and services are proposed and are indicative of desired location, confirm existing points onsite and use existing where possible

- All points indicated for work desks are to be above bench

- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements

- CONFIRM ALL DIMENSIONS ONSITE
- CONFIRM POSTS AND LOCATIONS ONSITE
- CONFIRM CEILING ONSITE
- CONFIRM LIGHTING AND LOCATIONS ONSITE

Plan - Power and Data

All Drawings to be read in conjunction with Legend

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Project: Tenancy Fitout
Address: Tenancy T5
 78-88 Tench Ave,
 Jamisontown, NSW

Drawn by: JT
Designed by: JK
Scale: 1 : 50

Issue: As Built
Date: 24-02-20
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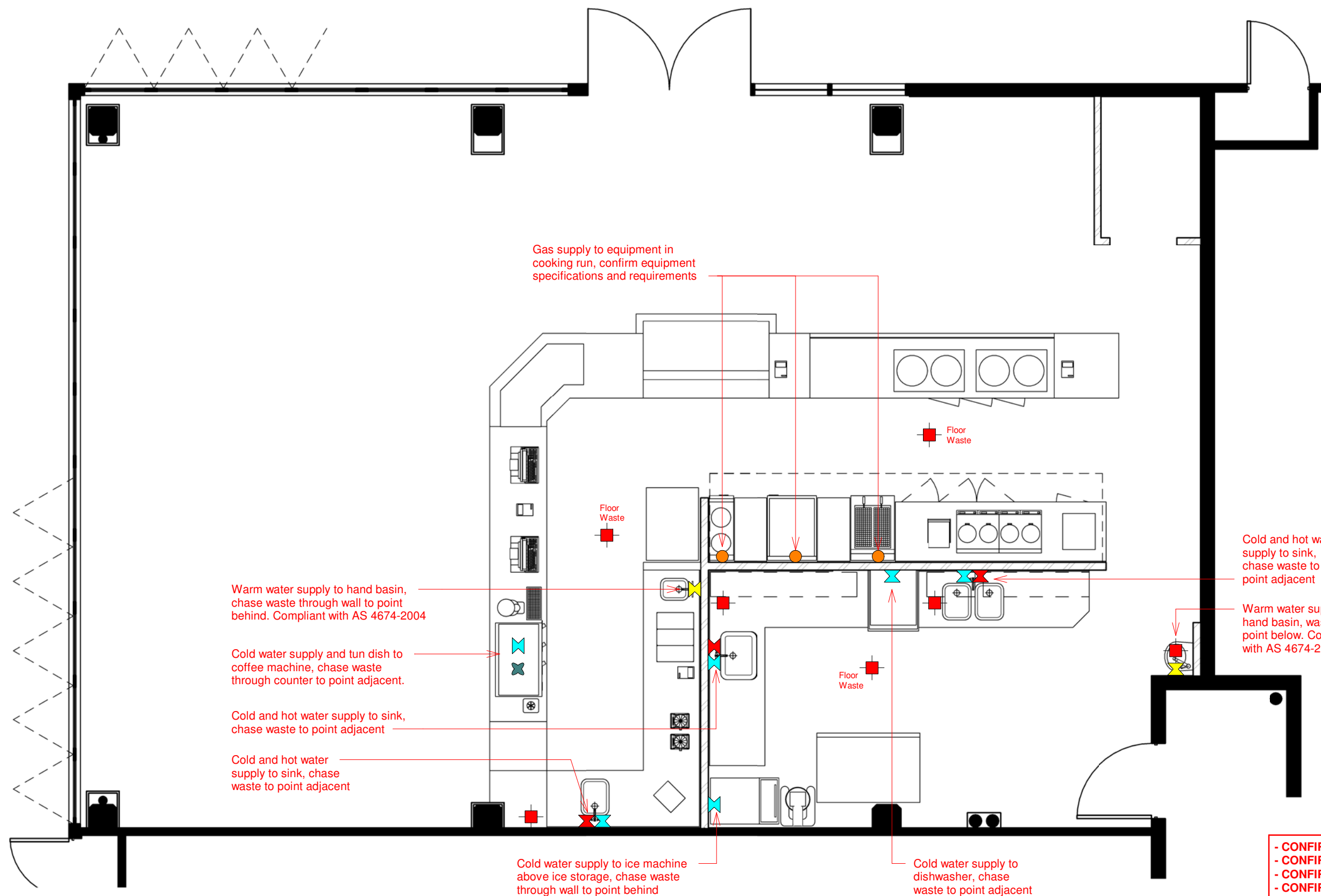
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Dwg no:

B-5.1



Plumbing Symbols:

-  Water Point, cold
-  Water Point, hot
-  Water Point, warm (compliant with AS 4674-2004)
-  Drangae Point / Floor Waste, confirm setout (floor waste required basket trap)

- Confirm plumbing requirements for all appliances and equipment to be installed with client prior to commencement of works

- All indicated positions of points and services are proposed and are indicative of desired location, confirm existing points onsite and use existing where possible

- Contractors to provide certificates for all works completed to confirm compliance with all relevant standards and requirements

- CONFIRM ALL DIMENSIONS ONSITE
- CONFIRM POSTS AND LOCATIONS ONSITE
- CONFIRM CEILING ONSITE
- CONFIRM LIGHTING AND LOCATIONS ONSITE

Plan - Plumbing

All Drawings to be read in conjunction with Legend

Client: Tella Balls

Drawn by: JT

Issue: As Built

Project: Tenancy Fitout

Designed by: JK

Date: 06-12-19

Address: Tenancy T5
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Scale: 1 : 50

Sheet: A3

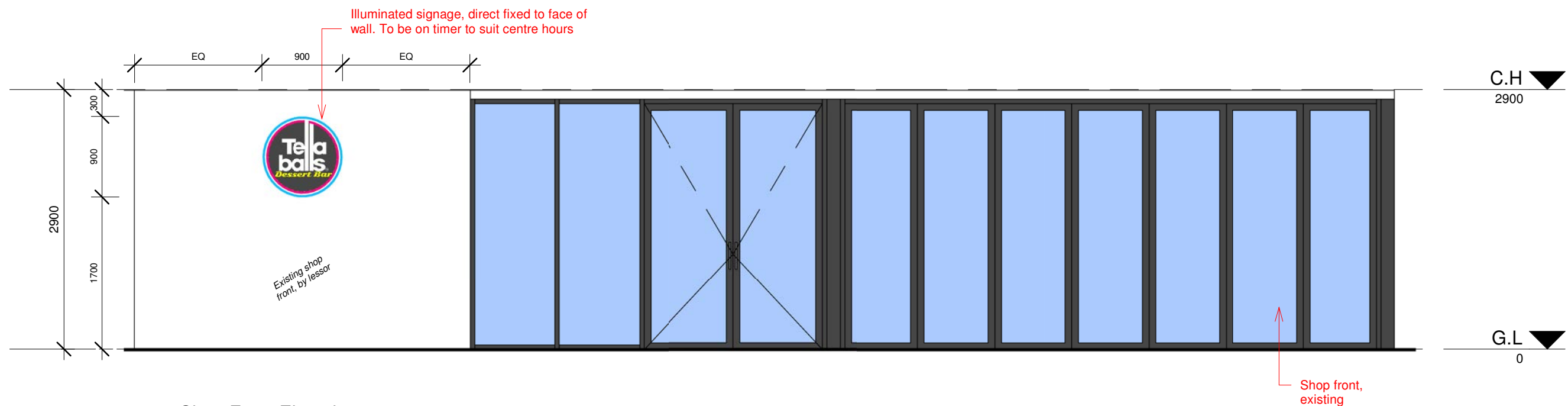
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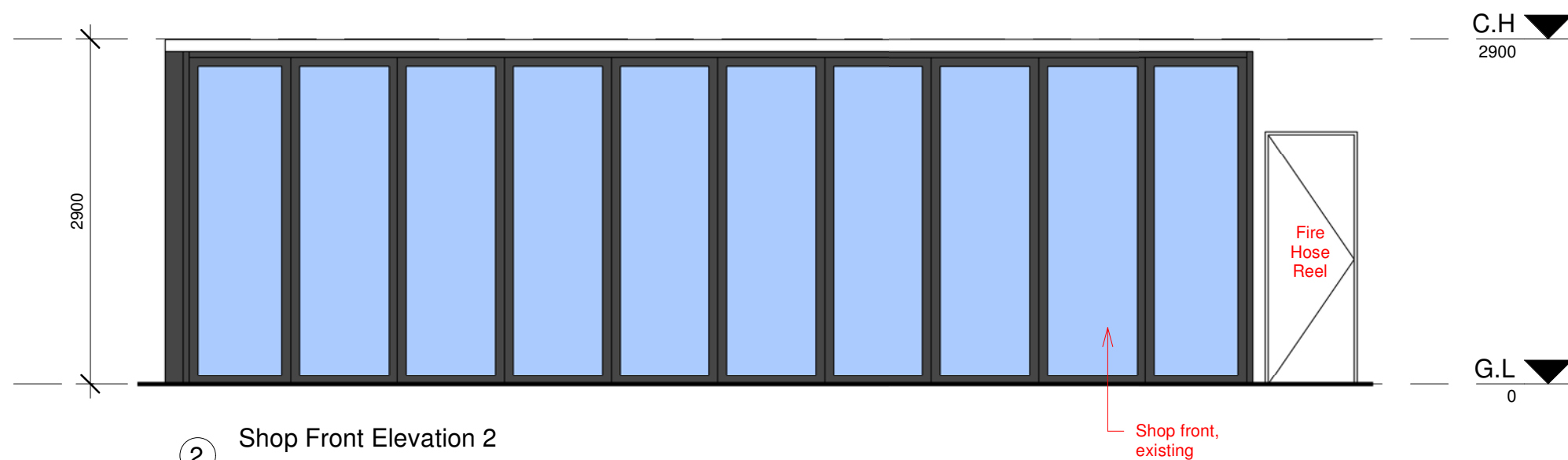
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B-6.1



① Shop Front Elevation 1
1 : 50



② Shop Front Elevation 2
1 : 50

- CONFIRM ALL DIMENSIONS ONSITE
- CONFIRM POSTS AND LOCATIONS ONSITE
- CONFIRM CEILING ONSITE
- CONFIRM LIGHTING AND LOCATIONS ONSITE

Shop Front Elevation

All Drawings to be read in conjunction with Legend

Client: Tella Balls

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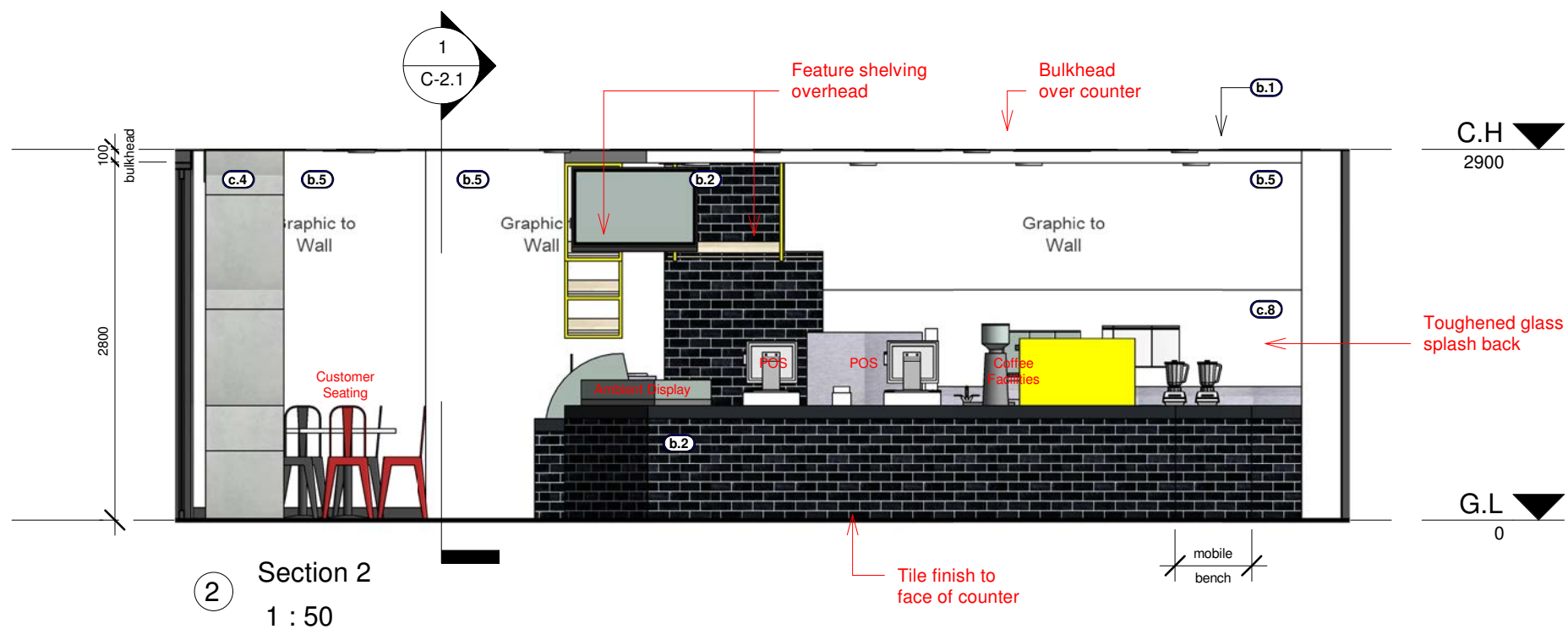
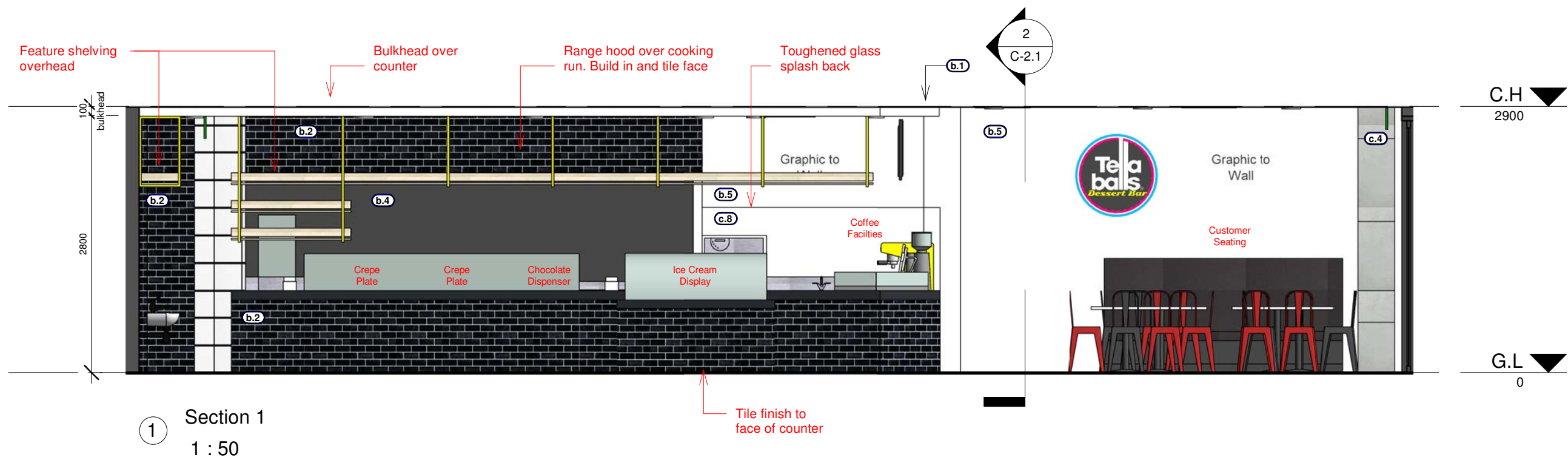
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Dwg no:

C-1.1



- CONFIRM ALL DIMENSIONS ONSITE
- CONFIRM POSTS AND LOCATIONS ONSITE
- CONFIRM CEILING ONSITE
- CONFIRM LIGHTING AND LOCATIONS ONSITE

Sections

All Drawings to be read in conjunction with Legend

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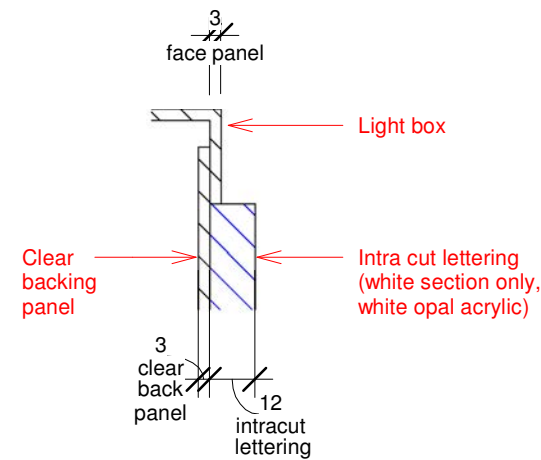
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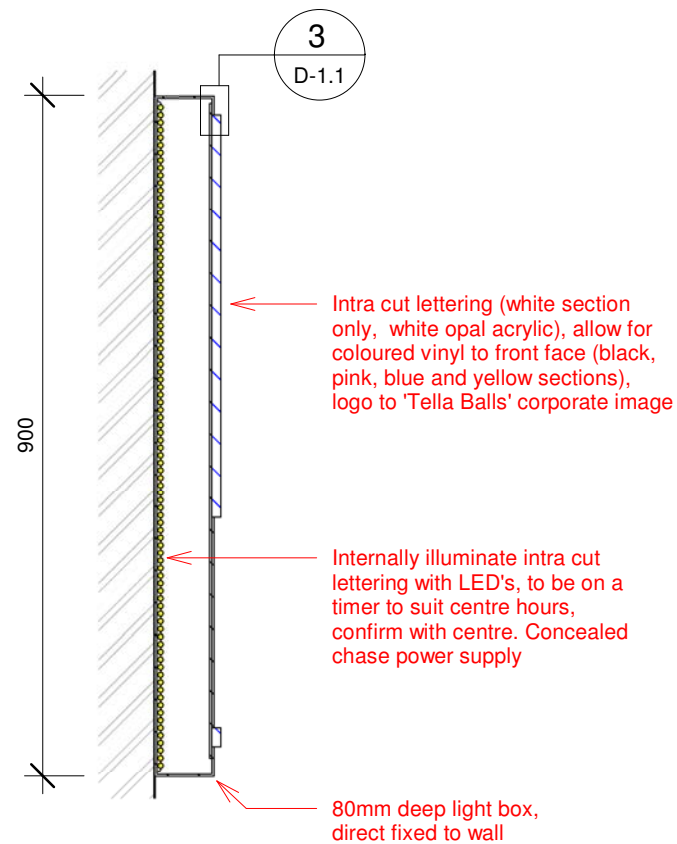
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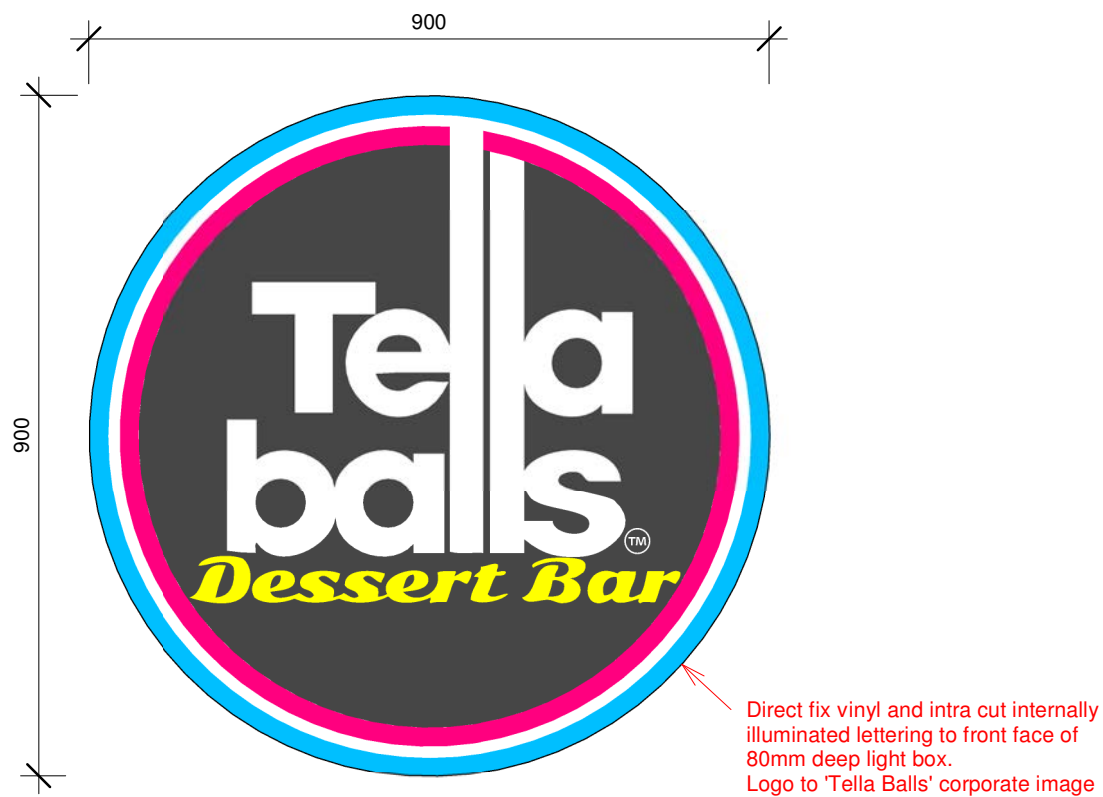
C-2.1



③ D-6 - Section - Callout 1
1 : 2



② D-6 - Section
1 : 10



① D-6 - Front Elevation
1 : 10

- CONFIRM ALL DIMENSIONS ONSITE
- CONFIRM POSTS AND LOCATIONS ONSITE
- CONFIRM CEILING ONSITE
- CONFIRM LIGHTING AND LOCATIONS ONSITE

Detail - Signage

All Drawings to be read in conjunction with Legend

Client: Tella Balls
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Address: Tenancy T5
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Designed by: JK
Scale: As indicated
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