

1 Charlotte Street, Jordan Springs, 2747 NSW

Proposed Intergrated Housing 27 New Dwellings (26 with Studios) and Torrens Title Subdivision



Artists Impression

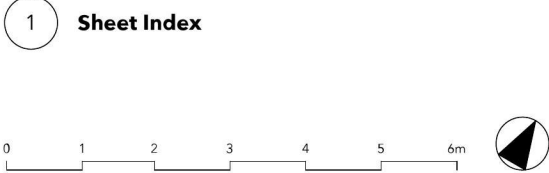
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Notes

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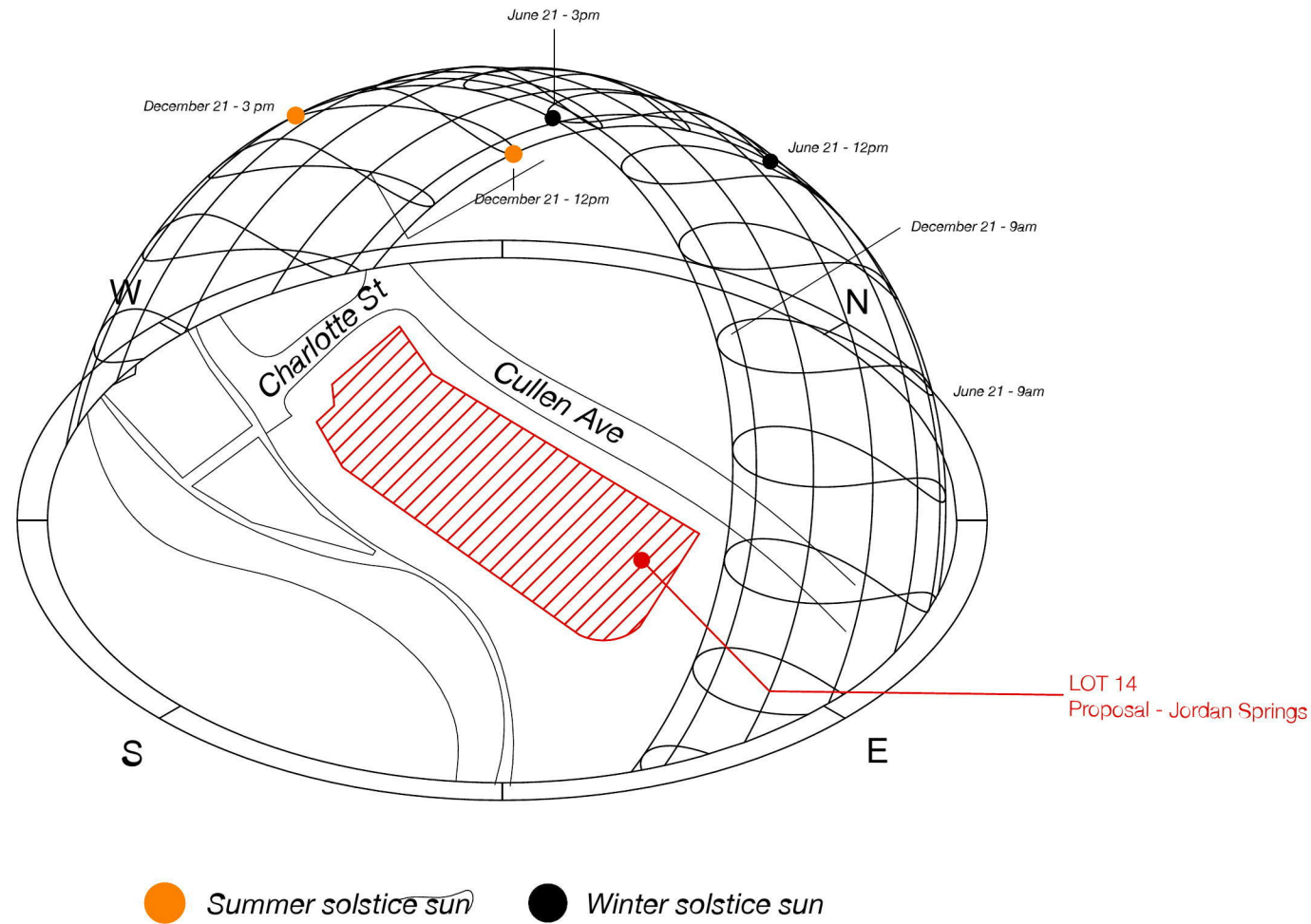


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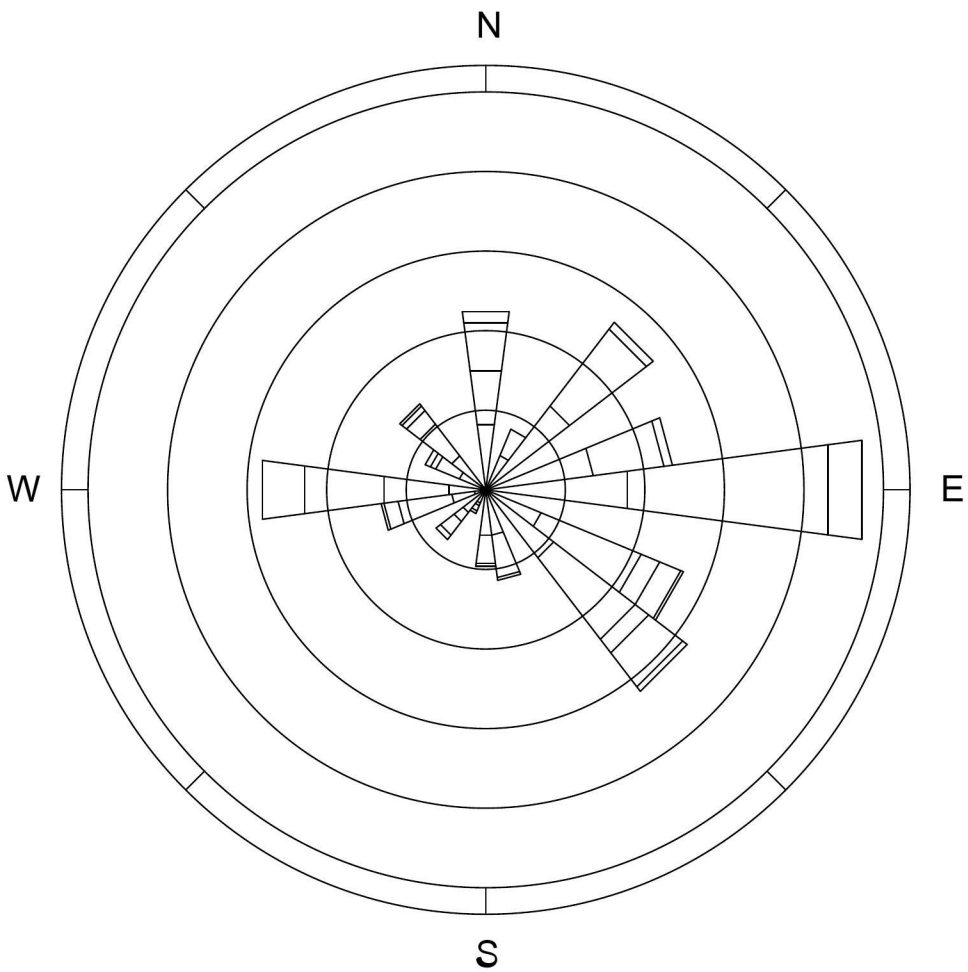
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Proposed Intergrated Housing

1 Charlotte Street
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Project number: 17R182 - Thursday, 26 October 2017



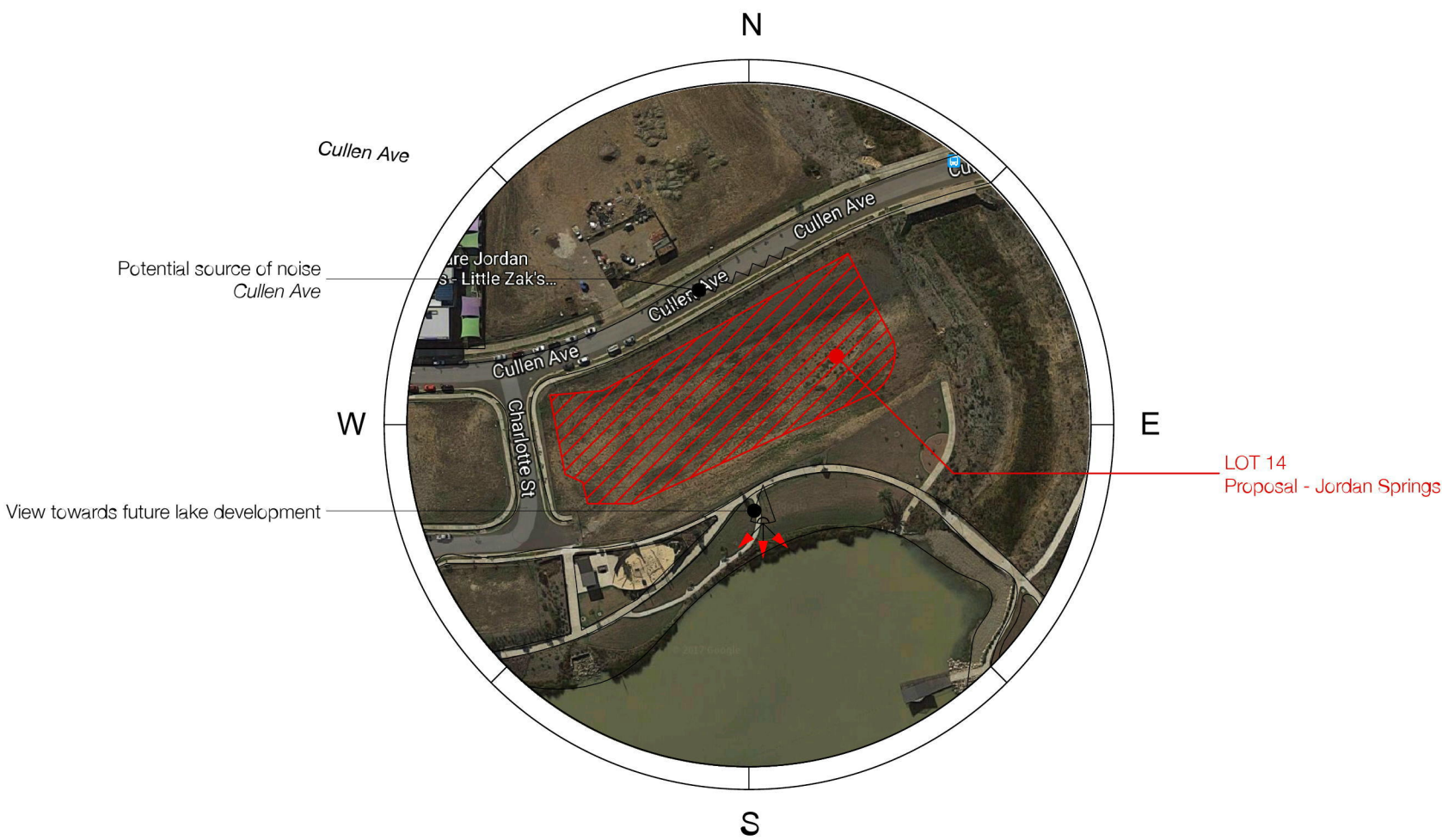
Sun path diagram



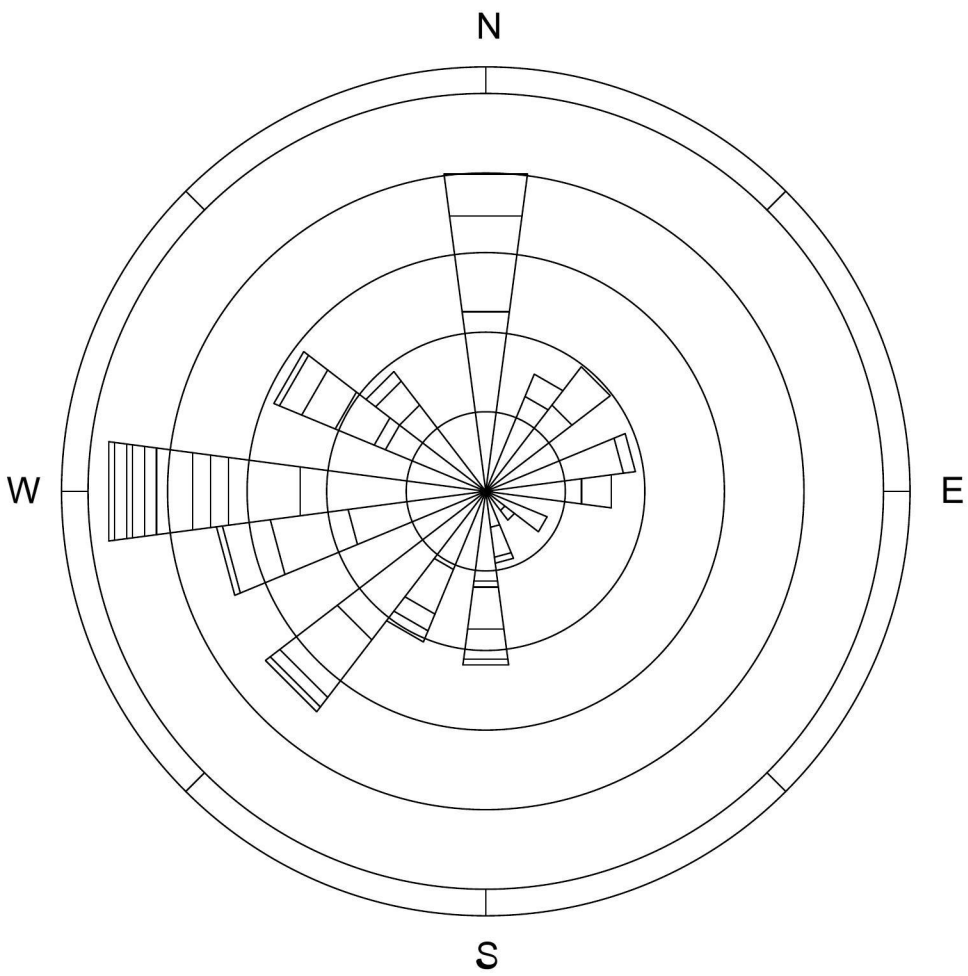
Wind rose
21 of September to 21 March

This wind rose pictures winds frequencies above 24° during the vernal equinox to autumnal equinox.

Openings should be planned to maximise prevailing winds so to get the best effect from cross ventilation.



Satellite view



Wind rose
21 March to 21 September

This wind rose pictures winds frequencies below 10° during the autumnal equinox to vernal equinox.

Openings should be planned to minimise prevailing winds so to block cold winter winds.

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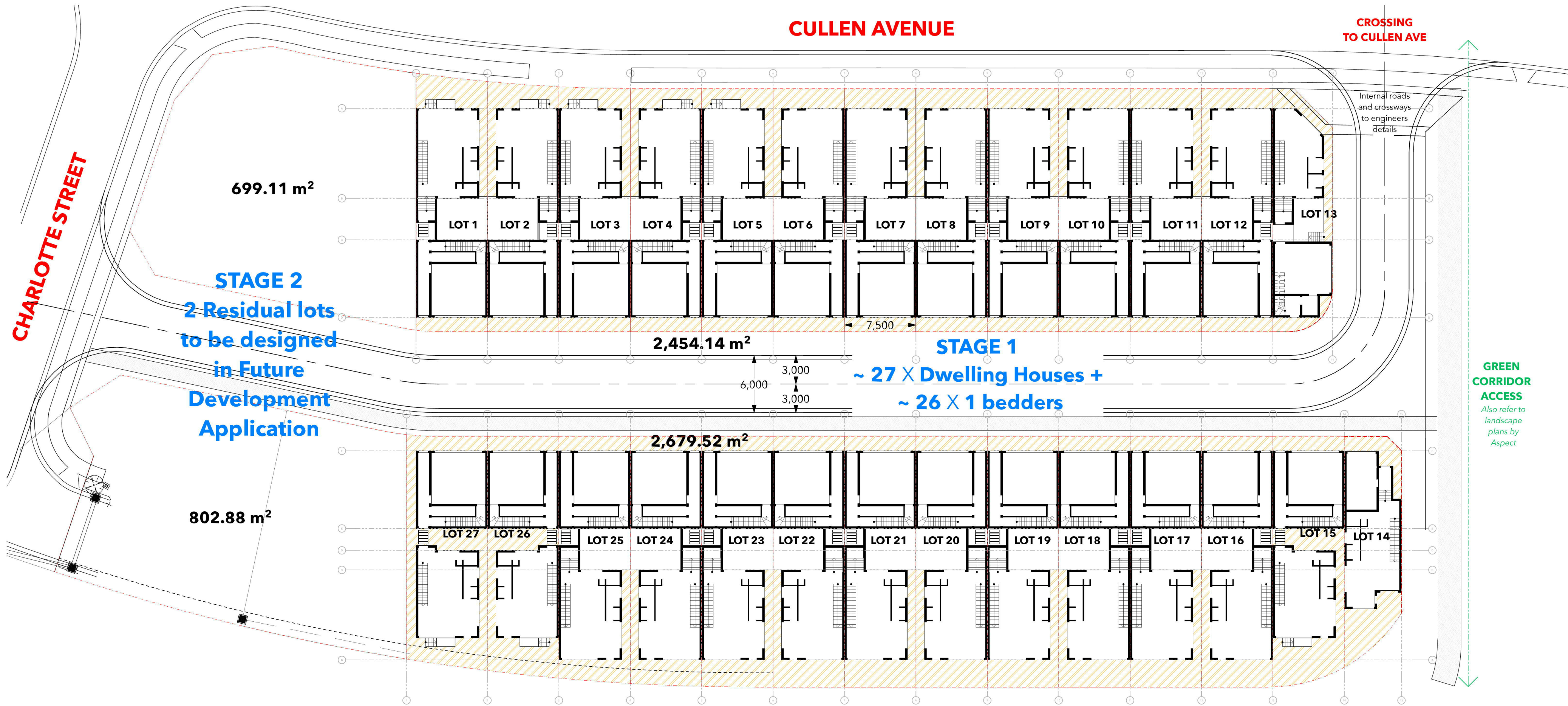
2Site Analysis

0123456m

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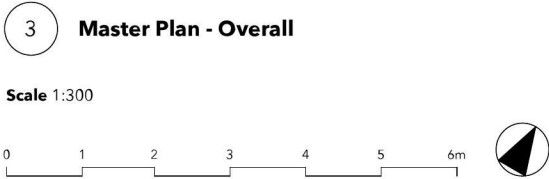


Master Plan
1:300

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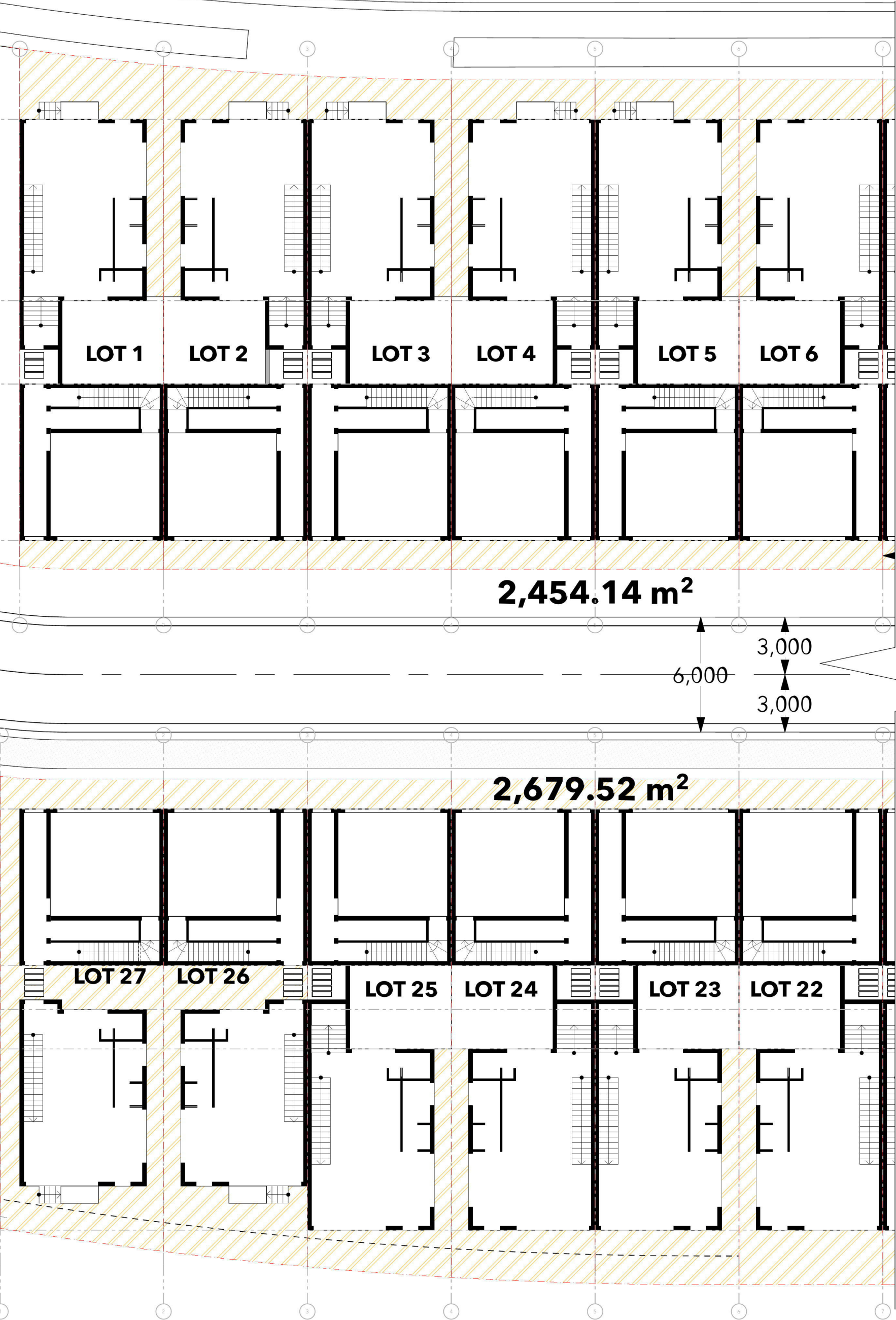
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CHARLOTTE STREET

699.11 m²

STAGE 2
2 Residual lots
to be designed
in Future
Development
Application

802.88 m²



Master Plan
1:200

A2

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Master Plan A

0 1 2 3 4 5 6m



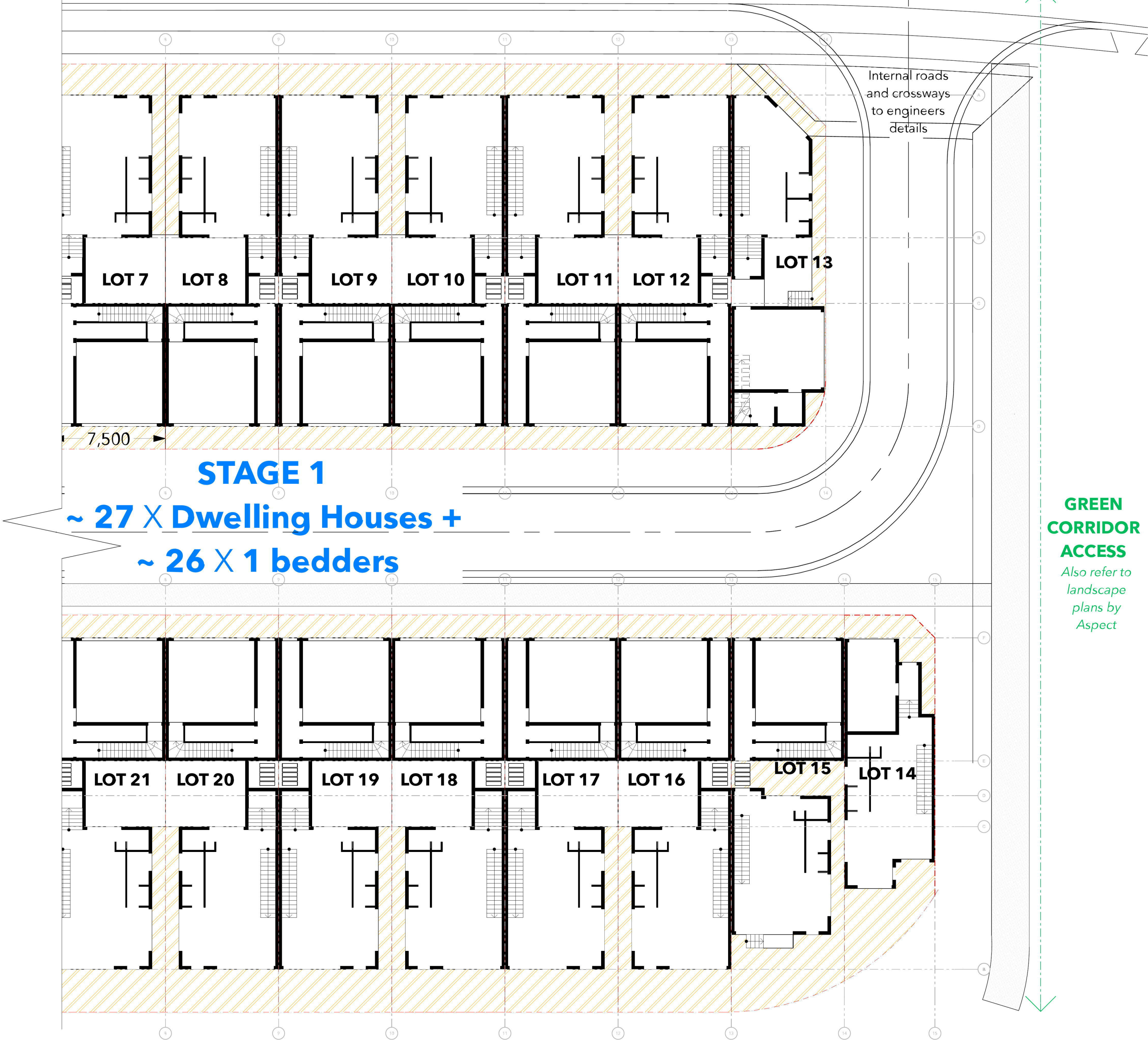
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N AVENUE

CROSSING
TO CULLEN AVE

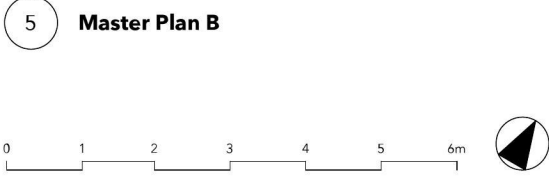


Master Plan
1:200

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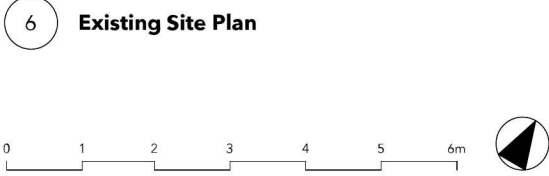


Survey
Scale 1:500

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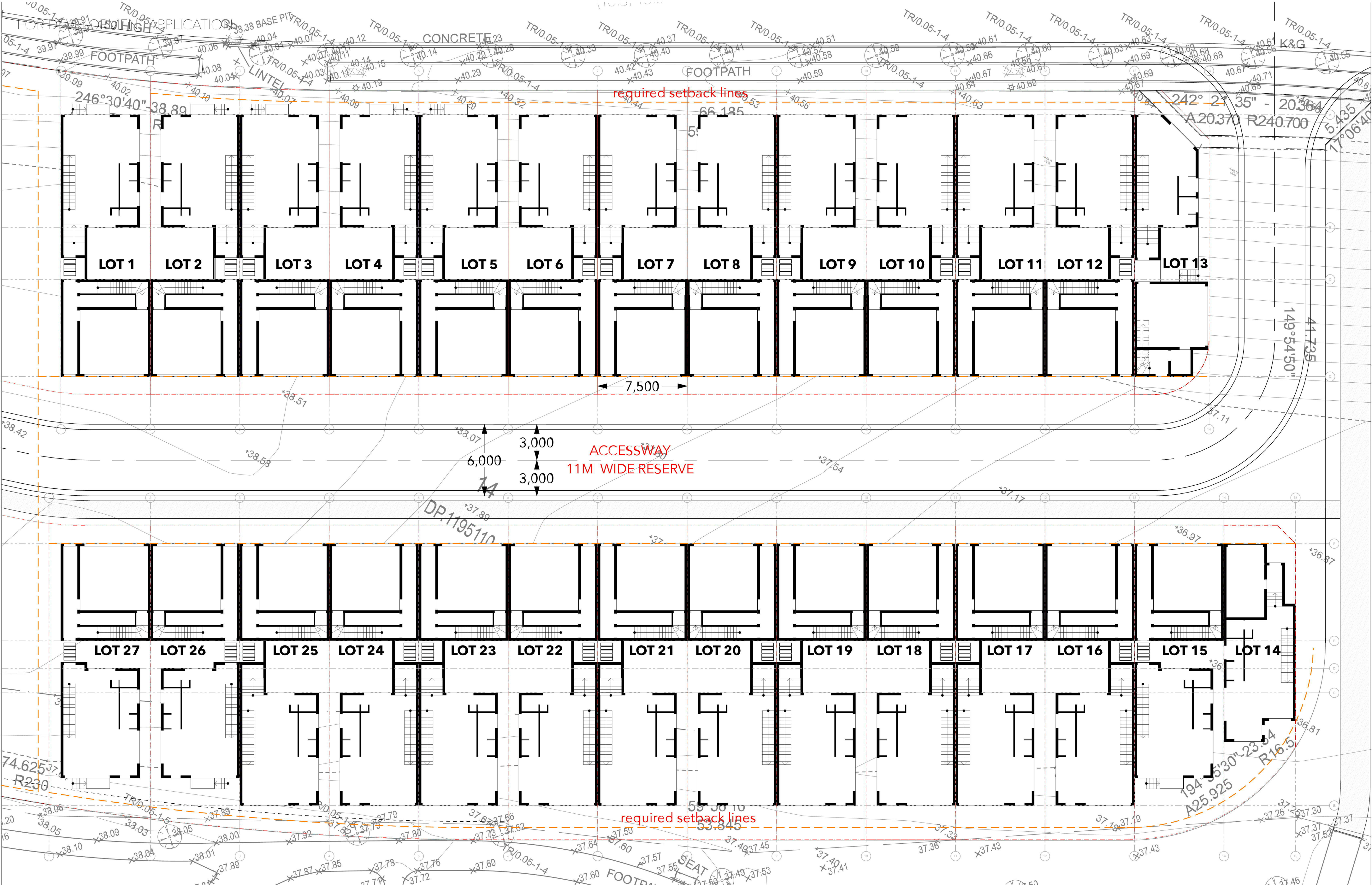
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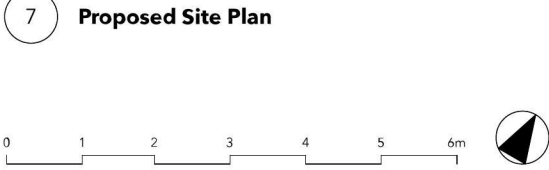
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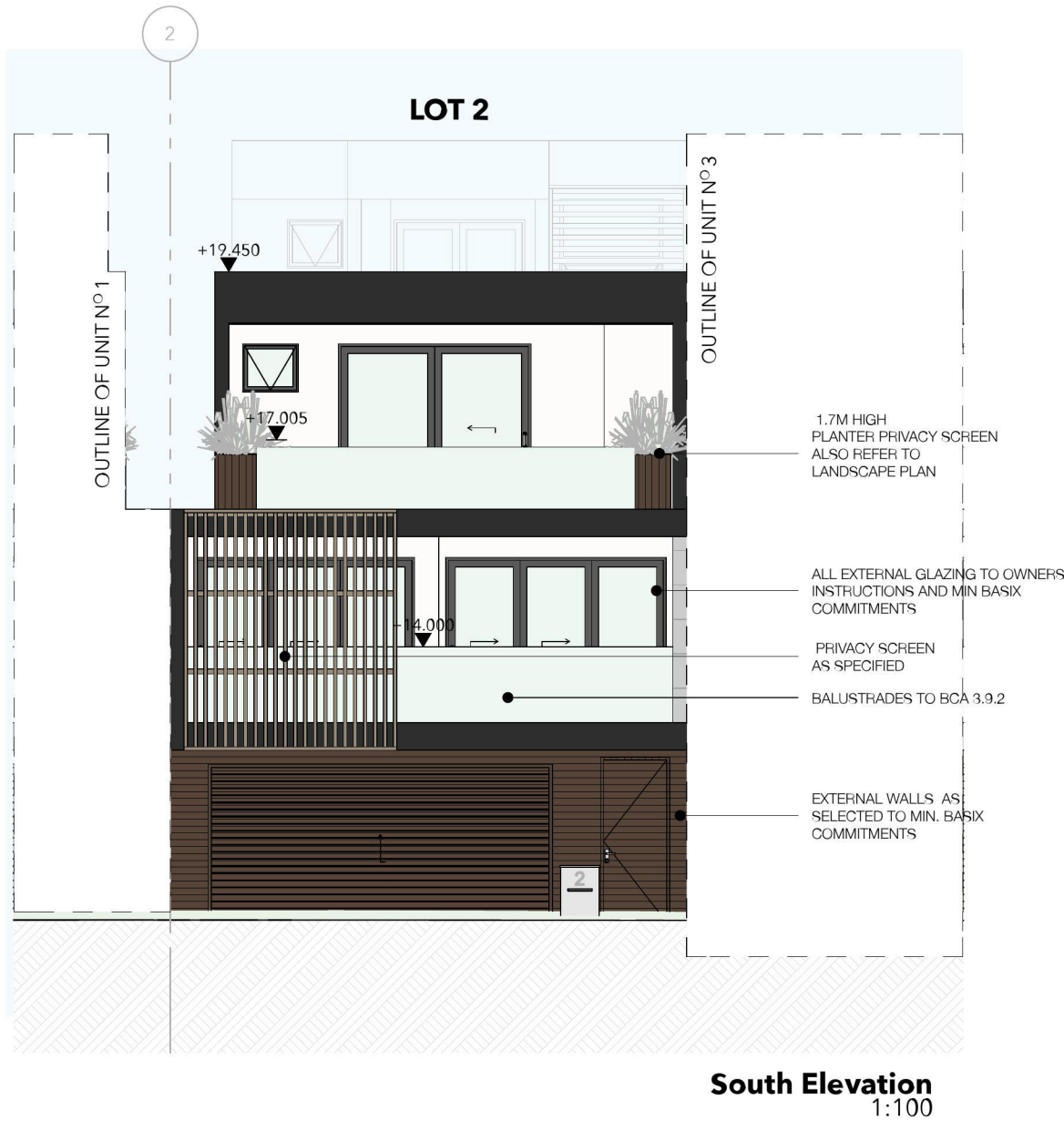
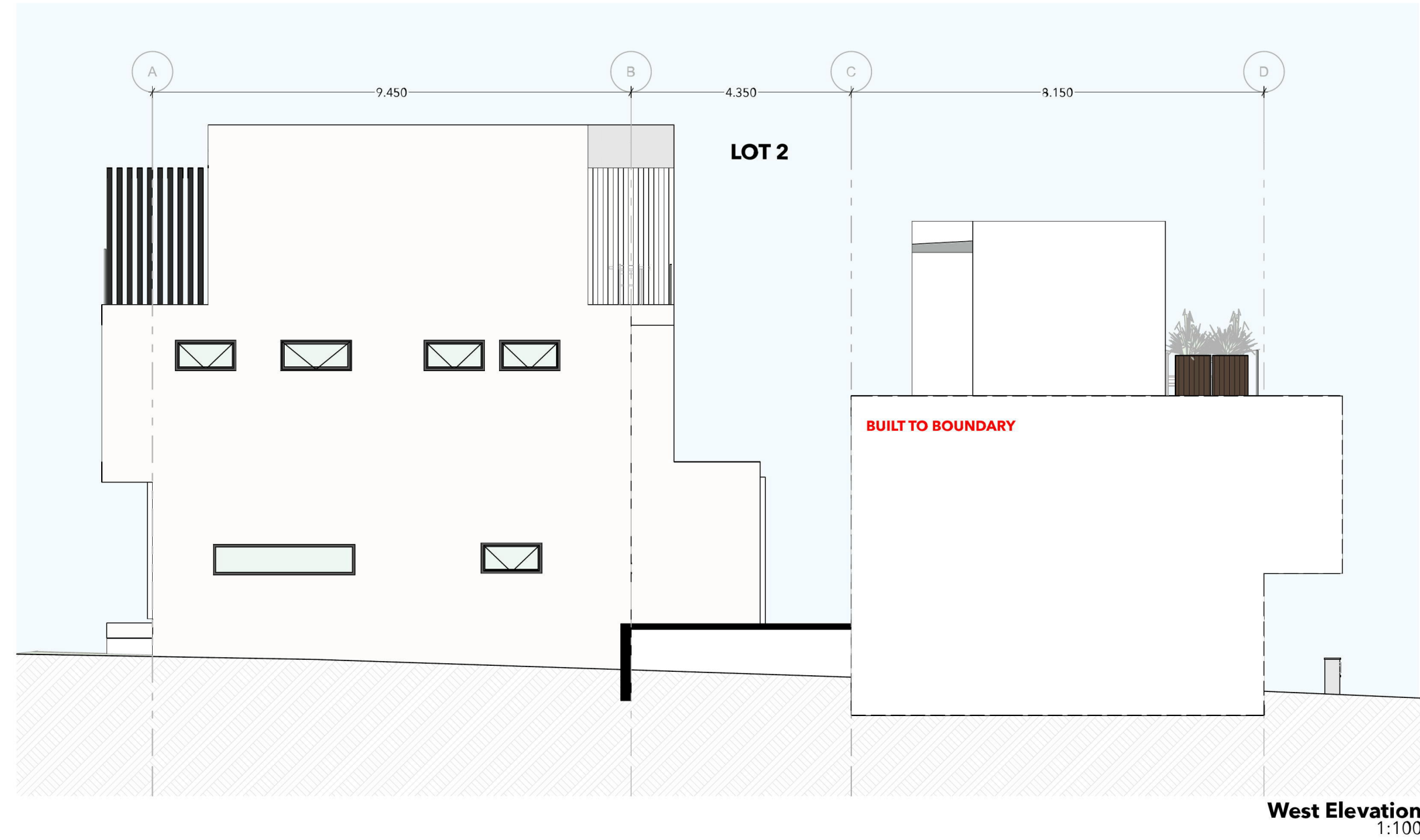
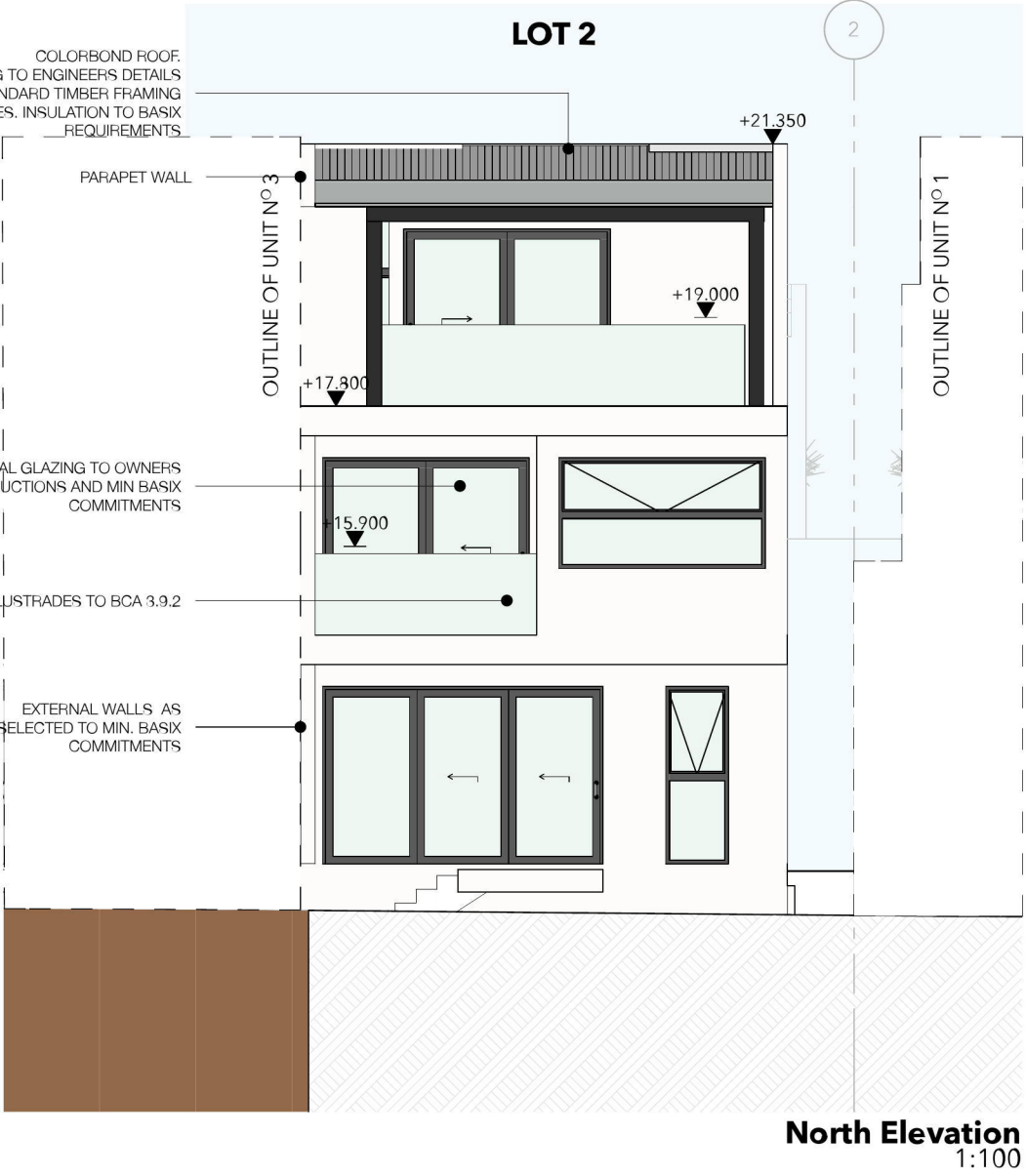
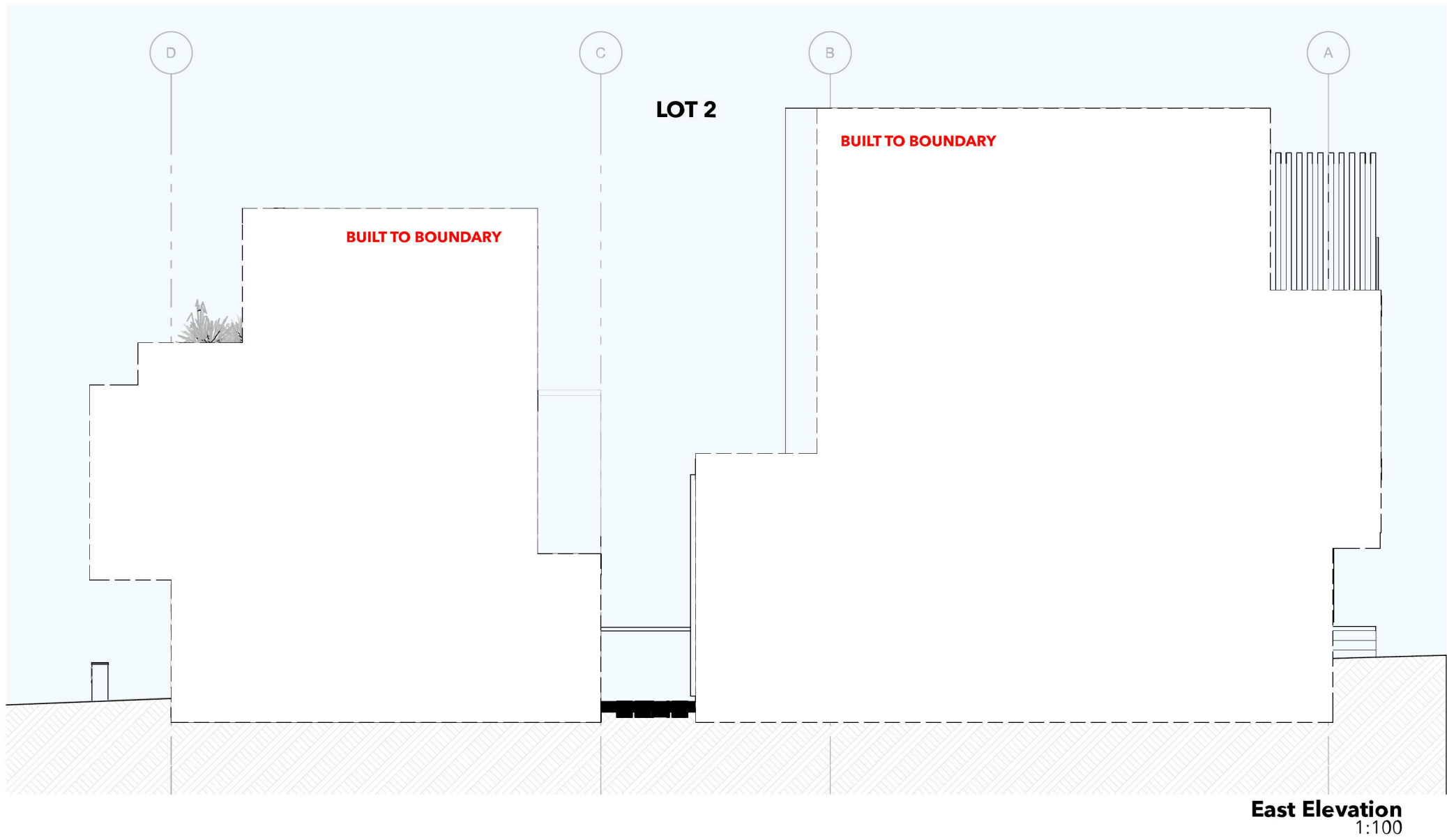
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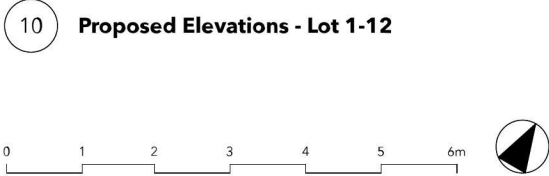
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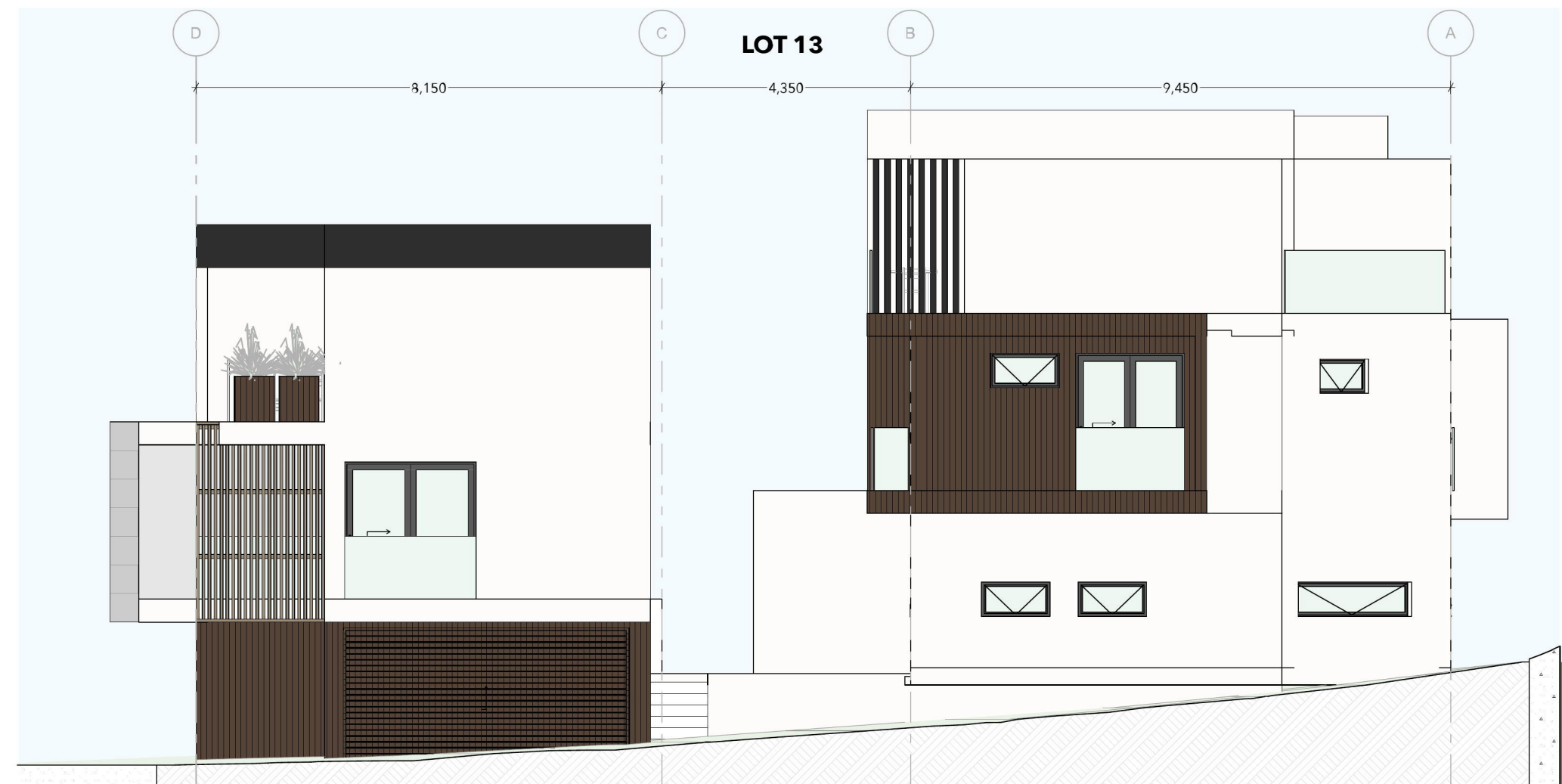
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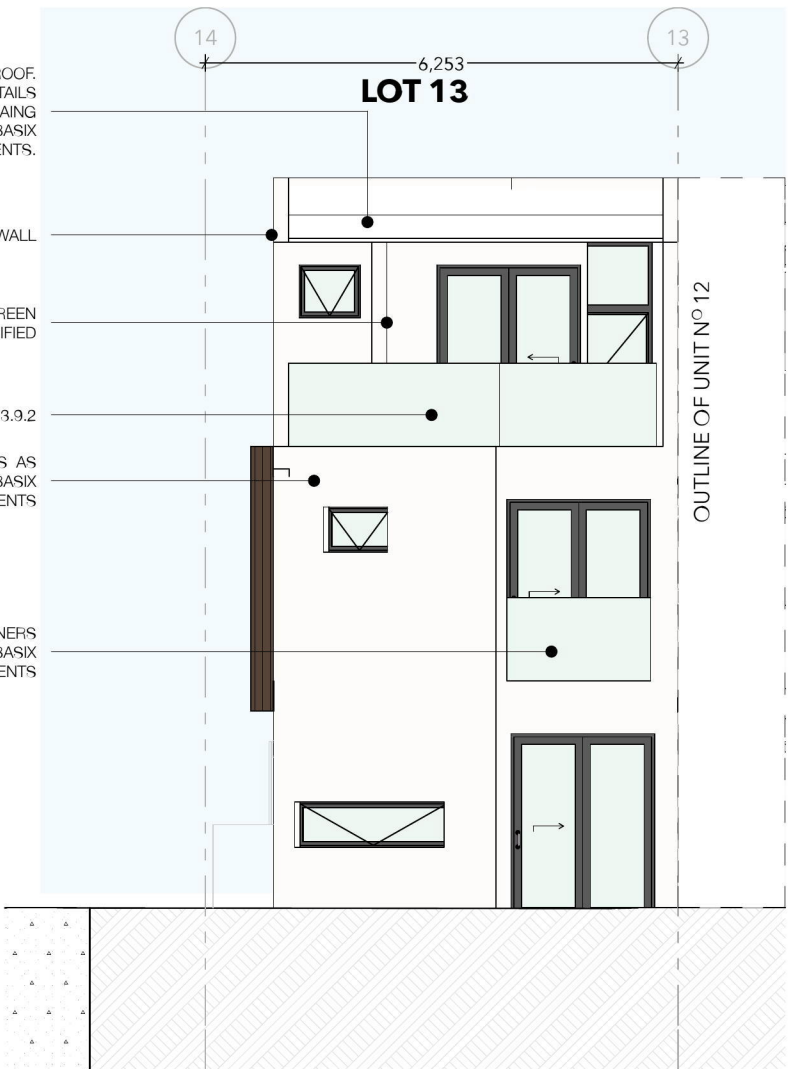


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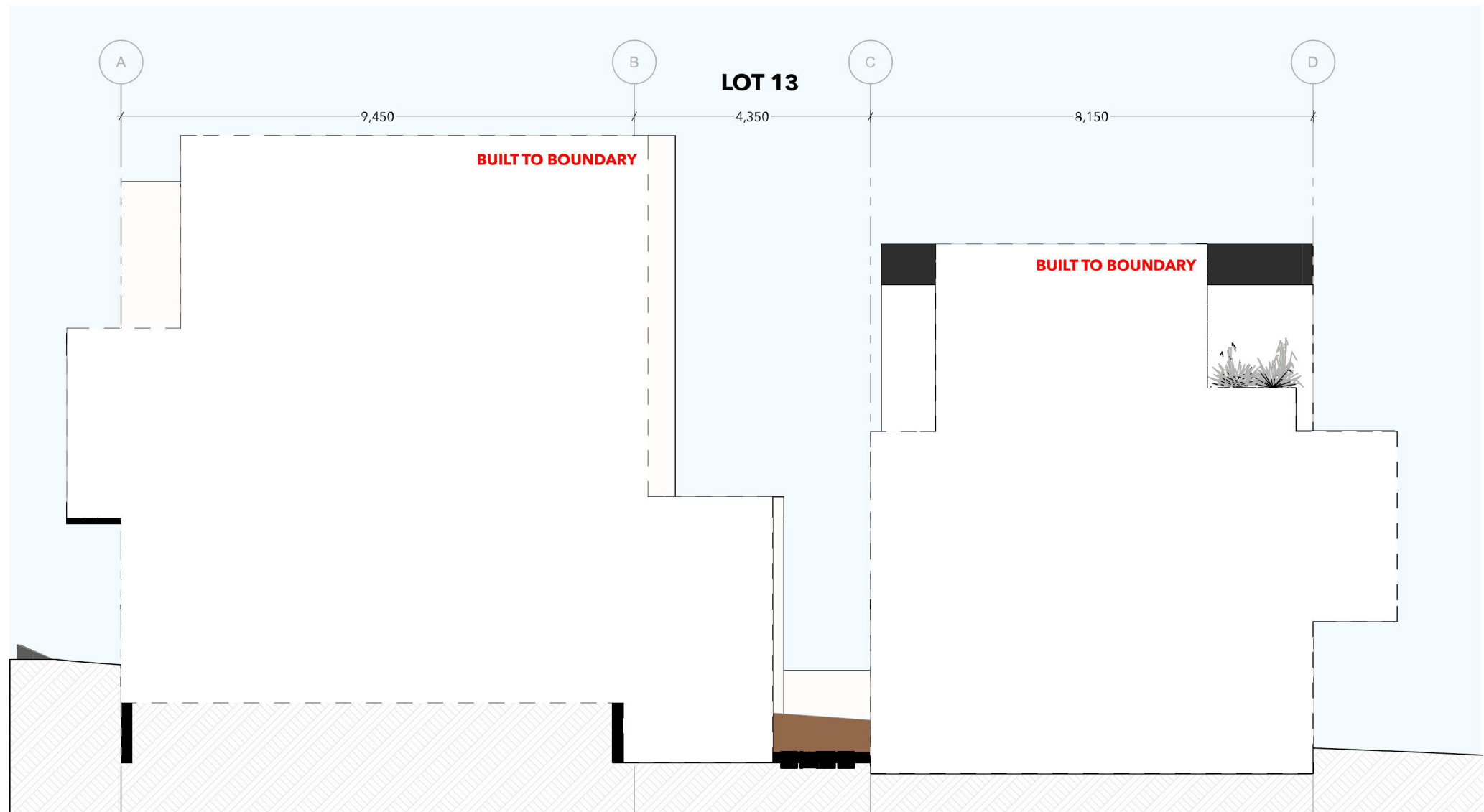
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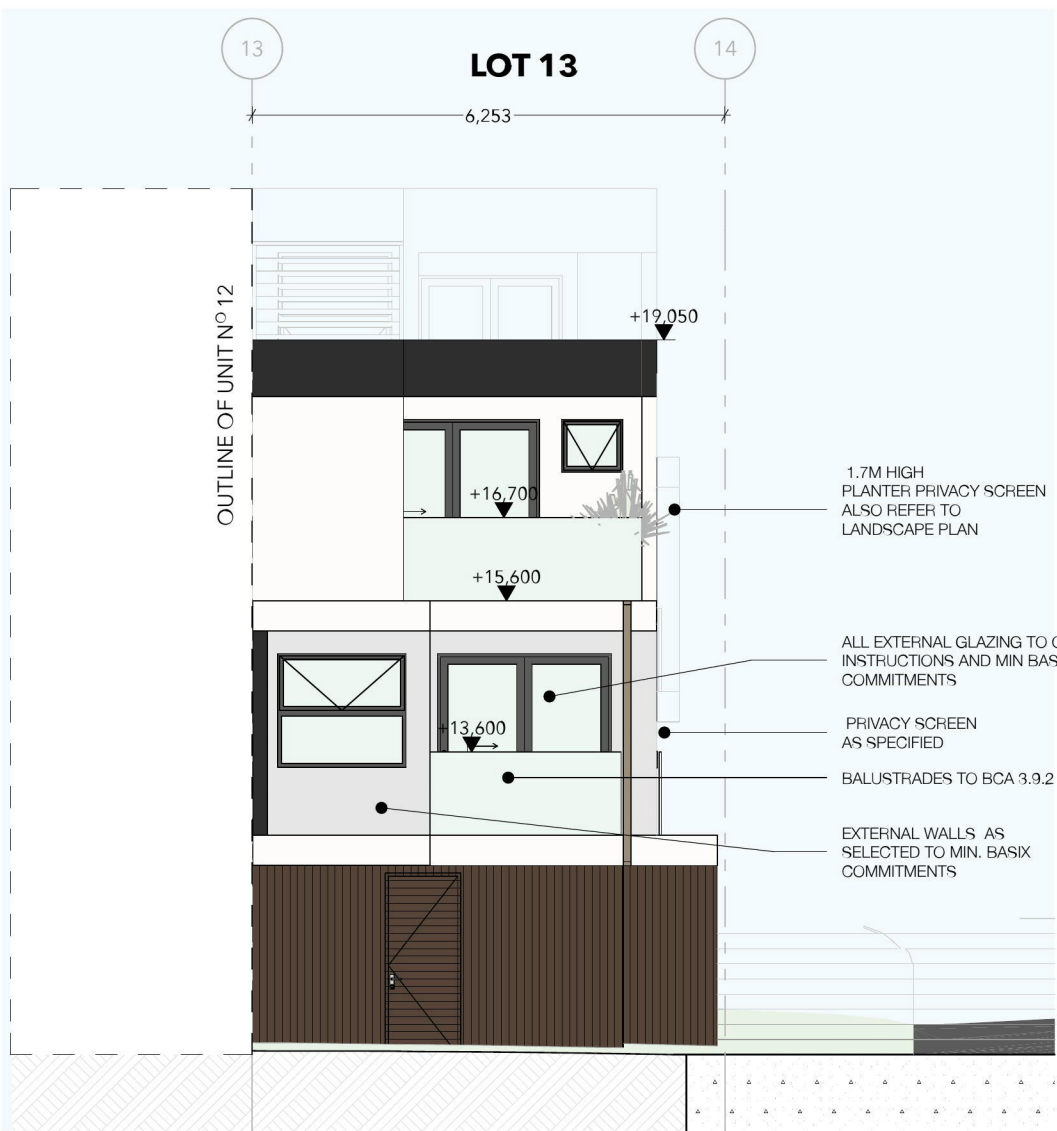
East Elevation
1:100



North Elevation
1:100



West Elevation
1:100



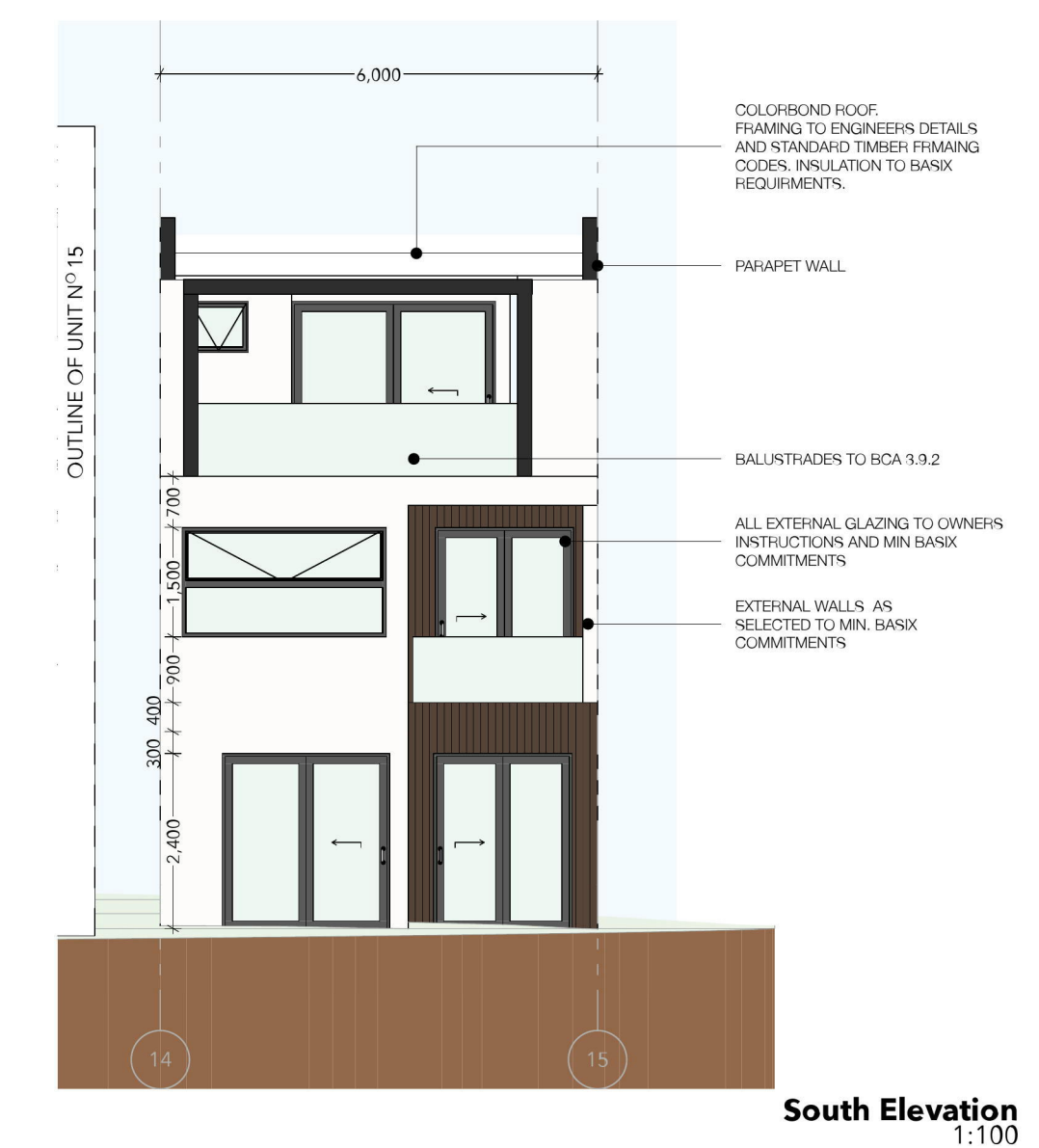
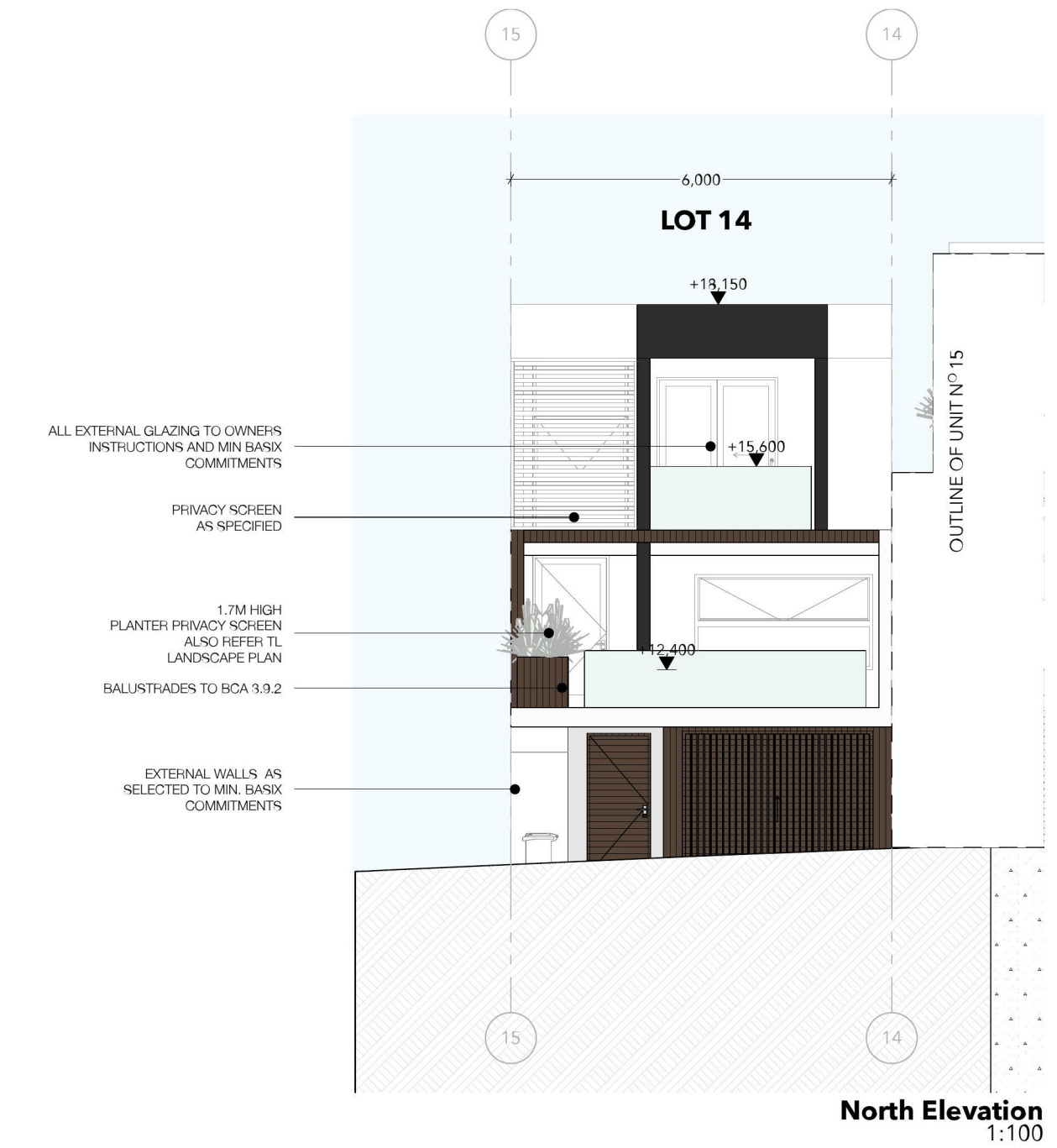
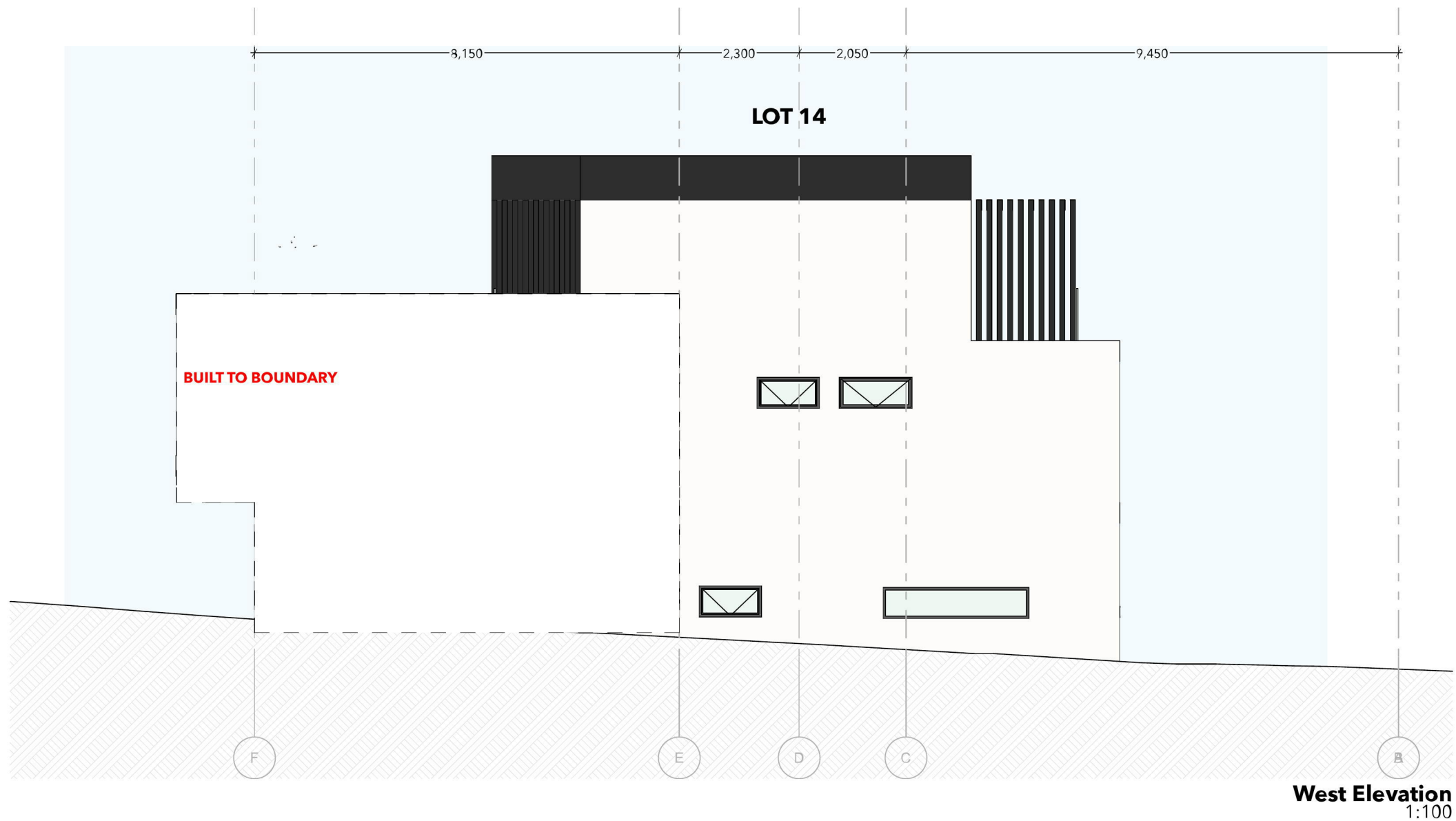
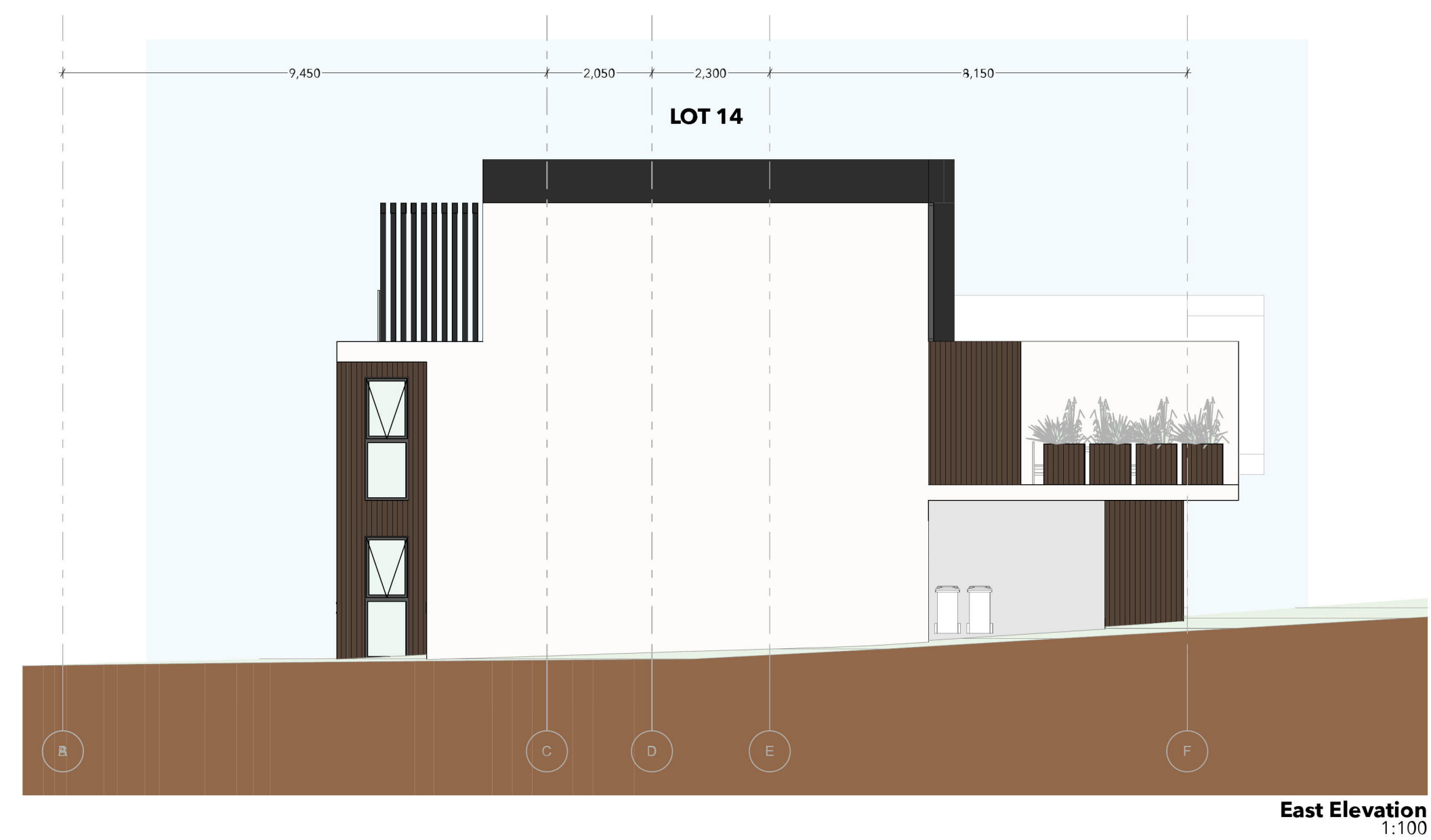
South Elevation
1:100

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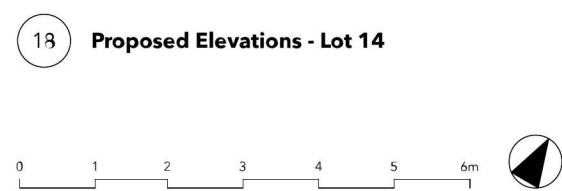
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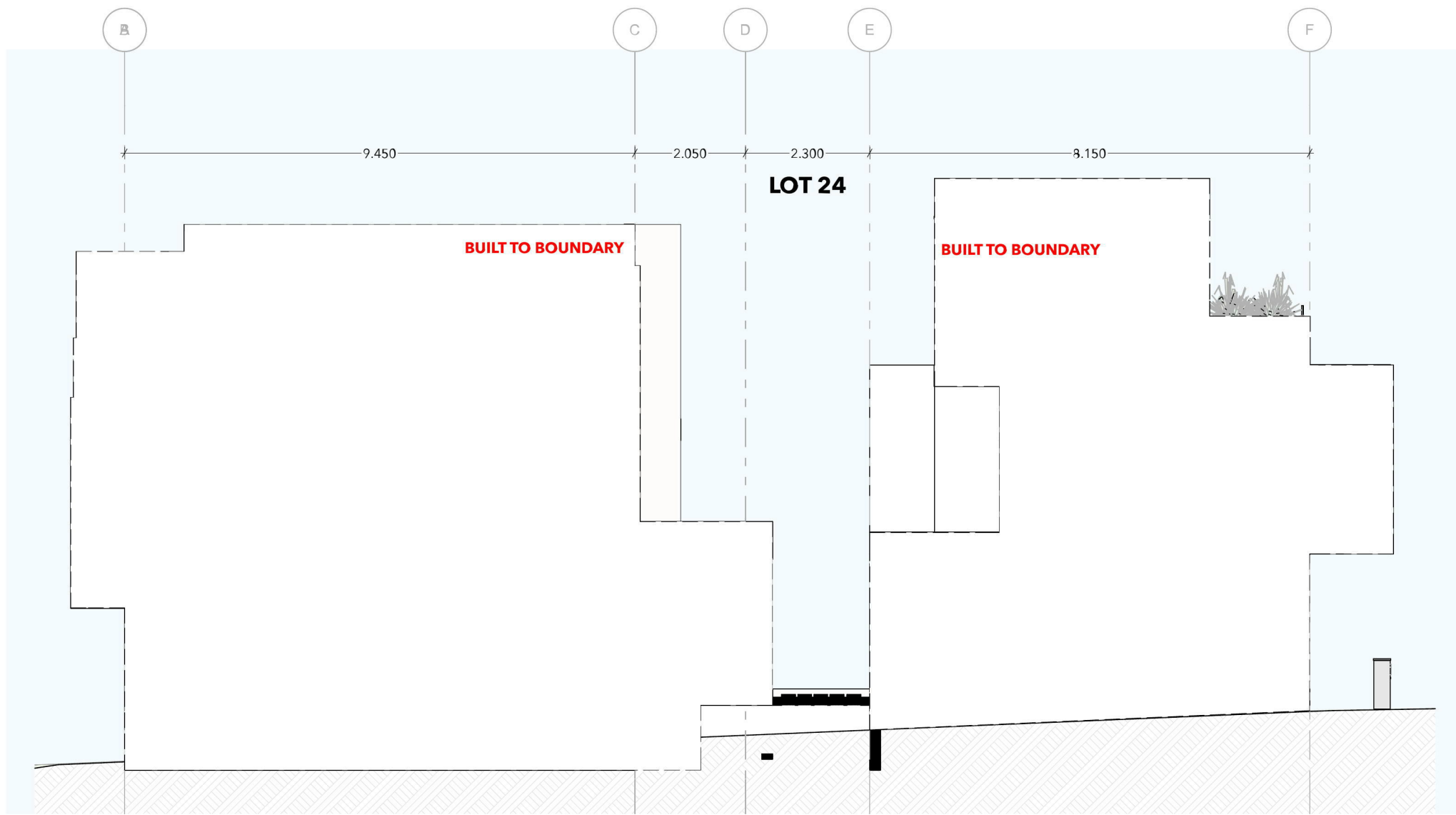
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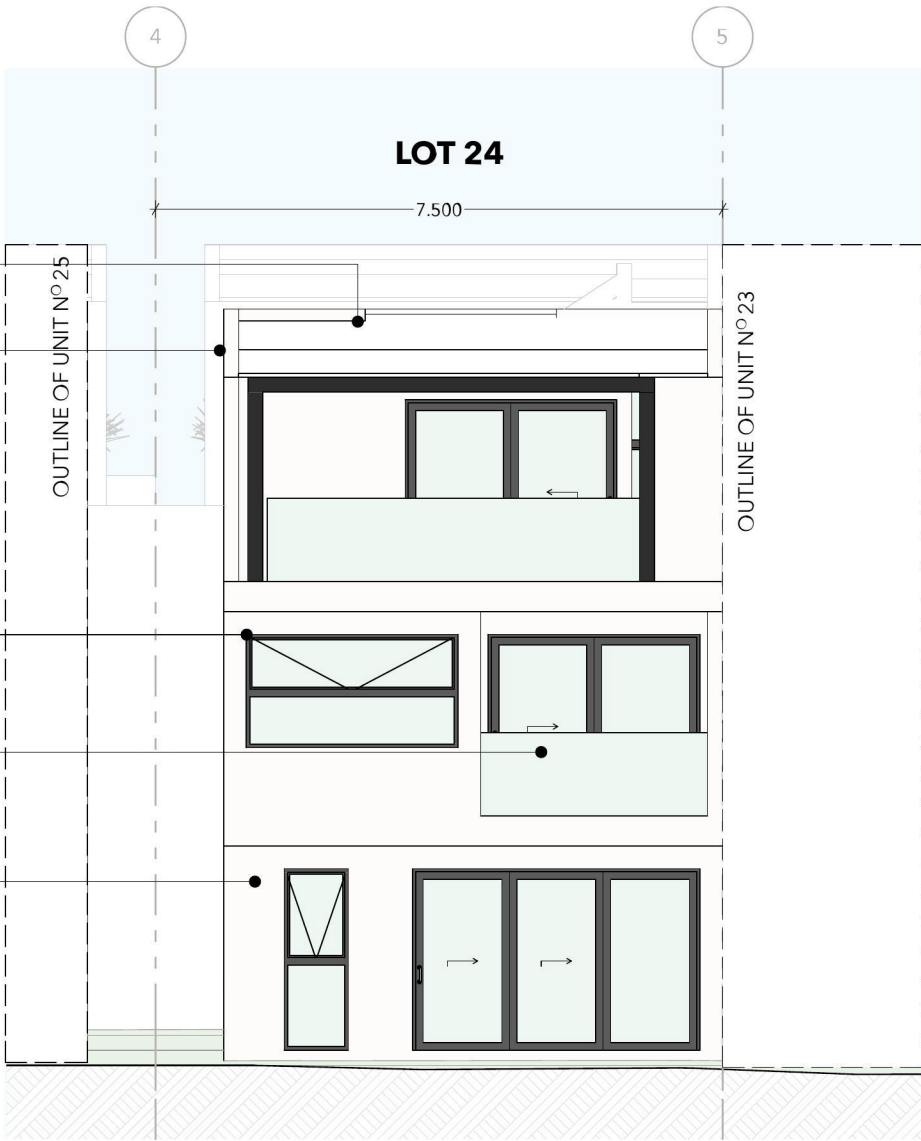


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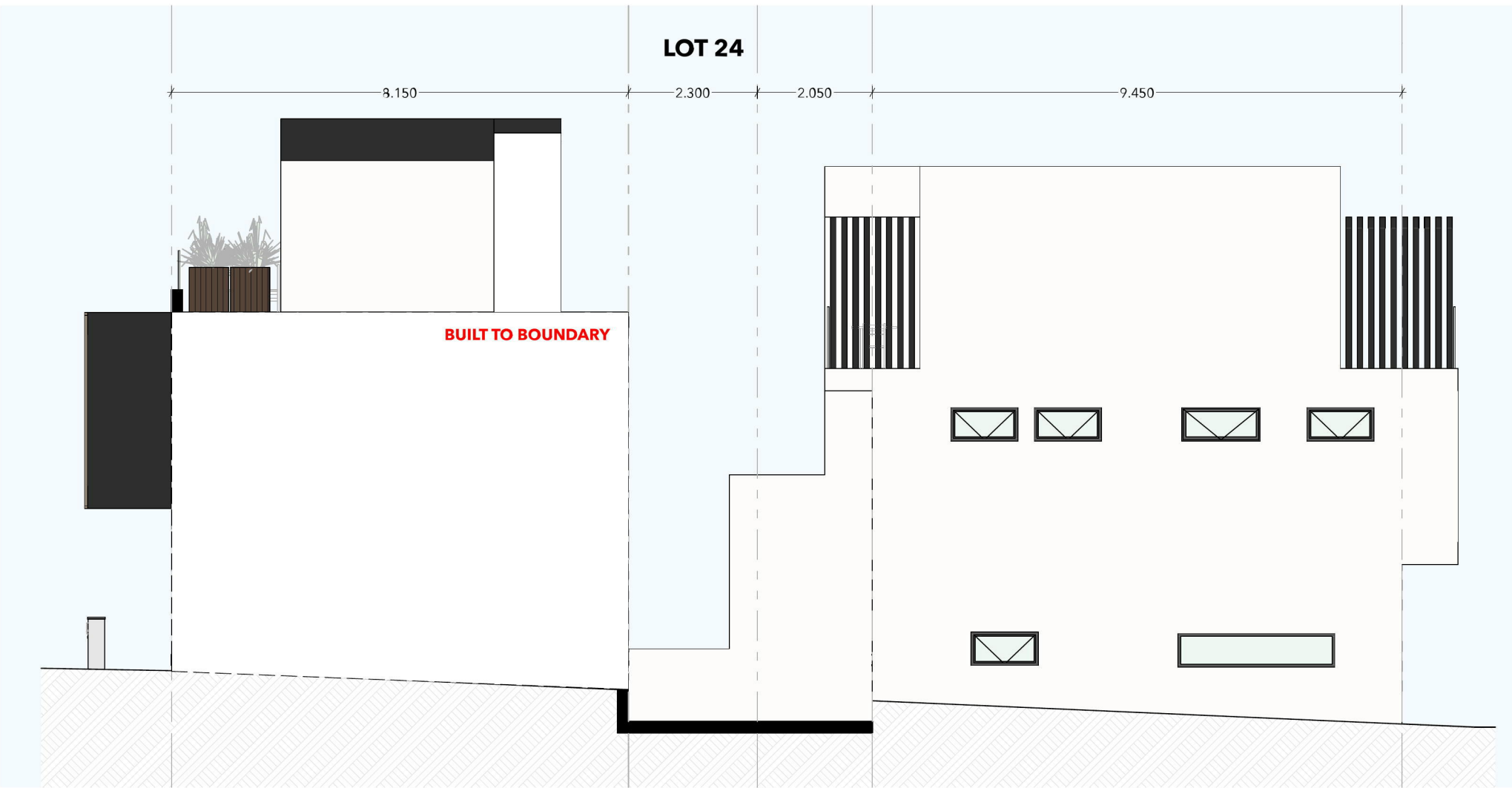
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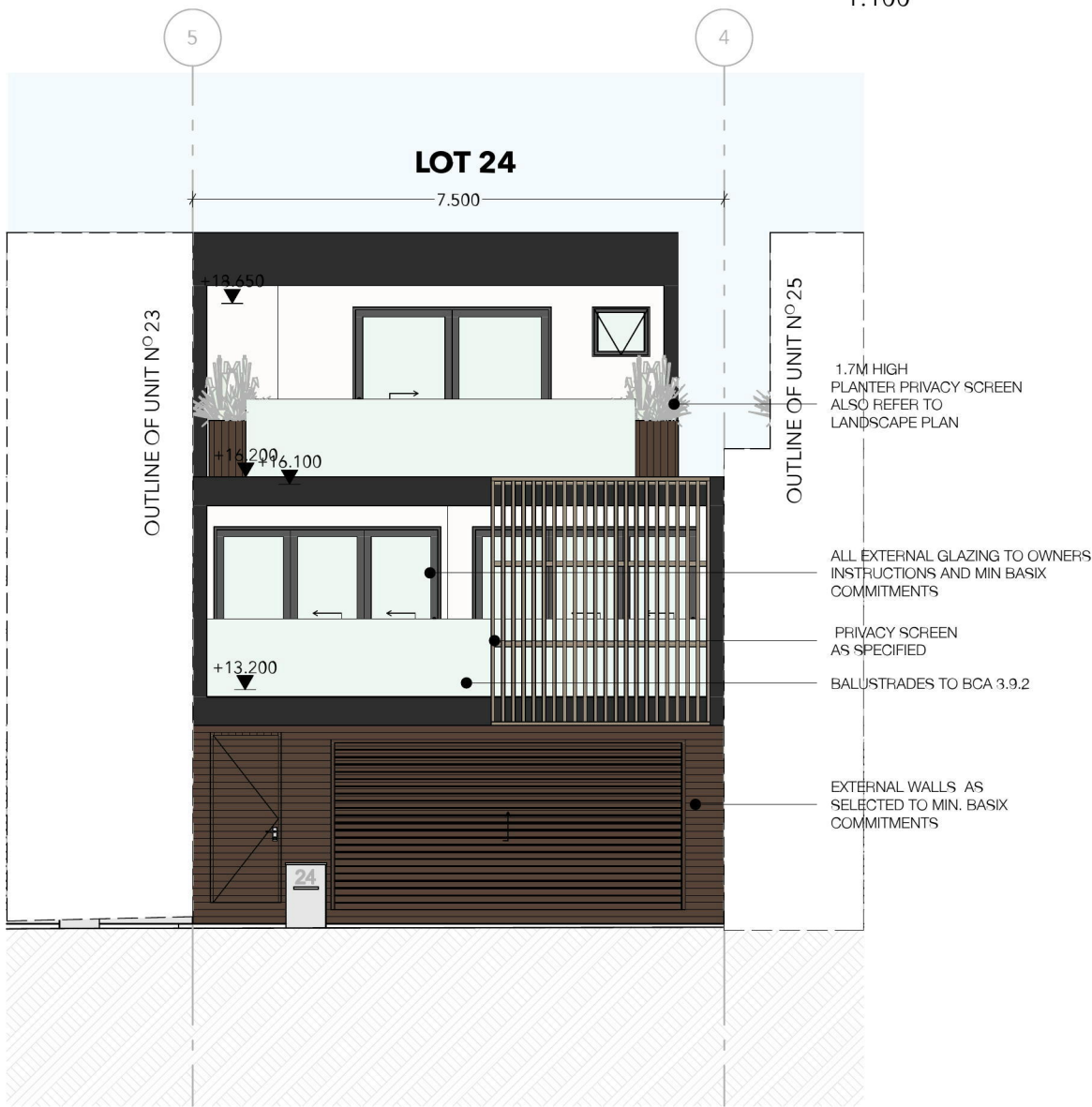
East Elevation
1:100



South Elevation
1:100



West Elevation
1:100

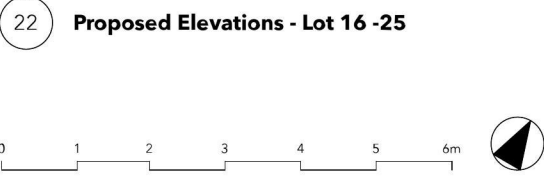


North Elevation
1:100

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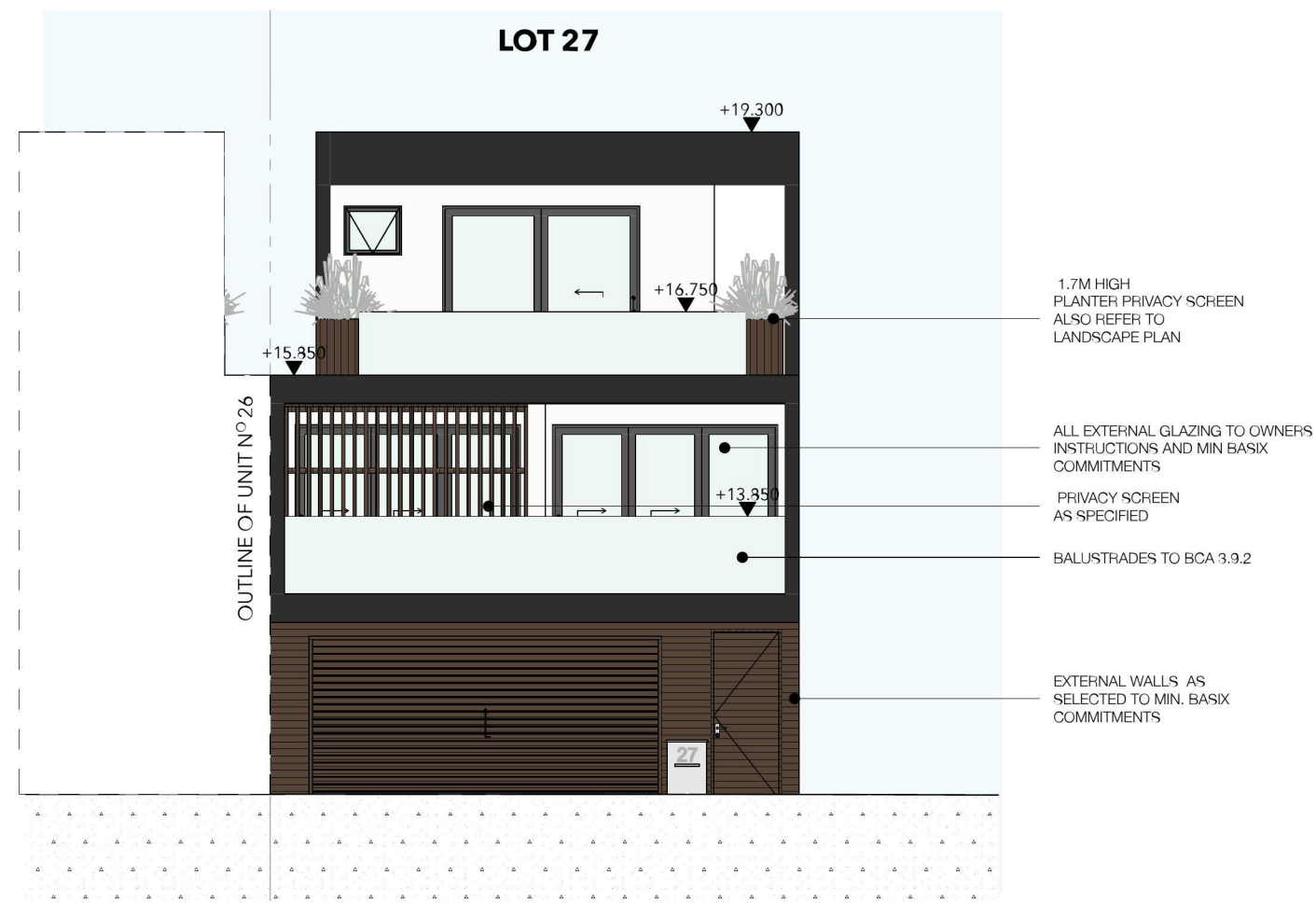


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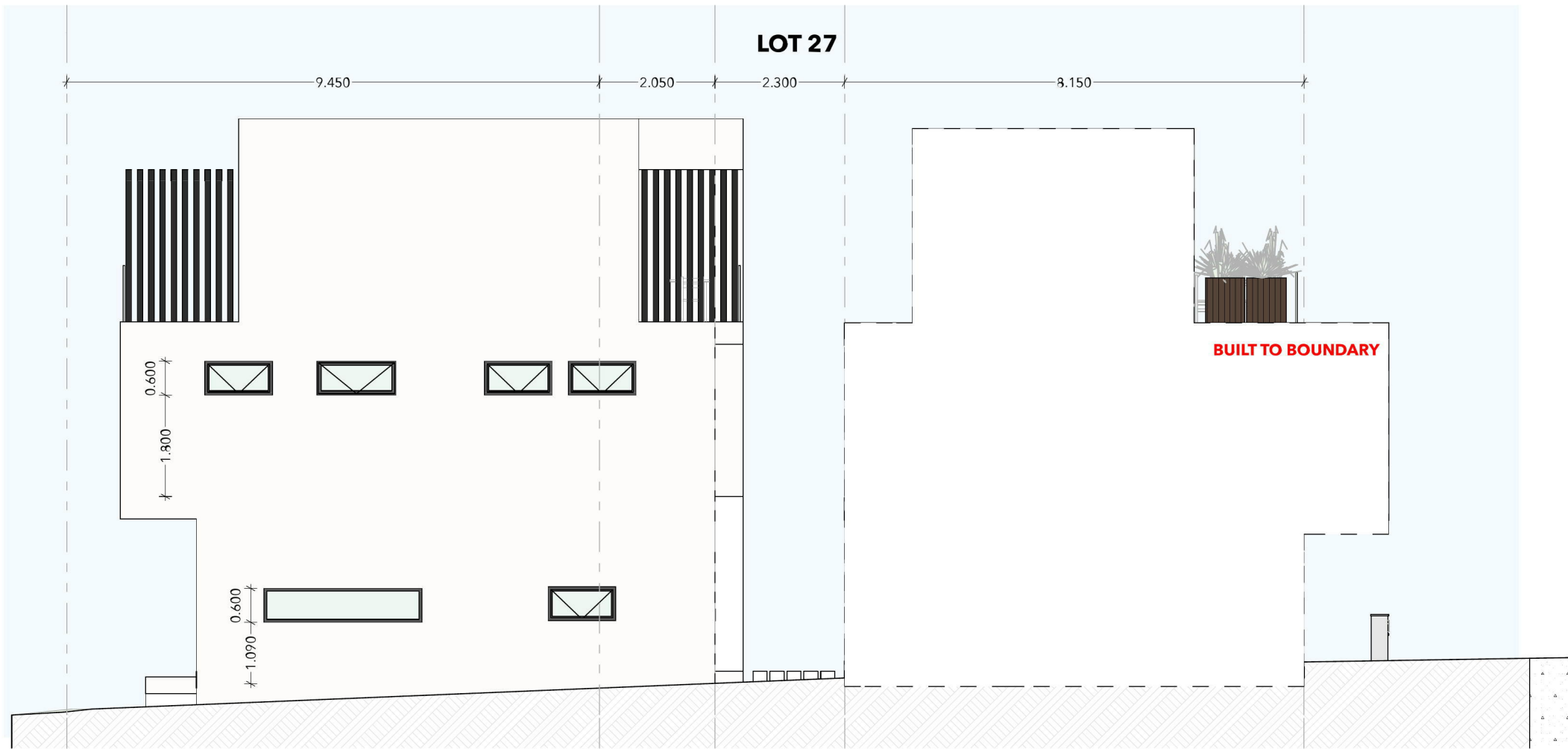
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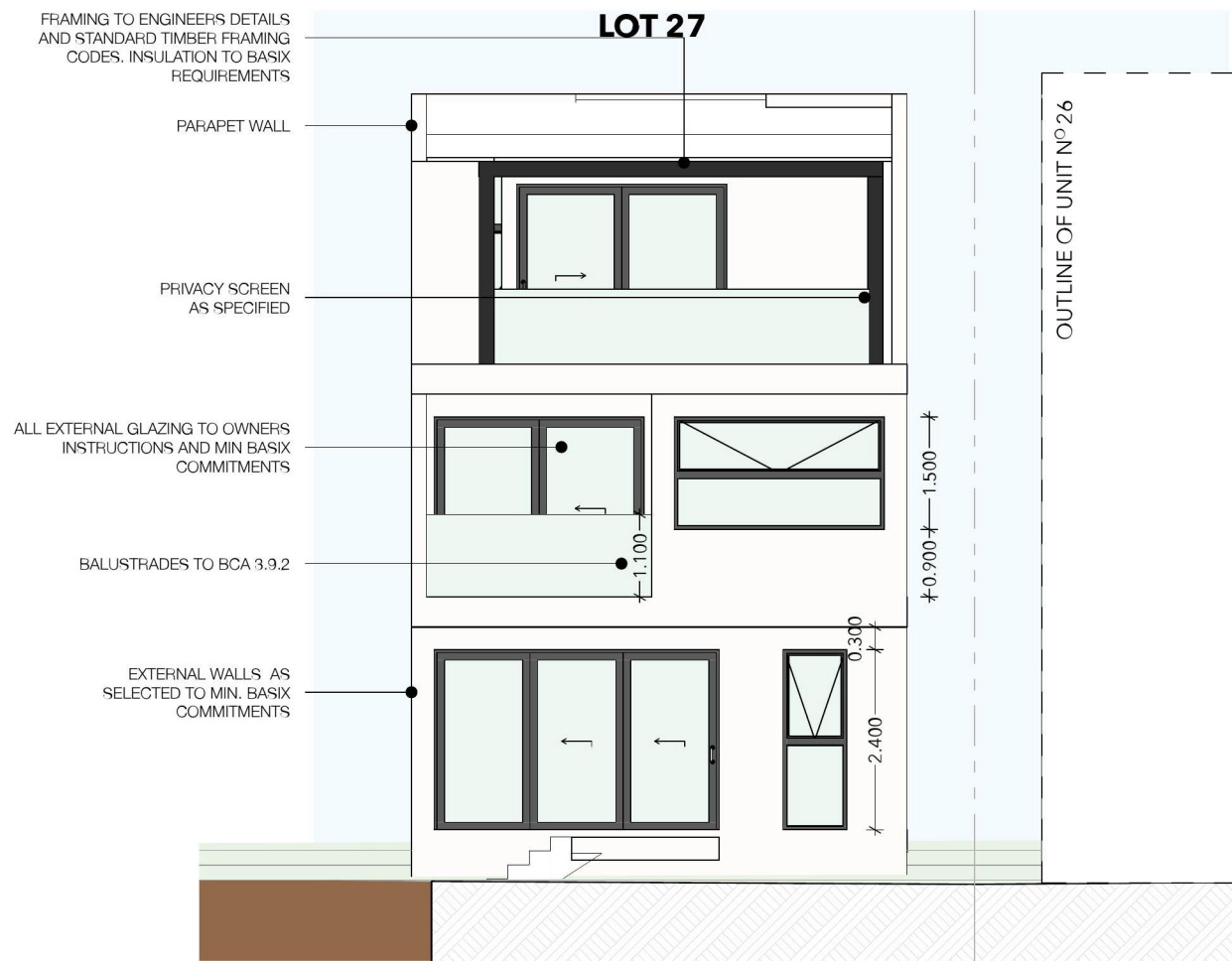
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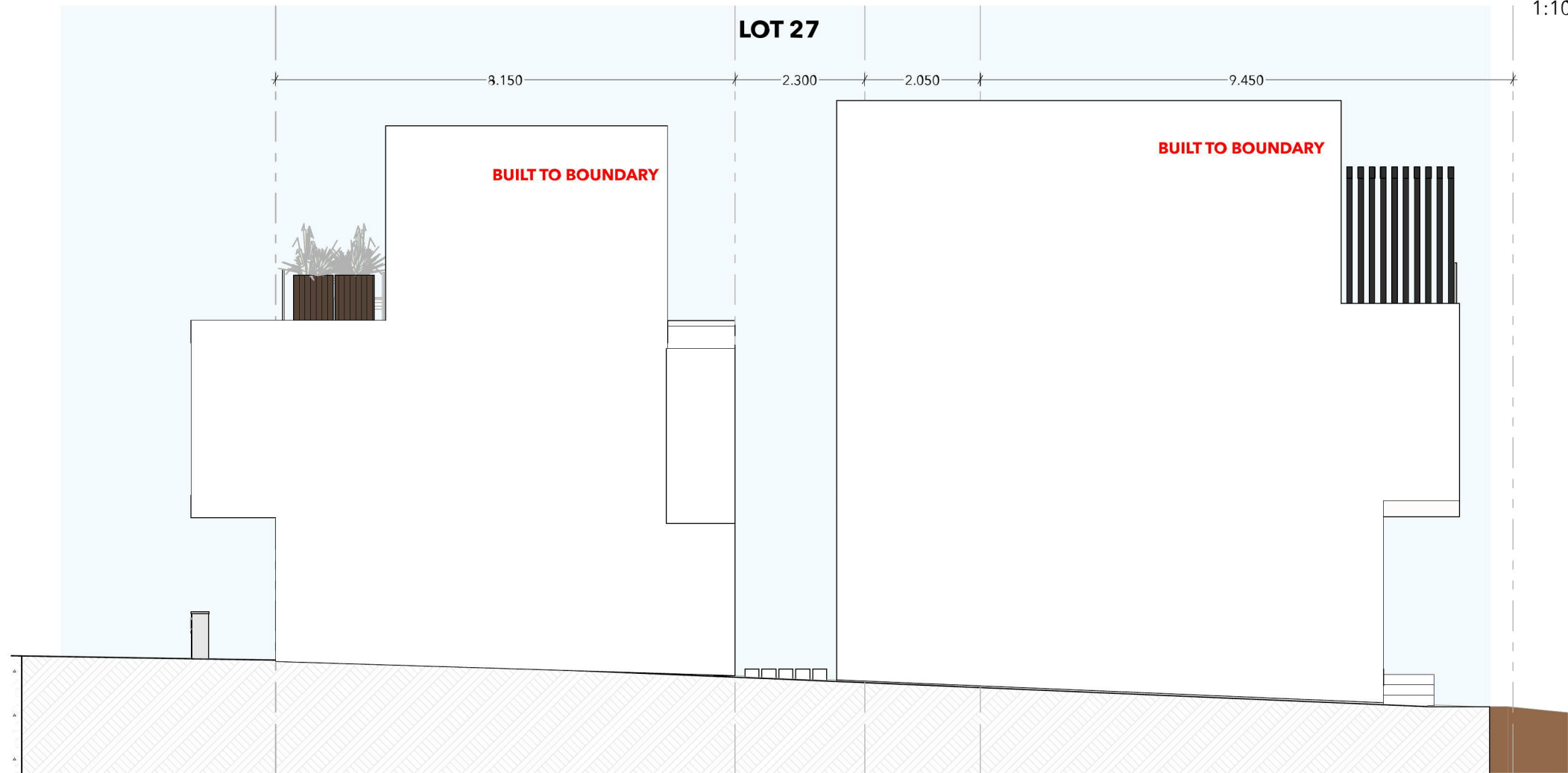
North Elevation
1:100



East Elevation
1:100



South Elevation
1:100



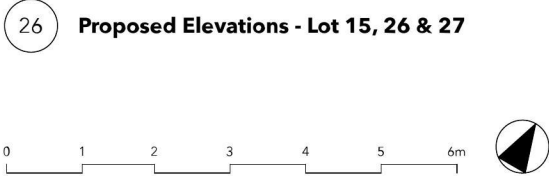
West Elevation
1:100

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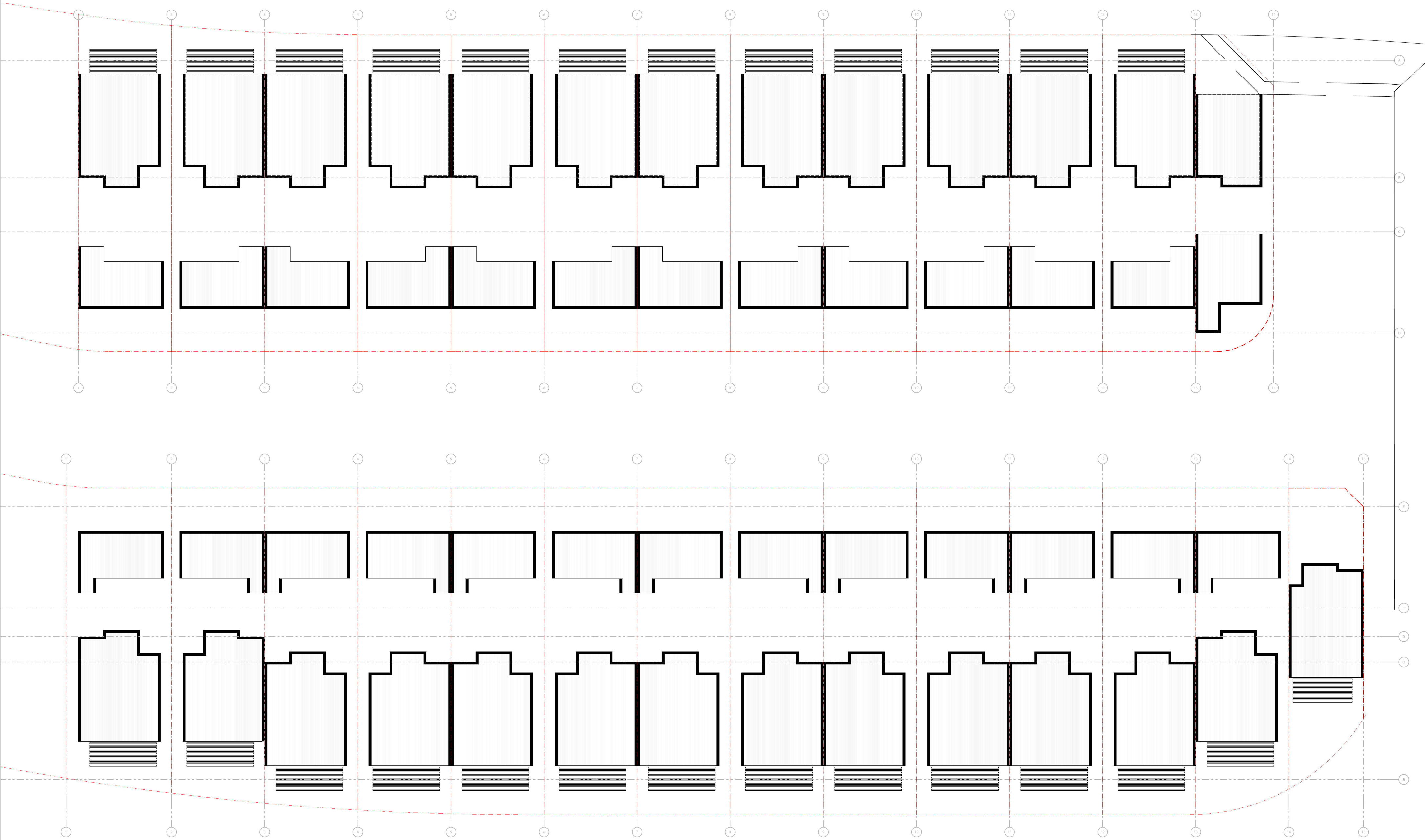


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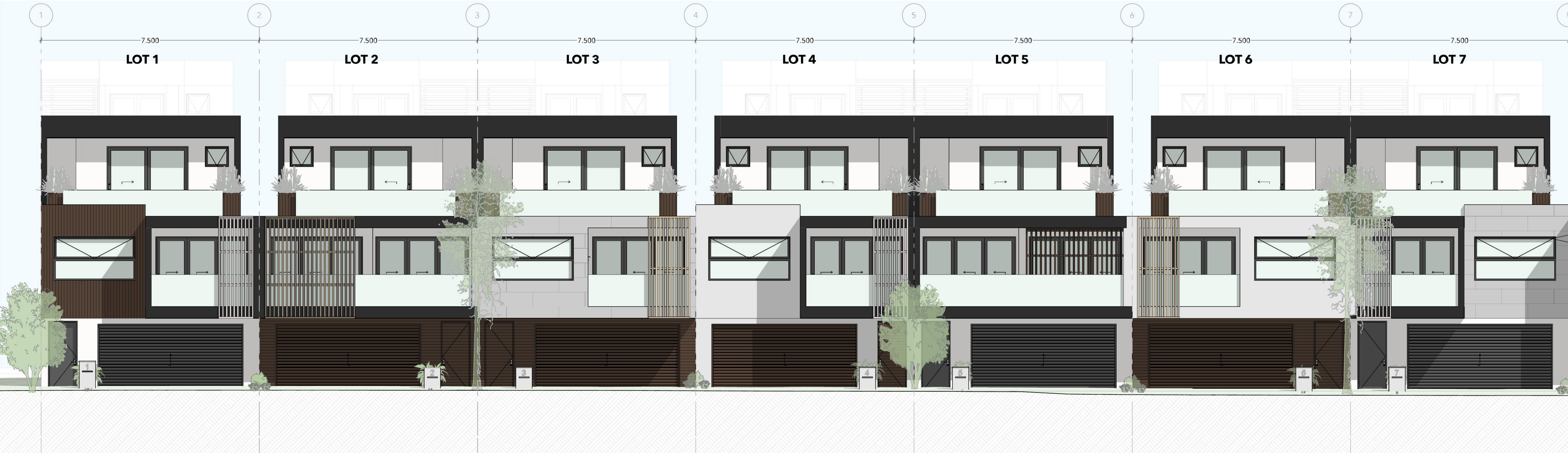
31 Proposed Roof Plan - Overall



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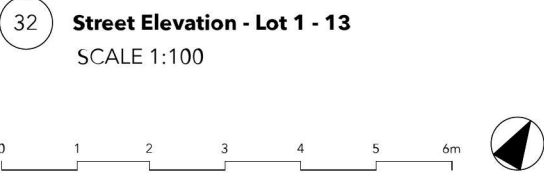


Streetscape Elevation Lot

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Streetscape Elevation Lot 14 -27
Scale 1:100

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33 Street Elevation - Lot 14 - 27
SCALE 1:100



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Area Calculations

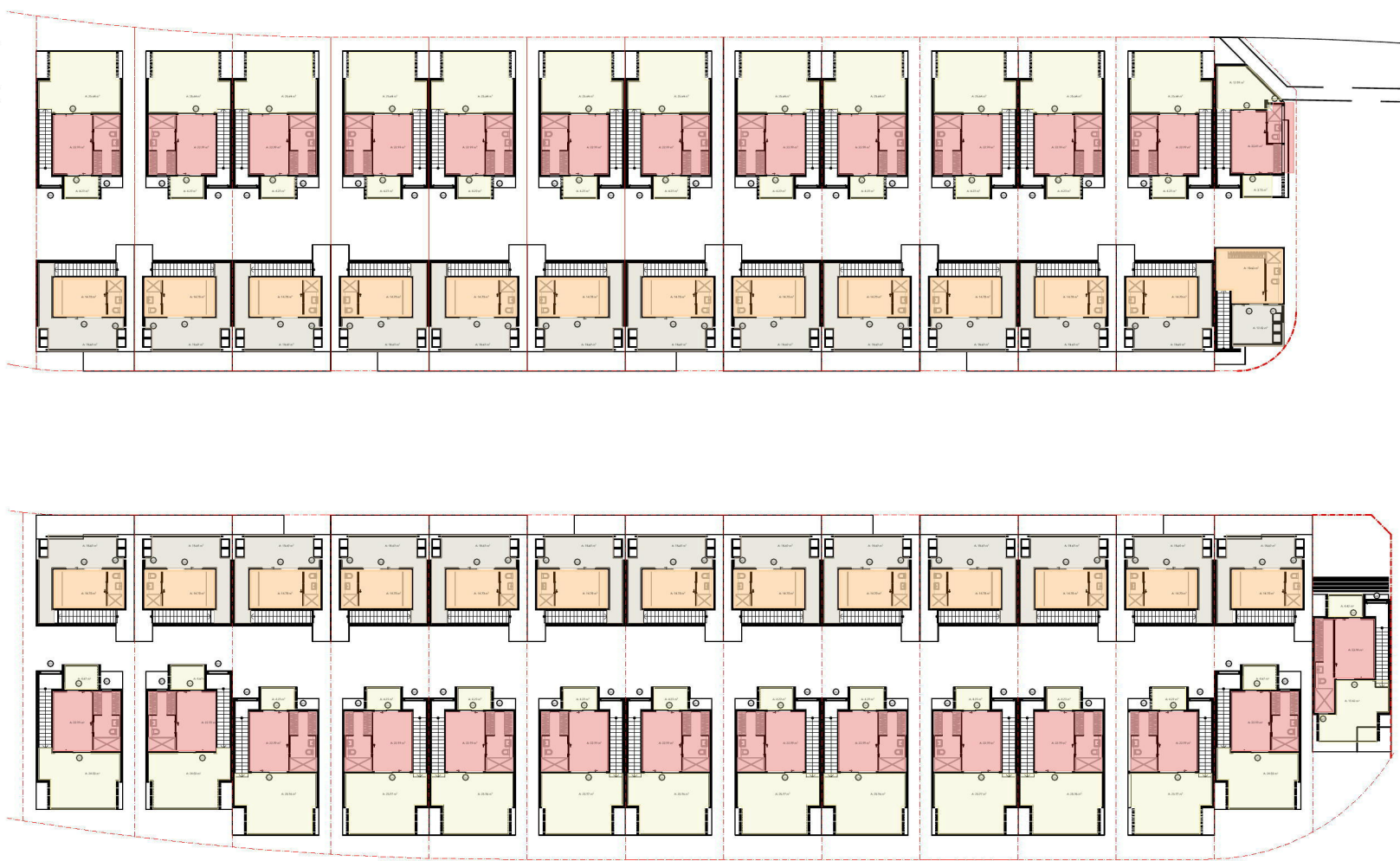
Schedules & Diagrams



Area Calculation - Ground Floor
1:500



Area Calculation - First Floor
1:500



Area Calculation - Second Floor
1:500

Area Calculation - Floor Area	
Unit Number	Measured Area
1	192.65
2	192.65
3	192.65
4	192.65
5	192.65
6	192.65
7	192.65
8	192.65
9	192.65
10	192.65
11	192.65
12	192.65
13	146.08
14	156.52
15	188.04
16	192.65
17	192.65
18	192.65
19	192.65
20	192.65
21	192.65
22	192.65
23	192.65
24	192.65
25	192.65
26	188.04
27	188.04
5,105.02 m ²	

Area Calculation - Balcony	
Unit Number	Measured Area
1	33.57
2	33.57
3	33.57
4	37.22
5	37.22
6	33.57
7	33.57
8	33.57
9	33.57
10	33.57
11	33.57
12	33.57
13	18.21
14	56.05
15	32.30
16	33.86
17	33.85
18	33.86
19	33.85
20	33.86
21	33.85
22	33.86
23	33.85
24	33.86
25	33.85
26	32.30
27	32.30
919.85 m ²	

Area Calculation - Landscape	
Unit Number	Measured Area
1	24.20
2	18.89
3	16.09
4	15.50
5	15.49
6	15.49
7	15.49
8	15.48
9	15.49
10	15.49
11	15.49
12	15.48
13	11.35
14	33.16
15	33.29
16	21.36
17	21.36
18	21.36
19	21.36
20	21.36
21	21.36
22	21.36
23	21.25
24	19.85
25	16.63
26	28.80
27	24.22
536.65 m ²	

Area Calculation - Lot Area	
Unit Number	Measured Area
1	198.88
2	194.69
3	191.84
4	191.25
5	191.25
6	191.25
7	191.26
8	191.25
9	191.26
10	191.25
11	191.26
12	191.25
13	146.91
14	130.13
15	191.92
16	197.24
17	197.24
18	197.24
19	197.24
20	197.24
21	197.24
22	197.24
23	197.13
24	195.74
25	192.52
26	187.42
27	203.99
5,133.13 m ²	

Area Calculation - Fonzi Flat Floor Area Balcony	
Unit Number	Measured Area
1	23.95
2	30.36
3	23.94
4	23.95
5	30.36
6	23.94
7	23.95
8	30.36
9	23.94
10	23.95
11	30.36
12	23.94
13	17.97
15	30.36
16	23.95
17	23.94
18	30.36
19	23.95
20	23.94
21	30.36
22	23.95
23	23.94
24	30.36
25	23.95
26	23.94
27	30.36
674.33 m ²	

Area Calculation - Courtyard	
Unit Number	Measured Area
1	23.47
2	23.47
3	23.47
4	23.47
5	23.47
6	23.47
7	23.47
8	23.47
9	23.47
10	23.47
11	23.47
12	23.47
13	16.86
15	16.16
16	23.06
17	27.02
18	27.02
19	27.02
20	27.02
21	27.02
22	27.02
23	27.02
24	27.02
25	27.02
26	16.16
27	16.16
613.22 m ²	

Area Calculation - Fonzi Flat Floor Area	
Unit Number	Measured Area
1	52.68
2	51.60
3	57.78
4	52.68
5	51.60
6	57.78
7	52.68
8	51.60
9	57.78
10	52.68
11	51.60
12	57.78
13	46.57
15	51.60
16	52.68
17	57.78
18	51.60
19	52.68
20	57.78
21	51.60
22	52.68
23	57.78
24	51.60
25	52.68
26	57.78
27	51.60
1,394.65 m ²	

Legend

- Floor Area
- Courtyard
- Landscaped Area
- Balcony
- Fonzi Flat - Floor Area
- Fonzi Flat - Balcony

Notes

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Stage Issue Date Issued By Approved by

35

Area Calculations

0 1 2 3 4 5 6m



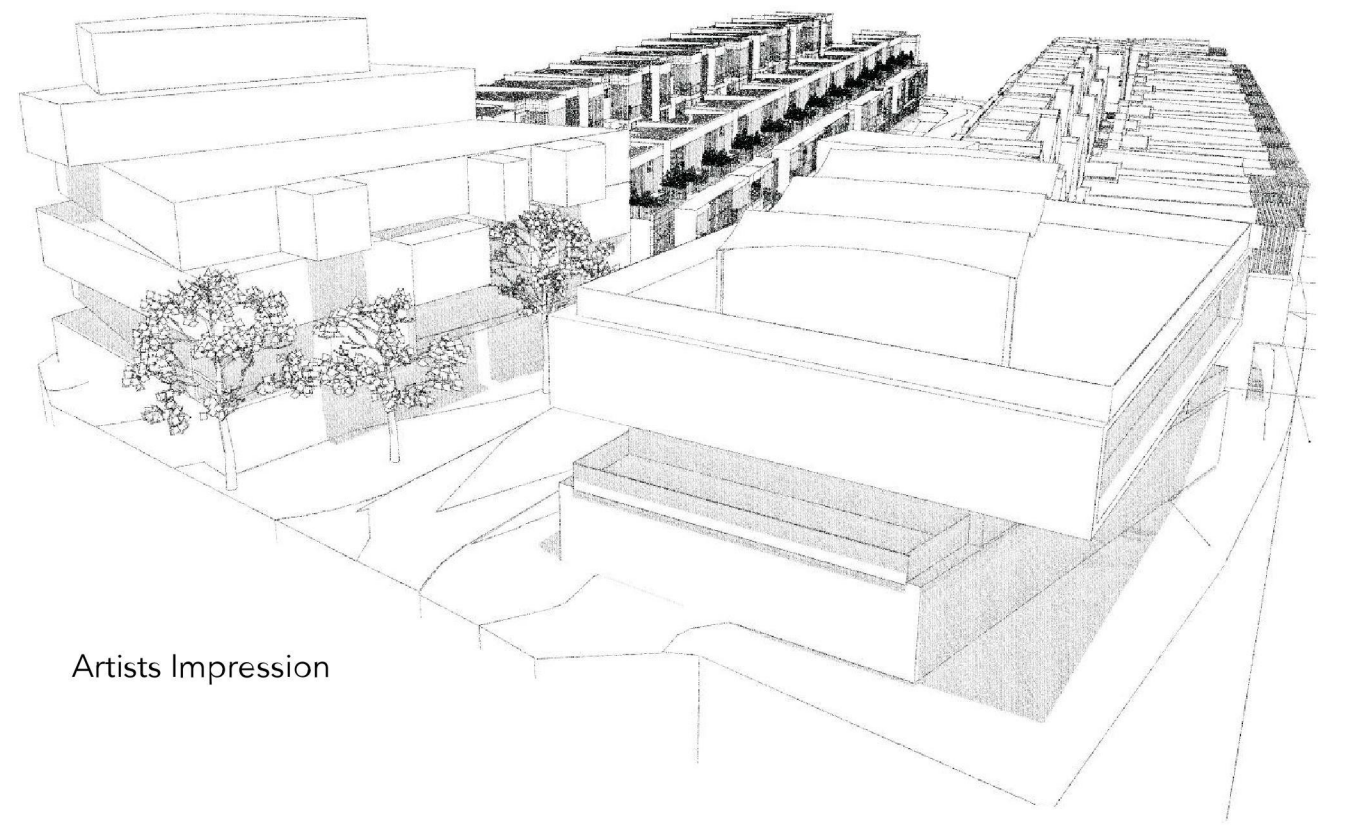
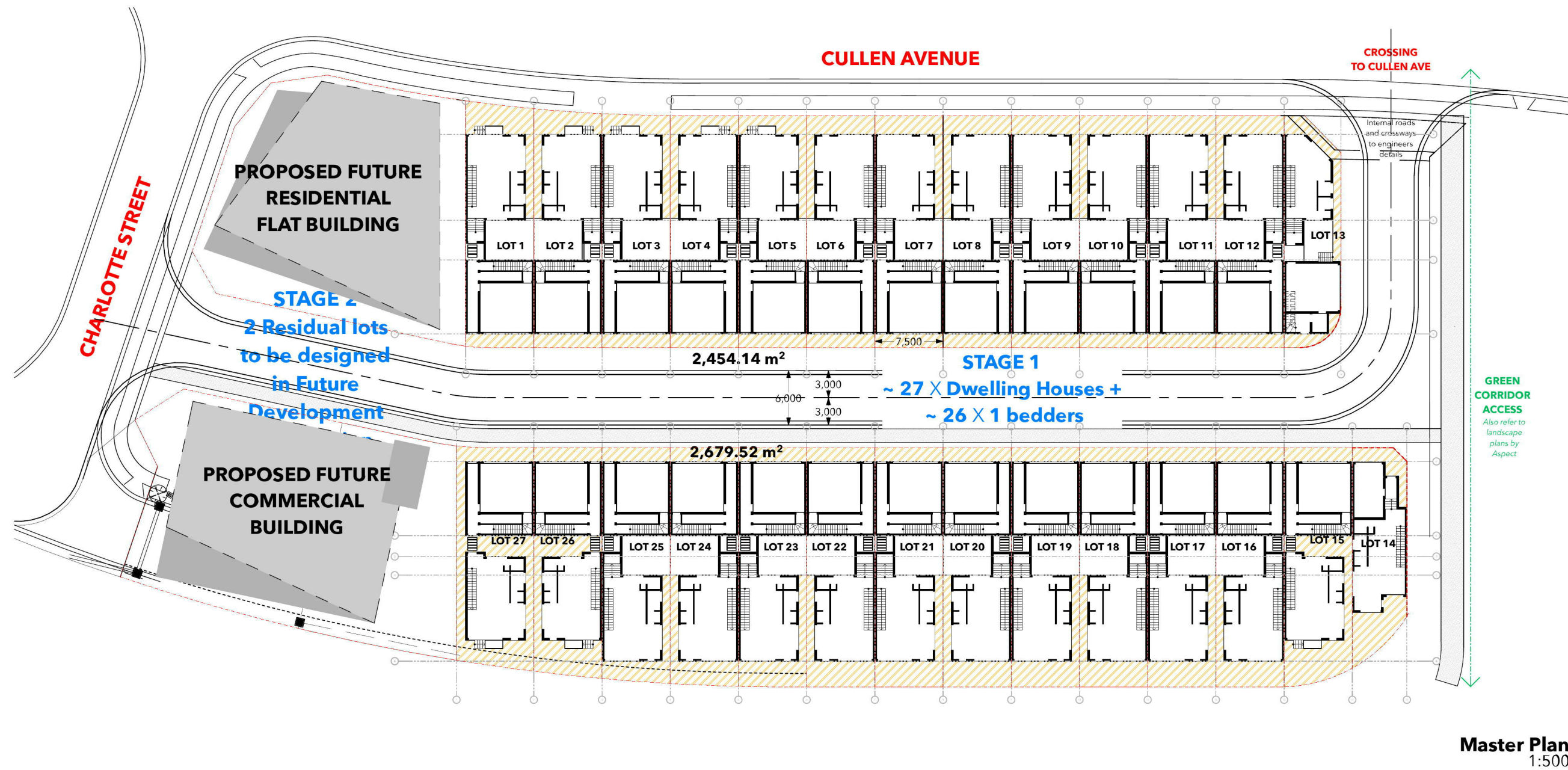
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Proposed Intergrated Housing

1 Charlotte Street
Jordan Springs, NSW 2747, Australia
Project number: 17R182 - Thursday, 26 October 2017

A2



Artists Impression

2 LEVEL
PENTHOUSES
(smaller articulated
footprint)

4 LEVEL
UNITS



Streetscape Elevation - Charlotte Street
1:500

COVERED
ROOFTOP
TERRACE

3 LEVELS
COMMERCIAL



Streetscape Elevation - Stage 2 Apartments
1:500



Streetscape Elevation - Stage 2 Commercial
1:500

CALCULATIONS

Yield Summary - RFB

Ground	: 6 Apartments (approx. 525m ²)
01	: 6 Apartments (approx. 525m ²)
02	: 6 Apartments (approx. 525m ²)
03	: 6 Apartments (approx. 525m ²)
04	: 2 X 2-level Penthouses (approx. 200m ²)
05	: / (approx. 100m ²)

22 UNITS (approx. TOTAL 2400m²)

Yield Summary - Commercial

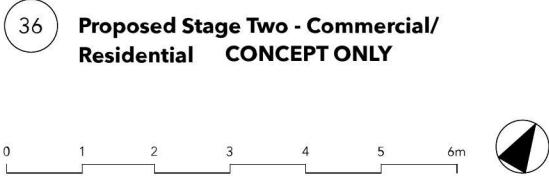
Ground	: Commercial Space (approx. 500m ²)
01	: / (approx. 300m ²)
02	: / (approx. 500m ²)
03	: Roof Terrace (approx. 400m ²)

(approx. TOTAL 1700m²)

A2

Notes
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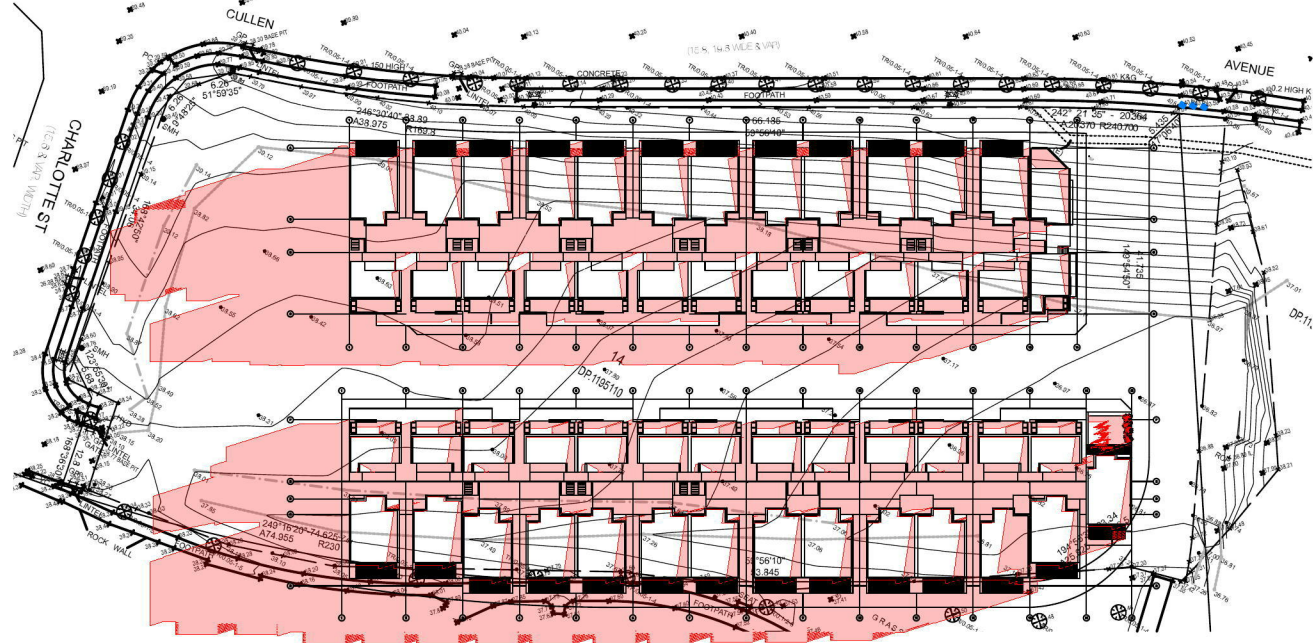


36 Proposed Stage Two - Commercial/
Residential CONCEPT ONLY

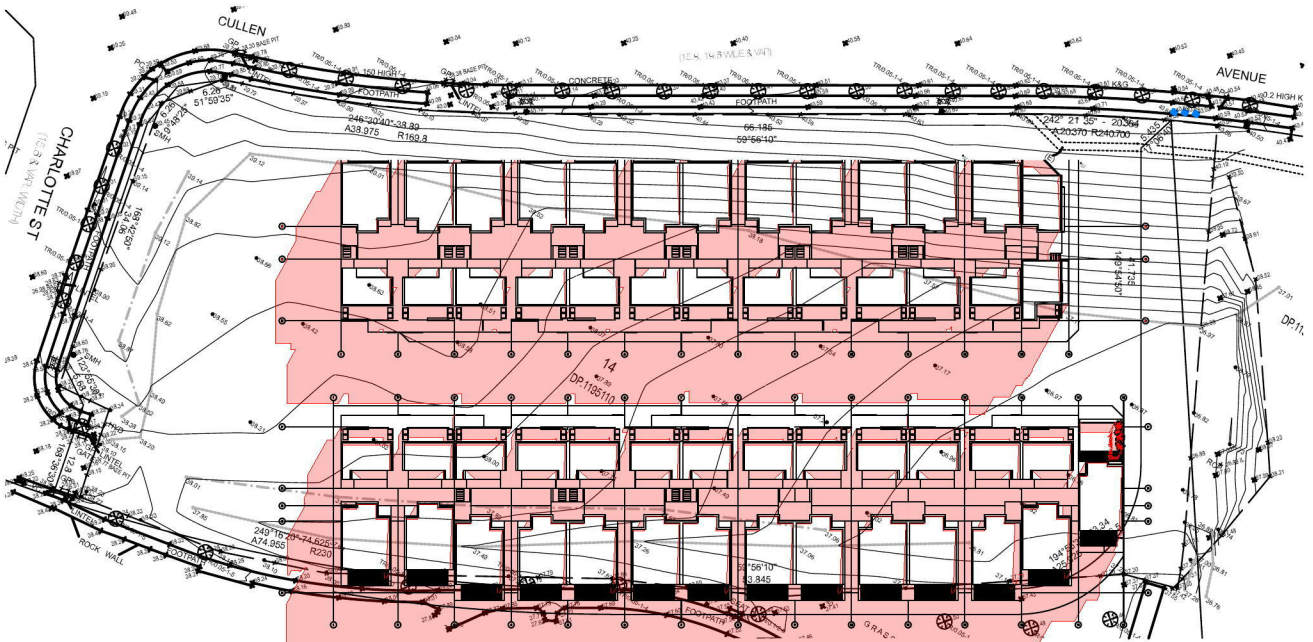


Proposed Intergrated Housing
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Project number: 17R182 - Thursday, 26 October 2017

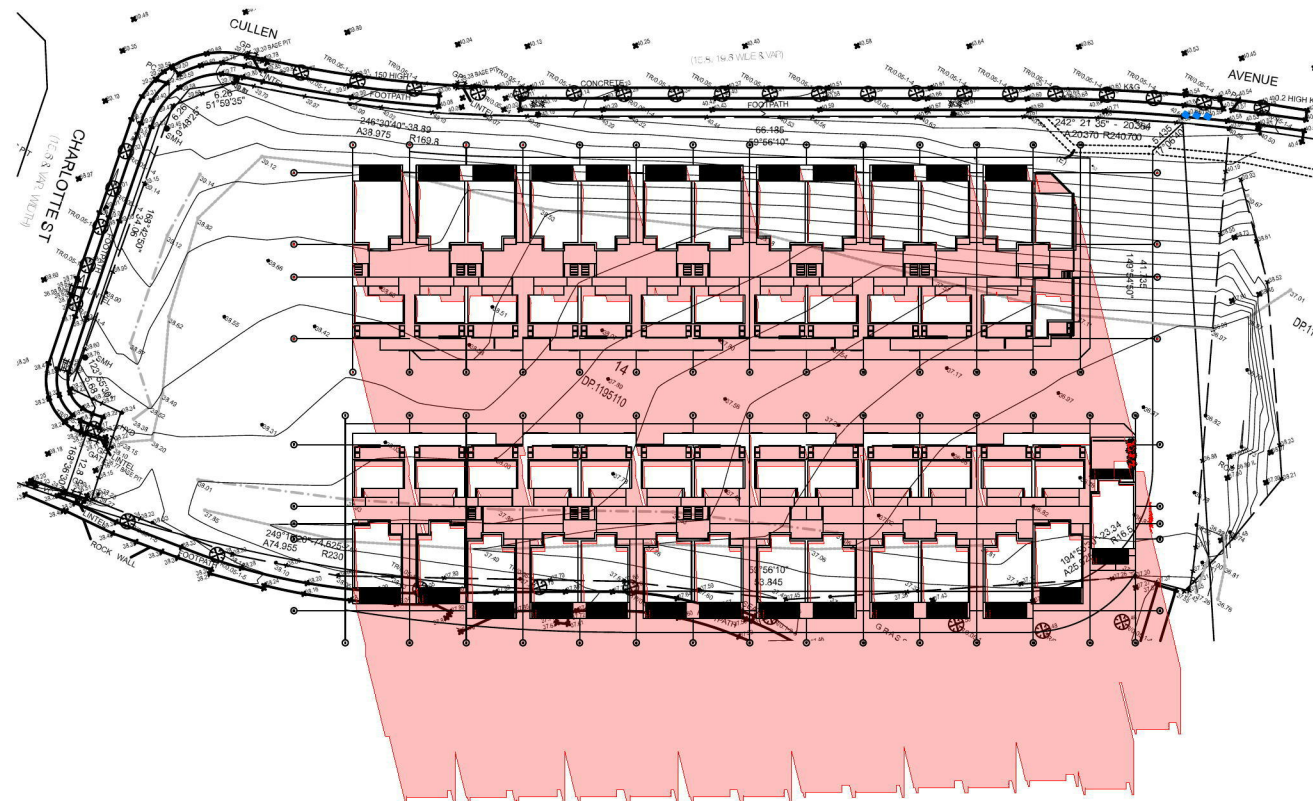
Shadow Diagram
Winter Solstice



June 21 - 9am
1:1000



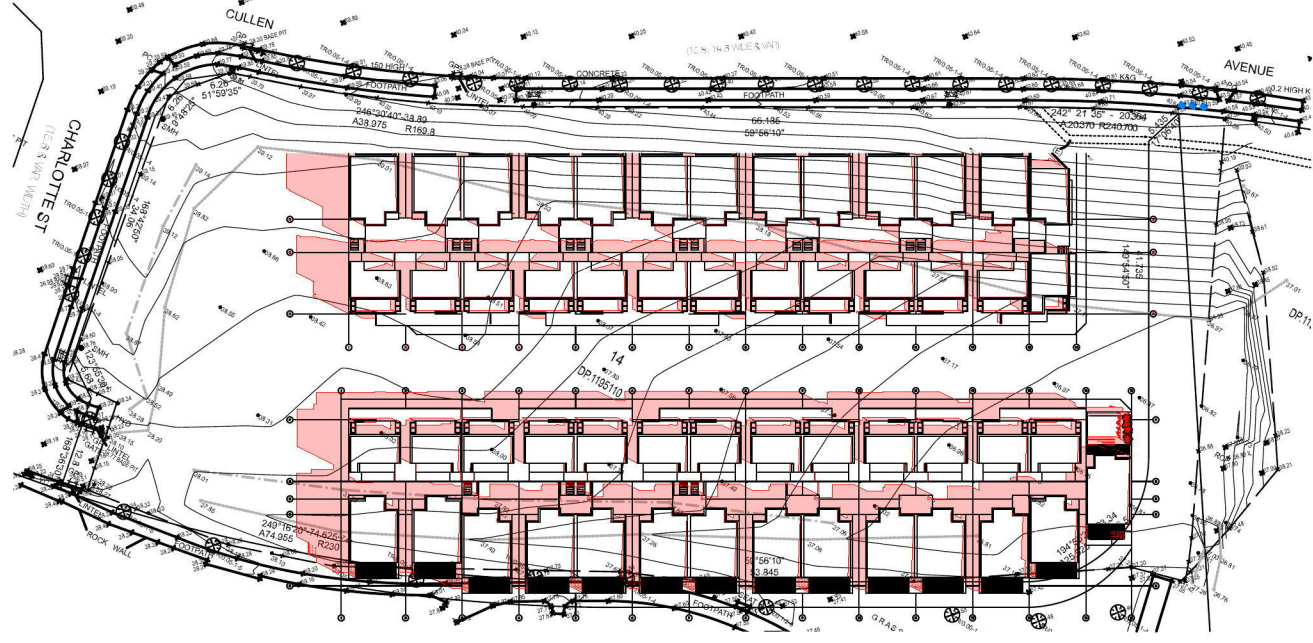
June 21 - 12pm
1:1000



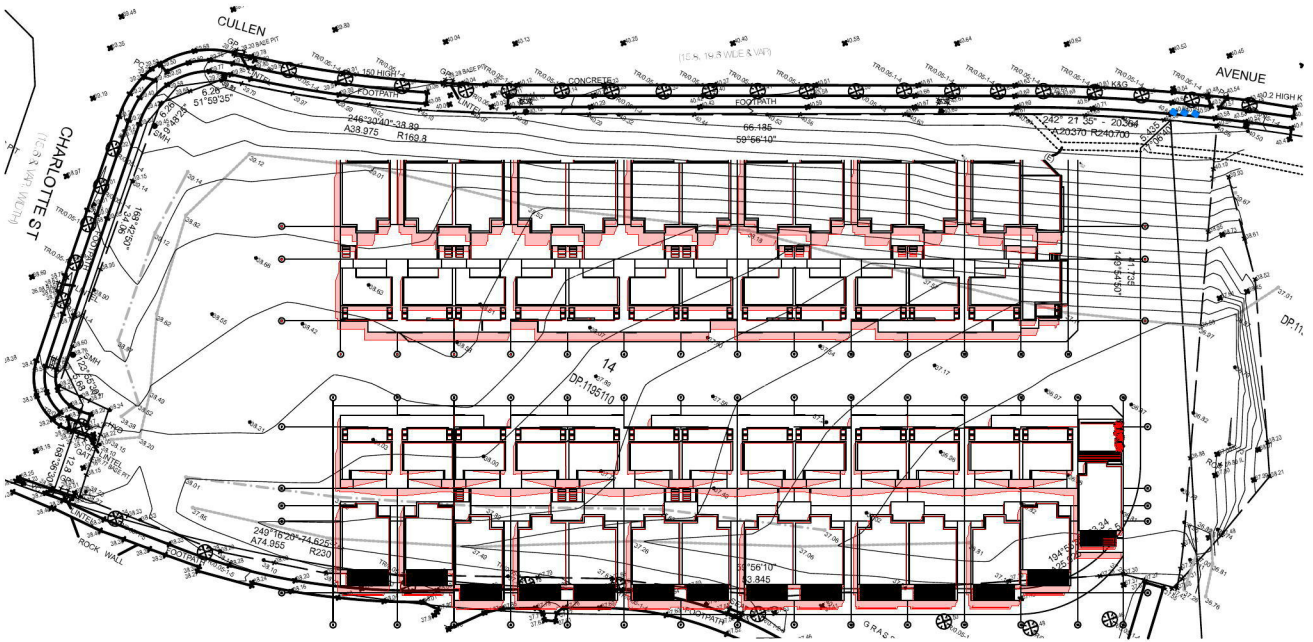
June 21 - 3pm
1:1000

Legend
Shadows resulting from proposed development

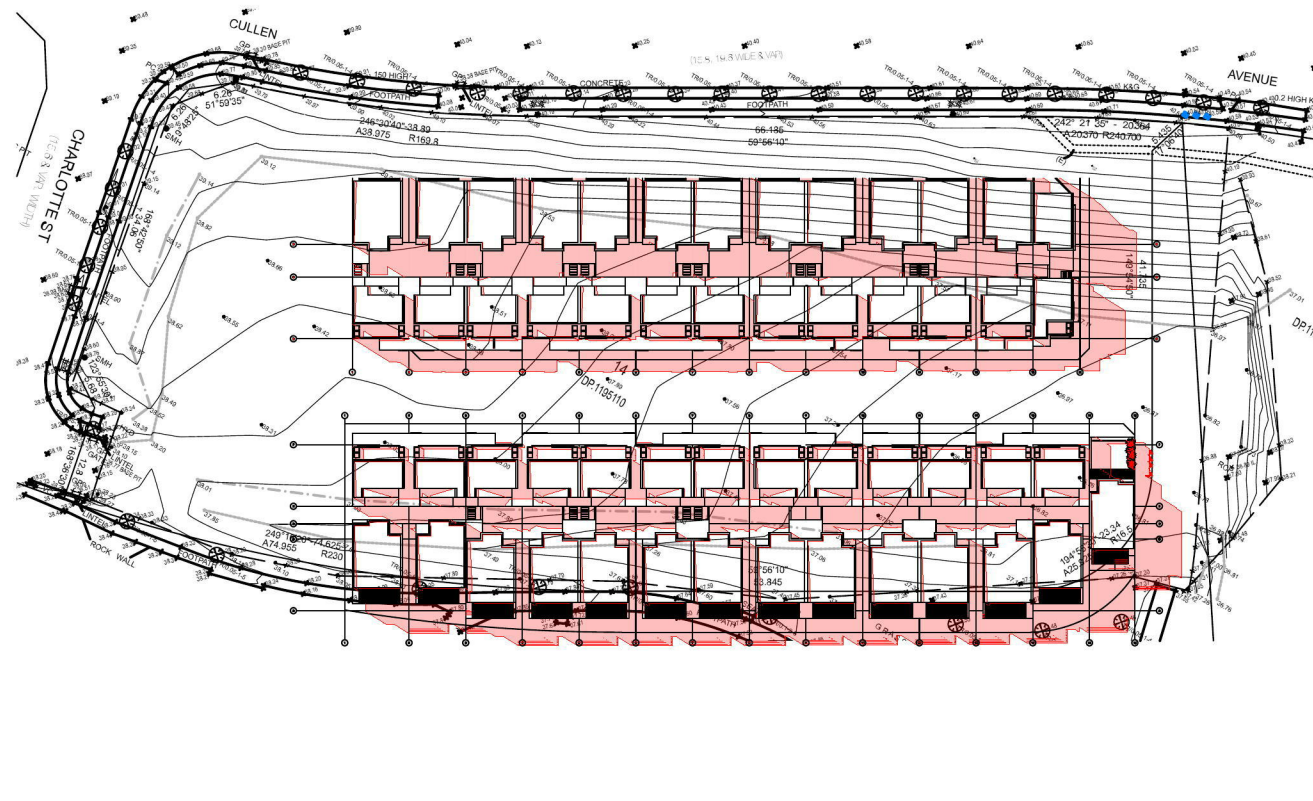
Shadow Diagram
Summer Solstice



December 21 - 9am
1:1000



December 21 - 12pm
1:1000



December 21 - 3pm
1:1000

A2

Notes
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Stage	Issue Date	Issued By	Approved by

37 Shadow Diagram - Summer & Winter Solstice

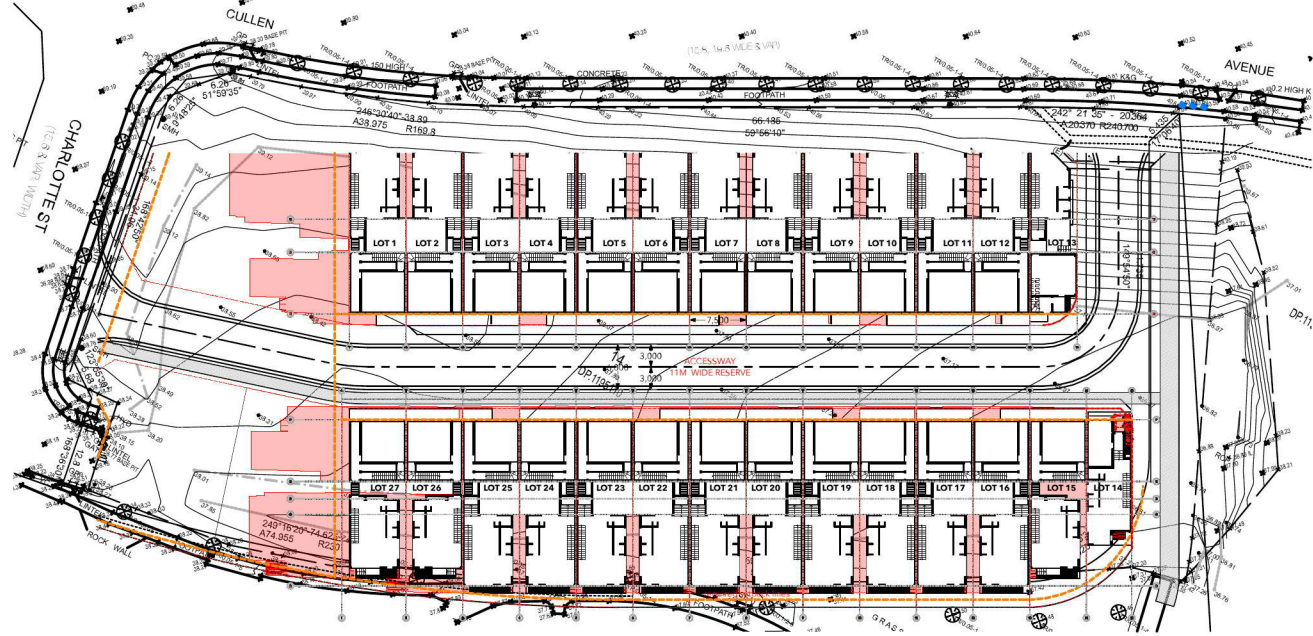




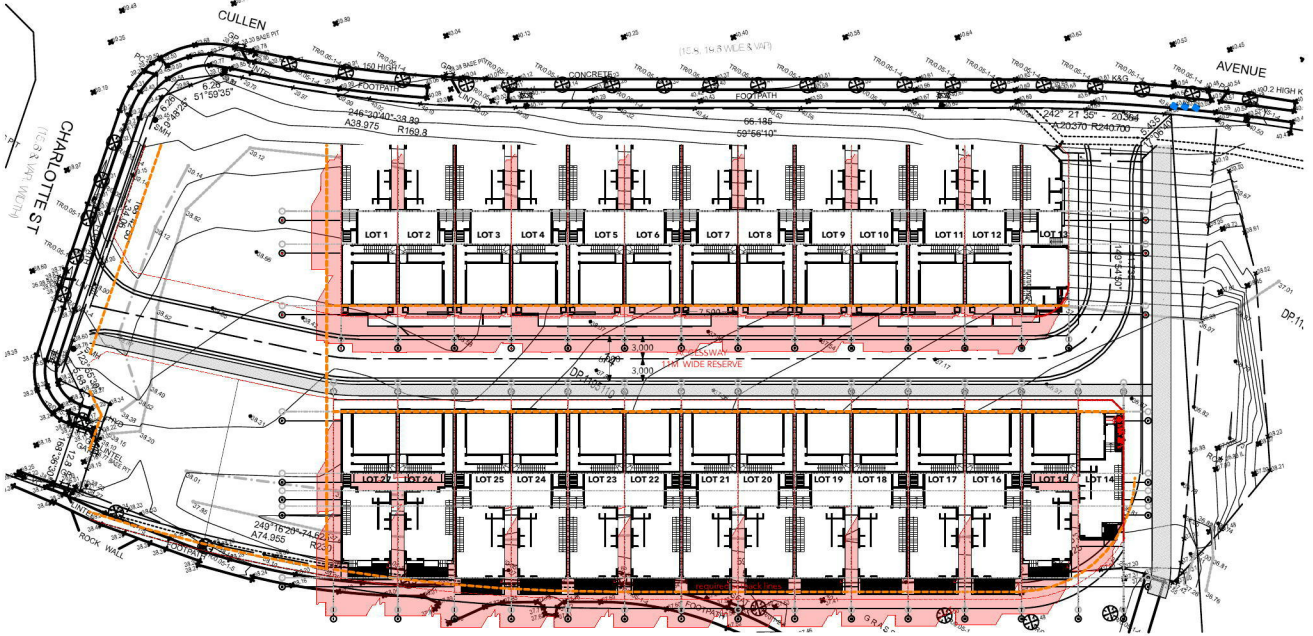
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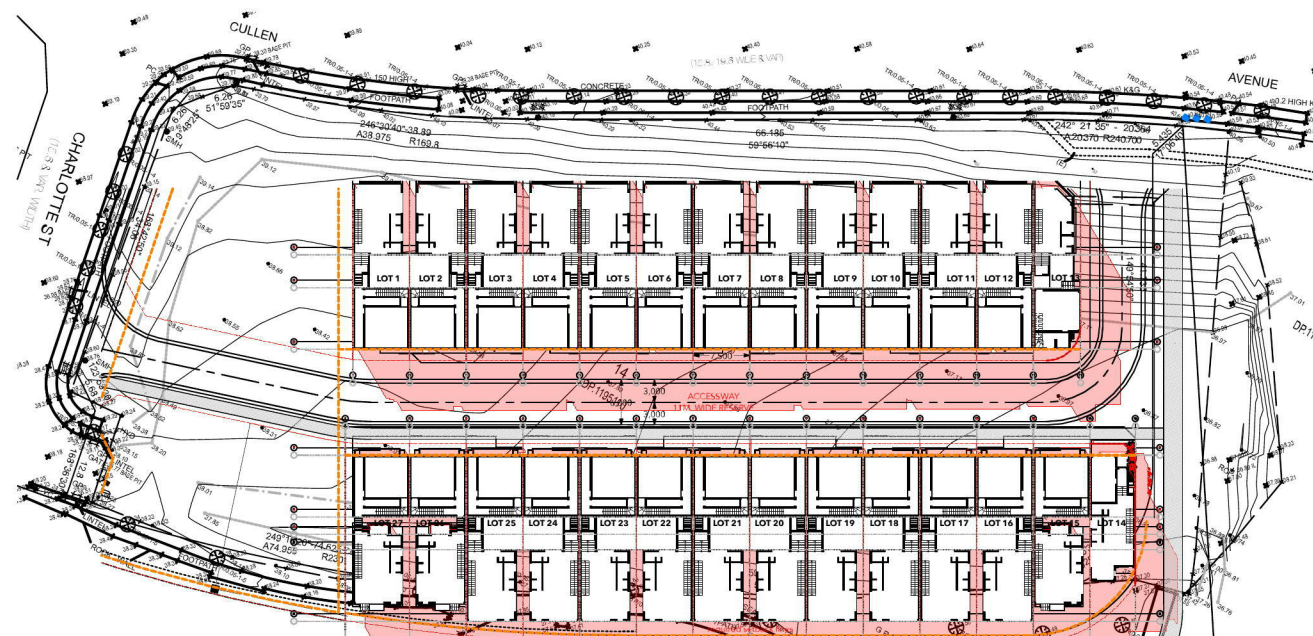
Shadow Diagram
Equinox



March 20 - 9am
1:1000



March 20 - 12pm
1:1000



March 20 - 3pm
1:1000

Legend
Shadows resulting from proposed development

A2

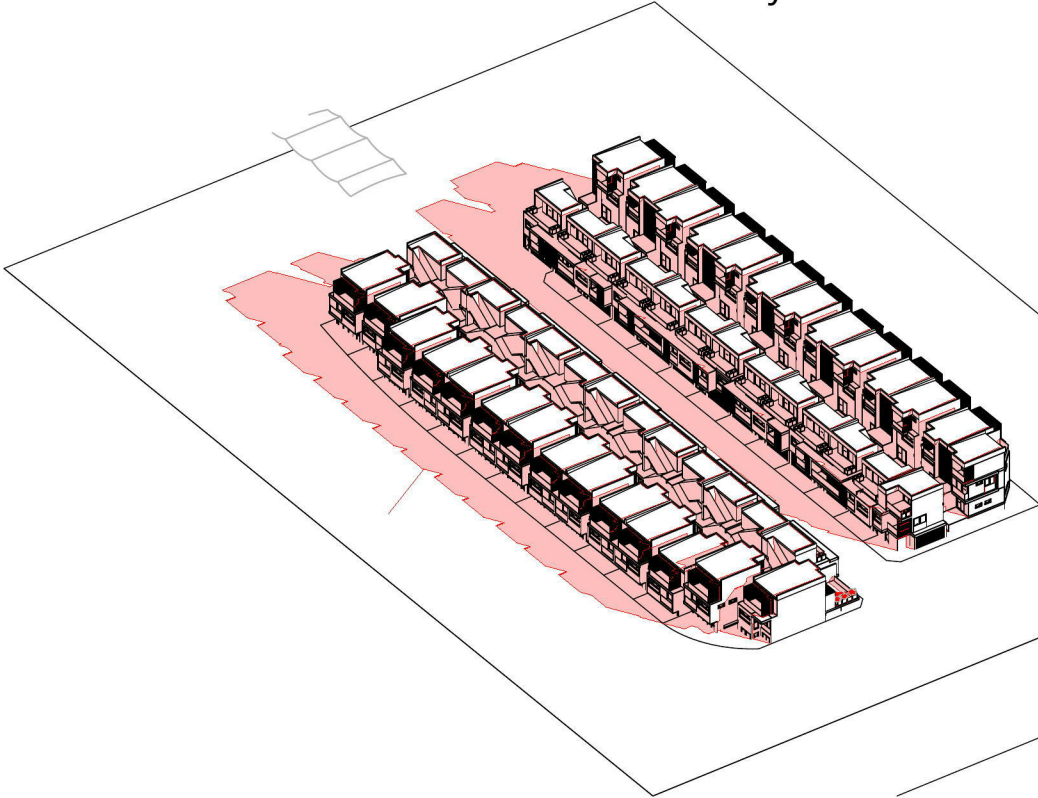
Notes
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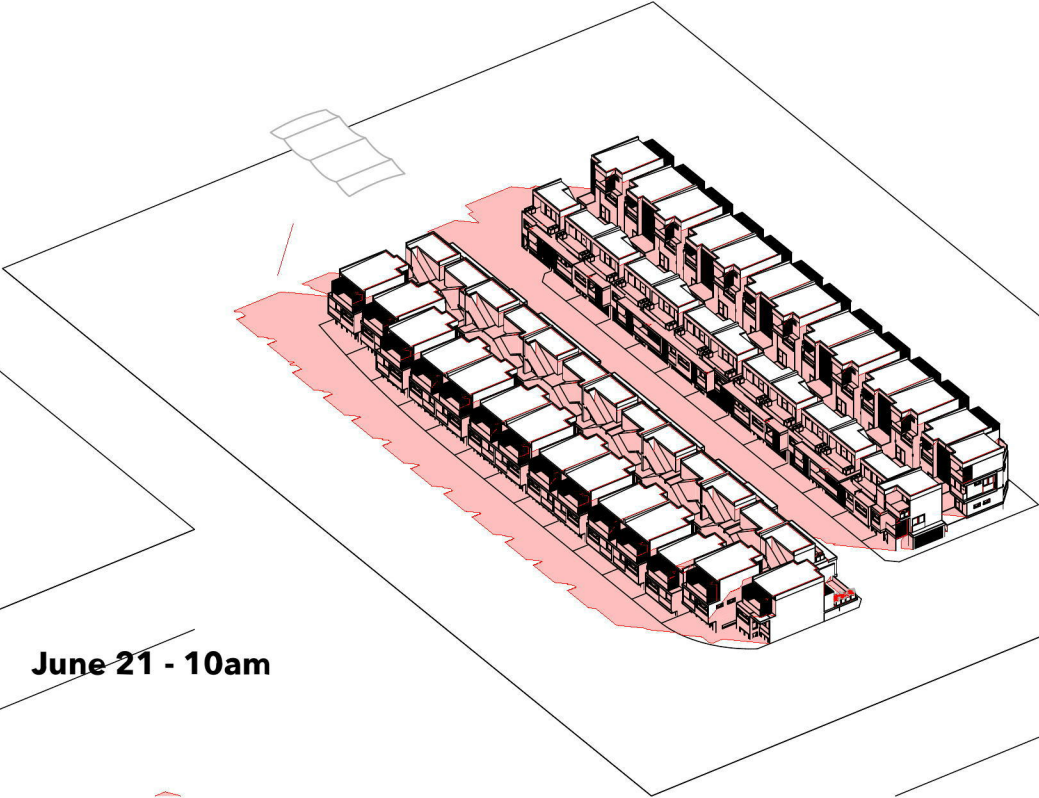
38 Shadow Diagram - Equinox & Winter Solstice
Hourly Axonometric



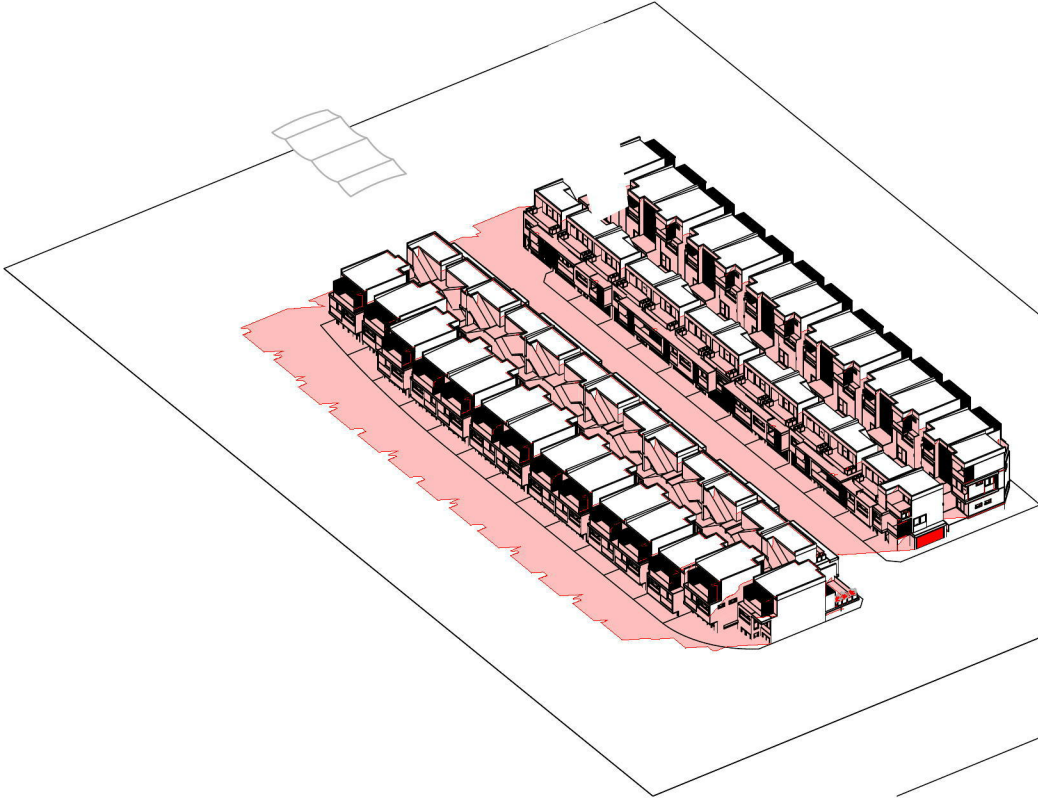
Shadow Diagram
Winter Solstice - Hourly axonometries



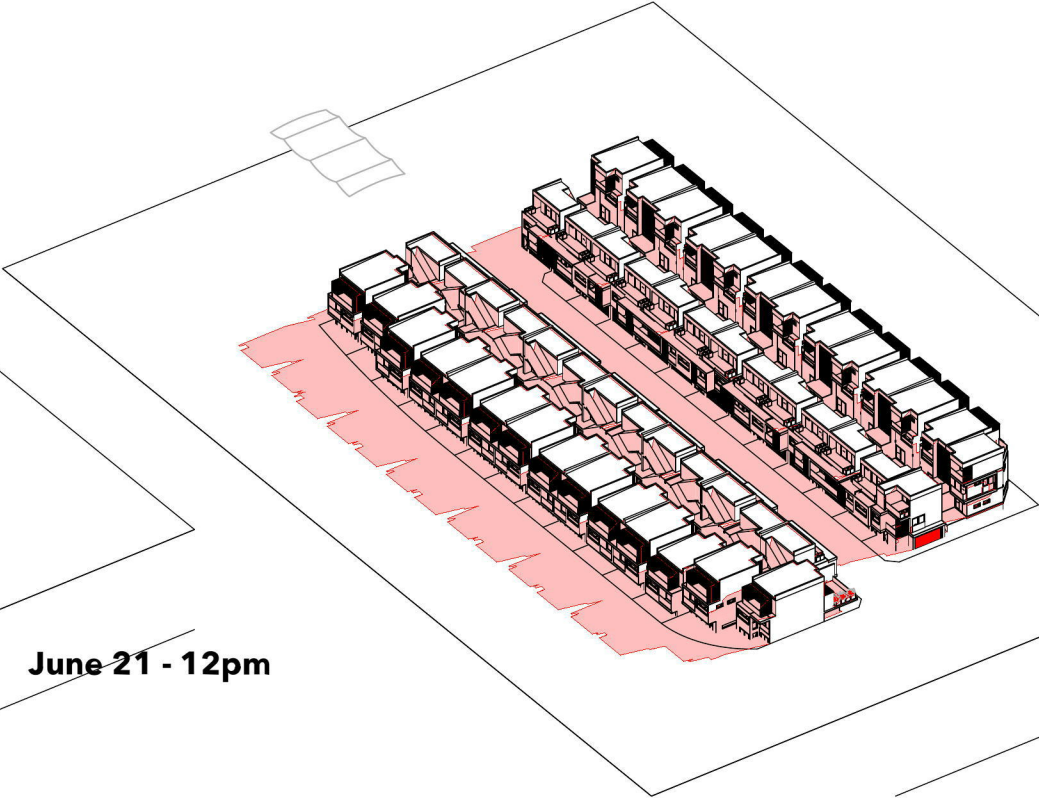
June 21 - 10am



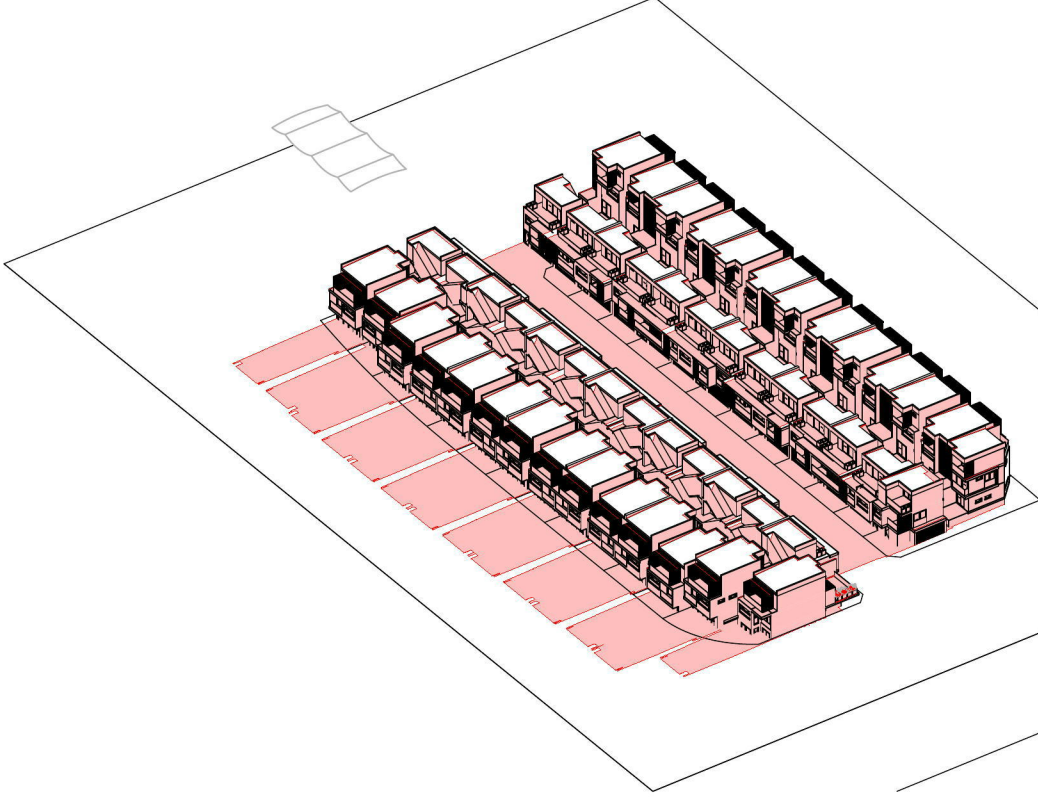
June 21 - 11am



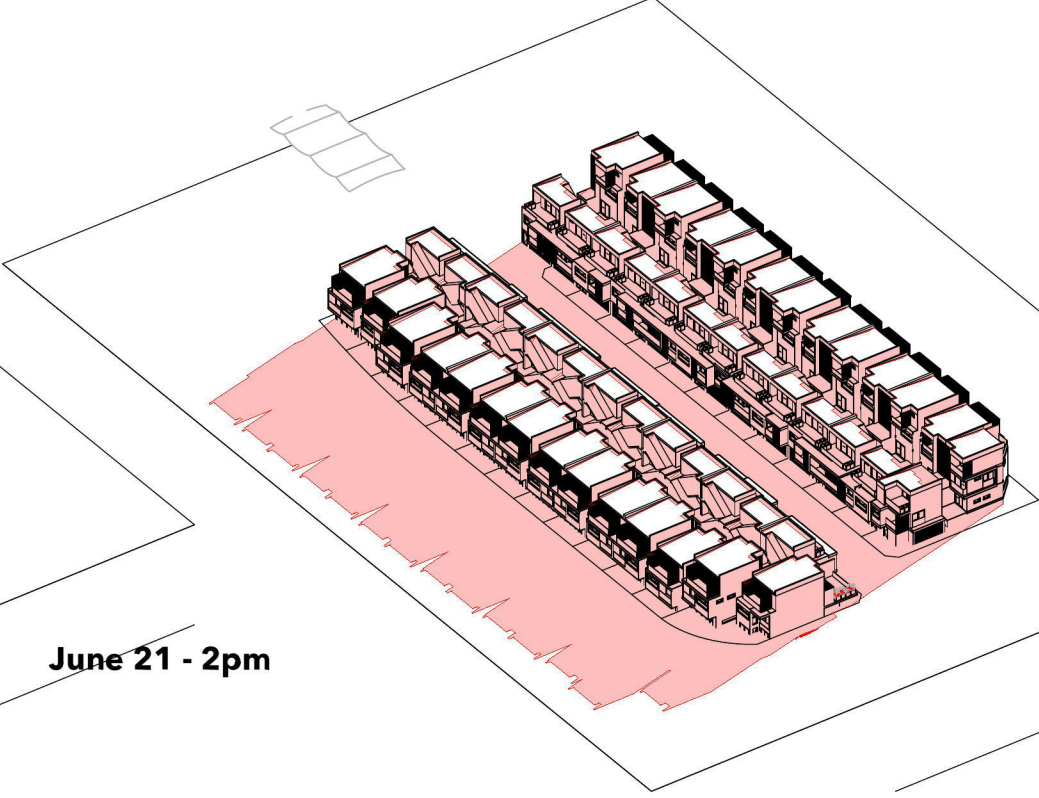
June 21 - 12pm



June 21 - 1pm



June 21 - 2pm



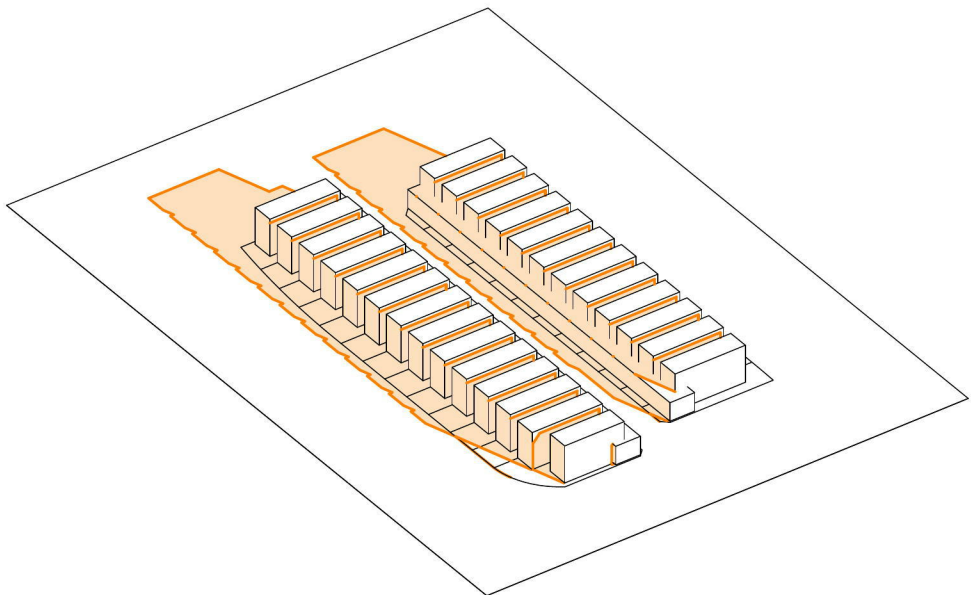
June 21 - 3pm



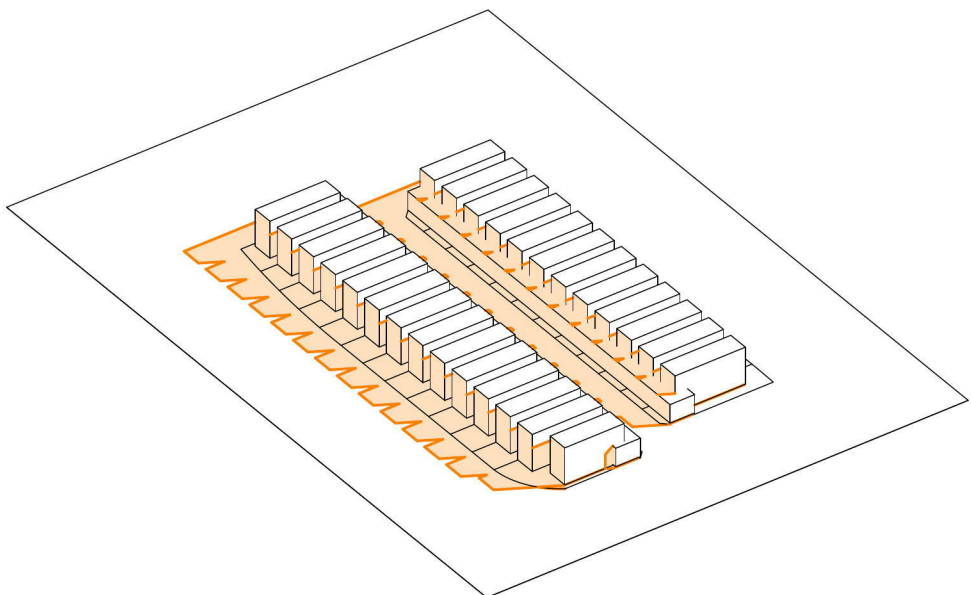
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Project number: 17R182 - Thursday, 26 October 2017

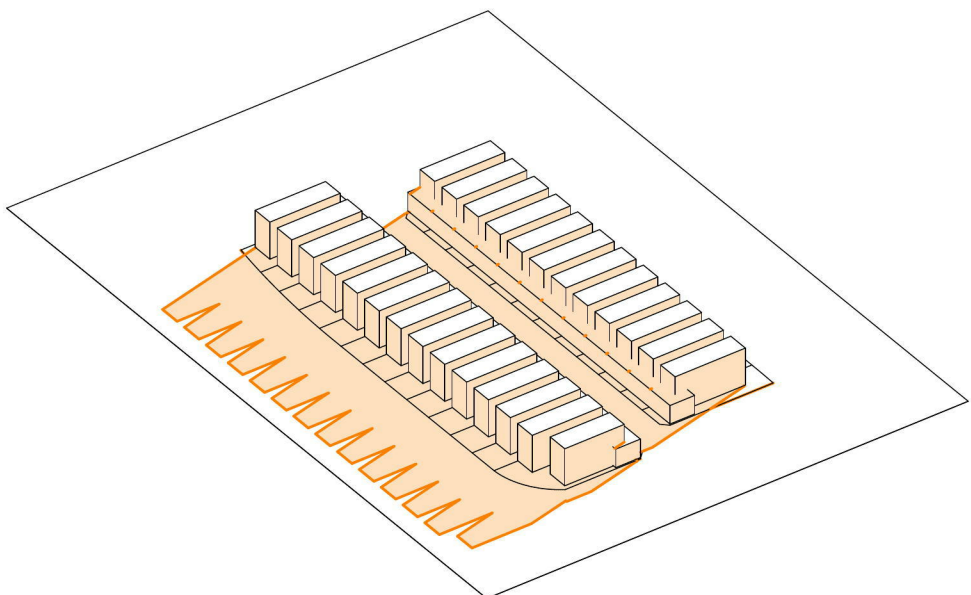
Massing Study One
Alternative Envelope n°1 - long and narrow



June 21 - 9am

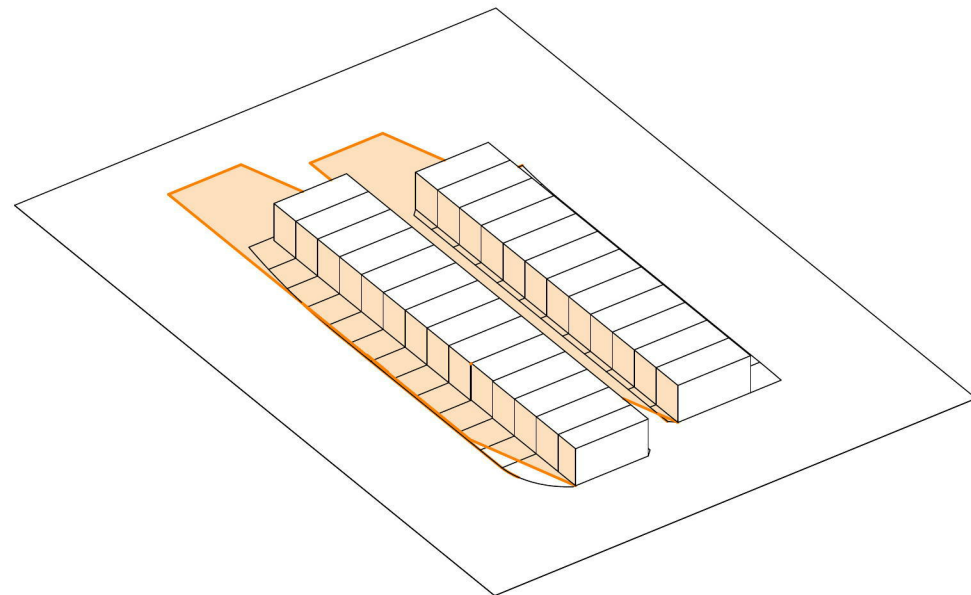


June 21 - 12pm

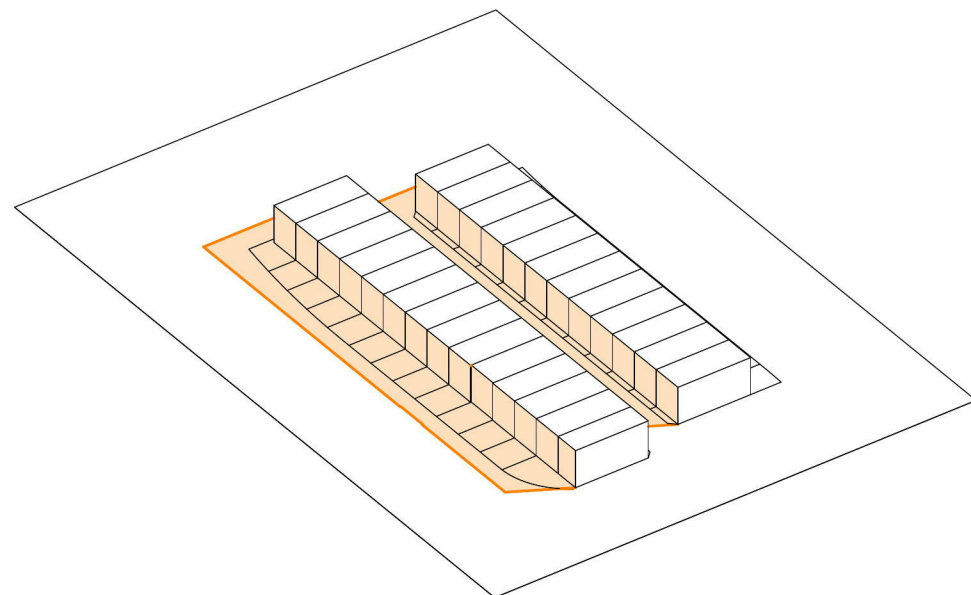


June 21 - 3pm

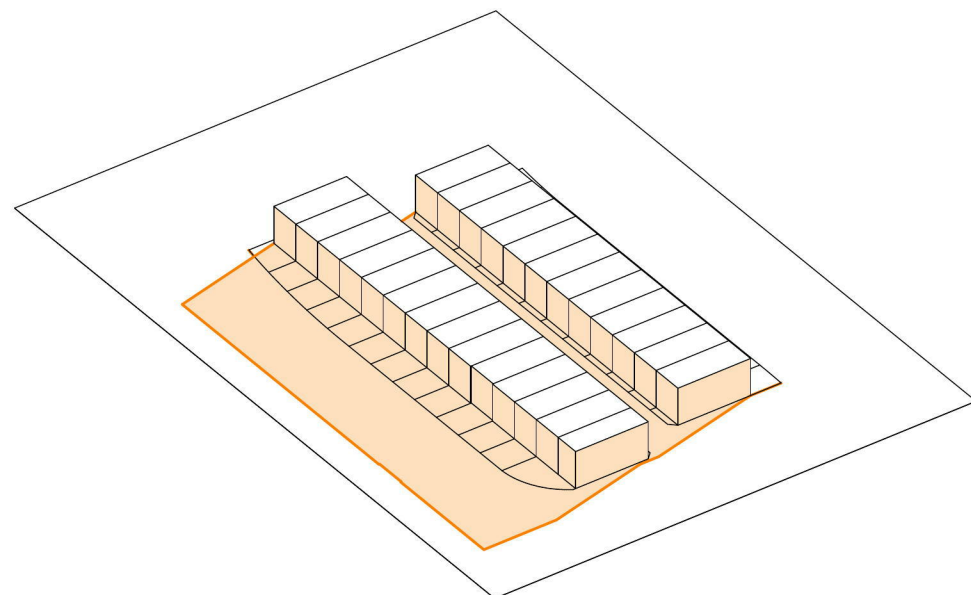
Massing Study Two
Alternative Envelope n°2 - front loaded



June 21 - 9am

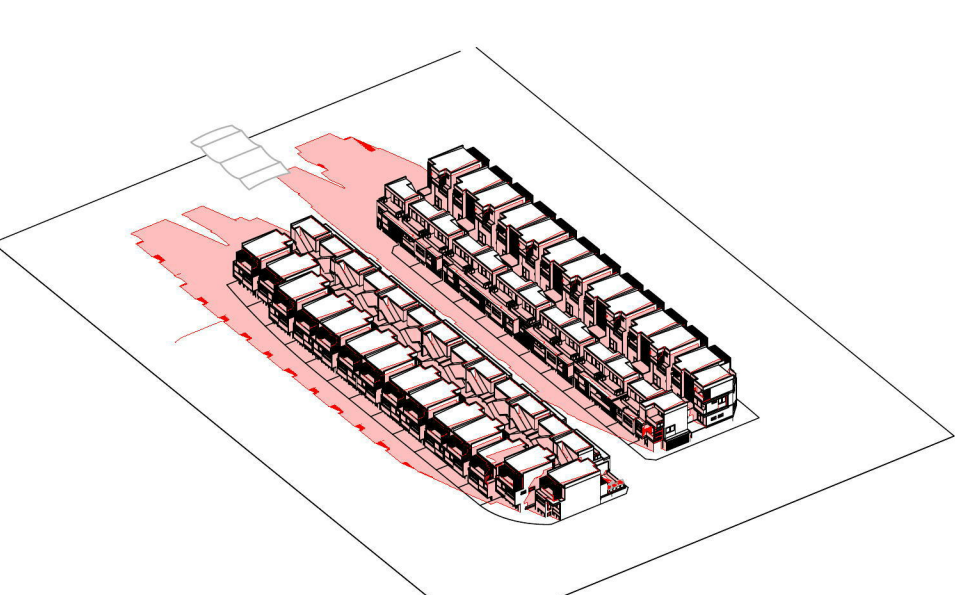


June 21 - 12pm

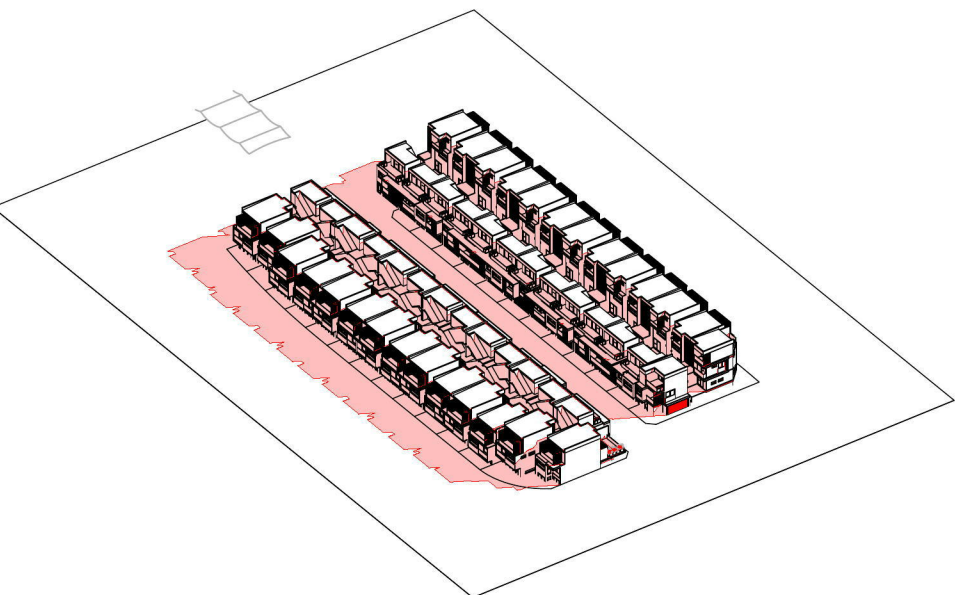


June 21 - 3pm

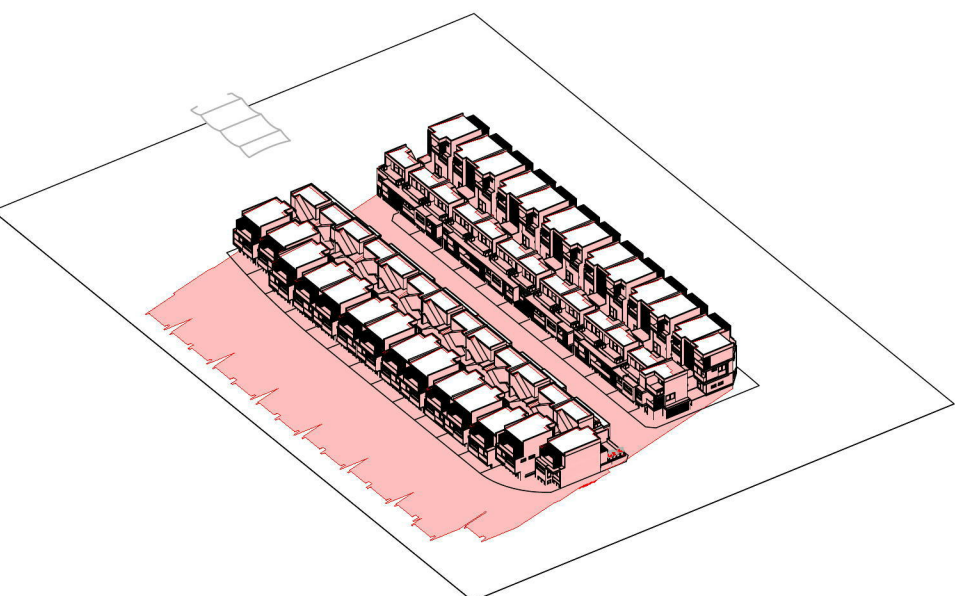
Massing Study Three
Proposed Design



June 21 - 9am



June 21 - 12pm



June 21 - 3pm

Stage	Issue Date	Issued By	Approved by

The building works included in the subject application will comply with the relevant deemed-to-satisfy provisions of the Building Code of Australia 2014 (Volume 2 - Housing Provisions) and relevant standards of construction. Particular reference is made to the following BCA provisions and Australian Standards, which form part of the application and will be complied with:

Demolition

- AS 2601(1991) - The demolition of structures

Site Preparation

- Earthworks - To be carried out in accordance with the requirements of the Environmental Planning & Assessment Act 1979, conditions of development consent and the relevant requirements of Part 3.1.1 of the BCA (Volume 2)
- Stormwater drainage - Part 3.1.2 of the BCA (Volume 2); and
- AS/NZS 3500 (2003) Part 3 - Stormwater drainage
- AS/NZS 3500 (2000) Part 5 – Domestic installations – Section 5 – stormwater drainage
- Termite protection - Part 3.1.3 of the BCA (Volume 2); and
- AS 3660.1(2000) - Protection of buildings from subterranean termites

Footings and Slabs

- Footings and slabs - Part 3.2 of the BCA (Volume 2); and
- AS 2870 (1996) - Residential slabs and footings
- AS 3600 (2001) - Concrete structures
- AS 2159 (1995) - Piling – Design and installation
- Site classification Part 3.2.4 of the BCA (Volume 2)

Masonry

- Masonry construction - Part 3.3 of the BCA (Volume 2) and AS 3700 (2001) - Masonry Code
- Lintels in masonry - Part 3.3.3.4 of the BCA (volume 2)

Framing

- Sub-floor ventilation - Part 3.4.1 of the BCA (Volume 2)
- Steel framing - Part 3.4.2 of the BCA (Volume 2)
- Acceptable construction practice (Part 3.4.2.1 of the BCA) and / or
- AS 4100 (1998) - Steel structures
- Timber wall, floor and roof framing - Part 3.4 of the BCA (Volume 2); and
- AS 1684 (2006) – Residential timber - frame construction
- Structural steel members - Part 3.4.4 of the BCA (Volume 2)

Roof and wall cladding

- Roof tiling - Parts 3.5.1.1 & 3.5.1.2 of the BCA (Volume 2) and AS 2049 (2002) - Roof tiles
- Metal roof sheeting - Parts 3.5.1.1 & 3.5.1.3 of the BCA (Volume 2)
- Gutters and downpipes - Part 3.5.2 of BCA (Volume 2); and
- AS/NZS 3500 (2003) Part 3 – Stormwater drainage
- AS/NZS 3500 (2000) Part 5 – Domestic installation
- Wall cladding - Part 3.5.3 of the BCA (Volume 2)

Glazing

- Glazing - Part 3.6 of the BCA (Volume 2)
- AS 1288 (2006) Glass in buildings
- AS 2047 (1999) Windows in buildings

Fire safety

- Fire separation - Part 3.7.1 of the BCA (Volume 2)
- Fire separation - Separating wall construction - Part 3.7.1.8 of the BCA (Volume 2)
- Fire separation - Roof lights - Part 3.7.1.10 of the BCA (Volume 2)
- Smoke alarms - Part 3.7.2 of the BCA (Volume 2) and AS 3786 (1993) - Smoke alarms
- Heating appliances - Part 3.7.3 of the BCA (Volume 2) and AS 2918 (2001)- Domestic solid - fuel burning appliances - installation

Health and amenity

- Wet areas - Part 3.8.1 of the BCA (Volume 2) and AS 3740 (2004) - Waterproofing of wet areas in residential buildings
- Room heights - Part 3.8.2 of the BCA (Volume 2)
- Kitchen, sanitary and washing facilities - Parts 3.8.3.2 and 3.8.3.3 of the BCA (Volume 2)
- Natural and artificial light - Parts 3.8.4.2 and 3.8.4.3 of the BCA (Volume 2)
- Ventilation - Part 3.8.5 of the BCA
- Natural - Parts 3.8.5.2 and 3.8.5.3 of the BCA (Volume 2)
- Mechanical - Parts 3.8.5.0 and 3.8.5.3 of the BCA (Volume 2)
- Sound insulation - Part 3.8.6.1 of the BCA (Volume 2)

Safe movement and access

- Stair construction - Part 3.9.1.1 of the BCA (Volume 2) - Acceptable construction practice
- Balustrades - Part 3.9.2.1 of the BCA (Volume 2) - Acceptable construction practice
- Handrails – Part 3.9.2.4 of the BCA (Volume 2) - Acceptable construction practice
- Protection of openable windows – Part 3.9.2.5 of the BCA (Volume 2) - Acceptable construction practice

Energy efficiency

- Building Fabric - Part 3.12.1 of the BCA (Volume 2)
- Building Sealing - Part 3.12.3 of the BCA (Volume 2)
- Services - Part 3.12.5 of the BCA (Volume 2)

Swimming pool safety

- Swimming pool safety fencing / barriers - Swimming Pools Act 1992 and Regulation 2008 and AS 1926 Part 1 (2012), Part 2 (2007) & Part 3 (2010)

Structural design manuals

- AS 1170.1 (1989) - Dead and live loads and load combinations
- AS 1170.2 (1989) or AS 4055 (1992) - Wind loads
- AS 1170.4 (1993) - Earthquake loads
- AS 1720.1 (1997) - Timber structures
- AS 2159 (1995) - Piling - design and installation
- AS 3600 (2001) - Concrete structures
- AS 4100 (1998) - Steel structures

Notes

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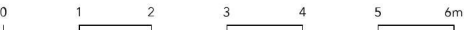
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Building Specifications

Scale 1:100

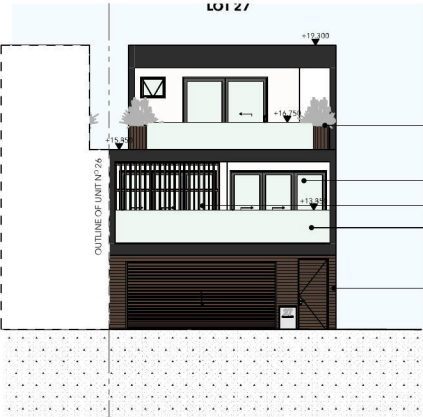


Proposed Intergrated Housing

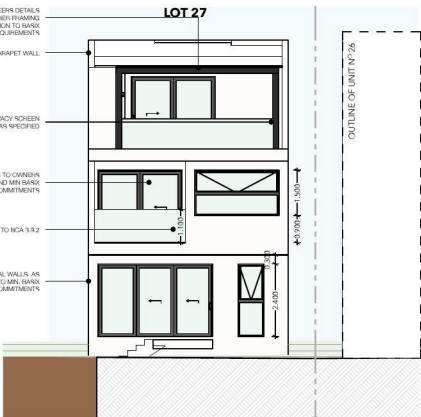
1 Charlotte Street
Jordan Springs, NSW 2747, Australia
Project number: 17R142 - Thursday, 26 October 2017

1 Charlotte Street, Jordan Springs, 2747 NSW

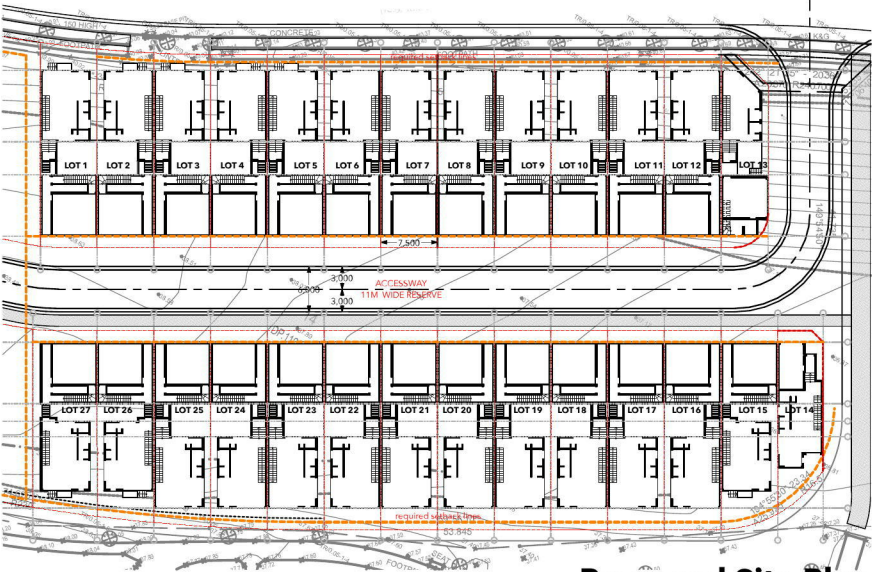
Proposed Intergrated Housing
27 New Dwellings (26 with Studios) and Torrens Title Subdivision



North Elevation
1:250



South Elevation
1:250



Proposed Site Plan
1:1000



Streetscape Elevation Lot 1 -13
1:500



Streetscape Elevation Lot 14 -27
1:500

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Notification Plan

Scale 1:100



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